

1 Site Plan
SCALE: 1/32" = 1'-0"

OWNER

City of Sausalito 420 Litho Street
Sausalito, CA 94965

CONSULTANTS

ARCHITECT: John McCoy, AIA
McCoy Architecture, Inc
1417 Bridgeway, Suite 2
Sausalito, CA 94965
415.332.9910

Furniture Designer: Garen McDonald
Ross McDonald Company
1154 Stealth Street
Livermore, CA 94551
925.455.1635
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PROJECT INFORMATION

DESCRIPTION: Interior Remodel to Library. Separate Children's Area from the Main Library. Remodel of the library staff office and reconfigure location of data outlets and electrical receptacle in the main library.

A.P.N. 064-165-12

ZONING PI

OCCUPANCY A-3

CONSTRUCTION TYPE 5A

PARCEL SIZE 96,000 sq. ft.

SETBACKS rear NA
right NA
left NA

HEIGHT Existing interior

IMPERVIOUS SURFACE Existing NA
Addition NA
TOTAL NA

LOT COVERAGE Existing NA
Addition NA
TOTAL NA

FLOOR AREA Existing 3,250 sq. ft. of existing library

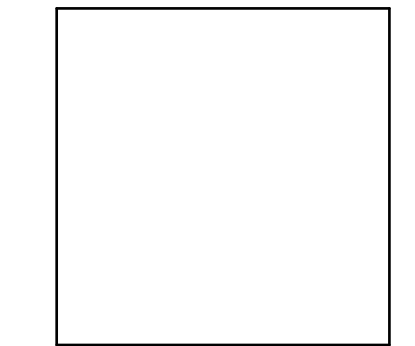
FIRE SPRINKLERS Existing system to be retained.

SHEET INDEX

- A0 Cover Sheet, Site Plan, Conditions of Approval, Sheet Index, Vicinity
- A1.0 General Notes
- A2.0 Floor Plan
- A3.0 Elevations & Sections
- A4.0 Electrical & Mechanical Plan
- A5.0 Construction Details and ADA Details

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REMODEL TO THE
SAUSALITO LIBRARY
420 LITHO STREET, SAUSALITO CA 94965
A.P.N. 064-165-12



REVISIONS

07-30-2012

PLUMBING / MECHANICAL / ELECTRICAL NOTES

1. FIXTURE LOCATIONS: Confirm location of all fixtures and outlets with architect.
2. PLUMBING VENTS: All new plumbing vents shall terminate not less than 3'-0" from any property line. Vents must also terminate at least 4' below, 1' above, and 4' horizontally from any door or operable window or air inlet.
3. RELIEF VALVE: Provide water heater pressure/temperature relief valve with drain to outside of building or other approved location. CPC 608
No part of drain may be installed where it would be subject to freezing. CPC 608.5
4. BACKFLOW PREVENTION: Provide a non-removable backflow prevention device on all exterior hose bibbs and lawn sprinkler/irrigation systems. CPC 603.4
5. METAL WATER PIPING and other interior metal piping shall be bonded to the service equipment enclosure pursuant to CEC 250-80 (a) & (b). The points of attachments to the bonding jumper shall be accessible.
6. SEISMIC ANCHORAGE: Provide seismic anchorage for new and/or existing water heater tanks with straps within the upper and lower one-third of unit, with lower strap at least 4" above controls. CPC 510.5
7. TERMINATION of all environmental air ducts shall be a minimum of 3'-0" from any opening into the building. Exhaust air vent to have back draft damper.
8. GROUNDING ELECTRODE SYSTEM: Electrician shall provide and locate the grounding electrode system conforming to CEC 250-81.
9. SMOKE DETECTORS: Smoke detectors shall be powered by building wiring with battery back-up. Provide smoke detectors in the following areas (as applicable):
at each story and basement; within each bedroom and centrally located in the corridor or area giving access to each sleeping area; in each room where non-bedroom ceiling heights exceed the hall ceiling height by more than 2'.
10. KITCHEN CIRCUIT: Provide at least two separate 20 amp circuits for small appliances in kitchen, pantry, dining room and similar areas, with no other outlets on the circuits. CEC 210-11 (c)(1), 210-52(b)
11. CLOTHES CLOSET LAMPS shall be enclosed if incandescent type. Light fixture clearances shall conform to CEC 410-8.
12. KITCHEN LIGHTING - at least 50% of the installed wattage shall be high efficacy (fluorescent) and switched separately from the low efficacy lighting.
The following table defines high efficacy lighting (2008 CA Title 24 Section 150):
13. GARAGE, LAUNDRY & UTILITY ROOM LIGHTING - same requirements as bathrooms.
14. RECESSED LIGHTING FIXTURES shall be rated as air-tight (AT) and, when installed in an insulated ceiling shall have an approved zero clearance insulation cover (IC). (2008 CA Title 24 Section 150)
15. OUTDOOR LIGHTING (attached to the building) - shall be high efficacy (fluorescent) OR controlled by a motion sensor with an integral photocontrol (2008 CA Title 24 Section 150). Metal Halide is also a high efficacy option.
16. OUTLETS: In every habitable room an electrical outlet shall be installed so that no point along the floor line in a wall space is more than six feet measured horizontally, from any outlet in that space, including any wall space two feet or more in width, the wall space occupied by fixed panels in exterior walls, and fixed room dividers. NEC Article 210-52.
17. NEW OUTLETS (including receptacles, switches, lighting, and hard-wired smoke detectors) in must be on circuits protected with a combination arc-fault breaker. (2007 CEC 210.12)
18. RECEPTACLES installed in the following locations must be GFCI protected: exterior, garage, bathrooms, and above the kitchen countertop. (2007 CEC 210.12).
19. LOAD CALCULATIONS: Contractor to submit electrical load calculations for the sizing of the electrical panels to the building department for approval prior to installation.

DEMOLITION NOTES

1. Contractor shall carefully check the stability of all elements of the building before doing any work on or demolition to the existing structure. The contractor shall brace or strengthen any portions of the structure that may be weakened by demolition or construction activities. The contractor shall be solely responsible for jobsite safety and preservation of existing construction not slated for demolition.
2. All demolition and removal work shall conform to all applicable codes and regulations, including U.B.C, Chapter 44 and A.N.S.I. A10.6-1983 "Safety Requirements for Demolition". The Contractor shall bear sole responsibility for identifying, testing and disposing of any hazardous materials encountered in the demolition process in accordance with all applicable codes, ordinances and regulations.
3. Contractor shall verify with owner or architect any item to be salvaged and reused. Damage to any such item will be the sole responsibility of the contractor.
4. Removal of wall finishes, floor finishes, and ceiling finishes shall include all material down to framing, exterior sheathing or subfloor.

DUST MITIGATION PLAN

1. The Contractor shall submit a satisfactory construction dust mitigation plan to the City. This plan shall specify the methods of control that will be utilized, demonstrate the availability of needed equipment and personnel, and identify a responsible individual who can modify construction activities should complaints be received by the City.
2. The construction dust mitigation plan shall, at a minimum, include the following:
A. HIGH WINDS: Suspension of earthmoving or other dust-producing activities during periods of high winds when dust control measures are unable to avoid visible dust plumes.
B. DUST PLUMES: Provide equipment and staffing for watering of all portions of the site subject to vehicle or equipment travel or disturbance. An appropriate dust palliative or suppressant, added to water before application would vary according to the moisture level of the soils on the site, but should be frequent enough to avoid visible dust plumes.
C. STOCKPILES: Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
D. SWEEP STREETS DAILY: of all mud and debris carried out from the site onto the adjacent road, since this material can be pulverized and later resuspended by vehicle traffic.
E. ALL MATERIALS TRANSPORTED BY TRUCK shall be covered or wetted down prior to exiting the site.
F. FINAL GRADES shall be treated with an appropriate dust suppressant, covered or seeded as early as practical.

CONSTRUCTION MANAGEMENT PLAN

1. JOB SIGN: A sign shall be placed at the jobsite to notify the residence of the prime contractor and major subcontractor and related phone numbers.
2. CONSTRUCTION MANAGEMENT COORDINATOR: The name and phone number of a Construction Management Coordinator shall be posted at the site and shall be available to respond to complaints and questions from area residents.
3. HOURS OF OPERATION: Work at the site shall be limited to the hours of 8:00 AM to 4:30 PM, Mondays through Fridays, and 9:00 AM through 4:00 PM on Saturdays. No work shall be permitted on Sundays and Holidays without prior approval from the Community Development Agency.
4. CONSTRUCTION VEHICLES: All material deliveries and removal from the construction site shall follow a route, both to and from the site, agreed upon by the Community Development Agency and the Construction Management Coordinator. It is the Contractors responsibility to see that these locations and routes are adhered to.
5. TRAFFIC MANAGEMENT: Vehicular traffic shall not be delayed for more than 5 minutes for more than four consecutive days. Access for emergency vehicles shall be maintained at all times (minimum 12'-0" in width). Traffic management measures shall include the following:
A. Traffic control measures such as flag persons, signage, etc. shall be utilized to ensure that vehicular traffic and pedestrian movement will continue to occur safely during construction periods.
B. In the event of additional construction is occurring on the street it is the responsibility of both/all Contractors to coordinate all construction activities to avoid conflict in deliveries and/or construction activities. Coordination shall be made with the notification of the Public Works Department.

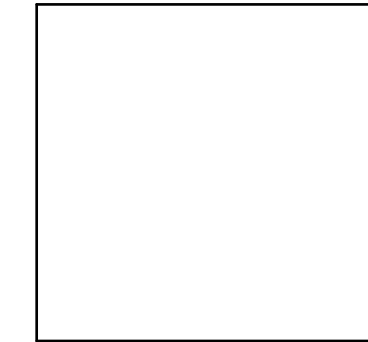
GENERAL NOTES

1. RULES & REGULATIONS: All work shall conform to the 2010 editions of the California Building Code (CBC), 2010 California Plumbing and Mechanical Codes, 2010 California Energy and 2010 Electrical Codes, complete with all applicable State of California amendments, codes and regulations for each edition including State of California title 24 & a.b. 163 regulations and City of Sausalito Security Ordinance, and City of Sausalito Fire District Ordinance.
2. CONTRACTOR Shall be responsible for construction in conformance with the approved plans, specifications, and all code requirements under which the plans and specifications were approved.
3. MEASUREMENTS: Do not scale drawings. Contractor shall verify all dimensions shown on the drawings, any discrepancy shall be reported to the Architect prior to commencement of related work.
4. EXISTING CONDITIONS: It is the contractors responsibility to verify all applicable existing conditions, including but not limited to water damage, termite damage, dry-rot, of any other framing or structural issues that may vary from those shown on the drawings, and report any discrepancies to the Architect prior to commencement of related work.
5. SURVEY: Contractor shall have a licensed land surveyor stake the perimeter and/or corners of the building prior to the commencement of work and shall report any discrepancies to the Architect.
6. DRAIN PIPE: Provide a 4 inch perforated pipe (holes down) behind every retaining wall and perimeter footing set in drain rock. Provide clean-outs at dead ends and at turns greater than 45 degrees.
7. TREATED LUMBER: All wood, including posts, within 6 inches of the ground shall be pressure treated or foundation-grade redwood.
8. PRESSURE TREATED: Any area framed with pressure treated material, the connection hardware must be hot-dipped zinc-coated. Fasteners in preservative treated wood must be approved silicon bronze, or copper, stainless steel or hot-dipped zinc-coated steel. This includes the foundation plates.
9. CUT OR NOTCHED WOOD: Any cut or notched wood shall be sealed with epoxy sealer.
10. SOLES AND PLATES: Where plumbing, heating or other pipes are placed in or partially placed in a partition, necessitating the cutting of soles or plates, a metal tie not less than 16 gage galvanized and 1 1/2" wide shall be fastened to each plate across and to each side of the opening with not less than six 16d nails.
11. FIRE BLOCKING: Provide fire blocking at ceilings, floors, furred down ceilings, showers, soffits, and at concealed draft openings not to exceed 10' maximum. CBC 708
12. TYPE "X" GYPSUM: Type "X" gypsum board is to be used at all walls and soffits of enclosed usable space under stairs.
13. INSULATION: Provide minimum R-13 insulation in all new walls and R-30 insulation in all new roofs.
14. METAL FLASHING shall be copper, unless otherwise noted.
15. VAPOR BARRIER shall be roll-on urethane membrane by Division7 (or approved equal).
16. VENT STRIP at roof-edge venting shall be Cor-a-vent RS-400, or equal.
17. INSECT SCREEN: All insect screen at eave vents shall be corrosion resistant metal mesh with mesh openings 1/4" in dimension, unless otherwise noted.
18. PAINTING: Provide 1 coat primer and 2 finish coats of paint at all interior and exterior surfaces.
19. SMOKE DETECTORS: Smoke detectors shall be powered by building wiring with battery back-up. Provide smoke detectors in the following areas (as applicable):
- at each story and basement.
- within each bedroom and centrally located in the corridor or area giving access to each sleeping area.
- in each room where non-bedroom ceiling heights exceed the hall ceiling height by more than 2'.
20. CARBON MONOXIDE alarms are to be installed outside each bedroom per CRC 315.2
21. GLASS: All glass shall conform with human impact and safety requirements as per CBC. 2406

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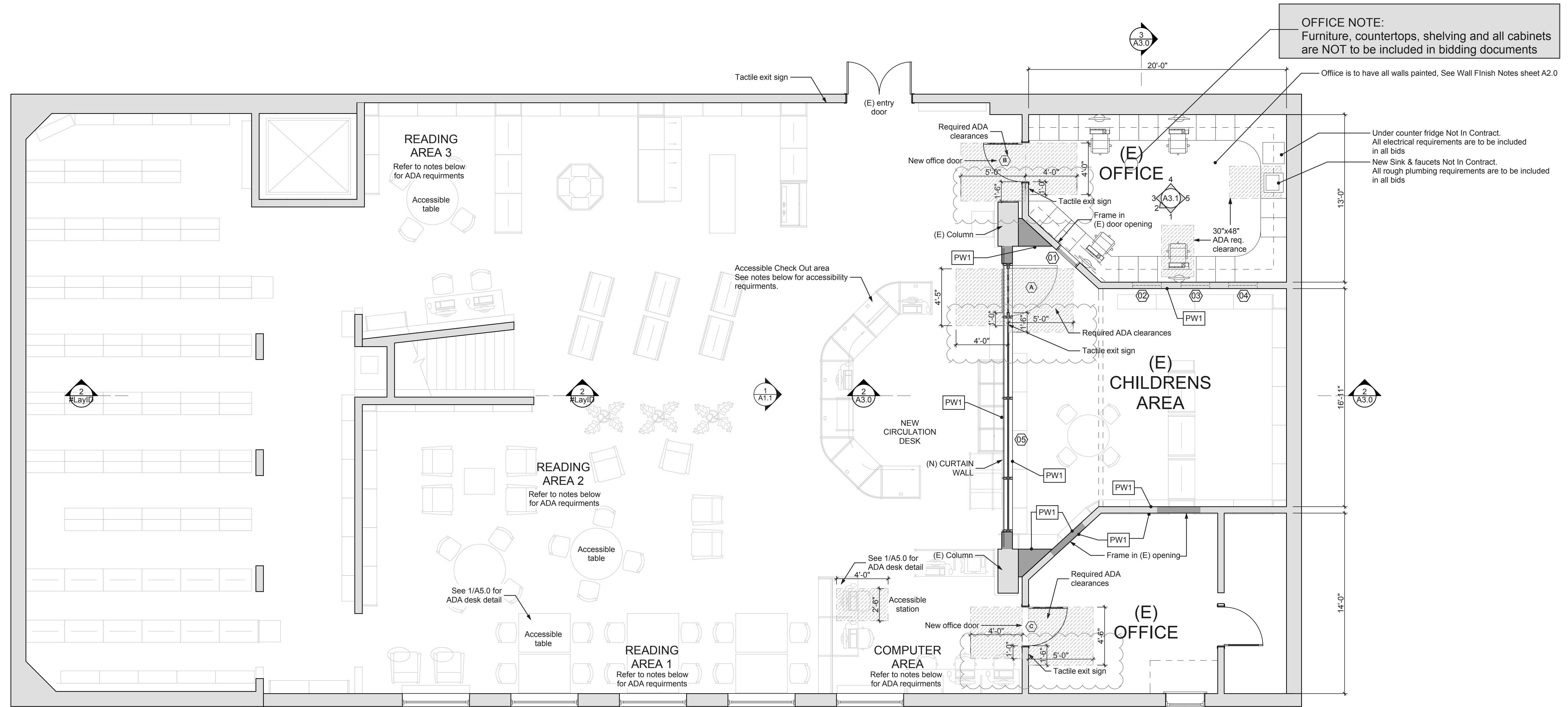


REVISIONS
07-30-2012

A1.0
08-06-2012

CITY OF SAUSALITO REGULATIONS

1. DEBRIS BOX SERVICE: All debris box service must be by Bay City Refuse.
2. ENCROACHMENT PERMITS: Contractor shall be responsible for any necessary encroachment permits for all work in the public right-of-way such as construction staging, temporary power, porta potty, debris box, termination of site drainage into City curb and gutter, sewer work, trenching, installation of underground utilities (electric, gas, water, etc.) per SMC 8.04.090. Contact City Engineering Division at 415-289-4112 for details.
3. INSPECTIONS: All inspections agencies and/or individuals and shop fabricators shall be approved by the Building Department prior to the work being preformed. Submit all documentation for approval.
4. SUPPLIES & STORAGE: All work and storage of material to be located on private property. Loading and unloading of supplies to take place on driveway apron. At no time will any vehicle be located on the public road way.
5. REVISIONS: Any revision(s) to the approved plan set shall be submitted to the Sausalito Community Development Department for review. Inspections for revised work shall not be requested until the revision is approved by the Sausalito Community Development Department. Allow a minimum of 2 weeks for the Sausalito Community Development Department review.



OFFICE NOTE:
 Furniture, countertops, shelving and all cabinets are NOT to be included in bidding documents

Office is to have all walls painted. See Wall Finish Notes sheet A2.0

Under counter fridge Not In Contract. All electrical requirements are to be included in all bids

New Sink & faucets Not In Contract. All rough plumbing requirements are to be included in all bids

1 Floor Plan
 SCALE: 1/4" = 1'-0"

Accessibility Notes: 1106B.4 Library general use areas.

1. **General.** Library general use areas such as those housing card files, book stacks, periodicals, reading and study areas, reference areas, information desks, circulation counters, reserve areas, special facilities or collections, etc., shall be made accessible to persons with disabilities.

2. **Open book stacks.** Open book stacks (those available for customer use) shall be on an accessible route complying with Section 1114B.1.2, may be of normal height, and shall have main aisles no less than 44 inches (1118 mm) in clear width and side, range and end aisles no less than 36 inches (914 mm) in clear width. In existing buildings, multiterred, closed book stacks (those restricted to employee use) are exempt from these accessibility standards.

3. **Height of book shelves.** Unless an attendant is available to assist persons with disabilities, all book shelving shall be located not more than 54 inches (1372 mm) above the floor.

4. **Card catalogs and magazine displays.** Minimum clear aisle space and maximum reach heights at card catalogs and magazine displays shall comply with Section 1118B, with a height of 48 inches (1219 mm) preferred irrespective of reach allowed.

5. **Reading and study areas.** At least 5 percent or a minimum of one of each element of fixed seating, tables, study carrels, computers or similar workstations shall be on an accessible route complying with Section 1114B.1.2, and shall comply with Section 1118B, "Space Allowance and Reach Ranges", Section 1122B, "Fixed or Built-in Seating, Tables, and Counters" and Section 1133B.6 "Aisles".

6. **Check-out areas.** At least one lane at each check-out area shall be on an accessible route complying with Section 1114B.1.2, and shall have a portion of the counter which is at least 36 inches (914 mm) in length with a maximum height of 34 inches (864 mm) above the finish floor with a 36 inch (914 mm) wide aisle on the customer side.

MARK	SIZE (W x H)	OPERATION	GLAZING	Manufacturer Unit	NOTES
(01)	2'-0" x 2'-0"	fixed	Dual glazed	BLOMBER 880 SERIES	Fixed unit. Trim to match existing
(02)	2'-0" x 2'-0"	fixed	Dual glazed	BLOMBER 880 SERIES	Fixed unit. Trim to match existing
(03)	2'-0" x 2'-0"	fixed	Dual glazed	BLOMBER 880 SERIES	Fixed unit. Trim to match existing
(04)	2'-0" x 2'-0"	fixed	Dual glazed	BLOMBER 880 SERIES	Fixed unit. Trim to match existing
(05)	20'-10" x 15'-0"	Store front system	Dual glazed Tempered	CW-250 OLD CASTLE Storefront system	As provided by R&S Glazing
(A)	4'-0" x 8'-0"	Hinged	Dual glazed Tempered	CW-250 OLD CASTLE Storefront system	To be integral w/ storefront
(B)	3'-0" x 8'-0"	Hinged	Dual glazed Tempered	STEELCRAFT "L" Series	See sheet A3.0 for configuration
(C)	3'-0" x 8'-0"	Hinged	Dual glazed Tempered	STEELCRAFT "L" Series	See sheet A3.0 for configuration

WINDOW & DOOR NOTES

- Contractor to verify all R.O. with manufacturer prior to ordering.
- All glass doors shall have tempered safety glazing.
- All glass shall conform with human impact and safety requirements as per 2010 CBC Section 2406.
- All accessible doors shall be equipped with accessible hardware mounted between 34" & 48". This hardware shall allow the door to be operated with a maximum of 5 foot pounds of force.
- Maximum threshold height is 1/2".
- Required ADA clearances @ all doors is conform with 2010 CBC Accessibility requirements. Contractor to verify a level landing per CBC 1133B.2.4. Contractor to make any needed adjustment to floor as required to provide level landing at all doors per CBC 1133B.2.4.

WALL FINISH NOTES

- All painted walls are to be single color, color to be chosen by Library.
- All painted walls are to include one coat of primer and two finish coats.
- Existing walls with patched areas or newly exposed areas are to be painted completely

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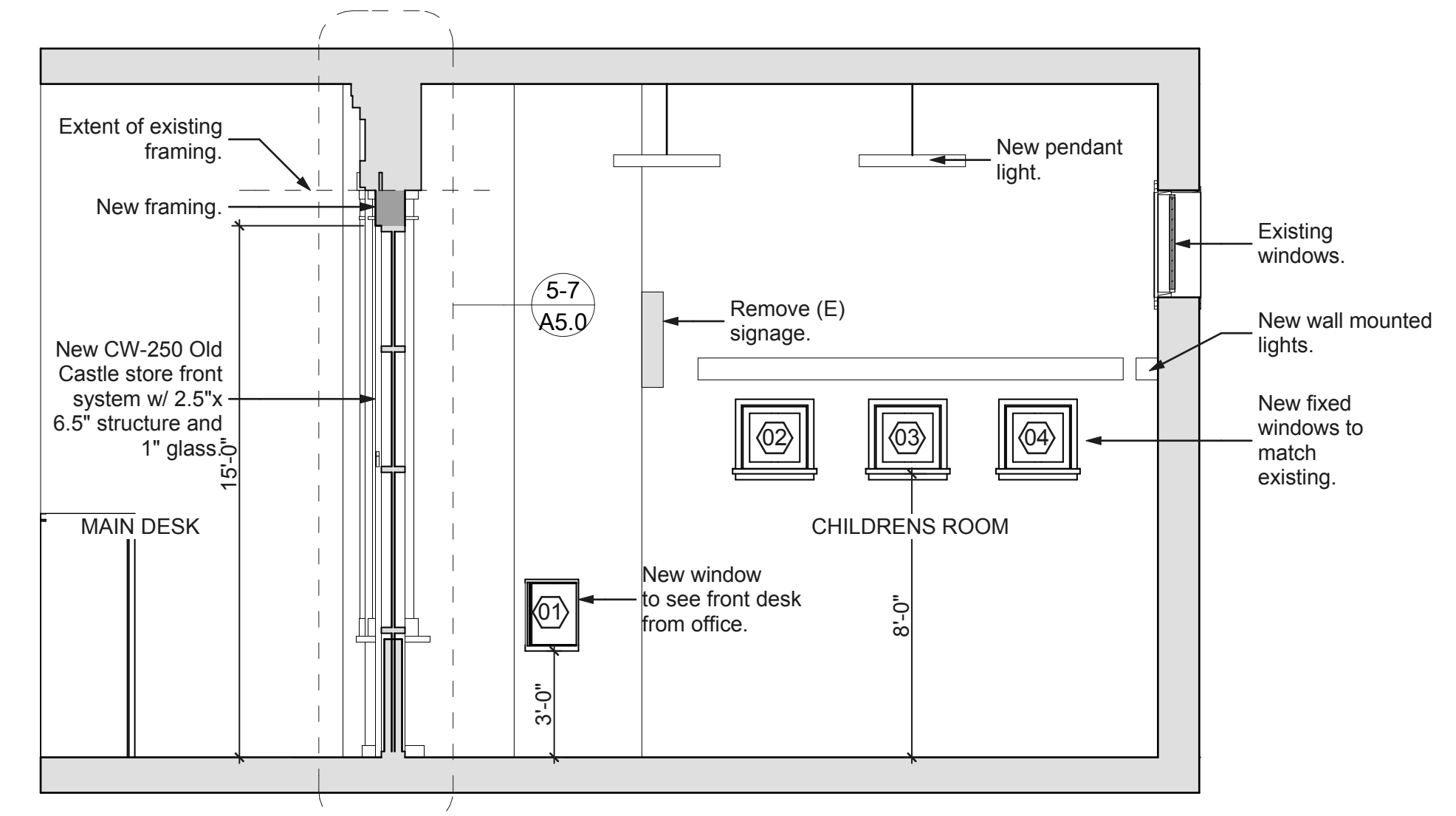
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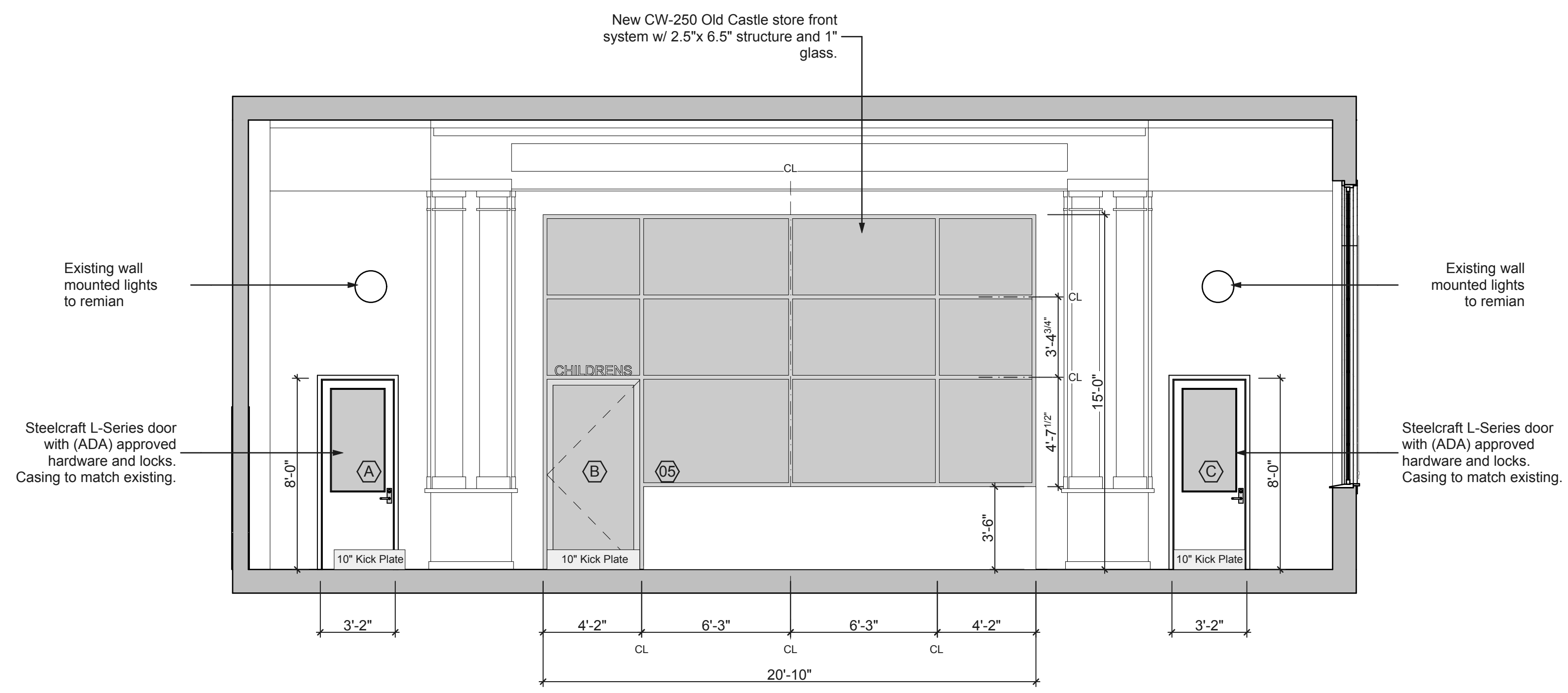
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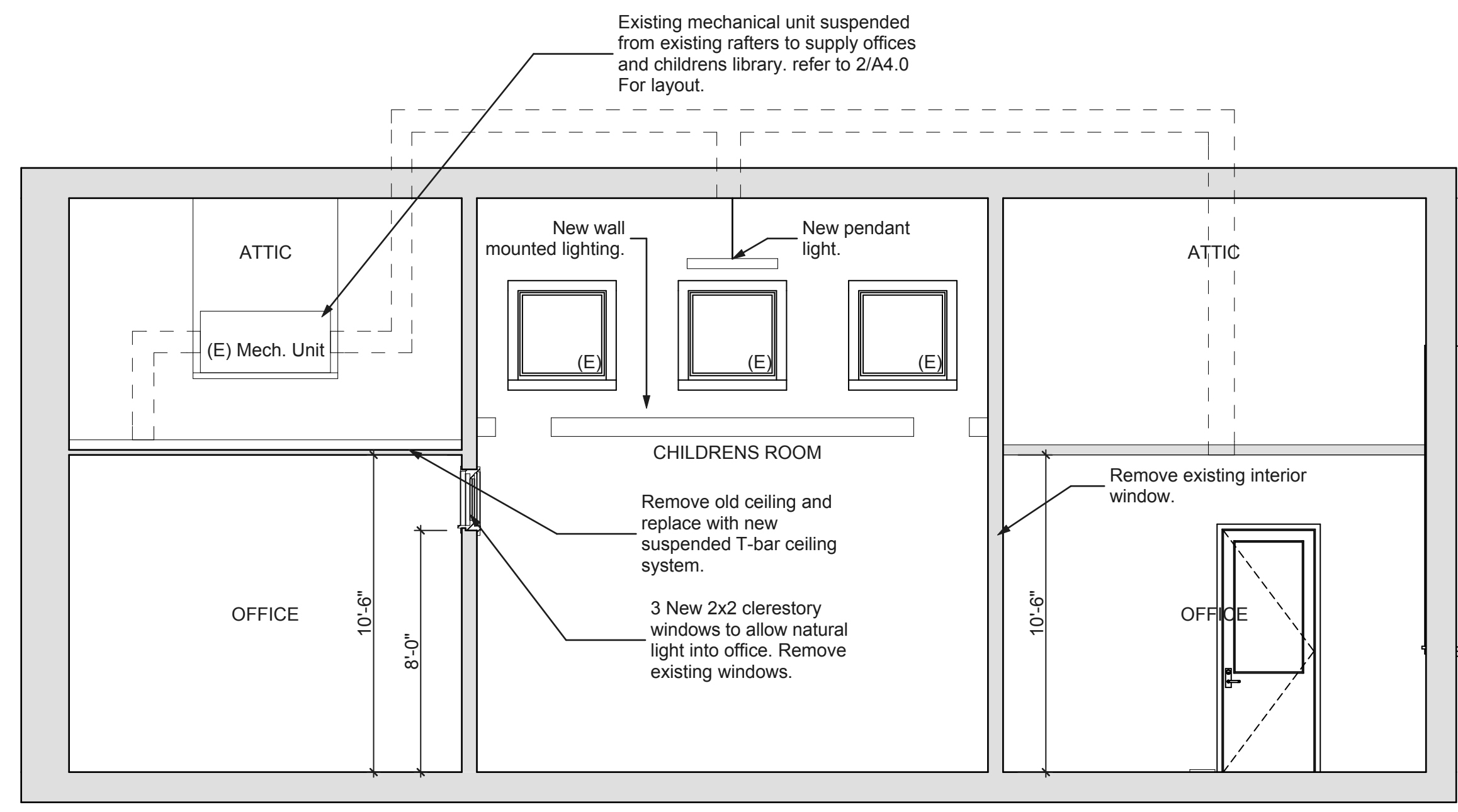
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2 Elevation / Section
SCALE: 1/4" = 1'-0"

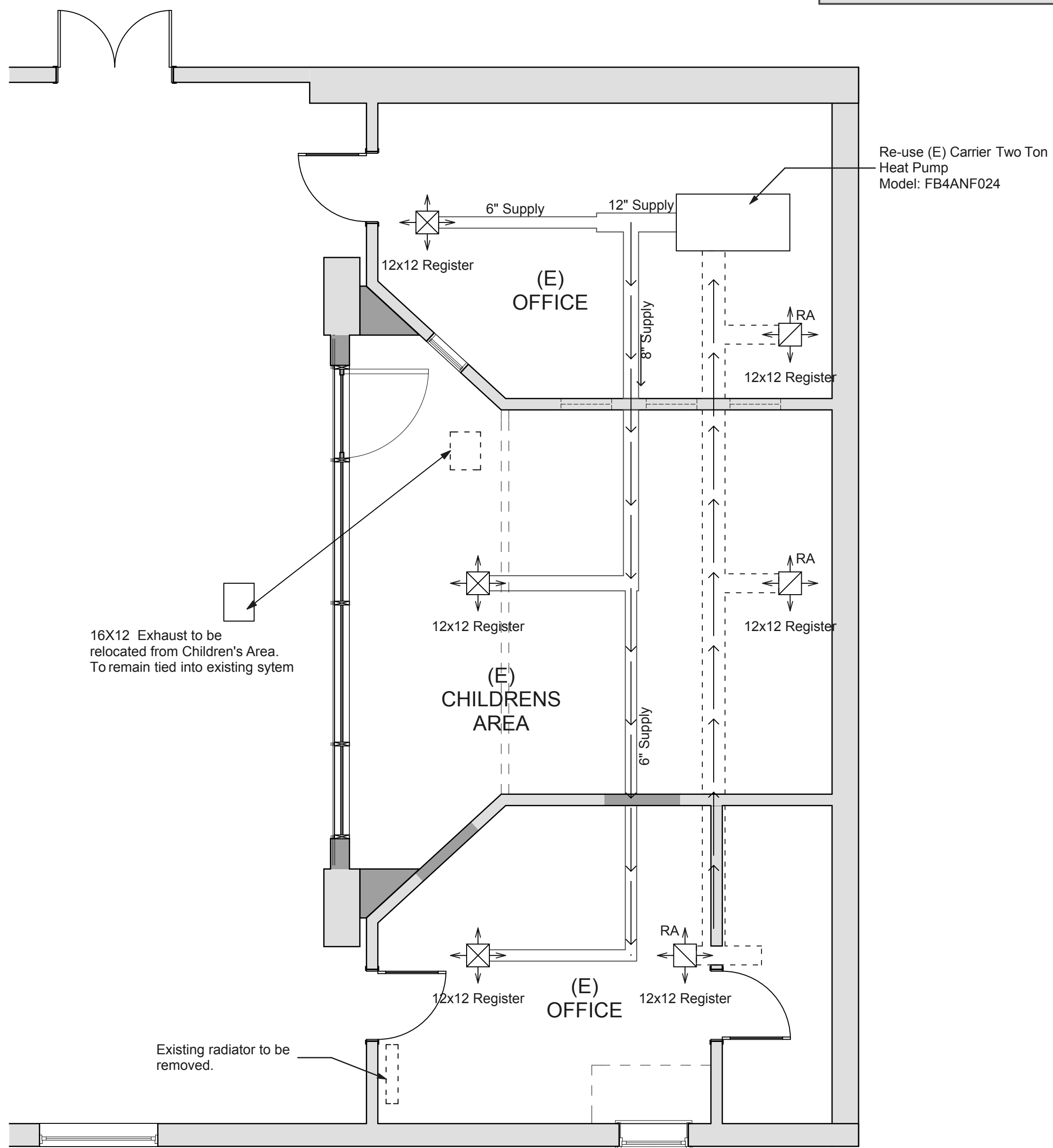


1 Elevation
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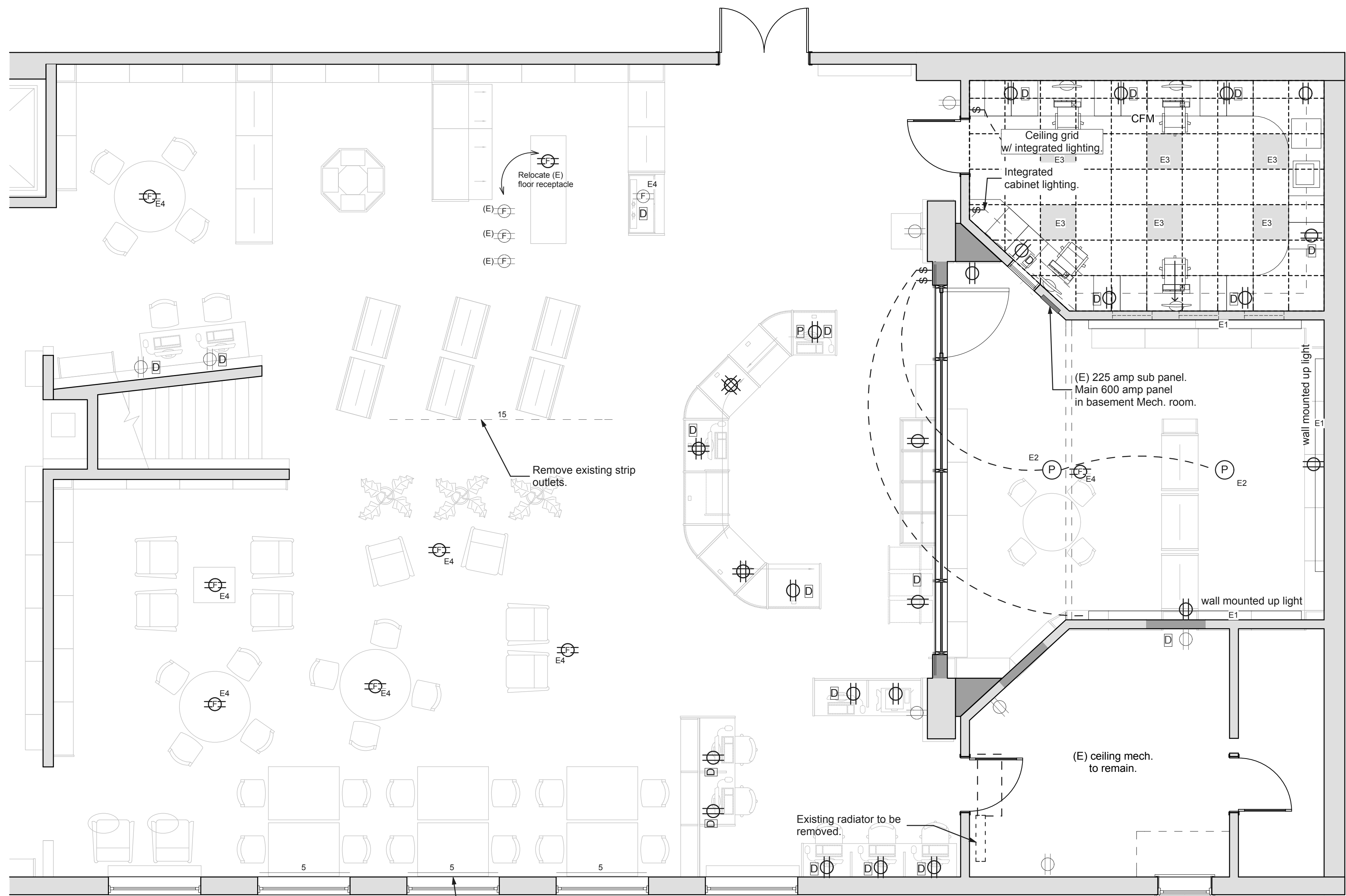


3 Elevation / Section
SCALE: 1/4" = 1'-0"

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2 MECHANICAL PLAN
SCALE: 1/4" = 1' - 0"



1 ELECTRICAL PLAN
SCALE: 1/4" = 1' - 0"

- Notes:**
1. Electrical plan is diagrammatic only. All fixture and receptacle locations are to be verified by Architect.
 2. Existing electrical to remain. Contractor to verify outlet locations per NEC Article 210-52.
 3. All outlets, except those dedicated to a specific appliance, shall be mounted a maximum of 48" AFF to the top of the box and a minimum of 15" AFF to the bottom of the box.

ELECTRICAL SCHEDULE		
Manufacturer	Model Number	Notes:
E1	LITECONTROL W-ID-66N24T8-FP-CSL-ELB-TW-F-120	Wall Mounted General Uplighting - verify height / location with Architect prior to installation
E2	LITECONTROL P-1D-3630BX39/21-2D-FP-CSL-ELB10-F-120	Ceiling Mounted Pendant Lighting - verify height / location with Architect prior to installation
E3	LITHONIA LIGHTING 2TLED	2x2 LED fixture to be integral w/ ceiling system
E4	CARLON B234BFBB	In Floor receptacle box w/ brass cover

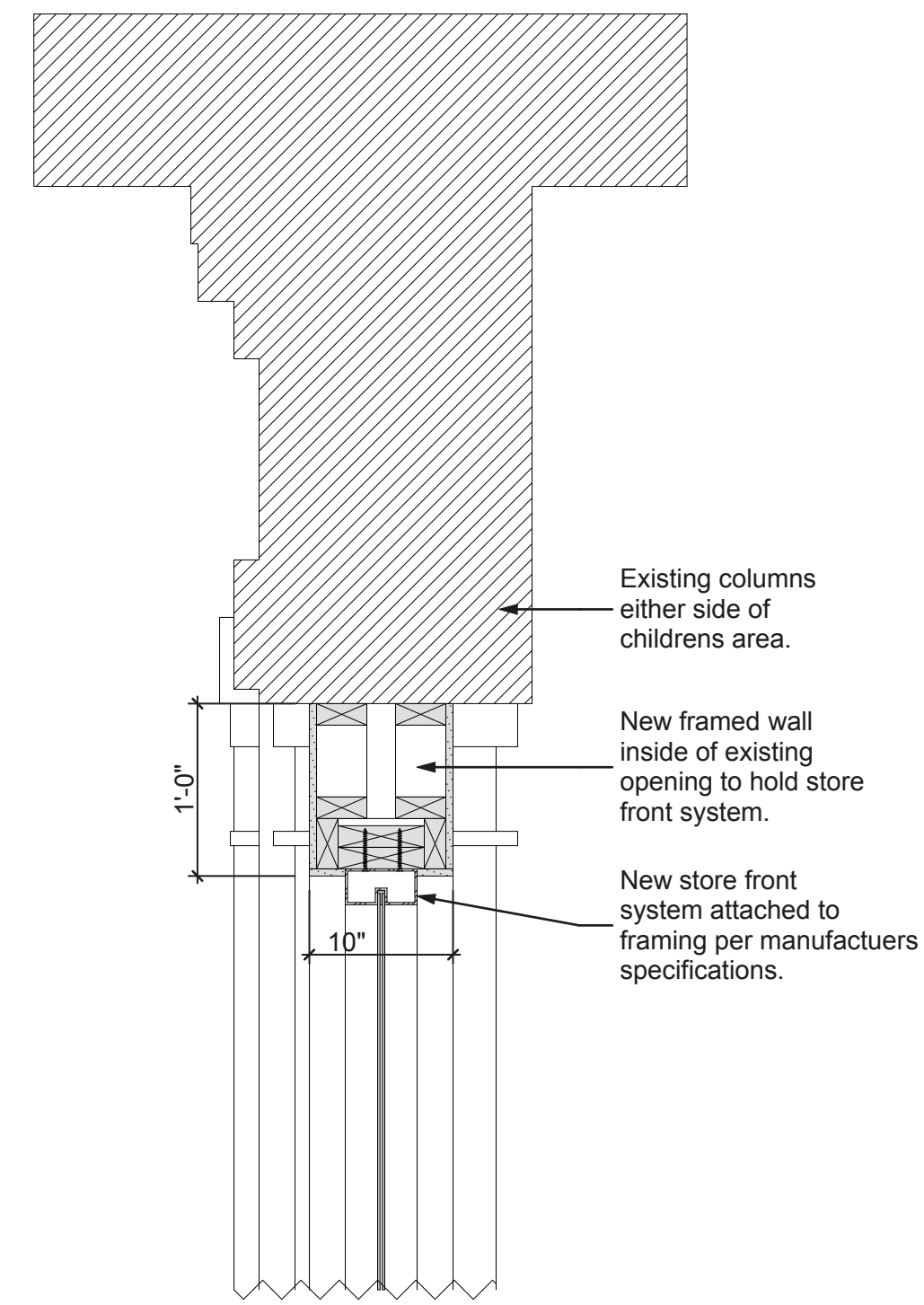
ELECTRICAL / MECHANICAL LEGEND			
⌘	Switch	⌘	Panic Button
⌘₃	Three Way Switch	⌘	Telephone
⌘₃	Three Way Switch w/ Dimmer	afci	Arc fault circuit interrupter
⌘	Duplex outlet	+42	Mounting height in inches
⌘	220 Outlet	⌘	Fluorescent Fixture
⌘	Power Strip	⌘	Exhaust Fan
⌘	Pendant light	⌘	Smoke Detector (see Electrical Note #11)
⌘	Recessed fluorescent down light	⌘	Supply ceiling diffuser.
⌘	Wall mounted fixture	⌘	Supply duct.
⌘	Surface mounted fixture	⌘	Return ceiling diffuser.
⌘	Floor Outlet	⌘	Return duct.
⌘	Data / Internet		
⌘	Thermostat		

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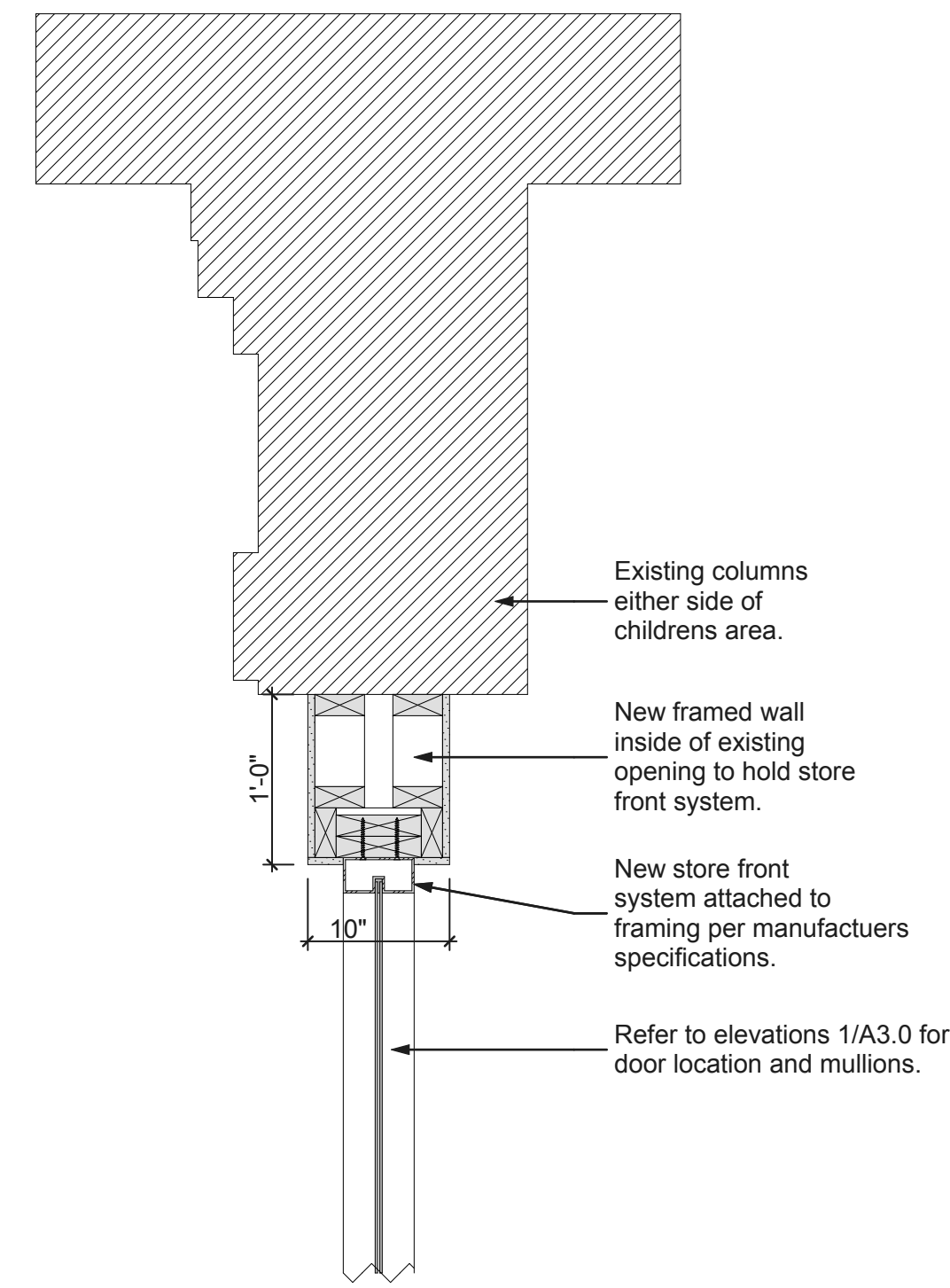
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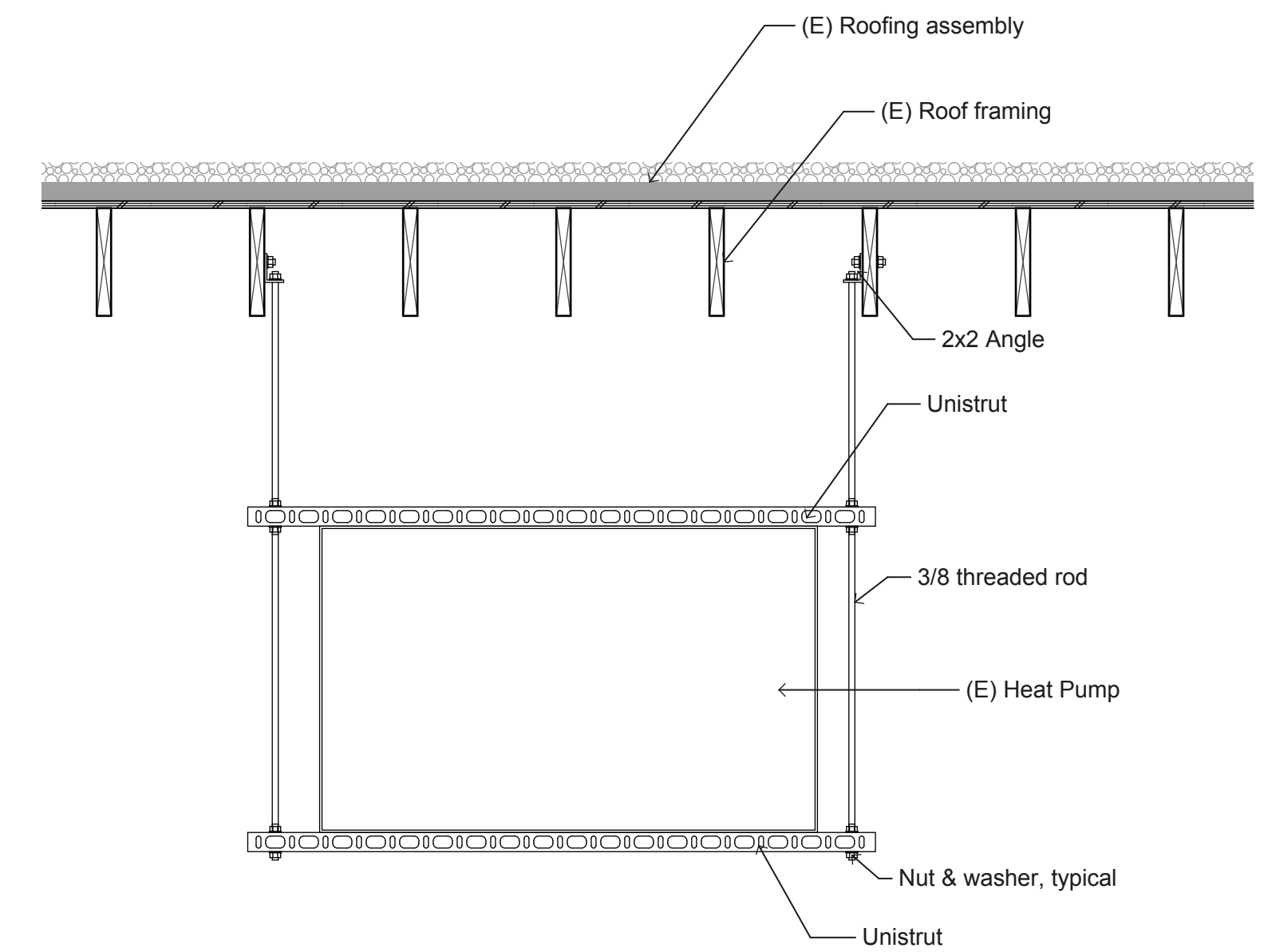
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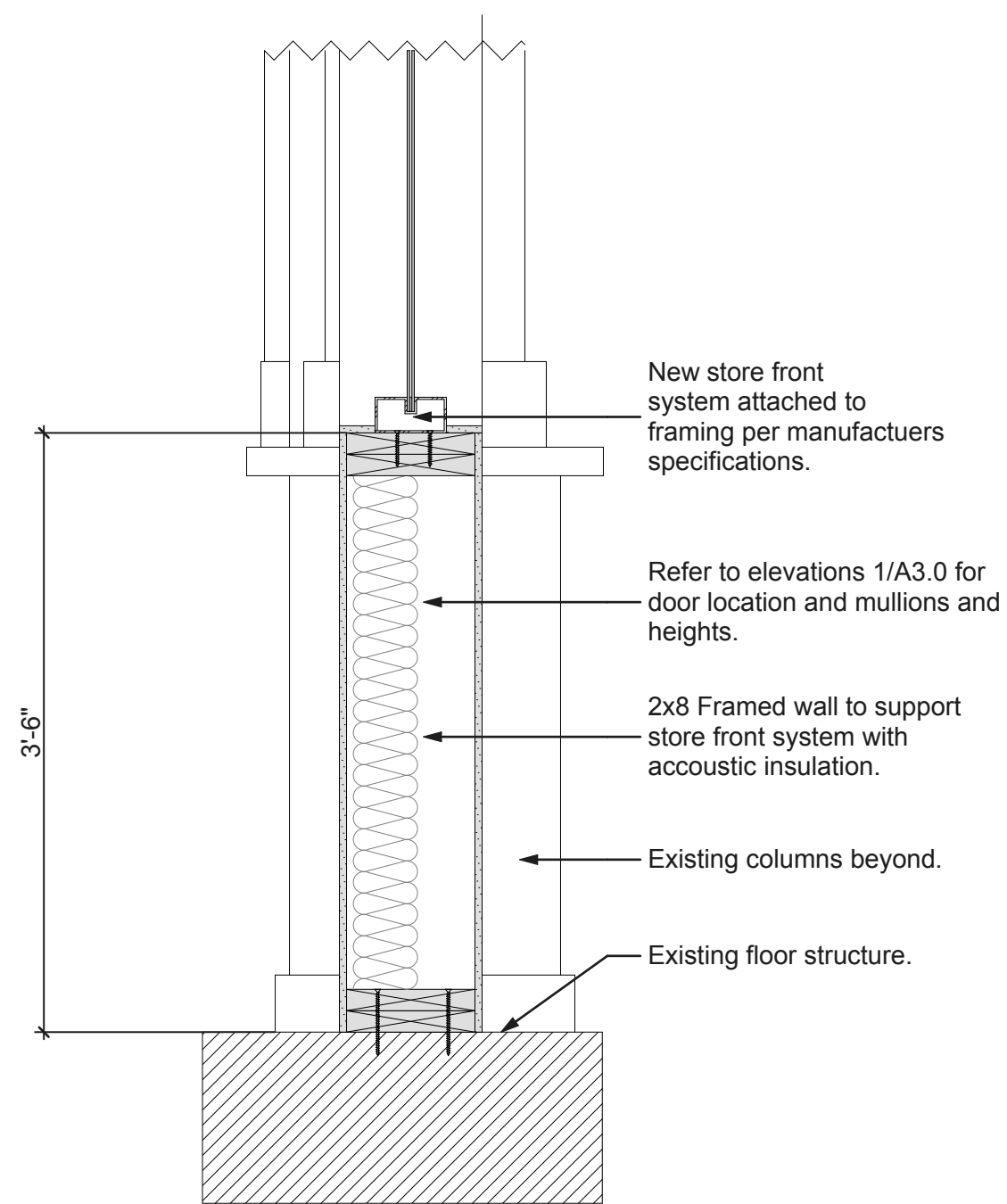
7 ALUM. STOREFRONT HEAD
SCALE: 1" = 1'-0"



5 ALUM. STOREFRONT JAMB
SCALE: 1" = 1'-0"



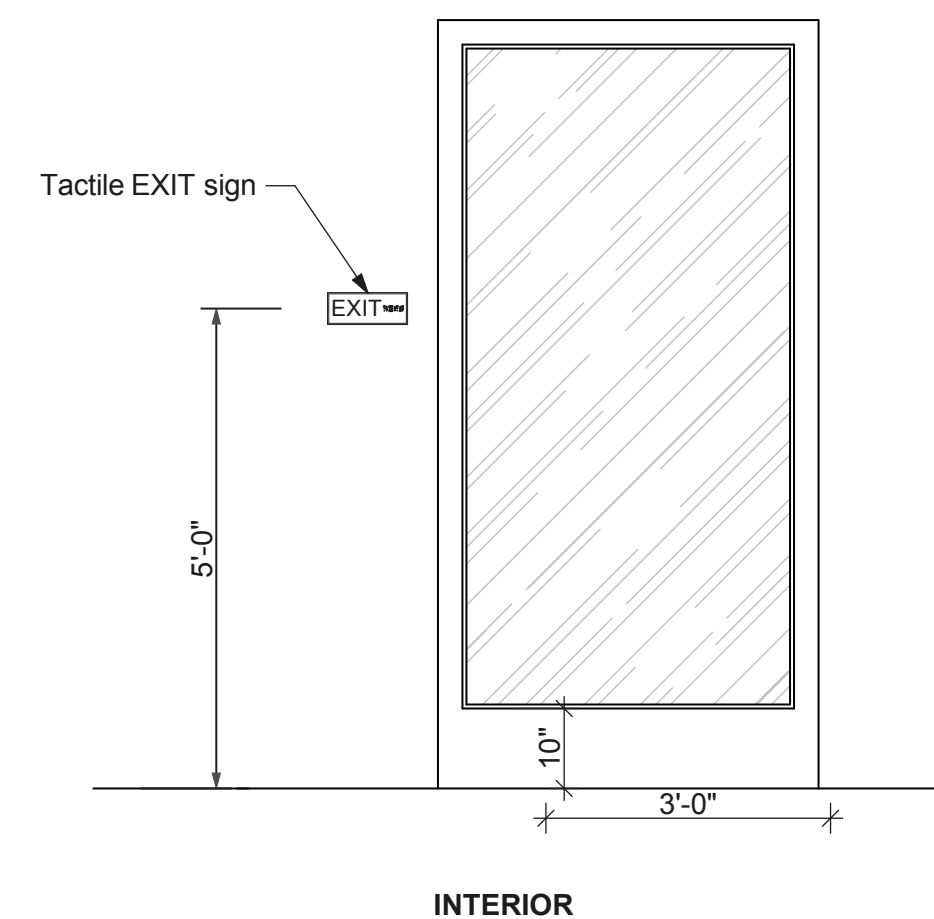
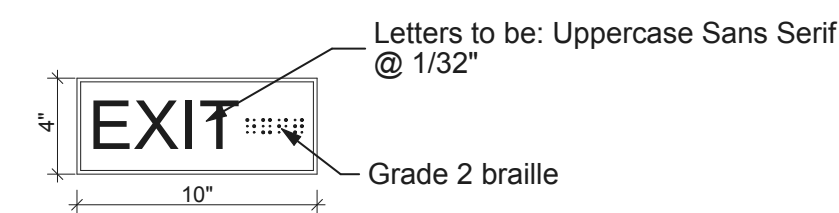
4 HANGING EQUIPMENT, TYPICAL
SCALE: 3/4" = 1'-0"



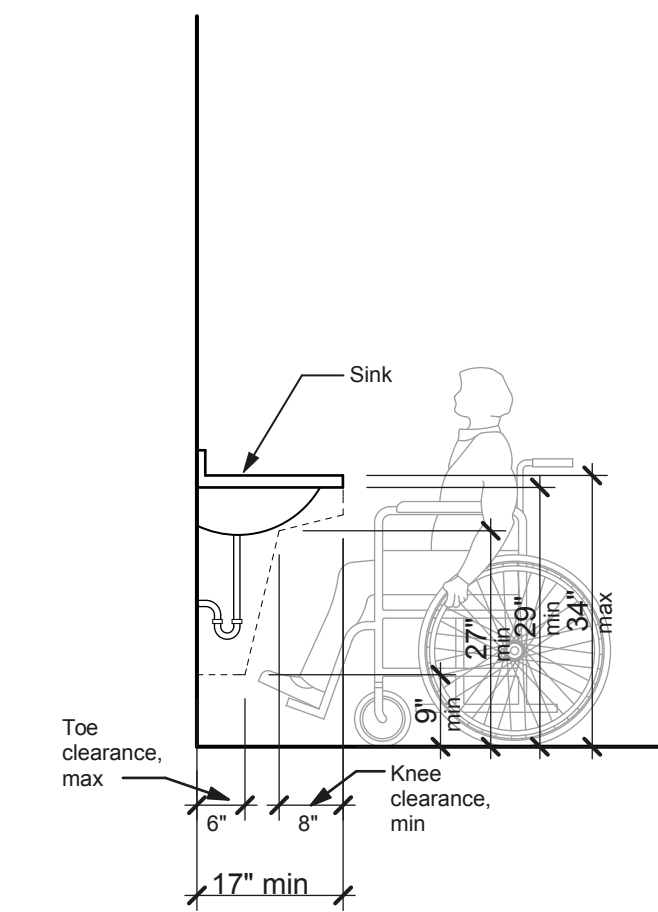
6 ALUM. STOREFRONT SILL
SCALE: 1" = 1'-0"

NOTES:

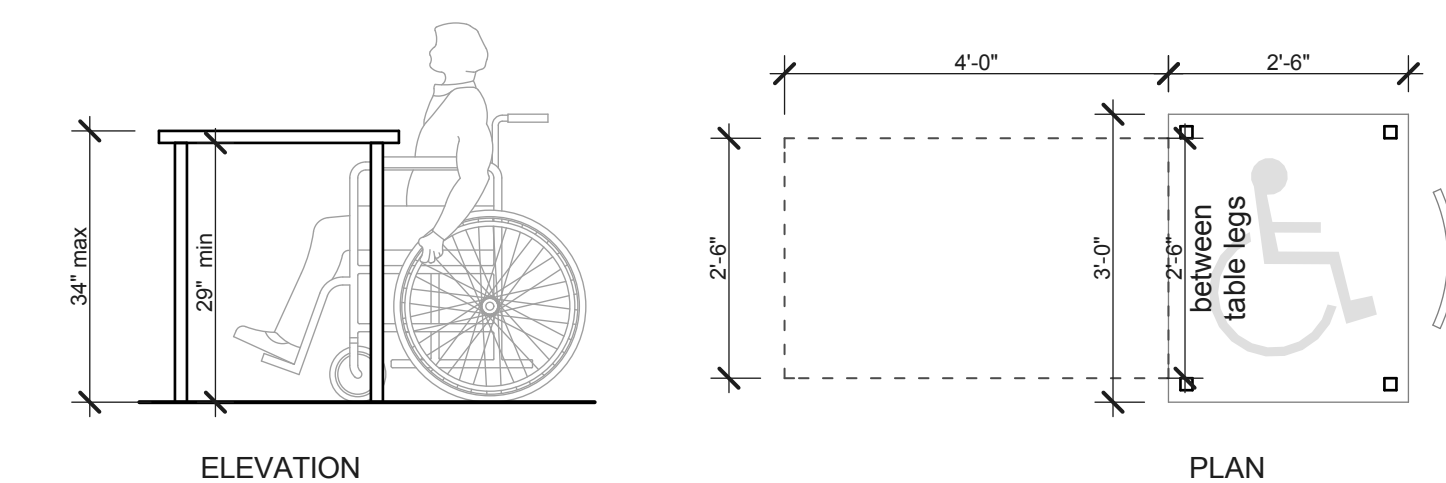
1. Characters will contrast with background light characters with dark background, or dark characters with a light background. Characters and background of signs is eggshell, matte, or non-glare finish. (1003.2.8.6 & 1117B.5.2)
2. Letters on signs have a width-to-height ratio between 3:5 and 1:1, and a stroke width-to-height ratio between 1:5 to 1:10. (1003.2.8.6 & 1117B.5.3)
3. Mounting height is 60" from the finish floor to the centerline of the sign. (1003.2.8.6 & 1117B.5.7)
4. Braille dot to be raised a minimum of 1/40" (1003.2.8.6 & 1117B.5.6)



3 TACTILE EXIT SIGNAGE, TYPICAL
SCALE: 1/2" = 1'-0"



2 ACCESSIBLE SINK
SCALE: 1/2" = 1'-0"



1 ACCESSIBLE TABLE
SCALE: 1/2" = 1'-0"

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