



NO IMPLY RESPECTED

United States Department of the Interior

NATIONAL PARK SERVICE
Golden Gate National Recreation Area
Fort Mason, San Francisco, California 94128

L 24 (GOGA-PLAN)

MAR 11 2003

Dr. Edward Fotsch
2 Alexander Avenue
Sausalito, CA 94965

Dear Dr. Fotsch:

Thank you for notifying the National Park Service regarding your proposal to build a new entrance stairway to your house at 2 Alexander Avenue. After review of your proposal by NPS staff and discussions with you at the site, the following summarizes the conditions that would answer NPS concerns regarding construction on your property adjacent to the Golden Gate National Recreation Area boundary.

We would concur with your request for a variance from the City of Sausalito's required 5 foot side yard setback to a no less than 1 foot setback for your project if the following conditions are met.

- A survey is completed prior to the start of the project to confirm and permanently mark your property line and the GGNRA boundary along the south side of your property.
- Prior to construction, a temporary fence will be installed along that boundary that clearly defines the boundary line and contains all construction activity to your property.
- All stairway structure, footings etc. will be placed no less than one foot from the GGNRA boundary that adjoins your property on the south side.
- The design of the additions on your property satisfies the City of Sausalito Community Development department regarding avoidance of any potential impact on slope stability.
- After construction, you will install a continuous, permanent fence along the GGNRA boundary that clearly identifies the boundary line between your property and NPS land. You will maintain that fence as a permanent boundary marker.
- You will have any existing construction on your property that is found to extend onto GGNRA property removed, as well as any construction debris or yard waste that was previously deposited on the GGNRA land adjoining your property. We would further

RECEIVED

MAR 14 2003

CITY OF SAUSALITO
COMMUNITY DEVELOPMENT



ask that no additional materials of any kind be deposited on GCNRA property in the future.

We appreciate your consideration of the need to clearly identify the NPS boundary and keep all construction activities on your property while accomplishing the improvements to your home. If you have any questions about the conditions detailed above, please contact Shirwin Smith at (415) 561-4947.

Sincerely,

Mai-Liis Bartling
Mai-Liis Bartling
Acting Superintendent

cc: Steve Euffenbarger, Building Official, Community Development Department, City of Sausalito

SB
5/10



United States Department of the Interior

NATIONAL PARK SERVICE
Golden Gate National Recreation Area
Fort Mason, San Francisco, California 94123

IN REPLY REFER TO:

D18 (GOGA-BMD)

November 20, 2007

Sierra Russell, Associate Planner
City of Sausalito Community Development Department
420 Litho Street
Sausalito, CA. 94965

Re: Variance 2 Alexander Avenue, Sausalito

Dear Ms. Russell:

The National Park Service (NPS) is writing to update the City of Sausalito (City) regarding the proposed modification to the variance adopted by the City Planning Commission in Resolution 2003-51 dated November 5, 2003 (Variance Modification). On October 25, 2007, NPS met with Dr. Edward Fotsch, the property owner at 2 Alexander Avenue (Owner), his contractor, surveyor, and City staff to review the as-built site conditions for conformance with the NPS letter dated March 11, 2003 that conditionally accepted the Variance (NPS Conditions Letter), and the NPS letter dated October 10, 2007 regarding the proposed Variance Modification. NPS inspected and verified that the new stairway and garage remodel project (Project) no longer encroaches onto NPS property, but there remain outstanding correction items as follows:

- (a) NPS verified the deconstruction of the Owner's planter along the stairwell that was encroaching on NPS property, however debris from the planter is still in-situ and must be removed (see Image #1 attached);
- (b) NPS verified the removal of Project construction debris and temporary stairs encroaching on NPS property, however NPS approved erosion control measures must be installed on soils disturbed by the construction;
- (c) NPS confirmed an encroaching Owner installed deer fence on NPS property that must be removed (see Image #2 attached);
- (d) NPS verified the presence of an Owner installed plastic drain pipe encroaching on NPS property that must be removed and relocated onto Owner's property (see Image #3 attached); and
- (e) NPS verified that the Owner has not installed the continuous permanent fence or equivalent ground level boundary marker along the surveyed boundary with the GGNRA, and that Owner has existing stairs along the south east side of his property encroaching that must be reconfigured or removed off NPS property (see Image #4 attached).

SB
41

NPS acknowledges and commends Dr. Fotsch's efforts to meet with NPS to bring the Project into conformance with the NPS Conditions Letter, and to remove the outstanding correction items. NPS understands that Project construction is on hold pending the Variance Modification. Consequently, NPS accepts the City's approval of the 2 Alexander Variance and Design Review Modification application conditioned upon satisfaction of the following conditions prior to final Project approval:

- (a) Owner shall remove planter debris and fill;
- (b) Owner shall remove the deer fence indicated in Image #2 encroaching on NPS property;
- (c) Owner shall install NPS approved erosion control measures on NPS property disturbed by the construction and fence removal;
- (d) Owner shall remove and relocate the plastic drain pipe indicated in Image #3 that is encroaching on NPS property;
- (e) Owner shall reconfigure the lower stairs indicated in Image #4 to remove the encroachment from NPS property;

(f) Owner shall install a NPS approved permanent fence on the surveyed boundary with the GGNRA from the end of the new stairs to the re-vegetated area, with an equivalent surveyed ground level boundary marker to be installed within the re-vegetated area.

NPS commends the City Planning Commission and City staff for your patience and consideration in this matter. If you have any questions regarding this communication, please contact me at (415) 561-4971.

Respectfully,

Signed PB 11-20-07

Paul Batlan
Realty Specialist

SB
42

RESOLUTION NO. 2007- 04

**RESOLUTION OF THE SAUSALITO PLANNING COMMISSION
DENYING THE VARIANCE MODIFICATION TO ALLOW AN ADDITIONAL ONE (1)
FOOT PROJECTION INTO THE SIDE-YARD SETBACK AND APPROVING THE
DESIGN REVIEW MODIFICATIONS FOR ADDITIONAL BULK AND MASS OF THE
GARAGE AND AN ADDITIONAL BATHROOM (APPLICATION NO. VAM/DRM 07-002)
FOR THE PROPERTY LOCATED AT 2 ALEXANDER AVENUE (APN 065-303-05 & 20)**

WHEREAS, an application has been filed pursuant to Municipal Code Title 10 (Zoning) by Don Olsen and Associates on behalf of Ed Fotsch, property owner, requesting Planning Commission approval of Variance and Design Review modifications to previously approved Variance and Design Review Permit No. VA/DR 03-26, approved by Resolution 2003-51, and Design Review Modification No. DRM 06-070, approved by Resolution 2007-08 and City Council Resolution No. 4907, to allow an additional one (1) foot projection of the exterior stairway into the side-yard setback, modifications for additional bulk and mass of the garage, and for an additional bathroom in the under floor area; and

WHEREAS, the Planning Commission has conducted duly noticed public meetings on October 10, 2007, November 28, 2007, and January 9, 2008, in the manner prescribed by local ordinance, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the 2 Alexander Avenue plan set date-stamped received September 17, 2007; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the October 10, 2007, November 28, 2007, and January 9, 2008 staff reports and related attachments for the proposed project; and

WHEREAS, the Planning Commission has received and considered oral and written testimony on the subject application and obtained evidence from site visits; and

WHEREAS, the Planning Commission has determined that the required Variance findings cannot be made for the additional one foot (1') projection into the side yard setback of the exterior stairway, as the deviation from the approved Variance permit No. VA/DR 03-26 is necessitated by self-created hardships and will grant special privilege inconsistent with the limitations on other properties classified in the same zoning district; and

WHEREAS, the Planning Commission finds that, as conditioned herein, the required Design Review findings for the modifications to Design Review Permits No. VA/DR 03-26 and DRM 07-060 can be made to allow the additional bulk and mass of the garage and an additional bathroom in the under floor area; and

WHEREAS, the Planning Commission finds that, as conditioned herein, the Design Review Permit modifications for additional bulk and mass of the garage and an additional bathroom comply with the requirements of the Zoning Code and General Plan, as outlined in the

staff report; and

WHEREAS, the Planning Commission finds that the Design Review modifications for additional bulk and mass of the garage and an additional bathroom are categorically exempt from the requirements of CEQA pursuant to Section 15301 (e) in that the project involves remodeling that does not increase the floor area by more than 50% of the existing or 2,500 square feet whichever is less; and

WHEREAS, the Planning Commission finds that the findings for the project at 2 Alexander Avenue and listed in Resolution No. 2003-51 and Resolution 2007-08 are valid and the conditions of approval for said resolutions shall remain in full force and effect.

WHEREAS, the determination of the Planning Commission does not alter the findings or conditions of approval listed in City Council Resolution No. 4907, which shall remain in full force and effect; and

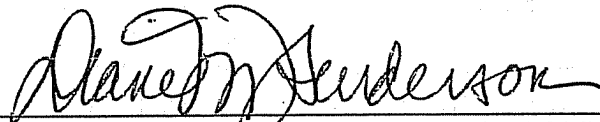
WHEREAS, based on public comment reporting landslide concerns, the Planning Commission recommends to the City Council that Condition 12 of Resolution No. 4907 be revised to require compliance prior to issuance of a Building Permit, rather than final project approval.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Variance modification for an additional one foot (1') projection into the side yard setback is denied based on the attached Findings (Attachment A).
2. The Design Review Permit modifications for additional bulk and mass of the garage and an additional bathroom are approved for the plans date-stamped received September 17, 2007 (Attachment B) based on the attached Findings (Attachment A) and subject to the attached Conditions of Approval (Attachment C).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 9th day of January, 2008, by the following vote:

AYES:	Commissioner:	Peterson, Kellman, Keller
NOES:	Commissioner:	
ABSENT:	Commissioner:	Bossio
ABSTAIN:	Commissioner:	Bair



SECRETARY TO THE PLANNING COMMISSION

PLANNING COMMISSION HEARING
JANUARY 9, 2007
VAM/DRM 07-002
2 ALEXANDER AVENUE

ATTACHMENT A: FINDINGS

VARIANCE FINDINGS

Pursuant to the Sausalito Municipal Code Section 10.68.050 (Variance Findings), it has been found that the requested Variance modification for an additional one foot (1') side-yard setback **is not** in conformity with the following findings:

- A) There are exceptional or extraordinary circumstances or conditions applying to the property involved or to the intended use of the property, that do not apply generally to other property or uses in the same district.

There are no exceptional circumstances that would not otherwise allow the stairway to be relocated within the approved Variance limitation for a minimum one foot (1') setback. The exterior stairway projecting into the side yard is wide enough to be decreased in width to meet the Variance approved for Application VA/DR 03-26, while still allowing for the minimum Uniform Building Code width. There are also site access alternatives available in the interior of the garage, such as an elevator or interior stairway. Thus, site access and additional off-street parking can still be maintained without requiring the additional one foot (1') side yard projection.

- B) Owing to such exceptional or extraordinary circumstances the literal enforcement of the provisions of the Title would result in practical difficulty or unnecessary hardship.

The enforcement of the provisions of the Title requiring the one foot (1') minimum side yard setback originally approved for Application No. VA/DR 03-26 would not result in an unnecessary hardship. The exterior stairway that projects into the side-yard setback could be brought into conformance with the originally approved Variance for a one foot (1') side yard setback, as it is five feet (5') wide, and would meet the minimum 36" stairway width of the Uniform Building Code if reduced by one foot. Establishing the removal of construction to bring the project into compliance as a hardship would create an undesirable land use precedent that new construction does not need to conform to the approved permits.

- E) The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

Granting a modification to a Variance to allow an additional one foot (1') side-yard setback due to a construction error would establish an undesirable land use precedent for development in residential zones. Development projects requiring discretionary review are required to be compliant with the plans and conditions approved by the Planning Commission, the reviewing authority for such permits. Pursuant to Zoning Ordinance Section 10.50.120, it is the applicant's responsibility to diligently proceed to implement the discretionary permit as approved. Permitting work to be completed otherwise would grant a privilege in allowing work to be constructed that is not in conformance to the approved permits.

DESIGN REVIEW FINDINGS

Pursuant to the Sausalito Municipal Code Section 10.54 (Design Review Procedures), it has been found that the requested Design Review Permit modifications for additional bulk and mass of the garage and an additional bathroom in the under floor area **are approved** based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The design review modifications to Design Review Permits No. VA/DR 03-26 and DRM 06-070 will maintain the project's consistency with General Plan policies. The project will continue to be compatible with the neighborhood and setting.

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) maintaining the prevailing design character of the neighborhood and/or district or b) introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The additional bathroom is located in the interior of the under floor area and will not change the exterior architectural character. The additional bulk and mass of the garage minimally impacts the design of the structure and will maintain the prevailing design character of the neighborhood.

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The additional bulk and mass of the garage does not increase the size of the structure to the extent of being incompatible with the scale of structures and buildings in the surrounding neighborhood. The additional bathroom will have no impacts on the scale of the existing structure.

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The Design Review modification of the enlarged garage does not appear to adversely impact views from the roadway, and appears to constitute a minor deviation from the approved design. Views uphill from the easternmost portion of the property, where downhill properties are located, also do not appear to be adversely affected. As the closest residential structure located downhill is approximately 85' from the garage structure, an additional foot would constitute a minimal change to views uphill.

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The proposed project is not located on a ridgeline, and therefore will not create such impacts.

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

The proposed modifications do not include new landscaping.

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The additional bulk and mass of the garage structure will not affect the light and air for uphill properties due to their location on a hillside well above the site, and do not appear to adversely impact public views along Alexander Avenue. Light and air of downhill properties appear to be minimally affected due to their distance and location downhill.

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The proposed modifications do not include new lighting or mechanical equipment.

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

The modifications slightly alter a garage that is not adjacent to residential properties, and thus do not affect the level of privacy to the site and from adjacent properties. The changes also do not alter the landscaping, fencing, or other window and patio configurations.

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

The proposed modifications do not change the configuration of circulation and parking, and thus do not adversely affect traffic safety and ease of movement.

- K) The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The proposed modifications do not include any tree removal or additional grading other than what has been completed.

- L) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened Review Findings).

The project modifications for additional bulk and mass would amend a previously approved Design Review Permit (VA/DRM 03-26) that was not subject to Heightened Review, and thus are not subject to Heightened Review. The second modification for an additional bathroom does not increase the floor area or site building coverage.

PLANNING COMMISSION HEARING

JANUARY 9, 2007

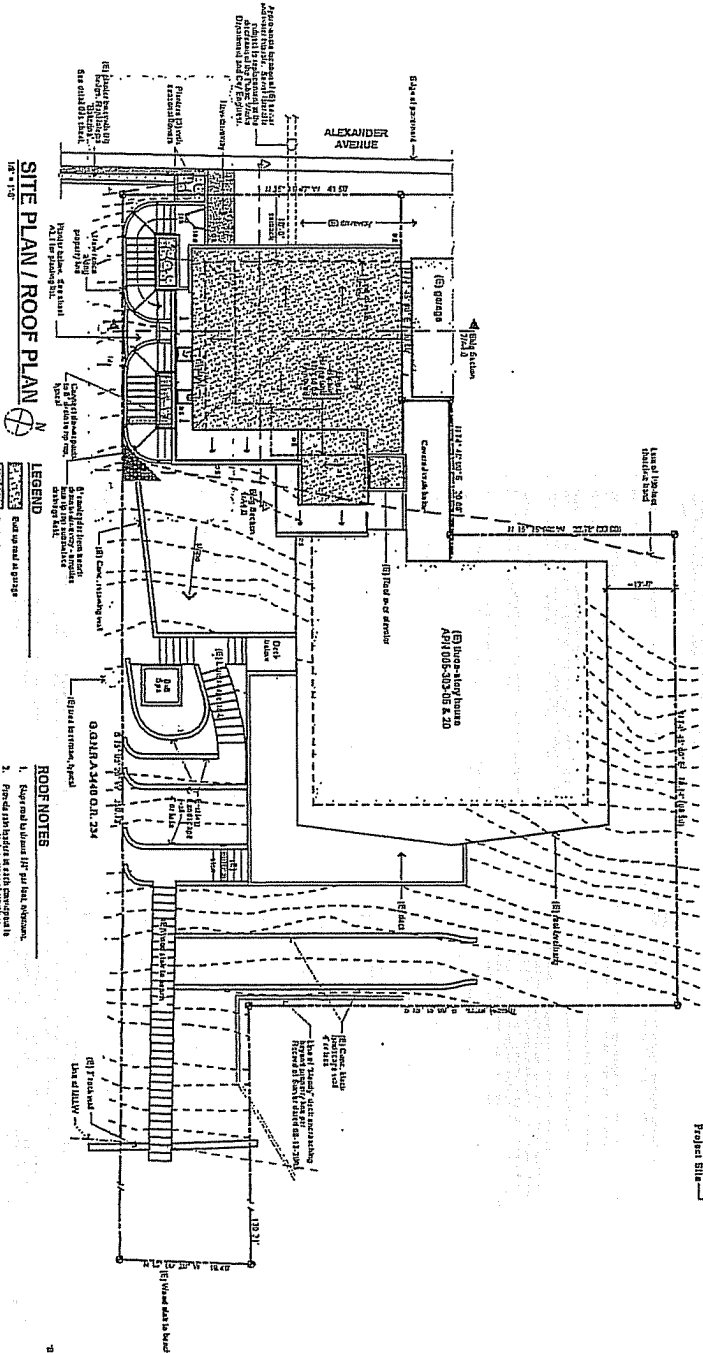
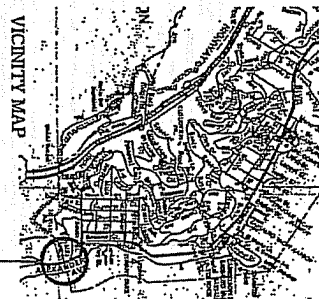
VAM/DRM 07-002

2 ALEXANDER AVENUE

ATTACHMENT B: PLANS AND ELEVATIONS

ea
rv

RECEIVED
 SEP 17 7 007
 CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT



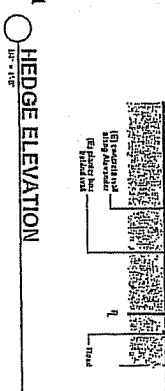
- GRADING NOTES**
1. All grading to project for the project.
 2. Existing existing grades to remain the same.
 3. All grading to be done in accordance with the City of Sausalito's Grading Ordinance.
 4. Erosion control measures to be installed on all exposed slopes.

- BOUNDARY NOTES**
1. Property lines shown are based on the 1995 Assessor's Map.
 2. Property lines shown are based on the 2005 Assessor's Map.

- ROOF NOTES**
1. Roof to be installed in full base condition.
 2. Roof to be installed in full base condition.

ROOF VENTING CALCULATIONS

Roof Area: 10,000 sq ft
 Venting Area: 100 sq ft
 Venting Ratio: 1:100



A1.0
 AUGUST 2007

SHEET INDEX

A1.0	Project, Site, and General Notes
A1.1	Site Plan, Grading, and Erosion Control
A1.2	Foundation and Footing
A1.3	Structural Framing
A1.4	Roofing and Siding
A1.5	Interior Finishes
A1.6	Exterior Finishes
A1.7	MEP (Mechanical, Electrical, Plumbing)
A1.8	Landscaping and Site Work
A1.9	Other

OWNER
 3 Alexander Avenue, Sausalito, CA 94965
 (415) 224-8372

CONSULTANTS
 Project & Architect: Donald Olsen Associates
 101 Franklin Avenue, Sausalito, CA 94965
 (415) 224-8372

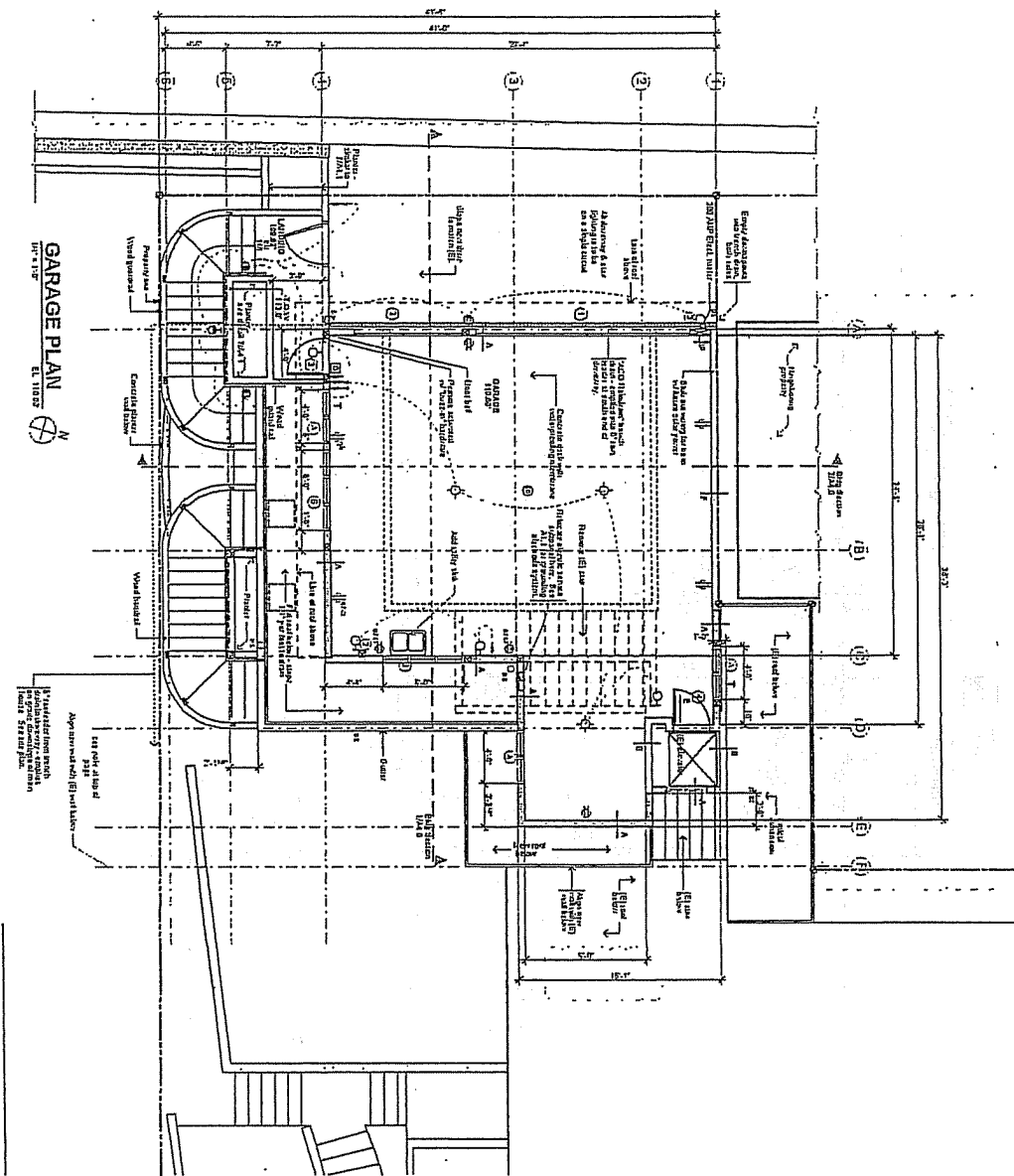
PROJECT INFORMATION
 Project Name: Fotsch Residence Addition
 Project Address: 2 Alexander Avenue, Sausalito, CA 94965
 Project No: A1.0
 Date: August 2007

DONALD OLSEN
 ASSOCIATES ARCHITECTS

58
49

FOTSCH RESIDENCE ADDITION
 2 ALEXANDER AVE
 SAUSALITO, CA 94965

1170 Divisadero, Sausalito, CA 94965 tel 415-224-4297 fax 415-224-4023 email don@donaldolsen.com



DOOR SCHEDULE			COLUMN		
1	350 JUBI END WIND	2" x 4" S&P	1	12" x 12" CONCRETE	CONCRETE
2	350 JUBI END WIND	2" x 4" S&P	2	12" x 12" CONCRETE	CONCRETE
3	350 JUBI END WIND	2" x 4" S&P	3	12" x 12" CONCRETE	CONCRETE
4	350 JUBI END WIND	2" x 4" S&P	4	12" x 12" CONCRETE	CONCRETE
5	350 JUBI END WIND	2" x 4" S&P	5	12" x 12" CONCRETE	CONCRETE
6	350 JUBI END WIND	2" x 4" S&P	6	12" x 12" CONCRETE	CONCRETE
7	350 JUBI END WIND	2" x 4" S&P	7	12" x 12" CONCRETE	CONCRETE

WINDOW SCHEDULE			COLUMN		
1	350 JUBI END WIND	2" x 4" S&P	1	12" x 12" CONCRETE	CONCRETE
2	350 JUBI END WIND	2" x 4" S&P	2	12" x 12" CONCRETE	CONCRETE
3	350 JUBI END WIND	2" x 4" S&P	3	12" x 12" CONCRETE	CONCRETE
4	350 JUBI END WIND	2" x 4" S&P	4	12" x 12" CONCRETE	CONCRETE
5	350 JUBI END WIND	2" x 4" S&P	5	12" x 12" CONCRETE	CONCRETE
6	350 JUBI END WIND	2" x 4" S&P	6	12" x 12" CONCRETE	CONCRETE
7	350 JUBI END WIND	2" x 4" S&P	7	12" x 12" CONCRETE	CONCRETE

NOTES

1. Windows to be installed by subcontractor. Refer to schedule for details.
2. Windows to be installed by subcontractor. Refer to schedule for details.
3. Windows to be installed by subcontractor. Refer to schedule for details.
4. Windows to be installed by subcontractor. Refer to schedule for details.
5. Windows to be installed by subcontractor. Refer to schedule for details.
6. Windows to be installed by subcontractor. Refer to schedule for details.
7. Windows to be installed by subcontractor. Refer to schedule for details.

FLOOR PLAN LEGEND

 Existing wall
 Window
 Door
 Wall
 6" x 8" x 16" concrete column
 Wall pier
 Wall pier

- FLOOR PLAN NOTES**
1. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 2. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 3. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 4. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 5. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 6. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 7. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 8. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 9. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.
 10. Provide 1-1/2" x 4" x 8" x 16" concrete columns at each end of the garage and at the center of the garage.

A2.0

June 21, 2007

DATE: 11.11.2007
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number] of [Total]
 SCALE: [Scale]

FOTSCH RESIDENCE ADDITION

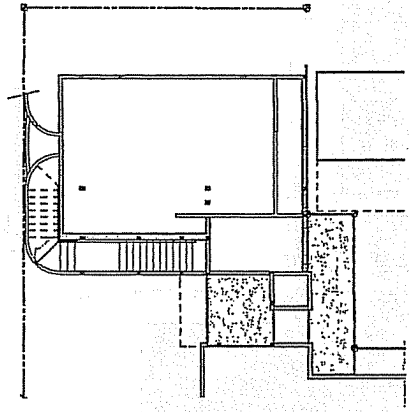
2 ALEXANDER AVE
SAUSALITO, CA 94965

DONALD OLSEN

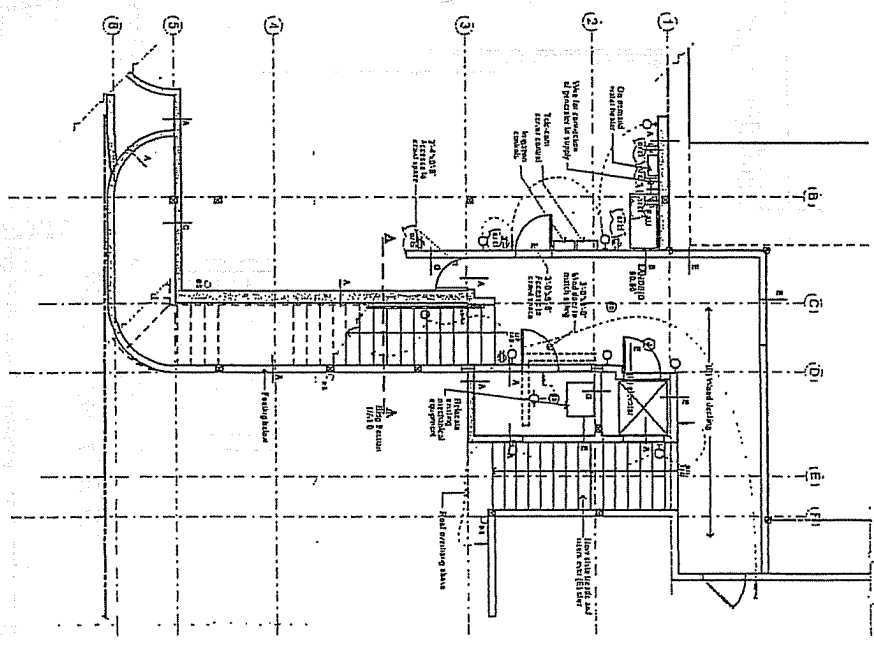
ASSOCIATES ARCHITECTS

256 BAKER ST., SUITE 200, Sausalito, CA 94965 TEL: 415.223.4337 FAX: 415.223.4338 WWW: www.donsarchitects.com

5B
51



MIDDLE LANDING AREA
 1/8" = 1'-0"
 TOTAL ROOMS FROM MIDDLE 3 x 4 x 4



LOWER LANDING PLAN
 1/8" = 1'-0"
 N

A2.1
 June 23, 2007

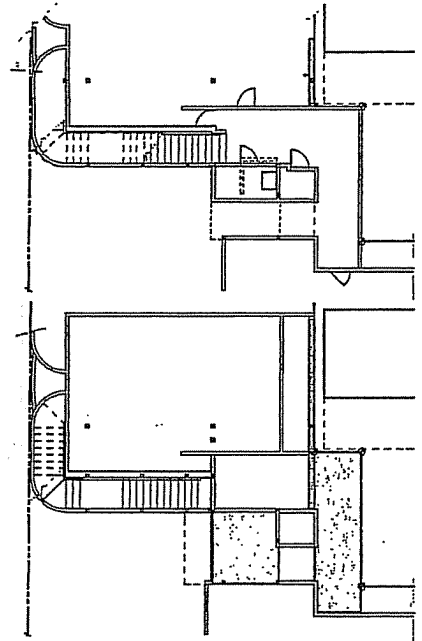
PROJECT:	FOTSCH RESIDENCE ADDITION
DATE:	JUNE 23, 2007
BY:	DAVID L. OLSEN
CHECKED BY:	DAVID L. OLSEN
SCALE:	AS SHOWN

FOTSCH RESIDENCE ADDITION
 2 ALEXANDER AVE
 SAUSALITO, CA 94965

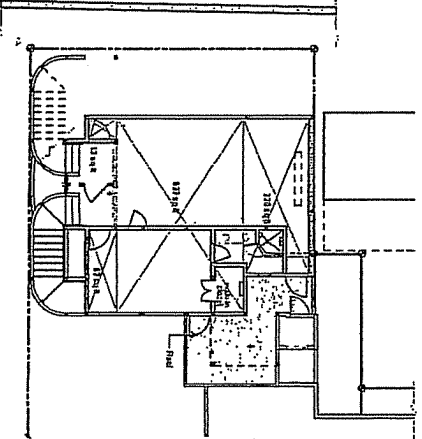
D O N A L D O L S E N
 ASSOCIATES ARCHITECTS

225 Bayview, Sausalito, CA 94965 tel 415.333.4707 fax 415.333.4800 www.dlo.com

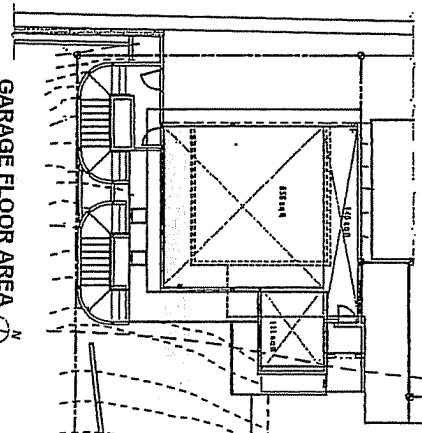
58
 53



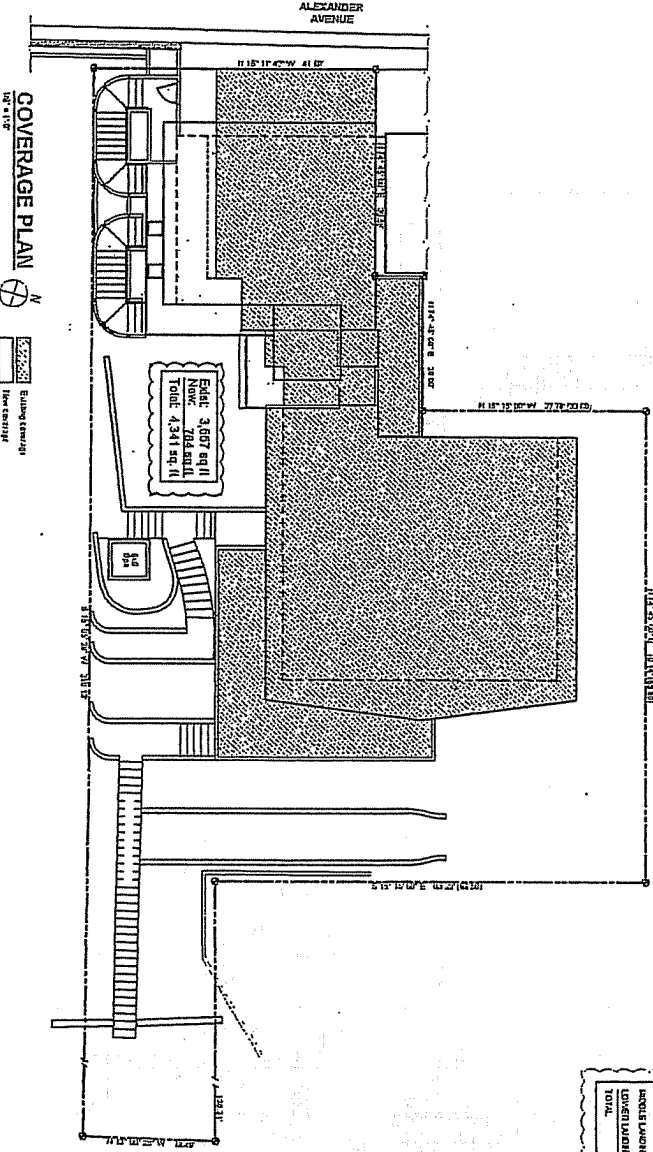
LOWER LANDING AREA
TOTAL LOWER FLOOR AREA: [Symbol]
1/8" = 1'-0"



MIDDLE LANDING AREA
TOTAL MIDDLE FLOOR AREA: [Symbol]
1/8" = 1'-0"



UPPER LANDING AREA
TOTAL UPPER FLOOR AREA: [Symbol]
1/8" = 1'-0"



COVERAGE PLAN
1/8" = 1'-0"

Building Geometry
TWO-STORY
TWO-UNIT

Grade: 3,607 sq ft
Floor: 794 sq ft
Total: 4,341 sq ft

REGULATORY INFORMATION
GRADE: 3,607 sq ft
FLOOR: 794 sq ft
TOTAL: 4,341 sq ft

GARAGE FLOOR AREA
TOTAL GARAGE AREA: [Symbol]
1/8" = 1'-0"

A2.2
June 16, 2016

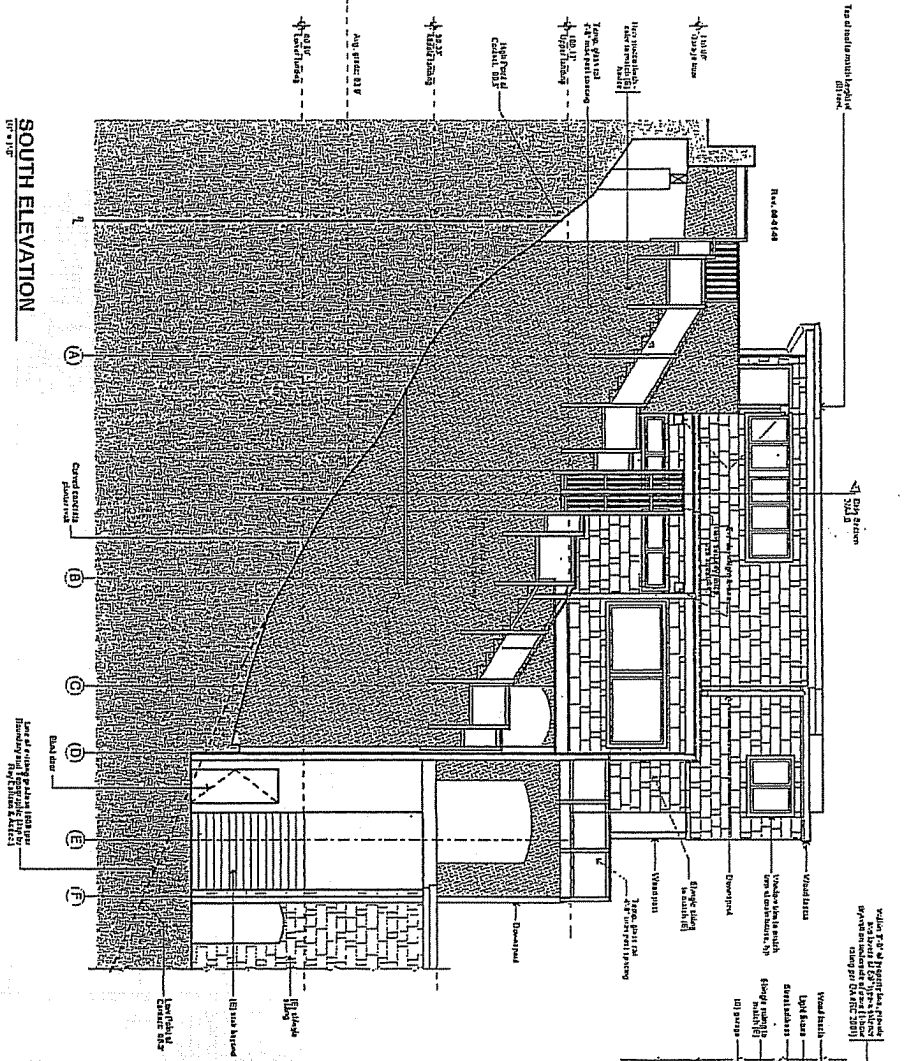
REVISIONS
DATE
BY
DESCRIPTION

FOTSCH RESIDENCE ADDITION
2 ALEXANDER AVE
SAUSALITO, CA 94965

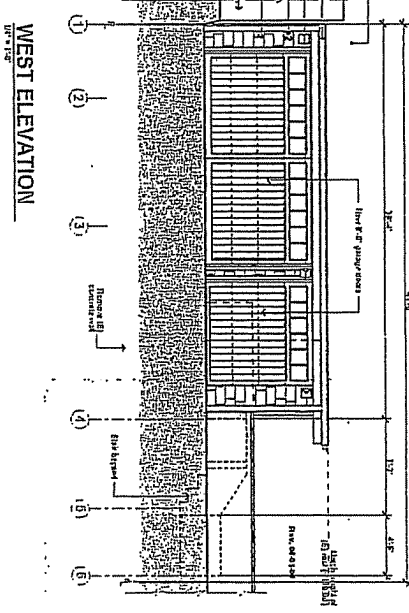
████████████████████
DONALD OLSEN
ASSOCIATES ARCHITECTS

385 Broadway, Sausalito, CA 94965 tel: 415.773.4217 fax: 415.773.4595 email: do@donaldolsen.com

58
57



SOUTH ELEVATION
1/16" = 1'-0"



WEST ELEVATION
1/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

Finish	Notes
1. Brick	Historical brick and color of existing brickwork at main entrance. Match color of brickwork on existing brickwork. Use brick in same pattern as existing brickwork.
2. Stucco	Historical stucco finish. Match color and texture of existing stucco finish. Use same mix as existing stucco finish.
3. Paint	Historical paint finish. Match color and texture of existing paint finish. Use same color and texture as existing paint finish.
4. Stone	Historical stone finish. Match color and texture of existing stone finish. Use same stone as existing stone finish.
5. Slate	Historical slate finish. Match color and texture of existing slate finish. Use same slate as existing slate finish.
6. Tile	Historical tile finish. Match color and texture of existing tile finish. Use same tile as existing tile finish.
7. Concrete	Historical concrete finish. Match color and texture of existing concrete finish. Use same concrete as existing concrete finish.
8. Metal	Historical metal finish. Match color and texture of existing metal finish. Use same metal as existing metal finish.
9. Glass	Historical glass finish. Match color and texture of existing glass finish. Use same glass as existing glass finish.
10. Wood	Historical wood finish. Match color and texture of existing wood finish. Use same wood as existing wood finish.

NOTES:
1. Historical finishes shall be maintained and repaired as necessary.
2. All finishes shall be applied in accordance with the manufacturer's instructions.
3. All finishes shall be applied in a uniform and consistent manner.
4. All finishes shall be applied in a timely manner.

A3.0
June 11, 2007

DATE & VERSION/REVISION
DATE OF THIS PLAN

DATE & VERSION/REVISION
July 15, 2007
August 11, 2007

DATE & VERSION/REVISION
June 11, 2007

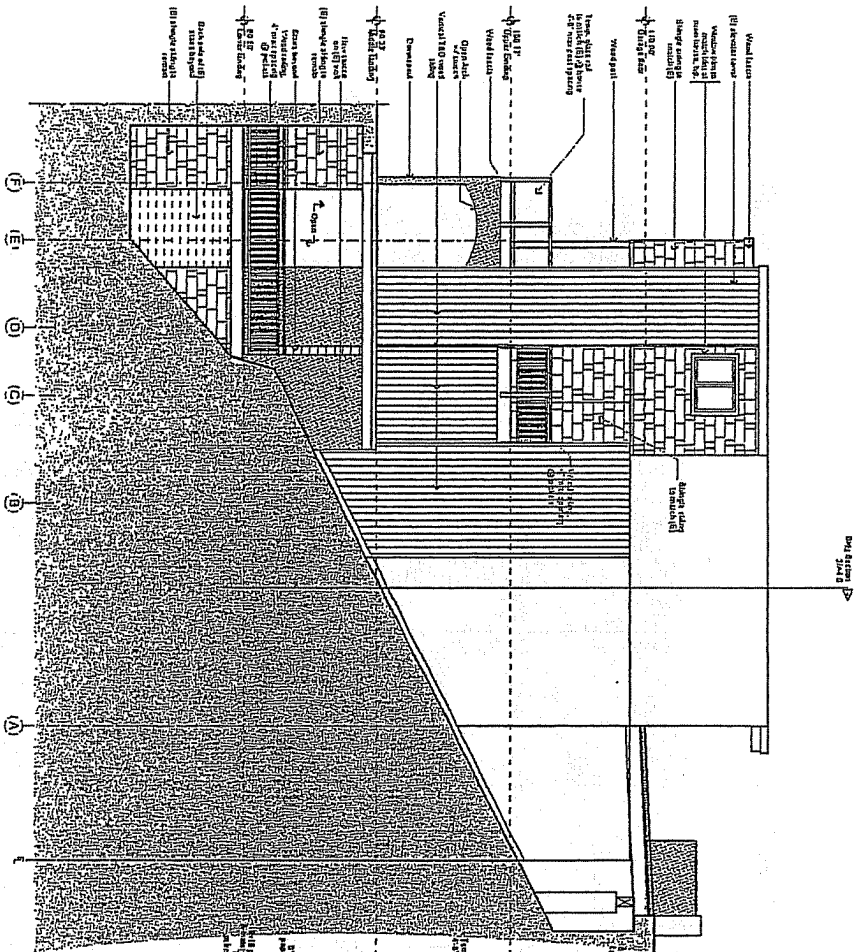
FOTSCH RESIDENCE ADDITION
2 ALEXANDER AVE
SAUSALITO, CA 94965

DONALD OLSEN
ASSOCIATES ARCHITECTS

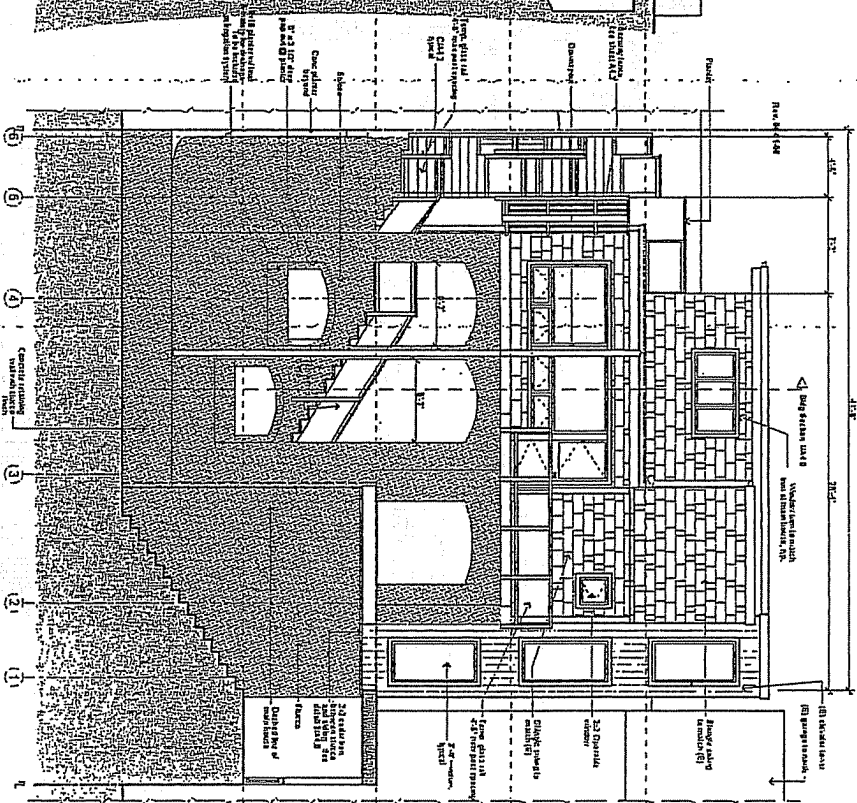
629 Broadway, Suite 200, Sausalito, CA 94965 tel: 415.223.4797 fax: 415.223.4858 email: don@donaldolsen.com

5B
55

NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



A3.1
JUNE 11, 2007

DATE: 02.15.08
 DESIGNER: JDS
 DATE: 07.16.2007
 ARCHITECT: JDS
 DATE: 08.11.2007

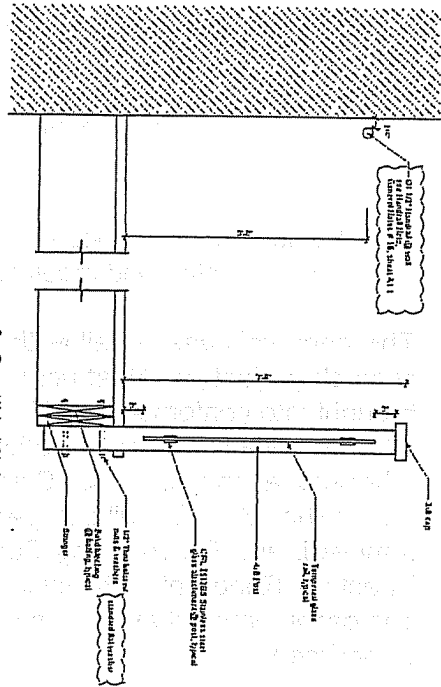
DATE: 02.15.08
 DESIGNER: JDS
 DATE: 07.16.2007
 ARCHITECT: JDS
 DATE: 08.11.2007

FOTSCH RESIDENCE ADDITION
 2 ALEXANDER AVE
 SAUSALITO, CA 94965

D O N A L D O L S E N
 ASSOCIATES ARCHITECTS

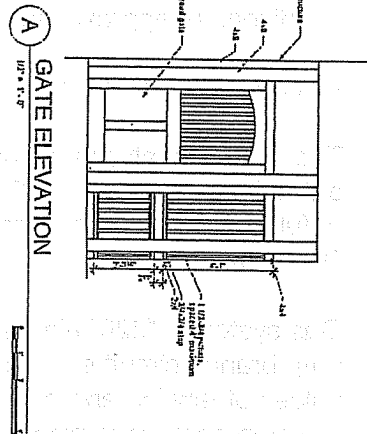
618 Bridgeway, Sausalito, CA 94965 tel 415222-4297 fax 415222-2288 email dor@donaldolsen.com

5B
56

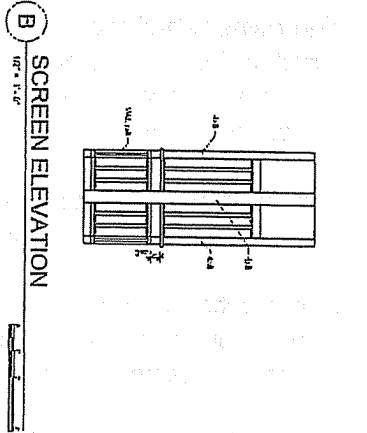


C STAIR RAIL SECTION TYPICAL
1/2" = 1'-0"

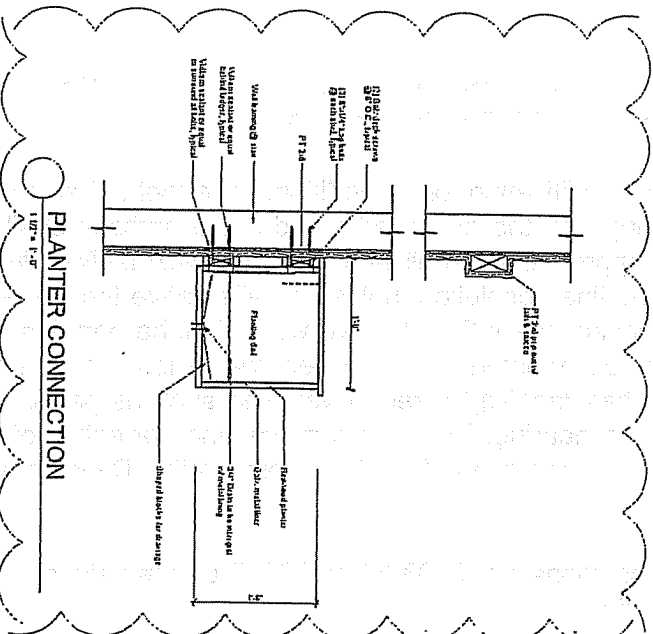
See General Notes # 22, sheet A1.1



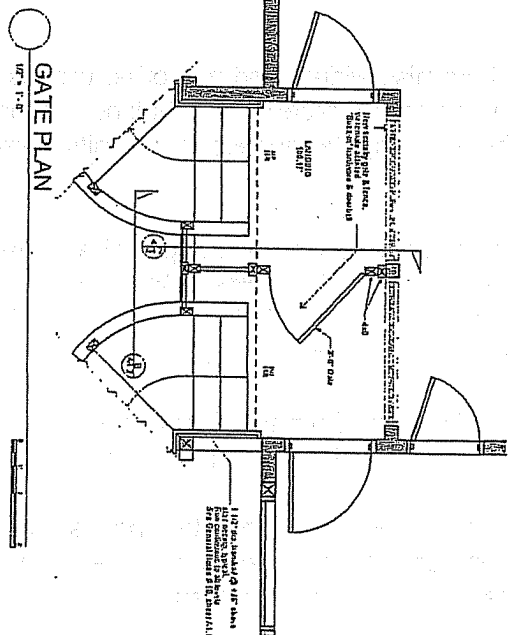
A GATE ELEVATION
1/2" = 1'-0"



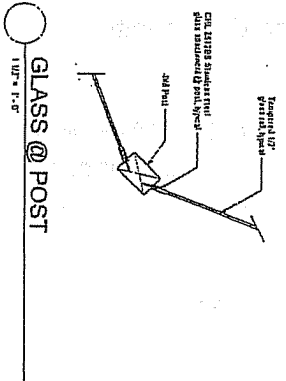
B SCREEN ELEVATION
1/2" = 1'-0"



PLANTER CONNECTION
1/2" = 1'-0"



GATE PLAN
1/2" = 1'-0"



GLASS @ POST
1/2" = 1'-0"

A4.2
DATE: 2011
REVISIONS:
NO.
DATE
BY
REASON

FOTSCH RESIDENCE ADDITION
2 ALEXANDER AVE
SAUSALITO, CA 94965

DONALD OLSEN
ASSOCIATES ARCHITECTS

201 Broadway, Sausalito, CA 94965 Tel: 415.255.0707 Fax: 415.255.0708 Email: don@doarch.com

5B
57

**PLANNING COMMISSION HEARING
JANUARY 9, 2007
VAM/DRM 07-002
2 ALEXANDER AVENUE**

ATTACHMENT C: CONDITIONS OF APPROVAL

1. The Design Review modifications are approved for the plans titled "Fotsch Residence Addition", date stamped received September 17, 2007 (Attachment A).
2. This approval does not allow the Variance modification for an additional one foot (1') side yard setback projection. All structures projecting into the approved 1' side-yard setback shall be brought into conformance with the plans approved for Application VA/DR 03-26 by Resolution 2003-51 within 180 days of adoption of the final resolution, unless an alternative timeframe is otherwise approved by the Community Development Director. No work shall be permitted on the project and no building permits shall be reinstated until the encroachments have been removed, and the Planning Commission has received a report verifying such as part of the Director's Report at a Planning Commission hearing. Plans for removal and correction of the encroachments shall be submitted and approved by the Community Development Department.
3. The findings of Planning Commission Resolutions No. 2003-51 and 2007-08 are valid and the conditions of approval shall remain in full affect.
4. All conditions imposed by City Council Resolution No. 4907 shall remain in full effect.
5. The project shall comply with all National Park Service conditions requested in the NPS letter dated November 20, 2007. Prior to final project approval, the applicant shall submit evidence of full compliance with National Park Service conditions to the Community Development Department.
6. Gas systems, "220" electrical premise wiring, and any other premise wiring, except one (1) 20 amp branch circuit serving the bathroom receptacle, shall not be installed in the under floor unless otherwise approved by obtaining the necessary permits from the Community Development Department.
7. The owner shall repair the Alexander Avenue viaduct guardrail adjacent to the driveway as stipulated by the repair plan approved by the Golden Gate Bridge Highway and Transportation District and incorporated in the November 28, 2007 staff report within ninety (90) days of issuance of a Building Permit for completion of the project.
8. This approval will expire in five (5) years from the date of adoption of this resolution if the property owner has not exercised the entitlements hereby granted.
9. Construction materials, equipment, vehicles, and debris boxes shall be placed to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood.
10. Pursuant to Ordinance 1143, the operation of construction, demolition, excavation, alteration,

or repair devices within all residential areas or within a 500 foot radius of residential zones shall be limited to the following hours:

- a. Weekdays – Between 8 a.m. and 7 p.m.
- b. Saturdays – Between 9 a.m. and 5 p.m.
- c. Holidays – Between 9 a.m. and 7 p.m.

Such operation is prohibited on Sundays except by a homeowner residing on the property. Such work shall be limited to 9 a.m. to 7 p.m.

11. Dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited pursuant to Sausalito Municipal Code (SMC) Chapter 11.17. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with SMC Section 11.17.060.B.
12. As a condition of this approval, no alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Department as a modification to this approval.
13. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
14. In accordance with Ordinance No. 1160, the applicant shall pay any and all City costs arising out of or concerning the proposed project, including without limitation, permit fees, attorneys' fees, engineering fees, license fees and taxes, whether incurred prior to or subsequent to the date of this approval. Applicant acknowledges and agrees that City's costs shall be reimbursed prior to this approval becoming valid.
15. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.
16. An approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the Building Division must be obtained prior to constructing, enlarging, moving, converting, or demolishing any building or structure within the City.
17. The Community Development Department is authorized to administratively approve minor modifications to the approved plans. Major design modifications to the approved project will require further review and approval by the Planning Commission.

STAFF REPORT

SAUSALITO PLANNING COMMISSION

Agenda Item Number 4

PROJECT: 2 Alexander Avenue
Variance and Design Review Modification Application No.
VAM/DRM 07-002
APN 065-303-05 & 065-303-20

MEETING DATE: January 9, 2008

STAFF: Sierra Russell, Associate Planner

APPLICANT: Don Olsen and Associates

PROPERTY OWNER: Ed Fotsch

SUMMARY

This application was considered by the Planning Commission on the November 28, 2007, at which time the Commission directed staff to return with a resolution of denial of the Variance modification to allow an additional one (1) foot projection into the side yard setback and approval of Design Review Modifications for the additional bulk and mass of the garage and an additional bathroom in the under floor area. Based on the Commission's direction and discussion, staff has prepared the attached draft resolution denying the Variance modification and approving the Design Review modifications for the application. A copy of the November 28, 2007 staff report is also being forwarded to the Planning Commission.

In order to bring the project into compliance with the Variance for a one (1) foot side yard setback, as approved by Resolution No. 2003-51, Staff has included a condition of approval requiring removal of the encroachments into the permitted side-yard setback within 180 days of adoption of the resolution of denial. The purpose of the time frame is to allow adequate time to complete such work, while still ensuring the project is brought into compliance with the originally approved plans. As stated in the attached resolution (Condition 2), no project work shall be permitted and no building permits shall be reinstated until the encroachments have been removed.

EXHIBITS

1. Draft resolution
2. November 28, 2007 Planning Commission staff report (*forwarded to Planning Commission and available upon request with the Community Development Department*)

RESOLUTION NO. 2007- XX

**RESOLUTION OF THE SAUSALITO PLANNING COMMISSION
DENYING THE VARIANCE MODIFICATION TO ALLOW AN ADDITIONAL ONE (1)
FOOT PROJECTION INTO THE SIDE-YARD SETBACK AND APPROVING THE
DESIGN REVIEW MODIFICATIONS FOR ADDITIONAL BULK AND MASS OF THE
GARAGE AND AN ADDITIONAL BATHROOM (APPLICATION NO. VAM/DRM 07-002)
FOR THE PROPERTY LOCATED AT 2 ALEXANDER AVENUE (APN 065-303-05 & 20)**

WHEREAS, an application has been filed pursuant to Municipal Code Title 10 (Zoning) by Don Olsen and Associates on behalf of Ed Fotsch, property owner, requesting Planning Commission approval of Variance and Design Review modifications to previously approved Variance and Design Review Permit No. VA/DR 03-26, approved by Resolution 2003-51, and Design Review Modification No. DRM 06-070, approved by Resolution 2007-08 and City Council Resolution No. 4907, to allow an additional one (1) foot projection of the exterior stairway into the side-yard setback, modifications for additional bulk and mass of the garage, and for an additional bathroom in the under floor area; and

WHEREAS, the Planning Commission has conducted duly noticed public meetings on October 10, 2007, November 28, 2007, and January 9, 2008, in the manner prescribed by local ordinance, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the 2 Alexander Avenue plan set date-stamped received September 17, 2007; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the October 10, 2007, November 28, 2007, and January 9, 2008 staff reports and related attachments for the proposed project; and

WHEREAS, the Planning Commission has received and considered oral and written testimony on the subject application and obtained evidence from site visits; and

WHEREAS, the Planning Commission has determined that the required Variance findings cannot be made for the additional one foot (1') projection into the side yard setback of the exterior stairway, as the deviation from the approved Variance permit No. VA/DR 03-26 is necessitated by self-created hardships and will grant special privilege inconsistent with the limitations on other properties classified in the same zoning district; and

WHEREAS, the Planning Commission finds that, as conditioned herein, the required Design Review findings for the modifications to Design Review Permits No. VA/DR 03-26 and DRM 07-060 can be made to allow the additional bulk and mass of the garage and an additional bathroom in the under floor area; and

WHEREAS, the Planning Commission finds that, as conditioned herein, the Design Review Permit modifications for additional bulk and mass of the garage and an additional bathroom comply with the requirements of the Zoning Code and General Plan, as outlined in the

staff report; and

WHEREAS, the Planning Commission finds that the Design Review modifications for additional bulk and mass of the garage and an additional bathroom are categorically exempt from the requirements of CEQA pursuant to Section 15301 (e) in that the project involves remodeling that does not increase the floor area by more than 50% of the existing or 2,500 square feet whichever is less; and

WHEREAS, the Planning Commission finds that the findings for the project at 2 Alexander Avenue and listed in Resolution No. 2003-51 and Resolution 2007-08 are valid and the conditions of approval for said resolutions shall remain in full force and effect.

WHEREAS, the determination of the Planning Commission does not alter the findings or conditions of approval listed in City Council Resolution No. 4907, which shall remain in full force and effect; and

WHEREAS, based on public comment reporting landslide concerns, the Planning Commission recommends to the City Council that Condition 12 of Resolution No. 4907 be revised to require compliance prior to issuance of a Building Permit, rather than final project approval.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Variance modification for an additional one foot (1') projection into the side yard setback is denied based on the attached Findings (Attachment A).
2. The Design Review Permit modifications for additional bulk and mass of the garage and an additional bathroom are approved for the plans date-stamped received September 17, 2007 (Attachment B) based on the attached Findings (Attachment A) and subject to the attached Conditions of Approval (Attachment C).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 9th day of January, 2008, by the following vote:

AYES: Commissioner:
NOES: Commissioner:
ABSENT: Commissioner:

SECRETARY TO THE PLANNING COMMISSION

PLANNING COMMISSION HEARING
JANUARY 9, 2007
VAM/DRM 07-002
2 ALEXANDER AVENUE

ATTACHMENT A: FINDINGS

VARIANCE FINDINGS

Pursuant to the Sausalito Municipal Code Section 10.68.050 (Variance Findings), it has been found that the requested Variance modification for an additional one foot (1') side-yard setback is not in conformity with the following findings:

- A) There are exceptional or extraordinary circumstances or conditions applying to the property involved or to the intended use of the property, that do not apply generally to other property or uses in the same district.

There are no exceptional circumstances that would not otherwise allow the stairway to be relocated within the approved Variance limitation for a minimum one foot (1') setback. The exterior stairway projecting into the side yard is wide enough to be decreased in width to meet the Variance approved for Application VA/DR 03-26, while still allowing for the minimum Uniform Building Code width. There are also site access alternatives available in the interior of the garage, such as an elevator or interior stairway. Thus, site access and additional off-street parking can still be maintained without requiring the additional one foot (1') side yard projection.

- B) Owing to such exceptional or extraordinary circumstances the literal enforcement of the provisions of the Title would result in practical difficulty or unnecessary hardship.

The enforcement of the provisions of the Title requiring the one foot (1') minimum side yard setback originally approved for Application No. VA/DR 03-26 would not result in an unnecessary hardship. The exterior stairway that projects into the side-yard setback could be brought into conformance with the originally approved Variance for a one foot (1') side yard setback, as it is five feet (5') wide, and would meet the minimum 36" stairway width of the Uniform Building Code if reduced by one foot. Establishing the removal of construction to bring the project into compliance as a hardship would create an undesirable land use precedent that new construction does not need to conform to the approved permits.

- E) The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

Granting a modification to a Variance to allow an additional one foot (1') side-yard setback due to a construction error would establish an undesirable land use precedent for development in residential zones. Development projects requiring discretionary review are required to be compliant with the plans and conditions approved by the Planning Commission, the reviewing authority for such permits. Pursuant to Zoning Ordinance Section 10.50.120, it is the applicant's responsibility to diligently proceed to implement the discretionary permit as approved. Permitting work to be completed otherwise would grant a privilege in allowing work to be constructed that is not in conformance to the approved permits.

DESIGN REVIEW FINDINGS

Pursuant to the Sausalito Municipal Code Section 10.54 (Design Review Procedures), it has been found that the requested Design Review Permit modifications for additional bulk and mass of the garage and an additional bathroom in the under floor area **are approved** based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The design review modifications to Design Review Permits No. VA/DR 03-26 and DRM 06-070 will maintain the project's consistency with General Plan policies. The project will continue to be compatible with the neighborhood and setting.

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) maintaining the prevailing design character of the neighborhood and/or district or b) introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The additional bathroom is located in the interior of the under floor area and will not change the exterior architectural character. The additional bulk and mass of the garage minimally impacts the design of the structure and will maintain the prevailing design character of the neighborhood.

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The additional bulk and mass of the garage does not increase the size of the structure to the extent of being incompatible with the scale of structures and buildings in the surrounding neighborhood. The additional bathroom will have no impacts on the scale of the existing structure.

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The Design Review modification of the enlarged garage does not appear to adversely impact views from the roadway, and appears to constitute a minor deviation from the approved design. Views uphill from the easternmost portion of the property, where downhill properties are located, also do not appear to be adversely affected. As the closest residential structure located downhill is approximately 85' from the garage structure, an additional foot would constitute a minimal change to views uphill.

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The proposed project is not located on a ridgeline, and therefore will not create such impacts.

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

The proposed modifications do not include new landscaping.

5B
65

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The additional bulk and mass of the garage structure will not affect the light and air for uphill properties due to their location on a hillside well above the site, and do not appear to adversely impact public views along Alexander Avenue. Light and air of downhill properties appear to be minimally affected due to their distance and location downhill.

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The proposed modifications do not include new lighting or mechanical equipment.

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

The modifications slightly alter a garage that is not adjacent to residential properties, and thus do not affect the level of privacy to the site and from adjacent properties. The changes also do not alter the landscaping, fencing, or other window and patio configurations.

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

The proposed modifications do not change the configuration of circulation and parking, and thus do not adversely affect traffic safety and ease of movement.

- K) The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The proposed modifications do not include any tree removal or additional grading other than what has been completed.

- L) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened Review Findings).

The project modifications for additional bulk and mass would amend a previously approved Design Review Permit (VA/DRM 03-26) that was not subject to Heightened Review, and thus are not subject to Heightened Review. The second modification for an additional bathroom does not increase the floor area or site building coverage.

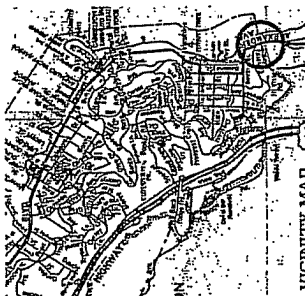
5B
66

PLANNING COMMISSION HEARING
JANUARY 9, 2007
VAM/DRM 07-002
2 ALEXANDER AVENUE

ATTACHMENT B: PLANS AND ELEVATIONS

5B
67

RECEIVED
SEP 17 2007
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT



OWNER
B.F. Fotsch
2 Alexander Avenue, Sausalito, CA 94965
(415) 338-1823

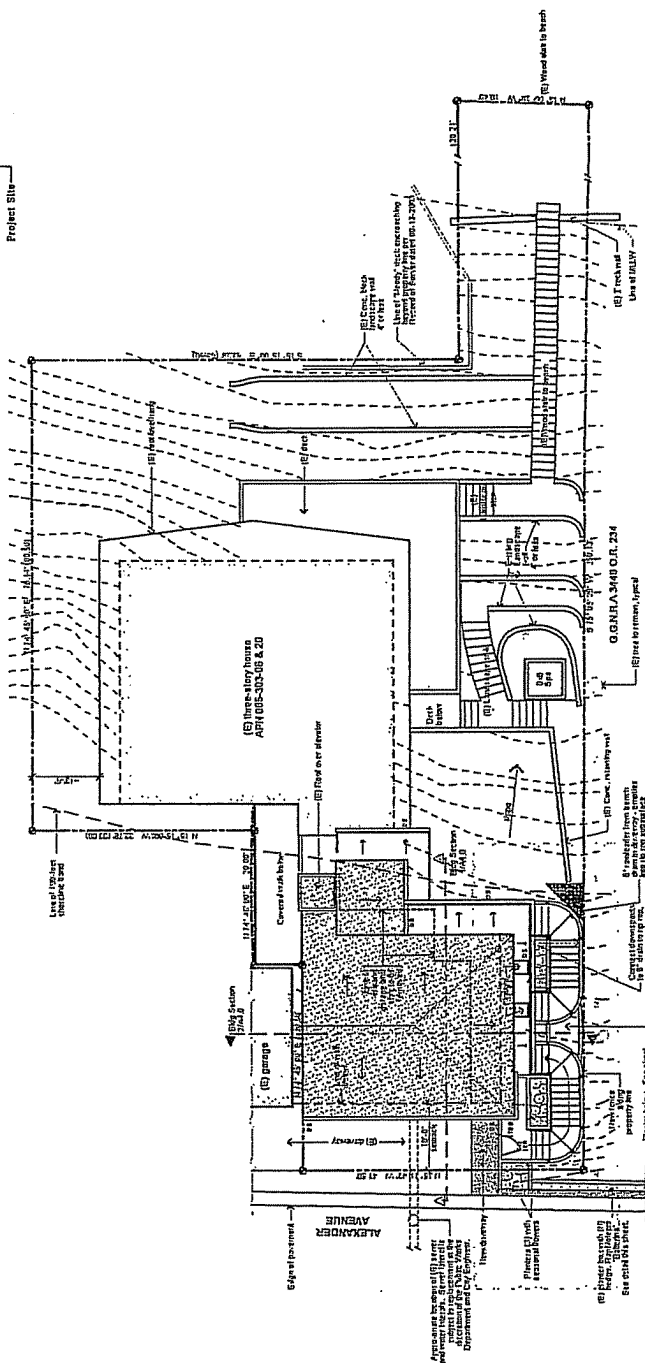
CONSULTANTS
SURVEYOR
Roy Carlson & Associates, Inc., Lead Surveyors
877 Hilborn Avenue, Sausalito, CA 94965
(415) 338-1823

SOILS ENGINEER
Robert Robert et al. Consultants, Inc.
181 Park Drive, Suite 102, San Rafael, CA 94901
(415) 452-3170

GEOTECHNICAL ENGINEER
SANDRUS CONSULTING, INC.
1748 El Camino Real, Suite 202
Sausalito, CA 94965
(415) 338-2818

PROJECT INFORMATION
PROJECT: 2 ALEXANDER AVENUE, SAUSALITO, CA 94965
The drawings, specifications, notes and every other component of this submission were previously reviewed, approved and sealed. The current scope of work includes the revision of the grading plan, the addition of the east block at the front of the property and the addition of the east block at the rear of the property. The drawings and specifications are to be used for the construction of the project. The drawings and specifications are to be used for the construction of the project. The drawings and specifications are to be used for the construction of the project. The drawings and specifications are to be used for the construction of the project.

ARCHITECT
FOTSCH RESIDENCE ADDITION
2 ALEXANDER AVE
SAUSALITO, CA 94965



GRADING NOTES

- The grading is prepared for this project.
- Existing drainage patterns to remain for a new.
- Show grade, never lower than the building's foundation.
- Grading shall be in accordance with the City of Sausalito's Ordinance 2007-01. The City Engineer shall review and approve the grading plan. The City Engineer shall review and approve the grading plan. The City Engineer shall review and approve the grading plan.

BOUNDARY NOTES

- Top and bottom boundaries shall be shown by Roy Carlson & Associates, Inc. (RC&A).
- Property lines shall be shown by a survey conducted by means of a licensed professional.

LEGEND

Existing roof
New roof
Roof below
Roof above
Roof below
Roof above
Roof below
Roof above

ROOF NOTES

- See plan for areas to be removed.
- Roof shall be as shown on each drawing to be removed as part of the project.

ROOF VENTING CALCULATIONS

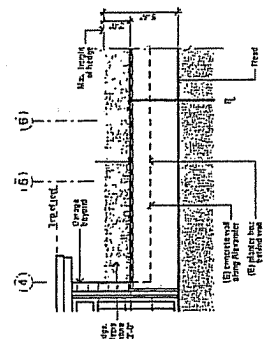
Vent Area	40 sq. ft.	0.281 sq. ft.
Roof Area	141 sq. ft.	0.281 sq. ft.
Roof Slope	12:12	0.281 sq. ft.

NOTE: Top of vertical vent is 2' below eave level in project construction.

SHEET INDEX

Project: 2 ALEXANDER AVE, Sausalito, CA 94965

Sheet No.	Description
A1.0	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.1	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.2	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.3	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.4	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.5	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.6	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.7	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.8	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.9	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan
A1.10	Site Plan, Grading, Utility Plan, Site Plan/Pool Plan



1. HEDGE ELEVATION
1" = 16"

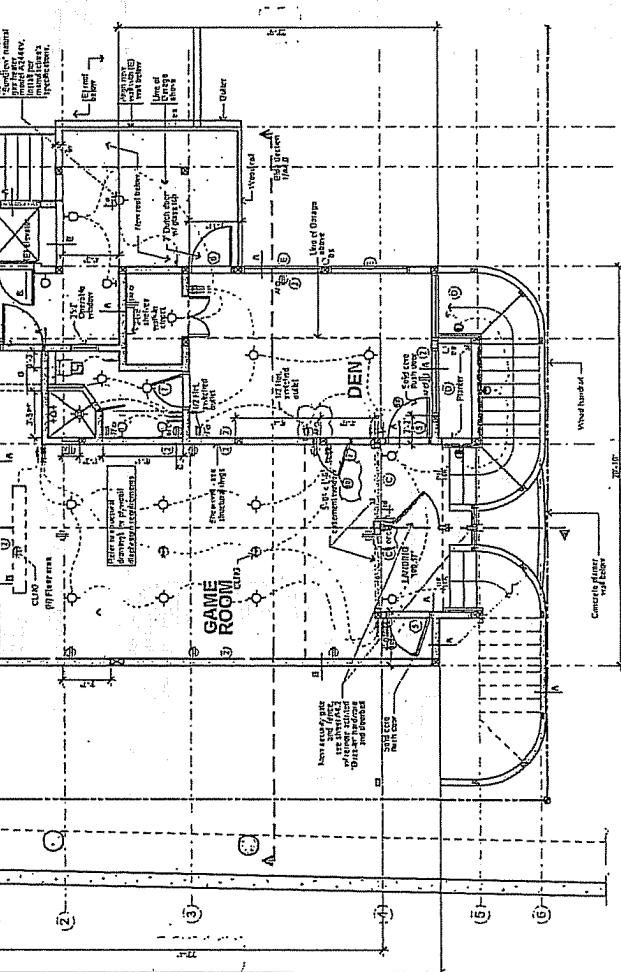
A1.0
June 22, 2007

5B
68

ELECTRICAL LEGEND	
Switch	① 1500W Fm
2-way switch	②
Surface mounted fluorescent ceiling fixture	③
Wood-mounted recessed ceiling fixture	④
Spot fluorescent recessed ceiling fixture	⑤
Spot fluorescent recessed ceiling fixture	⑥
Spot fluorescent recessed ceiling fixture	⑦
Spot fluorescent recessed ceiling fixture	⑧
Spot fluorescent recessed ceiling fixture	⑨
Spot fluorescent recessed ceiling fixture	⑩
Spot fluorescent recessed ceiling fixture	⑪
Spot fluorescent recessed ceiling fixture	⑫
Spot fluorescent recessed ceiling fixture	⑬
Spot fluorescent recessed ceiling fixture	⑭
Spot fluorescent recessed ceiling fixture	⑮
Spot fluorescent recessed ceiling fixture	⑯
Spot fluorescent recessed ceiling fixture	⑰
Spot fluorescent recessed ceiling fixture	⑱
Spot fluorescent recessed ceiling fixture	⑲
Spot fluorescent recessed ceiling fixture	⑳
Spot fluorescent recessed ceiling fixture	㉑
Spot fluorescent recessed ceiling fixture	㉒
Spot fluorescent recessed ceiling fixture	㉓
Spot fluorescent recessed ceiling fixture	㉔
Spot fluorescent recessed ceiling fixture	㉕
Spot fluorescent recessed ceiling fixture	㉖
Spot fluorescent recessed ceiling fixture	㉗
Spot fluorescent recessed ceiling fixture	㉘
Spot fluorescent recessed ceiling fixture	㉙
Spot fluorescent recessed ceiling fixture	㉚
Spot fluorescent recessed ceiling fixture	㉛
Spot fluorescent recessed ceiling fixture	㉜
Spot fluorescent recessed ceiling fixture	㉝
Spot fluorescent recessed ceiling fixture	㉞
Spot fluorescent recessed ceiling fixture	㉟
Spot fluorescent recessed ceiling fixture	㊱
Spot fluorescent recessed ceiling fixture	㊲
Spot fluorescent recessed ceiling fixture	㊳
Spot fluorescent recessed ceiling fixture	㊴
Spot fluorescent recessed ceiling fixture	㊵
Spot fluorescent recessed ceiling fixture	㊶
Spot fluorescent recessed ceiling fixture	㊷
Spot fluorescent recessed ceiling fixture	㊸
Spot fluorescent recessed ceiling fixture	㊹
Spot fluorescent recessed ceiling fixture	㊺
Spot fluorescent recessed ceiling fixture	㊻
Spot fluorescent recessed ceiling fixture	㊼
Spot fluorescent recessed ceiling fixture	㊽
Spot fluorescent recessed ceiling fixture	㊾
Spot fluorescent recessed ceiling fixture	㊿

- ELECTRICAL NOTES**
1. Complete set of electrical drawings and schedule to be submitted for review.
 2. Provide complete schedule of electrical equipment.
 3. Provide complete schedule of electrical equipment.
 4. Provide complete schedule of electrical equipment.
 5. Provide complete schedule of electrical equipment.
 6. Provide complete schedule of electrical equipment.
 7. Provide complete schedule of electrical equipment.
 8. Provide complete schedule of electrical equipment.
 9. Provide complete schedule of electrical equipment.
 10. Provide complete schedule of electrical equipment.
 11. Provide complete schedule of electrical equipment.
 12. Provide complete schedule of electrical equipment.
 13. Provide complete schedule of electrical equipment.
 14. Provide complete schedule of electrical equipment.
 15. Provide complete schedule of electrical equipment.
 16. Provide complete schedule of electrical equipment.
 17. Provide complete schedule of electrical equipment.
 18. Provide complete schedule of electrical equipment.
 19. Provide complete schedule of electrical equipment.
 20. Provide complete schedule of electrical equipment.

- WALL TYPES**
1. Drywall, 1/2" thick, gypsum, exterior sheath, vapor barrier, (UL 263)
 2. Drywall, 1/2" thick, gypsum, exterior sheath, vapor barrier, (UL 263)
 3. Drywall, 1/2" thick, gypsum, exterior sheath, vapor barrier, (UL 263)
 4. Drywall, 1/2" thick, gypsum, exterior sheath, vapor barrier, (UL 263)
 5. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 6. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 7. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 8. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 9. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 10. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 11. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 12. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 13. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 14. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 15. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 16. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 17. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 18. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 19. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)
 20. Same as wall type 4, but with exterior sheath, vapor barrier, and exterior finish, (UL 263)



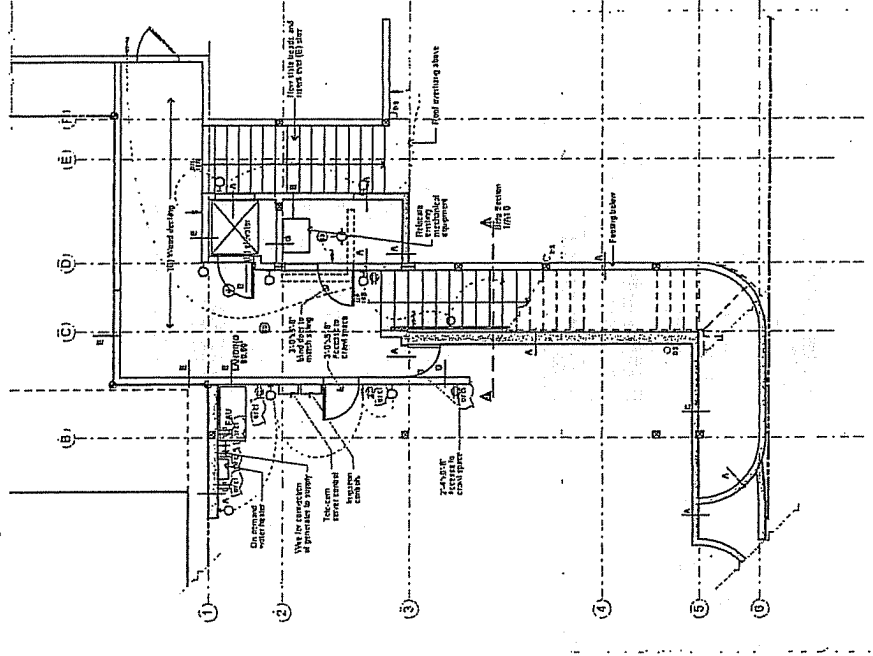
FLOOR PLAN LEGEND
 EL. 108.11'
 UP + 1.5'

Legend items:
 Entryway
 Bathroom
 Bedroom
 Window

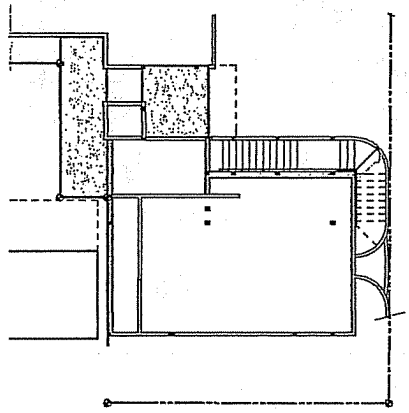
5B
 71

PROJECT NO.	1001
DATE	08/11/07
REVISIONS	
NO.	
DATE	
BY	
APPROVED BY	

A2.1
 June 21, 2007

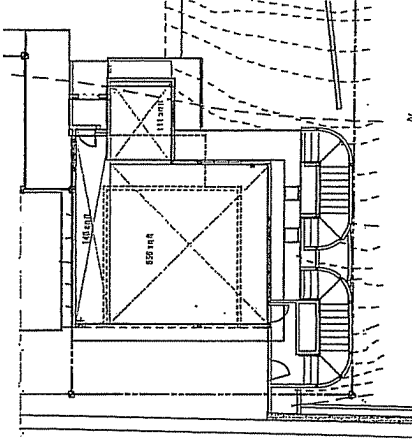


LOWER LANDING PLAN
 10' x 10' 1/2"



MIDDLE LANDING AREA
 10' x 10' 1/2"
 TOTAL MIDDLE FLOOR AREA: 6 x 6 x 6

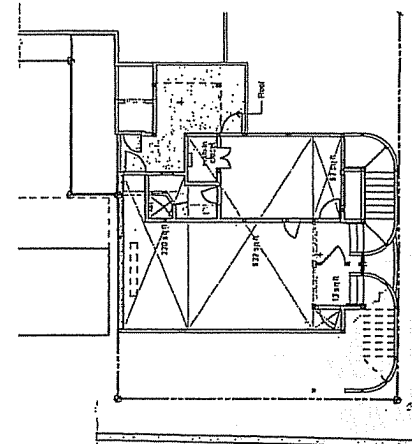
SB
72



GARAGE FLOOR AREA
 1/8" = 1'-0"
 EL. 110.00'

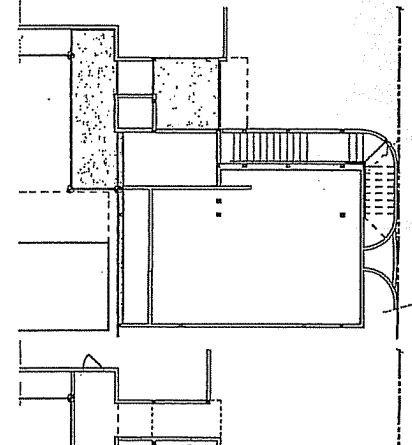
TOTAL GARAGE AREA: 315 sq. ft.

CALCULATED FLOOR AREA	
CARPORT	315 sq. ft.
UPPER LANDING	818 sq. ft.
MIDDLE LANDING	874 sq. ft.
LOWER LANDING	874 sq. ft.
TOTAL	1881 sq. ft.



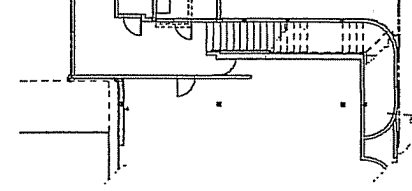
UPPER LANDING AREA
 1/8" = 1'-0"
 EL. 111.00'

TOTAL UPPER LANDING AREA: 818 sq. ft.



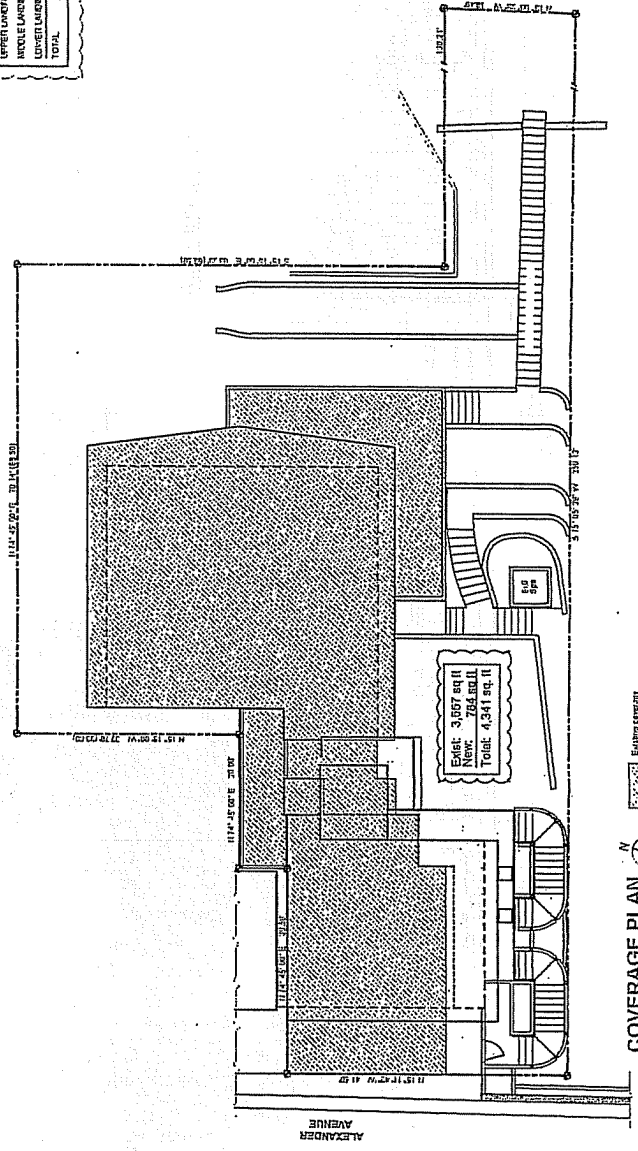
MIDDLE LANDING AREA
 1/8" = 1'-0"
 EL. 112.00'

TOTAL MIDDLE LANDING AREA: 874 sq. ft.



LOWER LANDING AREA
 1/8" = 1'-0"
 EL. 113.00'

TOTAL LOWER LANDING AREA: 874 sq. ft.

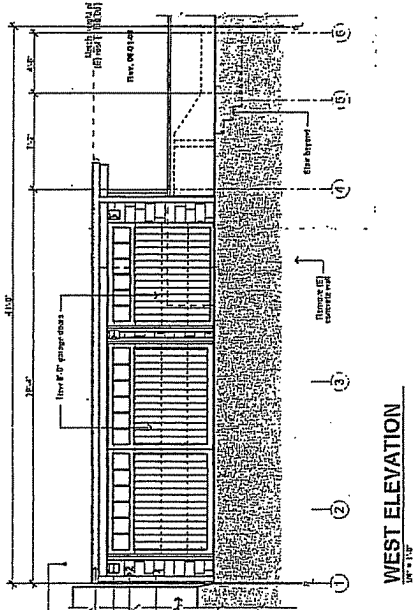


EXISTING COVERAGE: 3,987 sq. ft.
 NEW COVERAGE: 784 sq. ft.
 TOTAL COVERAGE: 4,771 sq. ft.

COVERAGE PLAN
 1/8" = 1'-0"
 EL. 110.00'

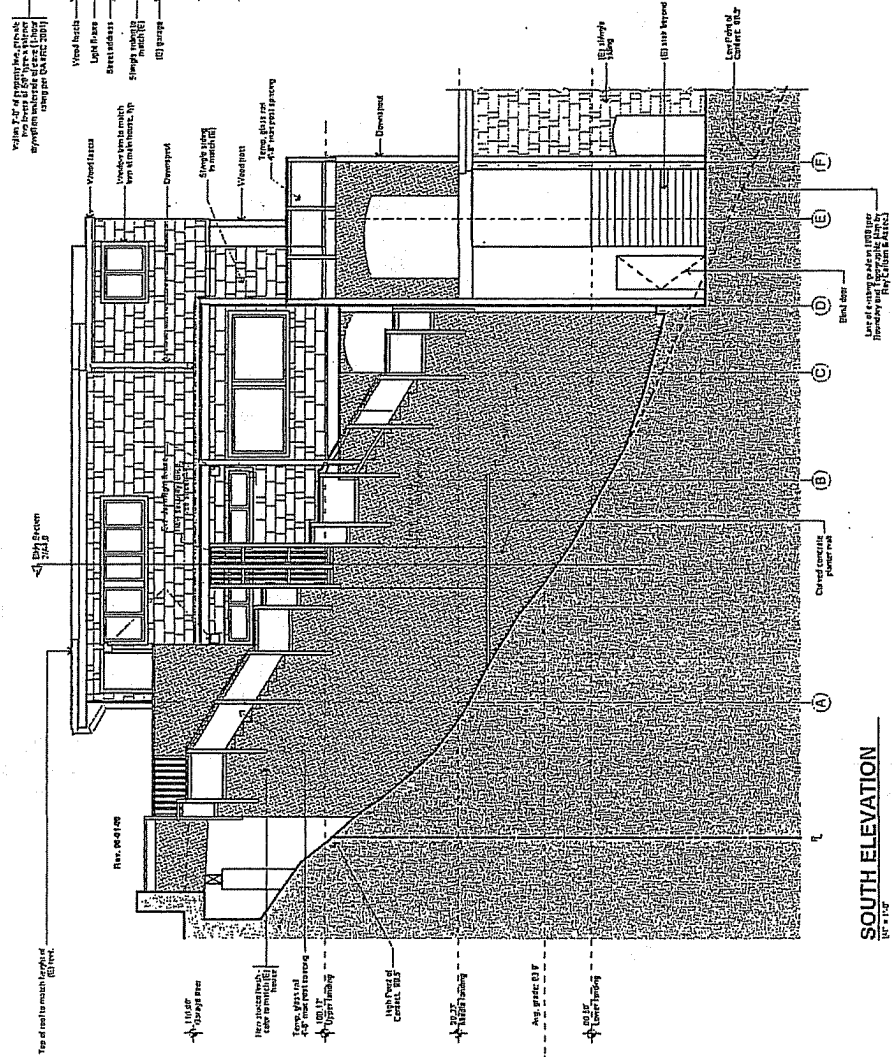
Existing coverage: 3,987 sq. ft.
 New coverage: 784 sq. ft.

58
73



WEST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
Finish:	1. 18" x 18" concrete chimney
Notes:	1. Prior to start of exterior painting, concrete shall be wet and cured to prevent cracking.
Finish:	2. 18" x 18" concrete chimney
Notes:	1. Prior to start of exterior painting, concrete shall be wet and cured to prevent cracking.
Finish:	3. 18" x 18" concrete chimney
Notes:	1. Prior to start of exterior painting, concrete shall be wet and cured to prevent cracking.
Finish:	4. 18" x 18" concrete chimney
Notes:	1. Prior to start of exterior painting, concrete shall be wet and cured to prevent cracking.
Finish:	5. 18" x 18" concrete chimney
Notes:	1. Prior to start of exterior painting, concrete shall be wet and cured to prevent cracking.
Finish:	6. 18" x 18" concrete chimney
Notes:	1. Prior to start of exterior painting, concrete shall be wet and cured to prevent cracking.

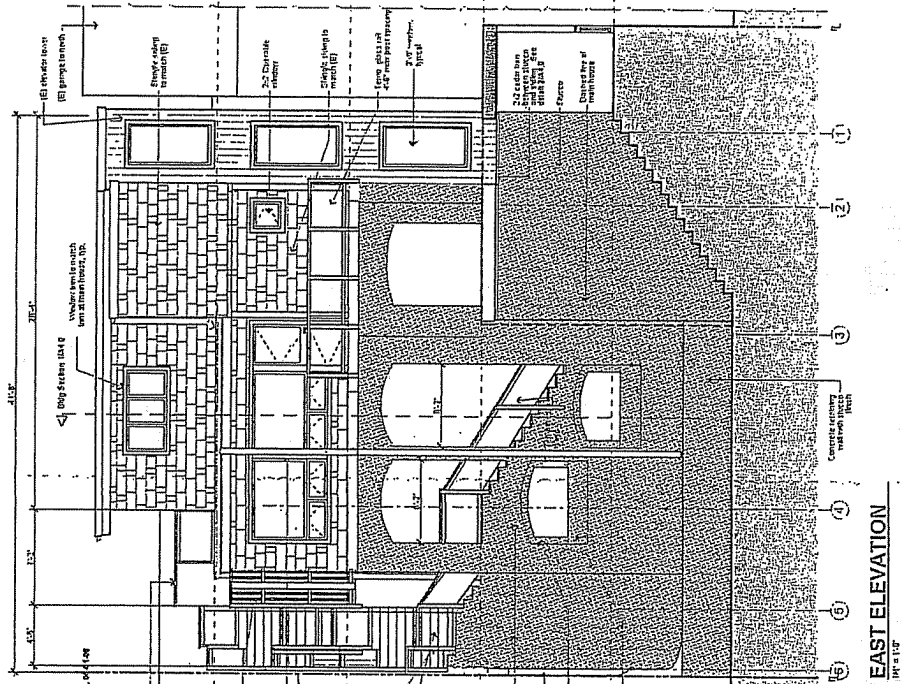


SOUTH ELEVATION
1/8" = 1'-0"

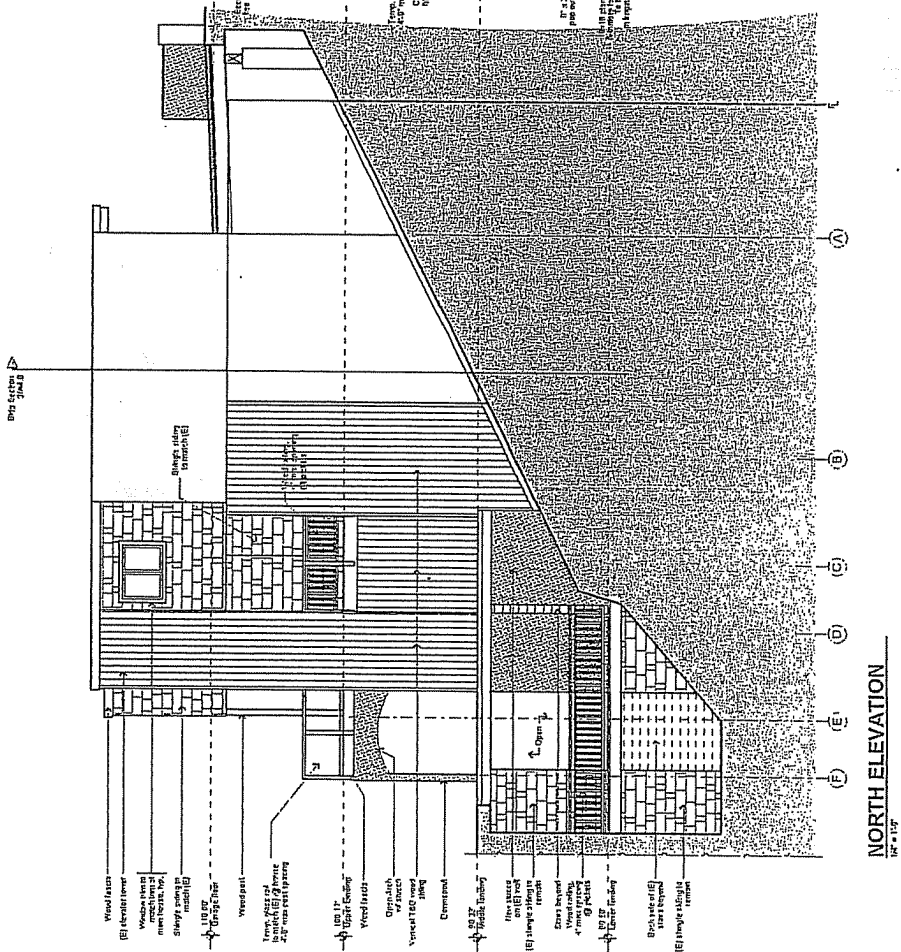
58
74

DATE	DESCRIPTION
10/11/07	REVISED
08/21/07	REVISED
07/13/07	REVISED
06/21/07	REVISED

A3.1
 June 12, 2007

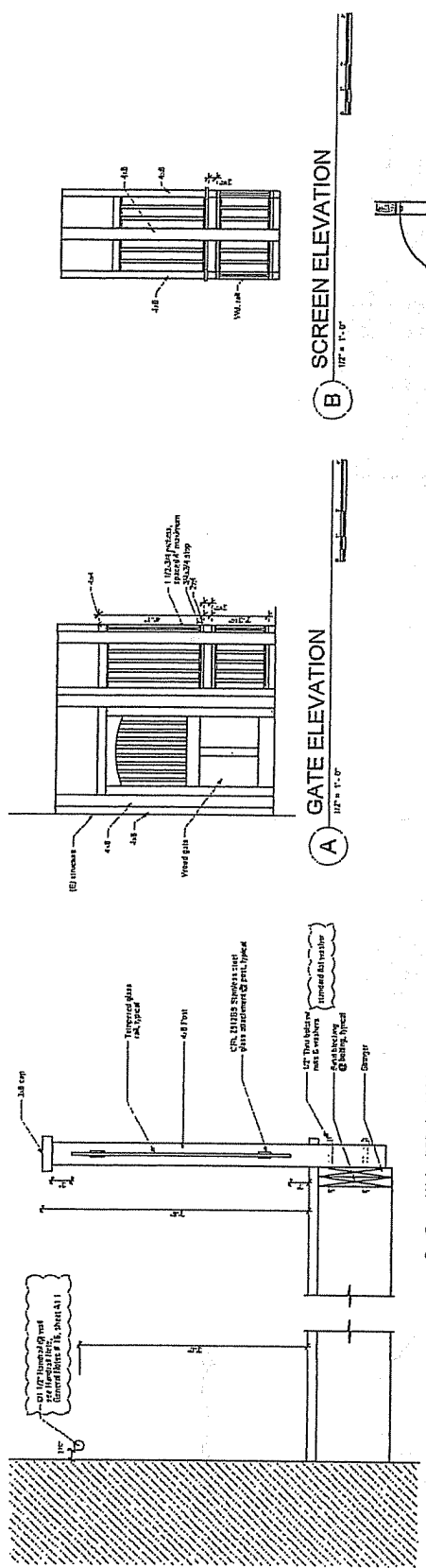


EAST ELEVATION
1/4\"/>

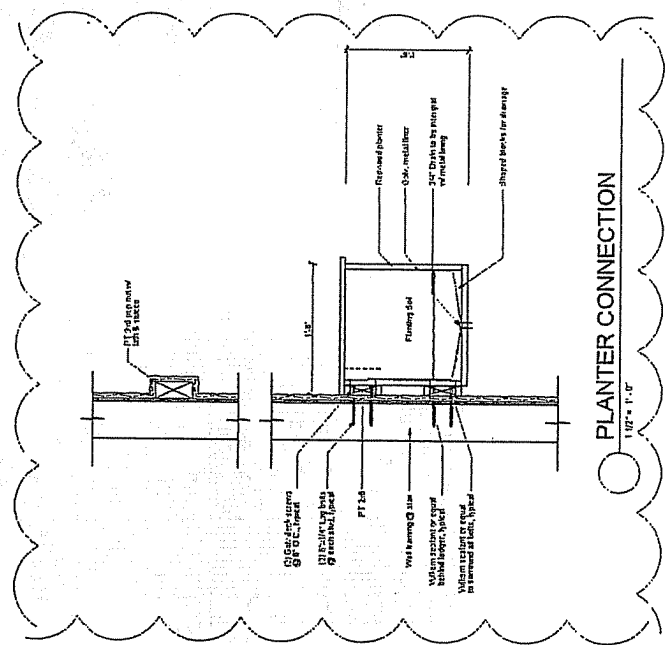
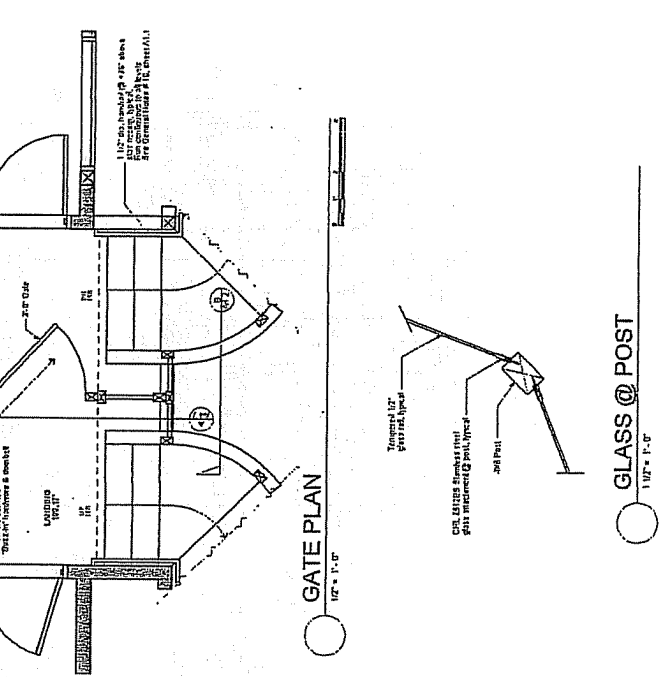


NORTH ELEVATION
1/4\"/>

5B
75



See General Notes # 22, sheet A1.1



58
76

**PLANNING COMMISSION HEARING
JANUARY 9, 2007
VAM/DRM 07-002
2 ALEXANDER AVENUE**

ATTACHMENT C: CONDITIONS OF APPROVAL

1. The Design Review modifications are approved for the plans titled "Fotsch Residence Addition", date stamped received September 17, 2007 (Attachment A).
2. This approval does not allow the Variance modification for an additional one foot (1') side yard setback projection. All structures projecting into the approved 1' side-yard setback shall be brought into conformance with the plans approved for Application VA/DR 03-26 by Resolution 2003-51 within 180 days of adoption of this resolution, unless otherwise approved by the Community Development Director. No work shall be permitted on the project and no building permits shall be reinstated until the encroachments have been removed. Plans for removal and correction of the encroachments shall be submitted and approved by the Community Development Department.
3. The findings of Planning Commission Resolutions No. 2003-51 and 2007-08 are valid and the conditions of approval shall remain in full affect.
4. All conditions imposed by City Council Resolution No. 4907 shall remain in full effect.
5. The project shall comply with all National Park Service conditions requested in the NPS letter dated November 20, 2007. Prior to final project approval, the applicant shall submit evidence of full compliance with National Park Service conditions to the Community Development Department.
6. Gas systems, "220" electrical premise wiring, and any other premise wiring, except one (1) 20 amp branch circuit serving the bathroom receptacle, shall not be installed in the under floor unless otherwise approved by obtaining the necessary permits from the Community Development Department.
7. The owner shall repair the Alexander Avenue viaduct guardrail adjacent to the driveway as stipulated by the repair plan approved by the Golden Gate Bridge Highway and Transportation District and incorporated in the November 28, 2007 staff report within ninety (90) days of issuance of a Building Permit for completion of the project.
8. This approval will expire in five (5) years from the date of adoption of this resolution if the property owner has not exercised the entitlements hereby granted.
9. Construction materials, equipment, vehicles, and debris boxes shall be placed to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood.
10. Pursuant to Ordinance 1143, the operation of construction, demolition, excavation, alteration, or repair devices within all residential areas or within a 500 foot radius of residential zones shall be limited to the following hours:

5B
77

- a. Weekdays – Between 8 a.m. and 7 p.m.
- b. Saturdays – Between 9 a.m. and 5 p.m.
- c. Holidays – Between 9 a.m. and 7 p.m.

Such operation is prohibited on Sundays except by a homeowner residing on the property. Such work shall be limited to 9 a.m. to 7 p.m.

11. Dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited pursuant to Sausalito Municipal Code (SMC) Chapter 11.17. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with SMC Section 11.17.060.B.
12. As a condition of this approval, no alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Department as a modification to this approval.
13. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
14. In accordance with Ordinance No. 1160, the applicant shall pay any and all City costs arising out of or concerning the proposed project, including without limitation, permit fees, attorneys' fees, engineering fees, license fees and taxes, whether incurred prior to or subsequent to the date of this approval. Applicant acknowledges and agrees that City's costs shall be reimbursed prior to this approval becoming valid.
15. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.
16. An approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the Building Division must be obtained prior to constructing, enlarging, moving, converting, or demolishing any building or structure within the City.
17. The Community Development Department is authorized to administratively approve minor modifications to the approved plans. Major design modifications to the approved project will require further review and approval by the Planning Commission.

SB
78

STAFF REPORT
SAUSALITO PLANNING COMMISSION

Agenda Item Number 6

PROJECT: 2 Alexander Avenue
Variance and Design Review Modification Application No.
VAM/DRM 07-002
APN 065-303-05 & 065-303-20

MEETING DATE: November 28, 2007

STAFF: Sierra Russell, Associate Planner

APPLICANT: Don Olsen and Associates

PROPERTY OWNER: Ed Fotsch

REQUEST

Applicant, Donald Olsen, on behalf of property owner Ed Fotsch, requests Planning Commission approval to modify Variance and Design Review Application No. VA/DR 03-26 and DRM 06-070 for the property at 2 Alexander Avenue to legalize an additional one foot projection of the exterior stairway into the required side-yard setback. The applicant is also proposing a modification to Design Review Modification Application No. 06-070 in order to include a bathroom in the den of the approved under floor area. The as-built dimensions of the constructed structure increase the site's building coverage and floor area by 0.5% and 0.9% respectively to 43% and 49.8%.

REGULATORY FRAMEWORK

Zoning: R-2-2.5 (Two-Family Residential)

General Plan: Medium High Density Residential (up to 17.4 DU/acre)

Special Regulations: Variance Findings (10.68.050)
Design Review Findings (10.54.050)

CEQA: Categorically Exempt pursuant to CEQA Section 15301 (e)

Required Permits: Variance Modification
Design Review Permit Modification

EXISTING SETTING

Neighborhood The neighborhood consists primarily of single and two-family structures as allowed by zoning.

Subject Parcel The parcel is steeply sloped downhill from Alexander Avenue. The parcel is the first property upon entering Sausalito from Alexander Avenue. It is bordered by Golden Gate National

Recreation Area (GGNRA) land owned by the National Park Service to the south, San Francisco Bay to the east, 6 Alexander to the north, and Alexander Avenue to the west.

BACKGROUND

This item was continued from the October 10, 2007 Planning Commission meeting due to information submitted from the National Park Service (NPS) that requested compliance with certain conditions prior to City approval of the modifications. Neighbor concerns were also expressed that the survey completed by the owner did not clarify the location of the as-built structures and whether they encroach onto Golden Gate National Recreational Area (GGNRA) lands. The item was continued to a date uncertain to allow for additional information to be brought to the Commission regarding the survey and encroachments onto GGNRA lands.

DESCRIPTION OF MODIFICATIONS

The modifications being presented to the Commission are to amend two previously approved applications for a Variance and Design Review Permits (Applications No. VA/DR 03-26 and DRM 07-060) and include the following:

- 1) Modifications that resulted from discrepancies between the as-built structure and the approved plans, which include an enlarged structure with additional floor area and building coverage and an additional 1' side-yard setback projection.

On July 24, 2007, the Building Inspector, Kenneth Henry, and previous Community Development Director, Paul Kermoyan, inspected the 2 Alexander Avenue project to determine the project's compliance with the approved building permit plans. Mr. Henry and Mr. Kermoyan's measured dimensions of the as-built structure (Exhibit C3) determined that the garage was constructed 16" wider and the exterior stairway 4" narrower, resulting in an additional 1' structural projection into the side-yard setback. Given that previously approved Variance granted a 4' projection into the side yard, and the additional projection would result in a 0' setback, Staff determined that the applicant would need to return to the Planning Commission for reconsideration of the Variance. Other deviations were found with the as-built structure, but were determined to be acceptable with demonstration that the building coverage and floor area satisfies the City's development standards. However, because Planning Commission review would be required for the deviations related to the Variance, the Planning Commission must consider all deviations related to the project.

- 2) Request for a bathroom with shower, sink, and toilet in the den area, which was previously approved with only a shower.

In addition to the Variance and Design Review modifications described above, the applicant is requesting to add a bathroom in the den of the under floor area, where a shower was previously shown on the approved plans for Design Review Permit No. 06-070. This modification is also under the purview of the Planning Commission.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

This project is categorically exempt from environmental review pursuant to Section 15301 (e) [Existing Facilities] of the California Environmental Quality Act (CEQA), as the addition or remodel of an existing under floor area of a garage which does not involve an increase of more than 50% of the addition or 2,500 square feet.

ANALYSIS

The October 10, 2007 staff report contains the project analysis completed for the requested modifications (Exhibit A2), including the project's compliance with the Municipal Code regulations and General Plan policies, and concerns expressed by neighbors. The following analysis contains the information that has come to light since the project's continuance.

New Survey Information

The applicant submitted a new survey drawing illustrating the location of the as-built exterior stairway structure of concern to the property lines (Exhibit A3). As verified on the drawing and through a site visit with the surveyor and National Park Service, the stairway is located within the 2 Alexander Avenue property and does not encroach onto GGNRA lands.

National Park Service review

On October 10, 2007, the National Park Service submitted a letter regarding their project review of the variance modifications (Exhibit A4). As expressed in their letter, NPS determined the project was not in compliance with the NPS conditions originally approved for the project (Exhibit C9) and requested the City not grant the requested modification until the following conditions were met:

- a. Verification and removal of any encroachments on NPS land;
- b. Removal of project construction debris, temporary stairs and the restoration of disturbed surfaces on NPS property including installation of erosion control measures; and
- c. Construction of a continuous permanent fence or equivalent ground level boundary marker along the surveyed boundary with the GGNRA.

NPS further clarified they would support the Variance modification upon completion of these requests and that they had no objection to the City allowing work related to the project outside the minimum one foot setback from the property line.

A meeting with the property owner, surveyor, contractor, NPS staff, and City staff was held at the project site on October 25, 2007 to investigate whether the requested NPS conditions had been met. For the meeting, a sample excavation at the edge of the stairway wall was completed, which established that the exterior stairway and footings do not encroach onto GGNRA territory. NPS staff inspected the project, sample excavation, and survey line set, and confirmed the stairway and garage expansion project no longer encroach onto NPS property with the removal of the concrete planter.

The concrete planter is an encroachment that had been confirmed by the earlier survey and reported to NPS by the owner, which was located between the two exterior stairway structures. Although identified on the building plans as a planter, the planter serves as a structural grade beam for the exterior stairway. In order to remove the encroachment of the planter onto NPS property, the owner was permitted to demolish the wall with verification from the project structural engineer of the appropriate method to remove and replace the structure to avoid the encroachment (Exhibit A5). Approval of the revised grade beam

location will be subject to inspection by the project structural engineer and Building Inspector.

Upon verification of project-related encroachments, NPS staff confirmed several other encroachments onto NPS property that need to be removed. Although the temporary stairs had been removed, NPS verified encroachments consisting of debris from the removed planter, a deer fence, a plastic drain pipe, and stairs within the southeast portion of the property. As confirmed in their letter submitted November 20, 2007 (Exhibit A1, Attachment C), NPS reported they would accept approval of the project modifications conditioned on the removal of identified encroachments, installation of approved erosion control measures on disturbed NPS property, and installation of an approved NPS approved permanent fence along the southern boundary line from the end of the exterior garage stairway to the re-vegetated area below. Should the Planning Commission approve the requested project modifications, the approval has been conditioned on compliance with all NPS items requested in their November 20, 2007 correspondence, as stated in the attached draft resolution (Exhibit A1).

Alexander Avenue Viaduct Guardrail

Public comment received for the previous Planning Commission hearing reported concern that the Alexander Avenue viaduct guardrail was improperly cut during the course of the 2 Alexander project. On October 10, 2007, the Golden Gate Bridge Highway and Transportation District requested the City's cooperation to require the owner restore the guardrail to the satisfaction of the District. Although a City Encroachment Permit had been issued for work related to the guardrail and the guardrail was indicated on the approved Building Permit plans to match the width of the new driveway, the District was dissatisfied with the manner in which the wall had been cut and that a permit from the District had not been issued. Specifically, the District requested the exposed concrete and rebar of the guardrail to be sealed and the exposed tubular railing fitted with an end cap.

The City forwarded the request to the owner who subsequently met with the District's engineers to advise the owner on how the guardrail should be repaired. The owner and the District agreed on a plan for the repair (Exhibit A6), and that such repair would be completed within 90 days of issuance of a building permit, as approved by the District (Exhibit A7). This condition has also been included in the attached draft resolution.

Landslide Concerns

Neighbor concerns reported regarding the project include landslide concerns due to the retaining walls, spa, and yard debris located in the 2 Alexander Avenue rear yard. These improvements were thoroughly discussed during the appeal of the Design Review Permit approved by the Commission for the under floor area (Application No. DRM 06-070). As a result, a previous condition approved by the Commission to require geotechnical review of the rear yard retaining walls was revised to require a more complete and thorough submittal of plans related to all work constructed without a Building Permit, including the retaining walls and spa. The condition imposed by the City Council, Condition 12 of City Council Resolution 4907 (Exhibit A1, Attachment B), requires the submittal of plans for the retaining walls that indicate the spa and drainage systems, along with a geotechnical analysis, prior to final approval of the Building Permit for the project, as stated in the following:

"To the extent a Building Permit is or would be required, the applicant shall submit plans, including, without limitation, grading, drainage, and improvement plans to the extent

required by the Building and/or Engineering Divisions, for all work constructed without a Building Permit including floor systems, placement of the spa, and the garden retaining walls to the Community Development Department for review and approval. Engineering staff shall review site improvement elements, including, but not limited to, detached retaining walls and drain systems for approval. Building structural elements shall be reviewed by the Building Department for conformance with Building Code provisions. Said plans shall be submitted prior to final project approval and shall include a geotechnical review prepared by a State of California licensed civil engineer qualified in geotechnical engineering."

As written, the Condition does not require addressing these improvements until final project approval. For this reason, the fact that grading, drainage, structural, or other plans for the rear yard improvements have not been submitted does not render the project in violation of its approvals, as these are not required until final project approval. However, Staff is aware these improvements pose a concern for increased landslide risk. Absent geotechnical review, as requested by staff and necessitated by Condition 12, Staff is unable to assess the safety of the improvements. Although a Geotechnical Report was submitted and approved for the project in March 2005, the geotechnical evaluation only addressed the project components related to the garage construction, and does not address the retaining walls in the rear yard. Further, there are no records with the Community Development Department that a Building Permit was obtained for the retaining walls, which are greater than 48" in height and would require approval of a Building Permit under current California Building Code standards. Thus, staff is supportive of modifying Condition 12 to require compliance at an earlier time. Staff is requesting the Commission consider whether the condition should be modified to state that the plans and analysis shall be submitted at an earlier time, such as 30 days within issuance of a Building Permit. If the Commission feels the condition should be modified, staff will forward the recommendation to the City Council to modify the condition.

Compliance with Conditions of Approval

There are three resolutions that apply to the 2 Alexander Avenue project, all of which contain conditions of approval required for work related to the project. In order to gain a better understanding of the conditions required for the project, a status report is attached that outlines all project-specific conditions of approval and whether they have been completed (Exhibit A8). Standard conditions of approval, such as indemnification of costs, construction hours, and other standard conditions are not included. The status report also illustrates those conditions placed by the Planning Commission in their approval of the under floor area (Resolution 2007-08) that were superceded by a new condition imposed by the City Council during the appeal of the application (Condition 12, Resolution 4907). As shown in the status report, the project is in compliance with all required conditions at this time. The conditions that are incomplete and have not been addressed are conditions that are required prior to final project approval.

Compliance with Fire Safety Codes and Building Height Requirements

There is a misconception that the 2 Alexander Avenue structure was not constructed according to City and State Fire Codes. As required by the Sausalito Municipal Code Section 8.40.011, residential projects exceeding the valuation of \$150,000 require fire sprinklers to be installed throughout the entire structure. Typically, the City's practice for enforcing fire sprinkler requirements occur in the final stages of a project, prior to final project approval. In the case of 2 Alexander Avenue, the main residence has fire sprinklers installed, as verified by the Building Inspector and noted in his inspection record (Exhibit A9). Fire sprinklers have also since been

permitted to be installed in the garage and under floor area due to neighbor and property owner concerns for their health and safety without the protection of a fire suppression system.

Concerns have also been reported that the garage was built higher than approved. This concern was addressed by the Building Inspector and previous Community Development Director in 2006, both of whom measured the height of the building. Their measurements in April 2006 confirmed the as-built structure is in conformance with the approved height, as noted on the Building Inspection Record for the project (Exhibit A9).

ANALYSIS SUMMARY

As summarized in the October 10, 2007 staff report, staff believes the project modifications are compliant with previously approved Design Review Permits and Variance applications VA/DR 03-26 and DRM 06-070. The project was continued from the previous meeting to verify the as-built structures do not encroach onto Golden Gate National Recreational Area (GGNRA) lands and that the NPS requested conditions have been satisfactorily met, which Staff has confirmed through a site visit with NPS staff and correspondence received on November 20, 2007. Staff has prepared a draft resolution of approval stating that the previous project approvals shall remain valid and the conditions of approval shall remain in full force and effect (Exhibit A1). Additional conditions have also been incorporated in the draft resolution to address compliance with previous approvals, National Park Service conditions, Golden Gate Bridge Highway and Transportation District conditions, and Zoning Ordinance standards for second units, as listed in detail in the draft resolution.

The following summarizes the main issues involved with the Variance and Design Review Permit modifications and the specific items the Commission should consider in their project review:

- **New Survey and Project Encroachments onto NPS property.** The most recent survey information submitted illustrates the location of the as-built structures within the property boundaries (Exhibit A3). Staff has also verified on-site with the surveyor and NPS staff the structural footings do not encroach with a sample excavation on October 25, 2007. A concrete planter wall that was identified as an encroachment onto GGNRA lands has been removed, along with other temporary improvements that encroached onto GGNRA lands. NPS has also requested additional identified encroachments unrelated to the project are removed, which has been incorporated as a condition of approval in the draft resolution.
- **National Park Service review.** NPS has submitted correspondence confirming they would support approval of the project conditioned on compliance with certain conditions prior to final project approval, as stated in their letter dated November 20, 2007. NPS requested conditions include the removal of certain identified encroachments, installation of permanent fencing, and installation of erosion control measures. The attached draft resolution includes a condition requiring compliance with all requested NPS conditions as listed in their letter.
- **Alexander Avenue Viaduct Guardrail.** As requested by the Golden Gate Bridge Highway and Transportation District and directed by City staff, the Owner developed a plan to repair the viaduct guardrail located adjacent to the driveway. The District approved the plan and requested it be completed within 90 days of issuance of a Building Permit, which has been incorporated into the draft resolution.
- **Landslide Concerns.** Condition 12 of City Council Resolution No. 4907 requires thorough and complete analysis of certain rear yard improvements that are of concern

due to their construction without the benefit of necessary permits. Staff requests the Commission consider whether Condition 12 should be modified to require compliance at an earlier time than final project approval. Should the Commission support the modification, the recommendation would be forwarded to the City Council.

- **Compliance with Conditions of Approval.** The project is currently in compliance with conditions imposed by Planning Commission Resolutions No. 2003-51 and 2007-08 and City Council Resolution No. 4907. The conditions that have not been completed are required prior to final project approval. Should Condition 12 be modified as stated above, compliance would be required at an earlier time than final project approval.
- **Compliance with Zoning Ordinance development standards.** With the additional floor area and building coverage created from the enlarged as-built structure, site development remains compliant with the maximum permitted development standards for the underlying R2-2.5 Zoning District.
- **Additional Bathroom.** The proposed bathroom in the under floor area is a minor modification, but one that will require the approval of the Planning Commission. Staff believes the request could be granted with the condition that no gas systems or "220" premise wiring be installed in the under floor area, to prevent the creation of an unpermitted second unit. Staff requests the Commission review the condition addressing the bathroom and determine the necessity of said condition.
- **Impacts to Public and Private Views.** The additional projection of the as-built structure does not appear to adversely impact public views. Neighboring residential structures downhill are located at a distance far enough that an additional one foot projection would have a negligible impact to uphill view obstructions.
- **Structural Review.** The City has deferred the structural analysis of the enlarged structure to the project structural engineer. As stated in the structural engineer's letter submitted (Exhibit C4), the modifications resulting from the as-built discrepancies from the approved plans are minor and the as-built structure is structurally safe under the approved engineering design and calculations. The City Engineer has reviewed this letter and agrees with the analysis.

PUBLIC NOTICE AND FEEDBACK

Notice: Ten (10) days prior to the hearing date, notice of this proposal was posted on site and was mailed to residents and property owners within 300 feet of the subject parcel.

Written Feedback: As of this writing of the staff report, staff has received correspondence from six neighbors supporting the modifications, three neighbors opposed to the modifications, one letter expressing concern that the building was built higher than approved (see staff response above), and two letters from the representative of Mr. and Mrs. Moody expressing concern with the project modifications. These are all attached in Exhibits Section B as listed below.

STAFF CONCLUSIONS

Staff Recommendation: Staff believes that the proposed application for a Variance modification meets the requirements of the Sausalito Municipal Code and is consistent with the goals and objectives of the General Plan. Staff believes that all necessary Variance and Design Review findings can be made as they were previously in Resolution No. 2003-51 and Resolution 2007-08, and recommends that the Planning Commission adopt the attached draft resolution of approval. Additionally, the Planning Commission may:

1. Approve the application with modifications;
2. Continue the application for additional information and/or project revisions; or
3. Deny the application and direct Staff to return with a Resolution of Denial.

EXHIBITS

A. VAM/DRM 07-002 - November 28, 2007 staff report exhibits

1. Resolution of Approval Approving Application No. VAM/DRM 07-002 with:
 - Attachment A – Plans and Elevations
 - Attachment B – Project Resolutions in Effect: Planning Commission Resolutions No. 2003-51 (with October 22, 2003 staff report incorporated) and 2007-08, and City Council Resolution No. 4907
 - Attachment C – National Park Service letter dated November 20, 2007
2. October 10, 2007 Staff Report (without attachments)
3. New Stairway Diagram, dated October 30, 2007
4. Letter from the National Park Service, dated October 10, 2007
5. Letter from project structural engineer, dated October 18, 2007
6. 2 Alexander Avenue Barrier Rail (Guardrail) Repair Plan
7. Email from Norma Jellison of the Golden Gate Bridge Highway and Transportation District, dated November 6, 2007
8. Project Conditions of Approval Status Report
9. 2 Alexander Building Permit Inspection Record

B. Public Comment Received

1. Letter from Michael Rex with attachment, dated November 20, 2007
2. Email from neighbor Ian Moody, dated November 20, 2007
3. Email from neighbor Ian Moody regarding landslide concerns, dated November 20, 2007
4. Fax from neighbors Thomas McAdams and Gregory Davis, dated October 9, 2007
5. Email from neighbor Forest Baskett, dated October 7, 2007
6. Email from neighbor Patrick Courtney, dated October 5, 2007
7. Letter from John Keating, dated October 4, 2007
8. Letter from neighbor Marie McDermott, dated October 4, 2007
9. Email from neighbor Bob Maloy, dated October 4, 2007
10. Letter from neighbor Dennis Fecteau, dated October 3, 2007
11. Letter from neighbor Ian Moody, dated October 3, 2007
12. Letter from neighbor Ann Watson, dated October 3, 2007

13. Email from neighbor Bill Werner, dated November 20, 2007

C. VAM/DRM 07-002 - October 10, 2007 staff report exhibits

1. Draft resolution, moved to Section A above
2. Vicinity Map
3. Dimensions of garage as-built structure measured by staff on July 24, 2007
4. Letter from Structural Engineer, SAABCO Consulting Inc., dated September 11, 2007
5. Photo illustrating public view of garage along Alexander Avenue
6. Photo illustrating view from easternmost (downhill) point of the 2 Alexander property
7. Letter from NPS, dated March 11, 2003
8. Corner Record with description of Survey points filed with Marin County on August 27, 2007
9. 2003 Survey filed with Marin County
10. Letter from 2 Alexander project Contractor, dated September 14, 2007
11. Property Owner statement submitted to National Park Service, dated September 22, 2007
12. Letter from Liz Ponzini regarding NPS restoration efforts, dated April 18, 2005
13. Letters from the property owner and applicant dated August 8, 2007 and September 6, 2007
14. Public Comment, moved to Section B above
15. Public Comment, moved to Section B above

THE FOLLOWING MATERIALS WERE SUBMITTED ELECTRONICALLY TO THE PLANNING COMMISSION AND ARE AVAILABLE WITH THE COMMUNITY DEVELOPMENT DEPARTMENT UPON REQUEST:

Staff Reports

16. October 25, 2006 and November 8, 2006 Staff Reports, and Resolution No. 2006-44
17. March 14, 2007 Planning Commission Staff Report without attachments
18. May 15, 2007 City Council Staff Report (Appeal) without attachments

Minutes

19. Planning Commission Meetings

August 6, 2003	October 25, 2006
October 22, 2003	November 8, 2006
November 5, 2003	March 14, 2007
May 10, 2006	October 10, 2007
June 7, 2006	

20. City Council Meetings

May 15, 2007
June 12, 2007
June 19, 2007

RESOLUTION NO. 2007- XX

**RESOLUTION OF THE SAUSALITO PLANNING COMMISSION
APPROVING VARIANCE AND DESIGN REVIEW MODIFICATION APPLICATION NO.
VAM/DRM 07-002 TO ALLOW AN ADDITIONAL ONE (1) FOOT PROJECTION INTO
THE SIDE-YARD SETBACK AND FOR AN ADDITIONAL BATHROOM IN THE UNDER
FLOOR AREA LOCATED AT 2 ALEXANDER AVENUE
(APN 065-303-05 & 20)**

WHEREAS, an application has been filed pursuant to Municipal Code Title 10 (Zoning) by Don Olsen and Associates on behalf of Ed Fotsch, property owner, requesting Planning Commission approval of Variance and Design Review modifications to previously approved Variance and Design Review Permit No. VA/DR 03-026, approved by Resolution 2003-51, and Design Review Modification No. DRM 06-070, approved by Resolution 2007-08 and City Council Resolution No. 4907, to allow an additional one (1) foot projection of the exterior stairway into the side-yard setback and for an additional bathroom in the under floor area; and

WHEREAS, the Planning Commission has conducted duly noticed public meetings on October 10, 2007 and November 28, 2007, in the manner prescribed by local ordinance, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the 2 Alexander Avenue plan set date-stamped received September 27, 2007; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the October 10, 2007 and November 28, 2007 staff reports and related attachments for the proposed project; and

WHEREAS, the Planning Commission has received and considered oral and written testimony on the subject application and obtained evidence from site visits; and

WHEREAS, the Planning Commission finds that, as conditioned herein, the modifications comply with the requirements of the Zoning Code as outlined in the staff report; and

WHEREAS, the Planning Commission finds that, as conditioned herein, the modifications comply with the General Plan as outlined in the staff report; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the requirements of CEQA pursuant to Section 15301 (e) in that the project involves remodeling that does not increase the floor area by more than 50% of the existing or 2,500 square feet whichever is less; and

WHEREAS, the Planning Commission finds that granting a Variance to allow the additional one (1) foot projection into the side-yard setback is substantially compliant with the originally approved Variance findings (Application No. VA/DR 03-26); and

5B
88

WHEREAS, the Planning Commission finds that the Design Review Modifications are substantially compliant with the Design Review findings of Design Review Permits No. VA/DR 03-026 and DRM 06-070 for the enlarged as-built structure and the additional bathroom; and

WHEREAS, the determination of the Planning Commission does not alter the findings or conditions of approval listed in City Council Resolution No. 4907, which shall remain in full force and effect, except as stated herein; and

WHEREAS, the Planning Commission finds that the findings for the project at 2 Alexander Avenue and listed in Resolution No. 2003-51 and Resolution 2007-08 are valid and the conditions of approval for said resolutions shall remain in full force and effect.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES, based on the above-noted criteria, that it can approve Variance and Design Review modification Application No. VAM/DRM 07-002, subject to the following conditions of approval:

1. The Variance and Design Review modification request is approved for the plans titled "Fotsch Residence Addition", date stamped received September 27, 2007 (Attachment A).
2. The findings of Planning Commission Resolutions No. 2003-51 and 2007-08, included herein (Attachment B), are valid and the conditions of approval shall remain in full affect.
3. The project shall comply with all conditions imposed by City Council Resolution No. 4907 (Attachment B).
4. The project shall comply with all National Park Service conditions requested in the NPS letter dated November 20, 2007 and incorporated herein (Attachment C). Prior to final project approval, the applicant shall submit evidence of full compliance with National Park Service conditions to the Community Development Department.
5. Gas systems, "220" electrical premise wiring, and any other premise wiring, except one (1) 20 amp branch circuit serving the bathroom receptacle, shall not be installed in the under floor unless otherwise approved by obtaining the necessary permits from the Community Development Department.
6. The owner shall repair the Alexander Avenue viaduct guardrail adjacent to the driveway as stipulated by the repair plan approved by the Golden Gate Bridge Highway and Transportation District and incorporated in the November 28, 2007 staff report within ninety (90) days of issuance of a Building Permit for completion of the project.

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 28th day of November, 2007, by the following vote:

AYES: Commissioner:
NOES: Commissioner:
ABSENT: Commissioner:

SECRETARY TO THE PLANNING COMMISSION

SB
89

ITEM NO. 6 PAGE 11

PLANNING COMMISSION HEARING

NOVEMBER 28, 2007

VAM/DRM 07-002

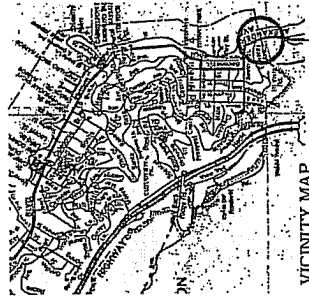
2 ALEXANDER AVENUE

ATTACHMENT A: PLANS AND ELEVATIONS

PLANNING COMMISSION
2 ALEXANDER AVENUE
ANN ARBOR, MI 48106

SB
90

RECEIVED
 SEP 17 2007
 CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT



OWNER
 SFS Ranch
 2 Alameda Avenue, Sausalito, CA 94965
 (415) 231-8579

CONSULTANTS
 SUPERVISOR
 Reg. Civilian & Architect, Inc. Land Drawing
 201 Victoria Avenue, Sausalito, CA 94965
 (415) 231-1948

SEALS
 ENGINEER
 Robert Elliott & Greening, Inc.
 191 Park Drive, Suite 102, Sausalito, CA 94965
 (415) 482-7141

STRUCTURAL
 ENGINEER
 SARGO Consulting, Inc.
 1235 Green Park, Sausalito, CA 94965
 (415) 232-0218

PROJECT INFORMATION

SCOPE OF WORK: Modification of already approved and partly built garage addition. The project includes the removal of the existing concrete foundation and the construction of a new foundation and concrete walls. The project also includes the construction of a new concrete floor and the installation of a new concrete ceiling. The project also includes the construction of a new concrete wall and the installation of a new concrete ceiling. The project also includes the construction of a new concrete wall and the installation of a new concrete ceiling. The project also includes the construction of a new concrete wall and the installation of a new concrete ceiling.

USE GROUP
 (Per page 4)

Group (R-30)
 S-1

APPLICABLE CODES

SECTION 105.0000 & 20
 105.0000
 105.0000

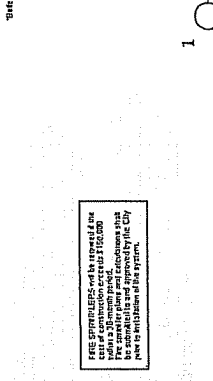
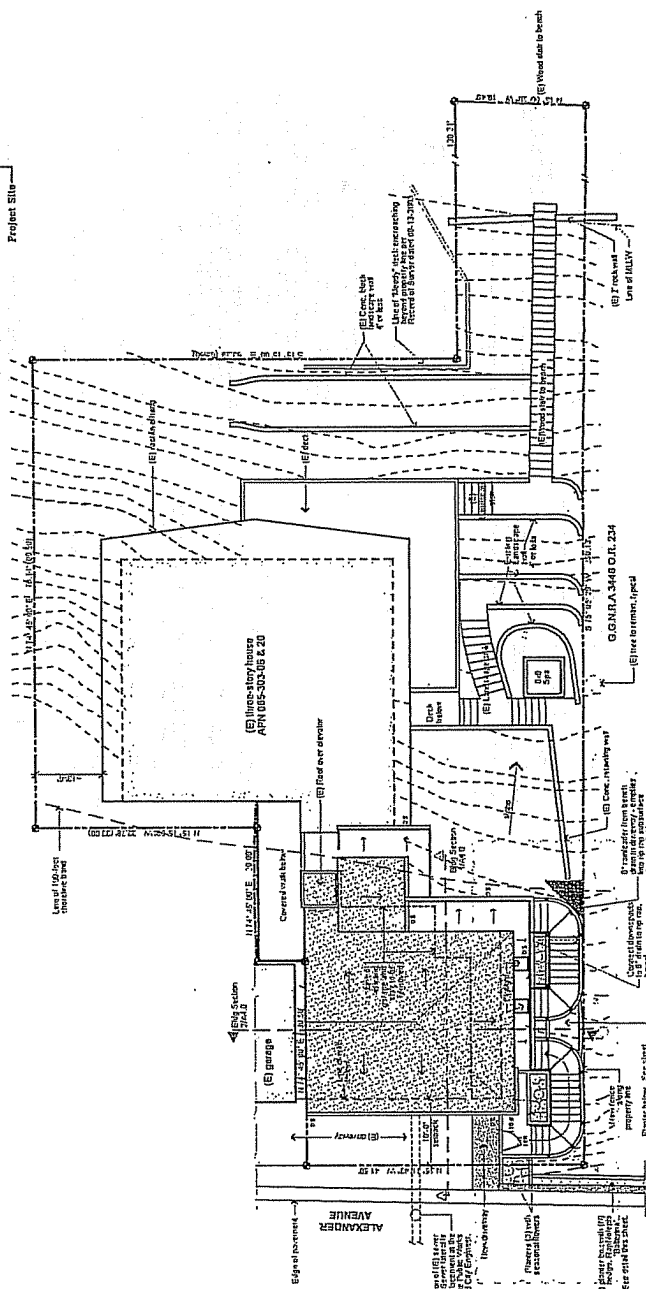
HEIGHT
 25'-1" per SDC (10.202), (10-9)
 25'-1" per SDC (10.202), (10-9)
 25'-1" per SDC (10.202), (10-9)

EXISTING AREA
 3,833 sq. ft. (gross)
 3,833 sq. ft. (net)
 3,833 sq. ft. (net)

PROPOSED AREA
 3,833 sq. ft. (gross)
 3,833 sq. ft. (net)
 3,833 sq. ft. (net)

SHEET INDEX

A1.0 Project, Block, Vicinity Map, Site Plan/First Plan
 A1.1 General Notes, Conditions of Approval
 A1.2 Boundary and Type Map
 A1.3 Garage Plan, Upper Landing Plan, Warehouse/Storage, Etc. Plans
 A1.4 Access Landing Plan, Finishing, Lower Landing Plan
 A1.5 Foundation and Retention Plans
 A1.6 Form and Erection
 A1.7 Details



ROOF NOTES

1. Slope roof to drain 1/4" per foot, minimum.
2. Drain to exterior, minimum 1/4" per foot, minimum.

ROOF VENTING CALCULATIONS

Roof area = 1,440 sq. ft. (12' x 120')

Roof slope = 12/12 = 1.0

Roof pitch = 45 degrees

Roof venting area = 1,440 sq. ft. x 1.0 x 0.25 = 360 sq. ft.

Roof venting area = 360 sq. ft.

LEGEND

1. Existing structure
 2. Proposed structure
 3. Foundation
 4. Retention wall
 5. Boundary

BOUNDARY NOTES

1. Foundation and Retention wall to be constructed by the City.
2. Foundation and Retention wall to be constructed by the City.

GRADING NOTES

1. Existing ground to remain.
2. Existing ground to be removed.
3. Existing ground to be removed.
4. Existing ground to be removed.

FOTSCH RESIDENCE ADDITION
 2 ALEXANDER AVE
 SAUSALITO, CA 94965

A1.0
 June 22, 2007

5B
 91

CONSTRUCTION MANAGEMENT PLAN

- 1. GEOTECHNICAL ENGINEERS:** A geotechnical engineer shall be engaged to monitor the job during construction to ensure compliance with the geotechnical engineering report.
- 2. PERMITS:** All permits shall be obtained prior to the start of construction. The contractor shall be responsible for obtaining all necessary permits from the appropriate agencies.
- 3. CONSTRUCTION MANAGEMENT CONSTRUCTION:** The owner and design team shall be responsible for construction management. The contractor shall be responsible for construction management on the job site.
- 4. INSURANCE:** The contractor shall be responsible for obtaining all necessary insurance coverage, including but not limited to general liability, workers' compensation, and professional liability.
- 5. CONSTRUCTION VEHICLES:** All construction vehicles shall be equipped with proper signage and safety equipment. The contractor shall be responsible for ensuring that all vehicles are properly maintained and operated.
- 6. TRAFFIC MANAGEMENT:** The contractor shall be responsible for implementing a traffic management plan to minimize disruption to the surrounding community. This plan shall include measures to control dust, noise, and vibration.
- 7. ENVIRONMENTAL PROTECTION:** The contractor shall be responsible for implementing measures to protect the environment, including but not limited to erosion control, sediment control, and stormwater management.
- 8. PUBLIC SAFETY:** The contractor shall be responsible for implementing measures to ensure the safety of the public, including but not limited to site access control, safety barriers, and signage.
- 9. COMMUNITY RELATIONS:** The contractor shall be responsible for implementing measures to maintain good relations with the surrounding community, including but not limited to regular communication and addressing concerns.
- 10. DOCUMENTATION:** The contractor shall be responsible for maintaining accurate and up-to-date records of all construction activities, including but not limited to photos, videos, and logs.
- 11. QUALITY CONTROL:** The contractor shall be responsible for implementing a quality control program to ensure that all construction work meets the required standards and specifications.
- 12. SCHEDULING:** The contractor shall be responsible for developing and maintaining a detailed construction schedule, including but not limited to start and stop dates for all activities.
- 13. BUDGETING:** The contractor shall be responsible for managing the project budget, including but not limited to cost control, change order management, and final accounting.
- 14. COMMUNICATION:** The contractor shall be responsible for establishing a clear communication protocol, including but not limited to regular meetings, reports, and a point of contact for all project-related matters.
- 15. RISK MANAGEMENT:** The contractor shall be responsible for identifying and mitigating potential risks to the project, including but not limited to safety, quality, and schedule risks.
- 16. CLOSURE:** The contractor shall be responsible for implementing a plan for the safe and efficient closure of the construction site, including but not limited to site cleanup, final inspections, and permit closure.

CITY OF SAUSALITO REGULATIONS

- 1. OVERSIGHT SERVICES:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 2. ENVIRONMENTAL SERVICES:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 3. PUBLIC SAFETY:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 4. COMMUNITY RELATIONS:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 5. DOCUMENTATION:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 6. SCHEDULING:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 7. BUDGETING:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 8. COMMUNICATION:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 9. RISK MANAGEMENT:** Oversight at all construction sites shall be provided by the City of Sausalito.
- 10. CLOSURE:** Oversight at all construction sites shall be provided by the City of Sausalito.

EROSION CONTROL NOTES

- 1. VEGETATION:** All existing vegetation shall be protected and preserved. Any removal of vegetation shall be replaced with equivalent or better vegetation.
- 2. EROSION CONTROL:** Erosion control measures shall be implemented on all exposed soil surfaces. These measures shall include, but not be limited to, silt fences, sediment basins, and erosion control blankets.
- 3. WATER MANAGEMENT:** All stormwater shall be managed in a way that does not cause erosion or sedimentation. This shall include measures such as stormwater detention basins and infiltration systems.
- 4. MATERIALS STORAGE:** All materials shall be stored in a way that does not cause erosion or sedimentation. This shall include measures such as covering materials and using pallets.
- 5. VEHICLE MANAGEMENT:** All vehicles shall be managed in a way that does not cause erosion or sedimentation. This shall include measures such as wheel washes and tire washes.
- 6. SPILLAGE CONTROL:** All spills shall be cleaned up immediately to prevent erosion or sedimentation. This shall include measures such as spill kits and absorbent materials.
- 7. INSPECTION:** Erosion control measures shall be inspected regularly to ensure they are functioning properly. This shall include measures such as visual inspections and testing.
- 8. RECORDS:** All erosion control measures shall be documented in a log. This shall include measures such as photos, videos, and inspection reports.
- 9. TRAINING:** All workers shall be trained in erosion control measures. This shall include measures such as safety training and site orientation.
- 10. COMMUNICATION:** All erosion control measures shall be communicated to the public. This shall include measures such as signage and public notices.
- 11. CLOSURE:** Erosion control measures shall be removed when they are no longer needed. This shall include measures such as site cleanup and final inspections.

GENERAL NOTES

- 1. PERMITS:** All permits shall be obtained prior to the start of construction. The contractor shall be responsible for obtaining all necessary permits from the appropriate agencies.
- 2. INSURANCE:** The contractor shall be responsible for obtaining all necessary insurance coverage, including but not limited to general liability, workers' compensation, and professional liability.
- 3. CONSTRUCTION MANAGEMENT CONSTRUCTION:** The owner and design team shall be responsible for construction management. The contractor shall be responsible for construction management on the job site.
- 4. TRAFFIC MANAGEMENT:** The contractor shall be responsible for implementing a traffic management plan to minimize disruption to the surrounding community. This plan shall include measures to control dust, noise, and vibration.
- 5. ENVIRONMENTAL PROTECTION:** The contractor shall be responsible for implementing measures to protect the environment, including but not limited to erosion control, sediment control, and stormwater management.
- 6. PUBLIC SAFETY:** The contractor shall be responsible for implementing measures to ensure the safety of the public, including but not limited to site access control, safety barriers, and signage.
- 7. COMMUNITY RELATIONS:** The contractor shall be responsible for implementing measures to maintain good relations with the surrounding community, including but not limited to regular communication and addressing concerns.
- 8. DOCUMENTATION:** The contractor shall be responsible for maintaining accurate and up-to-date records of all construction activities, including but not limited to photos, videos, and logs.
- 9. QUALITY CONTROL:** The contractor shall be responsible for implementing a quality control program to ensure that all construction work meets the required standards and specifications.
- 10. SCHEDULING:** The contractor shall be responsible for developing and maintaining a detailed construction schedule, including but not limited to start and stop dates for all activities.
- 11. BUDGETING:** The contractor shall be responsible for managing the project budget, including but not limited to cost control, change order management, and final accounting.
- 12. COMMUNICATION:** The contractor shall be responsible for establishing a clear communication protocol, including but not limited to regular meetings, reports, and a point of contact for all project-related matters.
- 13. RISK MANAGEMENT:** The contractor shall be responsible for identifying and mitigating potential risks to the project, including but not limited to safety, quality, and schedule risks.
- 14. CLOSURE:** The contractor shall be responsible for implementing a plan for the safe and efficient closure of the construction site, including but not limited to site cleanup, final inspections, and permit closure.

DUST MITIGATION PLAN

- 1. DUST CONTROL:** All dust shall be controlled during construction. This shall include measures such as water spraying, windbreaks, and dust curtains.
- 2. WIND CONTROL:** All windbreaks shall be installed and maintained. This shall include measures such as straw bales and windbreak fabric.
- 3. TRAFFIC CONTROL:** All traffic shall be controlled during construction. This shall include measures such as wheel washes and tire washes.
- 4. MATERIALS STORAGE:** All materials shall be stored in a way that does not cause dust. This shall include measures such as covering materials and using pallets.
- 5. VEHICLE MANAGEMENT:** All vehicles shall be managed in a way that does not cause dust. This shall include measures such as wheel washes and tire washes.
- 6. SPILLAGE CONTROL:** All spills shall be cleaned up immediately to prevent dust. This shall include measures such as spill kits and absorbent materials.
- 7. INSPECTION:** Dust control measures shall be inspected regularly to ensure they are functioning properly. This shall include measures such as visual inspections and testing.
- 8. RECORDS:** All dust control measures shall be documented in a log. This shall include measures such as photos, videos, and inspection reports.
- 9. TRAINING:** All workers shall be trained in dust control measures. This shall include measures such as safety training and site orientation.
- 10. COMMUNICATION:** All dust control measures shall be communicated to the public. This shall include measures such as signage and public notices.
- 11. CLOSURE:** Dust control measures shall be removed when they are no longer needed. This shall include measures such as site cleanup and final inspections.

EXCAVATION NOTES

- 1. EXCAVATION:** All excavation shall be done in a safe and efficient manner. This shall include measures such as shoring, bracing, and dewatering.
- 2. SHORING AND BRACING:** All shoring and bracing shall be installed and maintained. This shall include measures such as trench shields and trench boxes.
- 3. Dewatering:** All dewatering shall be done in a safe and efficient manner. This shall include measures such as pumps and discharge pipes.
- 4. TRAFFIC CONTROL:** All traffic shall be controlled during excavation. This shall include measures such as wheel washes and tire washes.
- 5. ENVIRONMENTAL PROTECTION:** The contractor shall be responsible for implementing measures to protect the environment, including but not limited to erosion control, sediment control, and stormwater management.
- 6. PUBLIC SAFETY:** The contractor shall be responsible for implementing measures to ensure the safety of the public, including but not limited to site access control, safety barriers, and signage.
- 7. COMMUNITY RELATIONS:** The contractor shall be responsible for implementing measures to maintain good relations with the surrounding community, including but not limited to regular communication and addressing concerns.
- 8. DOCUMENTATION:** The contractor shall be responsible for maintaining accurate and up-to-date records of all excavation activities, including but not limited to photos, videos, and logs.
- 9. QUALITY CONTROL:** The contractor shall be responsible for implementing a quality control program to ensure that all excavation work meets the required standards and specifications.
- 10. SCHEDULING:** The contractor shall be responsible for developing and maintaining a detailed excavation schedule, including but not limited to start and stop dates for all activities.
- 11. BUDGETING:** The contractor shall be responsible for managing the project budget, including but not limited to cost control, change order management, and final accounting.
- 12. COMMUNICATION:** The contractor shall be responsible for establishing a clear communication protocol, including but not limited to regular meetings, reports, and a point of contact for all project-related matters.
- 13. RISK MANAGEMENT:** The contractor shall be responsible for identifying and mitigating potential risks to the project, including but not limited to safety, quality, and schedule risks.
- 14. CLOSURE:** The contractor shall be responsible for implementing a plan for the safe and efficient closure of the excavation site, including but not limited to site cleanup, final inspections, and permit closure.

DEMOLITION NOTES

- 1. DEMOLITION:** All demolition shall be done in a safe and efficient manner. This shall include measures such as shoring, bracing, and dewatering.
- 2. SHORING AND BRACING:** All shoring and bracing shall be installed and maintained. This shall include measures such as trench shields and trench boxes.
- 3. Dewatering:** All dewatering shall be done in a safe and efficient manner. This shall include measures such as pumps and discharge pipes.
- 4. TRAFFIC CONTROL:** All traffic shall be controlled during demolition. This shall include measures such as wheel washes and tire washes.
- 5. ENVIRONMENTAL PROTECTION:** The contractor shall be responsible for implementing measures to protect the environment, including but not limited to erosion control, sediment control, and stormwater management.
- 6. PUBLIC SAFETY:** The contractor shall be responsible for implementing measures to ensure the safety of the public, including but not limited to site access control, safety barriers, and signage.
- 7. COMMUNITY RELATIONS:** The contractor shall be responsible for implementing measures to maintain good relations with the surrounding community, including but not limited to regular communication and addressing concerns.
- 8. DOCUMENTATION:** The contractor shall be responsible for maintaining accurate and up-to-date records of all demolition activities, including but not limited to photos, videos, and logs.
- 9. QUALITY CONTROL:** The contractor shall be responsible for implementing a quality control program to ensure that all demolition work meets the required standards and specifications.
- 10. SCHEDULING:** The contractor shall be responsible for developing and maintaining a detailed demolition schedule, including but not limited to start and stop dates for all activities.
- 11. BUDGETING:** The contractor shall be responsible for managing the project budget, including but not limited to cost control, change order management, and final accounting.
- 12. COMMUNICATION:** The contractor shall be responsible for establishing a clear communication protocol, including but not limited to regular meetings, reports, and a point of contact for all project-related matters.
- 13. RISK MANAGEMENT:** The contractor shall be responsible for identifying and mitigating potential risks to the project, including but not limited to safety, quality, and schedule risks.
- 14. CLOSURE:** The contractor shall be responsible for implementing a plan for the safe and efficient closure of the demolition site, including but not limited to site cleanup, final inspections, and permit closure.

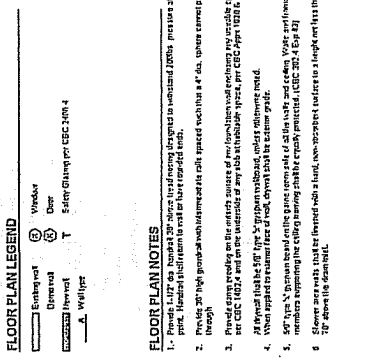
5B
92

MARK	SIZE (W x H)	COMMENTS
1	10'-0" x 6'-0"	wood clad garage door
2	6'-0" x 6'-0"	wood clad garage door
3	2'-0" x 2'-0"	1.5" thick glass window
4	2'-0" x 4'-0"	1.5" thick glass window
5	2'-0" x 10'-0"	1.5" thick glass window
6	2'-0" x 10'-0"	1.5" thick glass window
7	2'-0" x 6'-0"	1.5" thick glass window

MARK	SIZE (W x H)	OPERATION	COMMENTS
A	5'-0" x 6'-0"	Wood	
B	10'-0" x 6'-0"	Wood	
C	10'-0" x 6'-0"	Wood	
D	5'-0" x 6'-0"	Wood	
E	10'-0" x 6'-0"	Wood	

NOTES

- Window to be wood clad garage door by manufacturer (to be approved)
- Refer to elevations for finish of wood clad garage doors
- Finish to be wood clad garage door by manufacturer (to be approved)
- Finish to be wood clad garage door by manufacturer (to be approved)
- Finish to be wood clad garage door by manufacturer (to be approved)
- Finish to be wood clad garage door by manufacturer (to be approved)



FLOOR PLAN LEGEND

- Exterior wall
- Window
- Operated
- Wood
- Non Operated
- Glass
- Fixed
- Shutter per CBC 708.4
- Weight

FLOOR PLAN NOTES

- Provide 1.5" thick glass window with 1.5" thick frame. Provide 1.5" thick frame with 1.5" thick frame.
- Provide 1.5" thick glass window with 1.5" thick frame. Provide 1.5" thick frame with 1.5" thick frame.
- Provide 1.5" thick glass window with 1.5" thick frame. Provide 1.5" thick frame with 1.5" thick frame.
- Provide 1.5" thick glass window with 1.5" thick frame. Provide 1.5" thick frame with 1.5" thick frame.
- Provide 1.5" thick glass window with 1.5" thick frame. Provide 1.5" thick frame with 1.5" thick frame.
- Provide 1.5" thick glass window with 1.5" thick frame. Provide 1.5" thick frame with 1.5" thick frame.

GARAGE PLAN
 DWG # 152
 EL. 10.00'

5B
 2B

ELECTRICAL LEGEND		Exhaust Fan
	Switch	
	2-Way switch	
	Surface-mounted dimmer switch, ceiling fixture	
	Work outlet (40/20/10/5/0/15/20/30/40/50/60/70/80/90)	
	Supply outlet (20/30/40/50/60/70/80/90)	
	Dryer outlet	
	Push button for garage door	
	Floor outlet	
	COTS & Caswell outlet	
	COTS	

ELECTRICAL NOTES

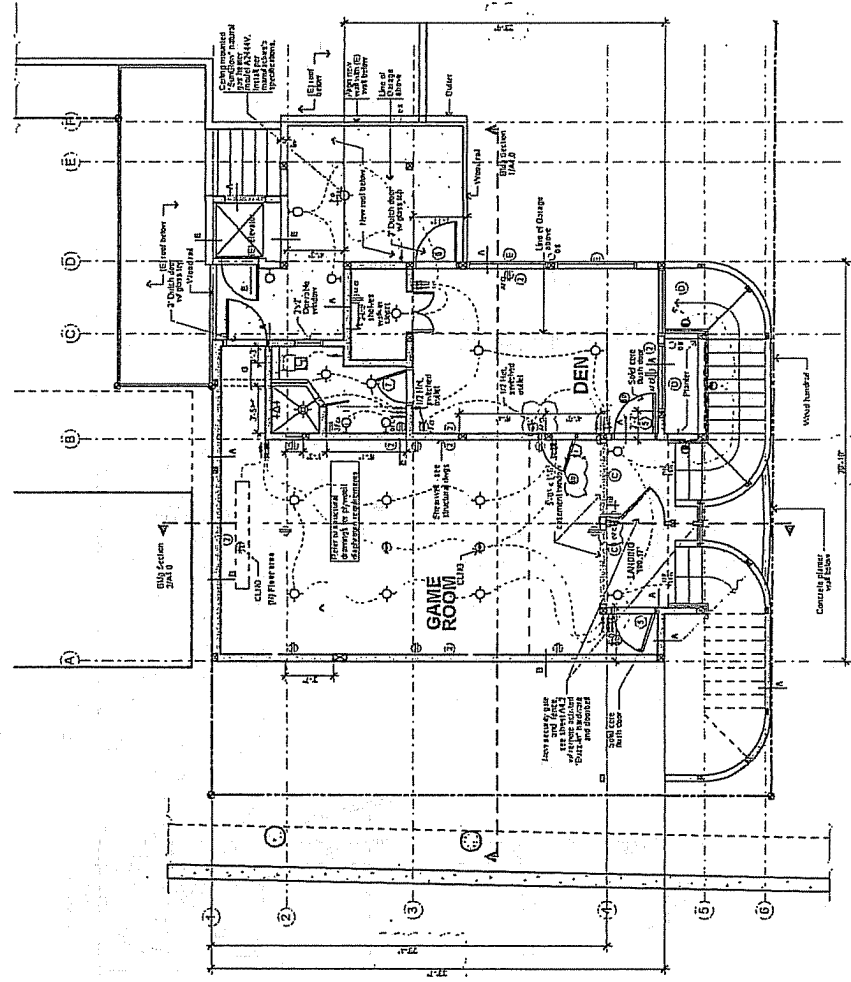
1. Confirm location of electric, mechanical and plumbing submittals prior to installation.
2. Provide ground fault circuit interrupter (GFCI) at all garage outlets.
3. Provide 20 amp electrical service for the addition.
4. Provide 100 amp electrical service for the addition.
5. Provide 100 amp electrical service for the addition.
6. Provide 100 amp electrical service for the addition.
7. ALL COTS & CASWELL ARE TO BE INSTALLED BY THE CONTRACTOR.

WALL TYPES

- A. Drywall, 1/2", plywood, exterior sheetrock, 1/2" sheetrock, 1/2" (US 241)
- B. Drywall, 1/2", plywood, exterior sheetrock, 1/2" sheetrock (US 241)
- C. Drywall, 1/2", plywood, exterior sheetrock (US 241)
- D. Drywall, 1/2", plywood, exterior sheetrock (US 241)
- E. Same as wall type A at exterior wall. First three exterior sheetrock layers and exterior sheetrock to be applied and taped. Then apply exterior mineral to exterior sheetrock (US 241)
- F. Same as wall type B at exterior wall. First three exterior sheetrock layers and exterior sheetrock to be applied and taped. Then apply exterior mineral to exterior sheetrock (US 241)
- G. Same as wall type C at exterior wall. First three exterior sheetrock layers and exterior sheetrock to be applied and taped. Then apply exterior mineral to exterior sheetrock (US 241)
- H. Same as wall type D at exterior wall. First three exterior sheetrock layers and exterior sheetrock to be applied and taped. Then apply exterior mineral to exterior sheetrock (US 241)

NOTES

1. All work shall comply with applicable code requirements.
2. All work shall comply with applicable code requirements.
3. All work shall comply with applicable code requirements.
4. All work shall comply with applicable code requirements.
5. All work shall comply with applicable code requirements.
6. All work shall comply with applicable code requirements.
7. All work shall comply with applicable code requirements.
8. All work shall comply with applicable code requirements.
9. All work shall comply with applicable code requirements.
10. All work shall comply with applicable code requirements.



UPPER LANDING PLAN
 EL. 100.17'
 1/4" = 1'-0"
FLOOR PLAN LEGEND
 Solid line: Wall
 Dashed line: Partition
 Dotted line: Window
 Solid line with arrow: Door
 Solid line with 'A': Wall type
 Solid line with 'B': Wall type

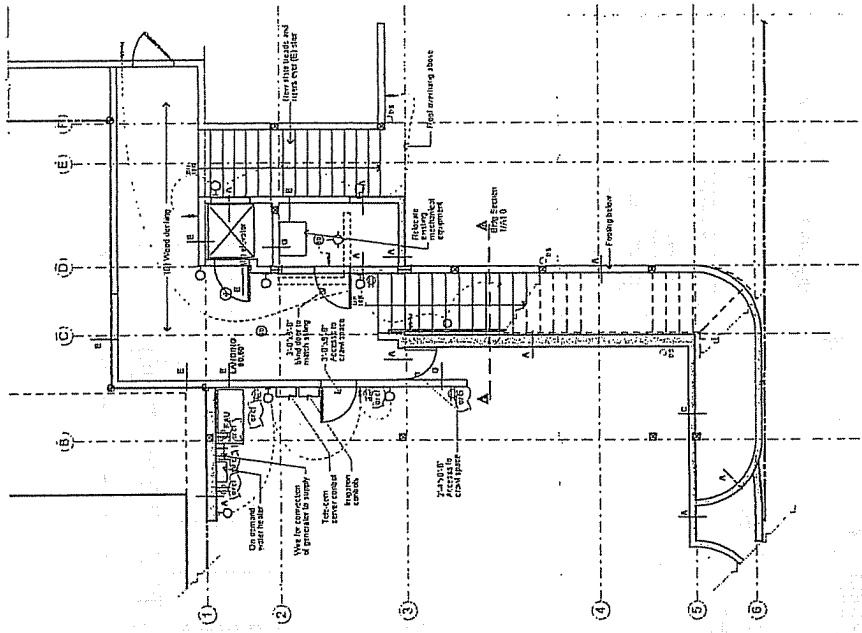
100-010

5B
97

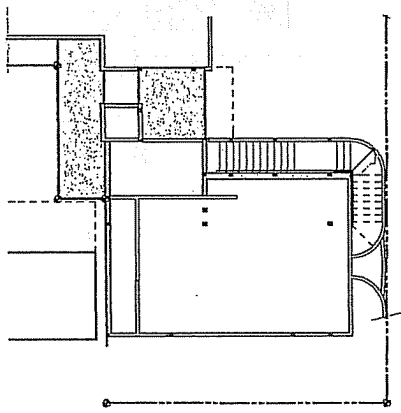
FOTSCH RESIDENCE ADDITION
 2 ALEXANDER AVE
 SAUSALITO, CA 94965

ARCHITECTURE PLAN
 DATE: 08/14/07
 SHEET NO.: 17
 PROJECT NO.: 0707
 August 14, 2007

A2.1
 July 22, 2007

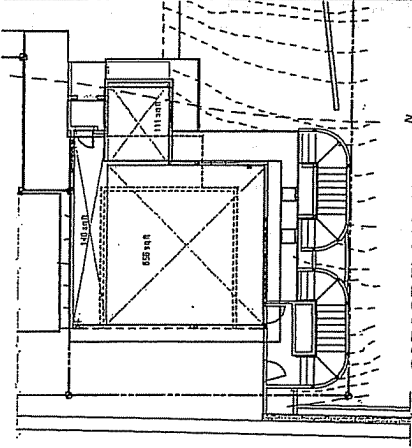


LOWER LANDING PLAN
 1/4" = 1'-0"
 July 22, 2007



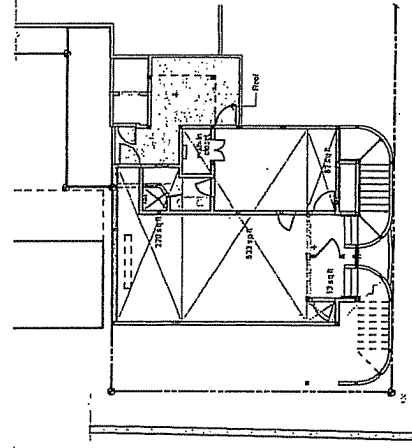
MIDDLE LANDING AREA
 1/4" = 1'-0"
 TOTAL INSIDE FLOOR AREA: 614 S.F.

5B
95



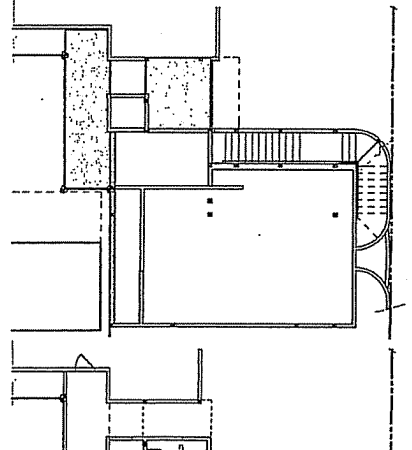
GARAGE FLOOR AREA
 1/8" = 1'-0"
 N

CALCULATED FLOOR AREA	
GARAGE	3180 S.F.
UPPER LANDING	888 S.F.
MIDDLE LANDING	816 S.F.
LOWER LANDING	212 S.F.
TOTAL	5096 S.F.



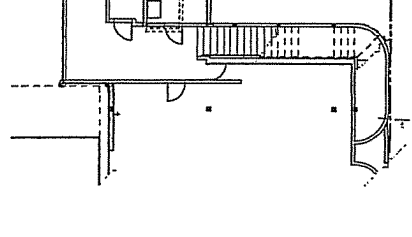
UPPER LANDING AREA
 1/8" = 1'-0"
 N

TOTAL UPPER LANDING AREA	
UPPER LANDING	888 S.F.



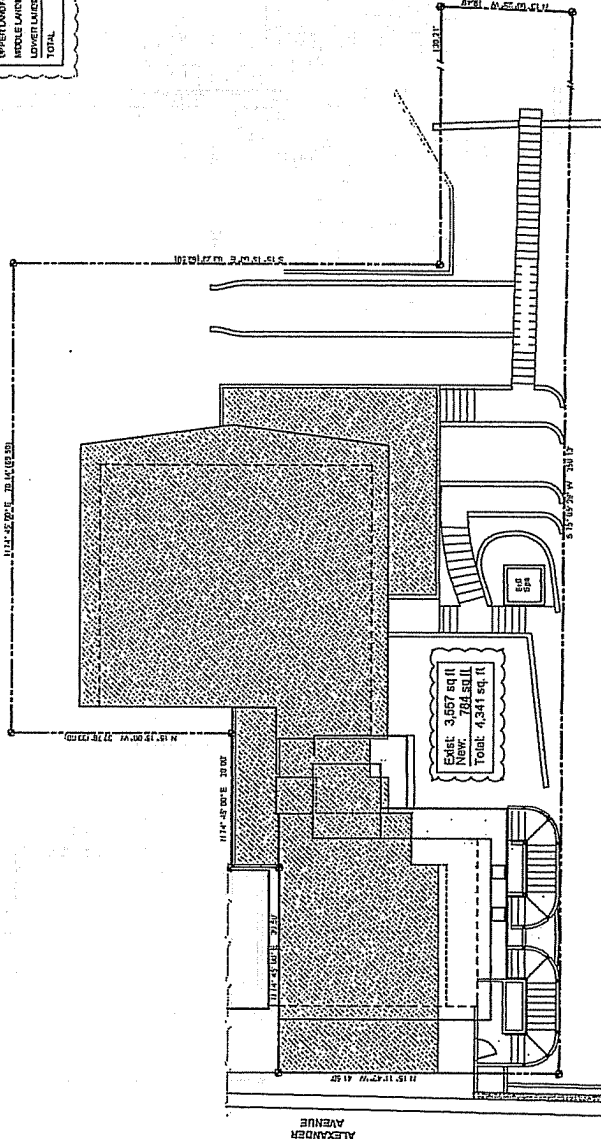
MIDDLE LANDING AREA
 1/8" = 1'-0"
 N

TOTAL MIDDLE LANDING AREA	
MIDDLE LANDING	816 S.F.



LOWER LANDING AREA
 1/8" = 1'-0"
 N

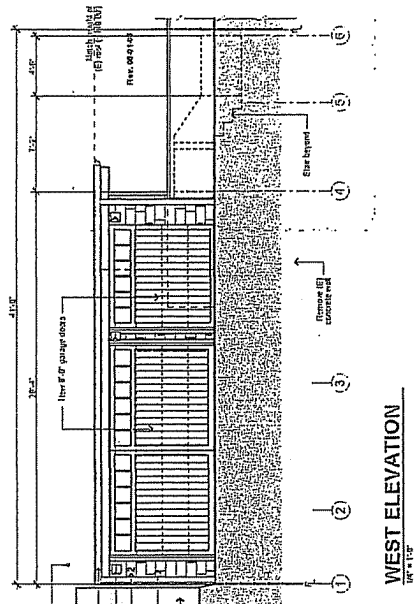
TOTAL LOWER LANDING AREA	
LOWER LANDING	212 S.F.



COVERAGE PLAN
 1/8" = 1'-0"
 N

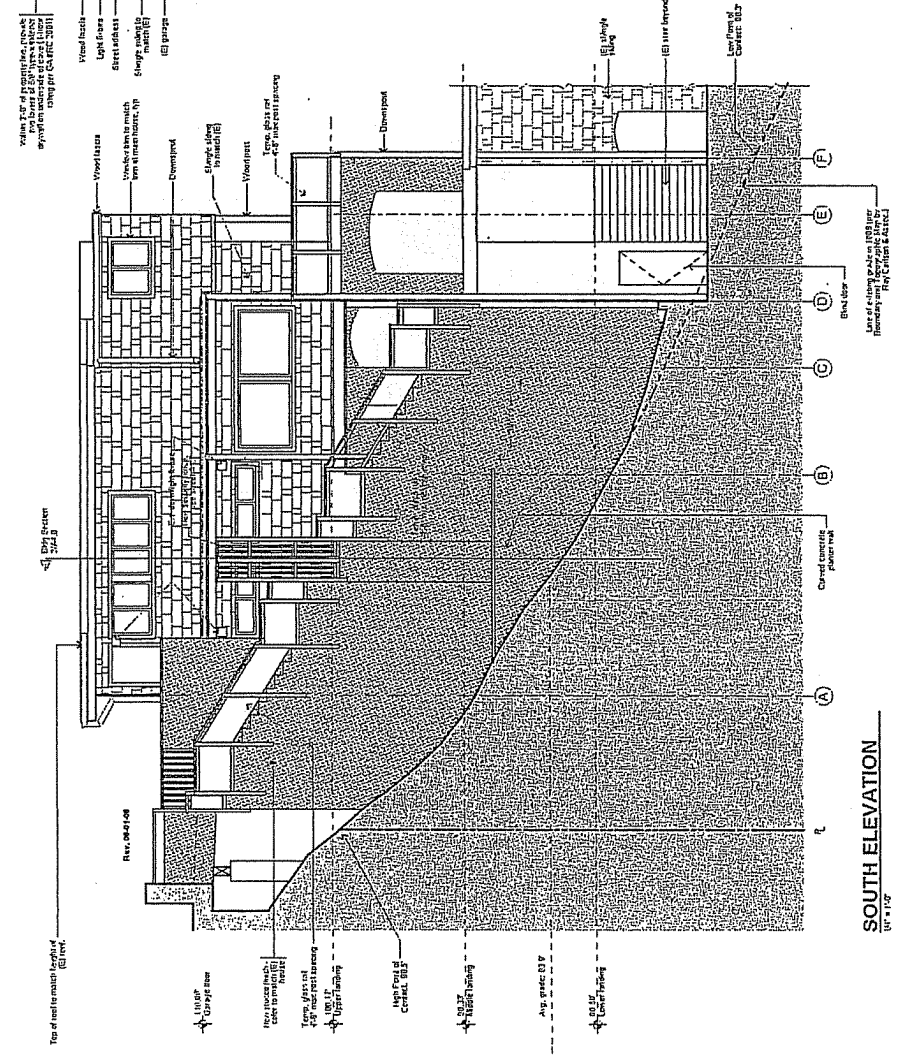
Existing Structure
 New Structure

SB
 96



WEST ELEVATION
 W-117

EXTERIOR FINISH SCHEDULE	
Slab:	CONCRETE 1. 4" concrete on compacted subgrade
Walls:	CONCRETE 1. 8" concrete on compacted subgrade
Roof:	CONCRETE 1. 4" concrete on compacted subgrade
Trim:	WOOD 1. 1/2" x 4" S4S 2. 1/2" x 6" S4S 3. 1/2" x 8" S4S 4. 1/2" x 10" S4S 5. 1/2" x 12" S4S
Paint:	EXTERIOR PAINT 1. 100% acrylic latex paint
Notes:	1. Refer to part of exterior paving, concrete details and color samples to architect for approval as to finish request.

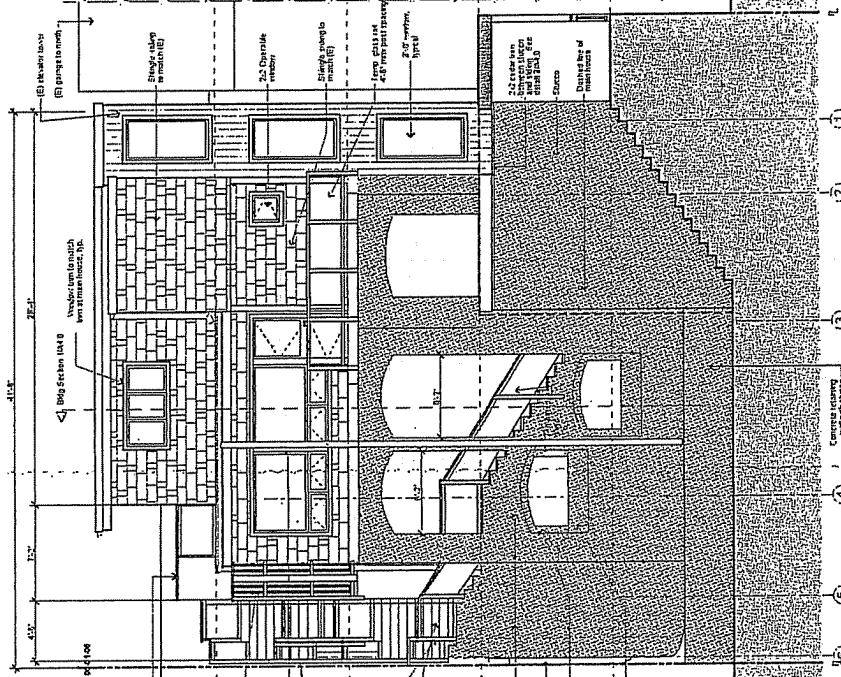


SOUTH ELEVATION
 W-118

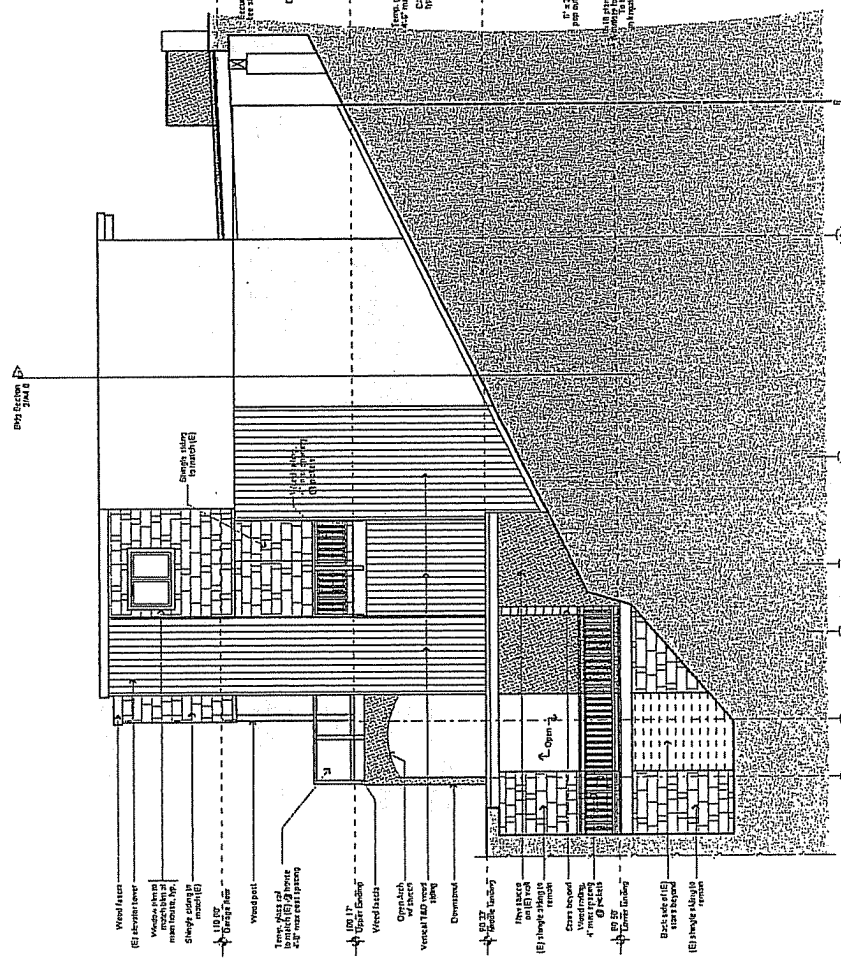
5B
 97

TOTAL SQUARE FEET	
EXISTING	1,200
ADDITION	1,000
TOTAL	2,200

A3.1
June 22, 2007



EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

5B
98