


STAFF REPORT

ZONING ADMINISTRATOR

Project Perry-Hinkle Deck, Landing, and Stairs / 11 Miller Avenue
Variance
VA 14-305

Meeting Date November 11, 2014

Staff Calvin Chan, Assistant Planner 

REQUEST

Approval of a Variance to allow an elevated deck (approximately 10' by 15'), landing, and stairs to extend five feet into the required five-foot side-yard setback. The elevated deck will be between 24" and 52" above natural grade.

PROJECT INFORMATION

Applicant Oscar Salabert

Owner Susan Perry

Location/Parcel Size 11 Miller Avenue (APN 065-161-06)
Approximately 4,260 square-feet (see **Exhibit B** for Vicinity Map)

General Plan Low Density Residential

Zoning Single-Family Residential (R-1-6) zoning district

Authority Relief from required yard setbacks necessitates a Variance pursuant to Section 10.68.020 of the Zoning Ordinance

CEQA The project consists of a request for relief of required side-yard setback standards and is categorically exempt pursuant to Section 15301 – Existing Facilities. Section 15301 provides an exemption for the repair and maintenance of existing private structures involving negligible or no expansion of use.

PROJECT DESCRIPTION

SITE LOCATION

The project site is located at 11 Miller Avenue. The irregularly-shaped parcel fronts on both Miller Avenue and Spencer Avenue and slopes uphill from south to north as well as from Miller Avenue to Spencer Avenue. The project site is developed with a single-family residence, an elevated rear deck, detached two-car garage, stairs, and walkways. The surrounding land uses consist of single-family residential uses.

PROJECT

The applicant is requesting a Variance to allow an elevated deck (approximately 10' by 15'), landing, and stairs to extend five feet into the required five-foot side-yard setback. The elevated deck will be between 24" and 52" above natural grade (see **Exhibit C** for Letter of Justification).

The applicant is proposing in-kind replacement of the aged and rotting wooden deck, landing, and stairs between the existing residence at 11 Miller Avenue (APN 065-161-06) and 21 Miller Avenue (APN 065-161-05). There will be no change in design, building coverage, or impervious surfaces (see **Exhibit D** for Project Plans).

BACKGROUND

The deck, landing, and stairs were originally brought to the City's attention on September 4, 2014 when a Zoning Permit application for "Dry rot repair of side-yard wood deck, landing, and stairs; like-for-like" was filed. A Zoning Permit (ZP 14-241) was approved. On October 15, 2014, the City received project review comments from CSG Consultants, Inc., the City's contract plan-checking firm. CSG alerted Staff to the deck's elevated nature and connection to the fence on the property line between 11 Miller Avenue and 21 Miller Avenue. On October 29, 2014, Staff reviewed the project plans again and determined that a Variance was needed due to the deck, landing, and stairs' placement in the required five-foot side-yard setback; Zoning Permit 14-241 was rescinded. On October 29, 2014, the applicant applied for the Variance.

PROJECT ANALYSIS

GENERAL PLAN CONSISTENCY

The project site is located within the Low Density Land Use designation. The General Plan describes this area as being comprised of single-family homes on large lots. To approve the proposed project, the Zoning Administrator must determine that the project is consistent with all applicable General Plan policies. Staff has identified the following policy of the Land Use and Growth Management Element as most relevant to the proposed project:

Policy LU-1.18. Non-Conforming Structures (Residential): Recognize the importance of maintaining the existing character of Sausalito neighborhoods by preserving the existing intensity of any non-conforming structure in residential neighborhoods that exceeds zoning standards.

The applicant's Letter of Justification suggests that the wood deck, landing, and stairs were constructed approximately 25 years ago and are currently in need of replacement due to dry-rot. Properties in the neighborhood are characterized by significant grade differences that are accommodated through decks and fences with designs that are frequently non-conforming and exceeding zoning standards. The in-kind replacement of the wood deck, landing, and stairs will not intensify the nonconforming nature of the existing structures nor will it adversely affect the existing neighborhood character. On April 17, 2014, a Variance was approved by the Zoning Administrator for the construction of a fence on the shared property line between 11 Miller Avenue and 21 Miller Avenue that exceeded the maximum permitted height of six feet (Resolution No. 2014-01). The subject wood deck, landing, and stairs were not included in that Variance request. The Variance requested currently would allow the deck to be replaced in-kind to complement the newer constructed fence. The neighboring property owner at 21 Miller Avenue, Emmet C. Yeazell, is in support of the project (see **Exhibit E** for letter). With support from the property owner at 21 Miller Avenue, consideration of the limited project scope, and topography of the project site, Staff concludes that the project is consistent with this policy.

ZONING ORDINANCE CONSISTENCY

The Zoning Administrator must review the proposed project for its conformance with all applicable regulations of the Zoning Ordinance. Staff has outlined the following Zoning Ordinance requirements that apply to the project in the following discussion.

Section 10.40.070 (Setbacks and Yards) states, "Each zoning district establishes minimum setback requirements." The required minimum side-yard setback for a property within the Single-Family Residential (R-1-6) zoning district is five feet (Table 10.22-2).

Section 10.40.090 (Permitted Projections into Required Setbacks) of the Zoning Ordinance provides regulations related to encroachments into required setbacks:

B. Yard projections. Projections into minimum yards shall be as follows:

2. The minimum yard setback may not be reduced for decks that are 24 inches or more above natural grade, porches, or other indoor or outdoor living areas.

The elevated deck and associated landing and stairs are between 24" and 52" above natural grade. In order for the wood deck, landing, and stairs to be replaced in-kind, a Variance must first be approved. Section 10.80.040B of the Zoning Ordinance provides this direction and states:

Duties and supervision. The Zoning Administrator shall serve as a hearing officer and is assigned the authority and original jurisdiction to investigate, consider, and approve or deny the following applications:

2. Variance Applications for the following when the application is not associated with any discretionary permit requiring Planning Commission approval:
 - a. Setbacks (Required yards per Section 10.40.070 (Setbacks and Yards) et seq.)

Should the Zoning Administrator approve the Variance Application, the project will be consistent with the Zoning Ordinance.

VARIANCE

To grant a variance, Zoning Ordinance, Section 10.68.050 requires the Zoning Administrator to make each of the six findings below for each variance request:

- A) There are exceptional or extraordinary circumstances or conditions applying to the property involved or to the intended use of the property, that do not apply generally to other property or uses in the same district;
- B) Owing to such exceptional or extraordinary circumstances the literal enforcement of the provisions of the Title would result in practical difficulty or unnecessary hardship;
- C) Such Variance is necessary for the preservation of a substantial property right of the petitioner, possessed by other property in the same district;
- D) The granting of such Variance will not be materially detrimental to the public welfare or injurious to the property or improvement in the vicinity or in the district in which the subject property is located;
- E) The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district; and
- F) The granting of such Variance will be in harmony with the general purpose and intent of this Title and the General Plan.

Staff suggests that all six of the findings can be made in support of the Variance to allow for the elevated deck, landing, and stairs to be within the required side-yard setback. A discussion on how the variance request can be supported is provided below:

- A) **Exceptional Circumstances:** The parcel at 11 Miller Avenue slopes upward towards Spencer Avenue and to a lesser degree, upward towards 21 Miller Avenue. The two properties at 11 Miller Avenue and 21 Miller Avenue have decks that are constructed slightly elevated due to the terrain

and sloping hillside. As these two properties are non-conforming in terms of parcel size for the Single-Family Residential (R-1-6) zoning district, there is limited option for placement of decks. Furthermore, according to the Letter of Justification, "The existing wood stairs, landing and deck are the only means of transitioning from the side of the property they are located, to the back of the property where the garbage cans are located. Allowing the garbage to be collected." The project for in-kind replacement of the wood deck, landing, and stairs does not exacerbate the nonconformity of these structures and is in support of the exceptional or extraordinary circumstances experienced by 11 Miller Avenue.

B) Hardship: The width of the existing deck is approximately 9-feet-10-inches and spans the distance from the side of the existing residence at 11 Miller Avenue to the fence on the shared property line with 21 Miller Avenue. If the deck were to be replaced within the parameters of the required five-foot setback requirement, the width of the deck would be reduced to approximately 4-feet-10-inches. This would, in effect, reduce the deck from a useable outdoor area to a wooden walkway. Moreover, the landing and stairs would necessitate reconfiguration. These actions would result in practical difficulty for the property owner.

C) Property Right: The wood deck, landing, and stairs, were constructed approximately 25 years ago. The project proposes in-kind replacement. Several other properties in the same district have decks that are located within side-yard setbacks, or, other properties in the same district are located on more level lots that do not limit the placement of useable outdoor area structures to such extent.

D) Public Welfare: The property potentially impacted by the deck, landing, and stairs would be that of the neighboring property at 21 Miller Avenue. The previously-approved fence above six feet in height and built on the shared property line shields the visual impact of the deck, landing, and stairs. The project proposes in-kind replacement. With consideration of the limited project scope and topography of the project site, Staff concludes that the project is consistent with this policy.

E) Not a Special Privilege: Several decks located in the required side-yard setback exist in the surrounding neighborhood and district. Approval of this Variance would not be granting the property owner a special privilege inconsistent with the limitations on other properties in the same Zoning District because other properties already have decks located in the required side-yard setback areas.

F) Compliance with Regulations: The purpose of a Variance is to "provide relief from the strict application of the zoning ordinance when special circumstances apply to the property, including size, shape, topography, location or surroundings and the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning district" (Section 10.68.020). This property has special circumstances with respect to size and topography and the fact that several other properties in the neighborhood and district already have decks in required side-yard setback areas, approval of this Variance would be in harmony with the general purpose and intent of this title because it would not be granting a special privilege inconsistent with the limitations on other properties. Furthermore, granting of this Variance would be harmonious with the general purpose of the General Plan because it would preserve an existing non-conforming structure in a residential neighborhood.

CONCLUSION

Staff concludes the requisite findings can be made to approve the Variance, as described in the attached draft Resolution of Approval.

PUBLIC NOTICE AND CORRESPONDENCE

On October 30, 2014, a notice of the Variance request was posted on the project site and mailed to all property owners and residents within 300 feet of the project site.

RECOMMENDATION

Staff recommends the Zoning Administrator approve the attached draft Resolution (**Exhibit A**) which approves a Variance to allow an elevated deck (approximately 10' by 15'), landing, and stairs to extend five feet into the required five-foot side-yard setback. The elevated deck will be between 24" and 52" above natural grade.

Alternatively, the Zoning Administrator may:

- Continue the public hearing for additional information and/or project revisions; or
- Deny the Variance and direct Staff to return with a Resolution of Denial.

EXHIBITS

- A. Resolution (draft)
- B. Vicinity Map
- C. Letter of Justification, date-stamped received October 29, 2014
- D. Project Plans date-stamped received October 8, 2014
- E. Letter from Emmet C. Yeazell, 21 Miller Avenue, date-stamped received November 5, 2014

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**SAUSALITO ZONING ADMINISTRATOR
RESOLUTION NO. 2014-XX**

**APPROVAL OF A VARIANCE TO ALLOW AN ELEVATED DECK, LANDING, AND STAIRS TO
EXTEND FIVE FEET INTO THE REQUIRED FIVE-FOOT SIDE-YARD SETBACK
11 MILLER AVENUE (VA 14-305)**

WHEREAS, an application has been filed by the applicant Oscar Salabert, on behalf of property owner Susan Perry, requesting Zoning Administrator approval of a Variance to allow an elevated deck (approximately 10' by 15'), landing, and stairs to extend five feet into the required five-foot side-yard setback at 11 Miller Avenue (APN 065-161-06). The elevated deck will be between 24" and 52" above natural grade; and

WHEREAS, the Zoning Administrator conducted a duly-noticed public hearing on November 11, 2014, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Zoning Administrator has reviewed and considered the project plans date-stamped October 8, 2014; and

WHEREAS, the Zoning Administrator has received and considered oral and written testimony on the subject application; and

WHEREAS, the Zoning Administrator has reviewed and considered the information contained in the November 11, 2014, Staff Report for the project; and

WHEREAS the Zoning Administrator finds that, as conditioned herein, the project complies with the requirements of the General Plan and Zoning Ordinance as described in the Staff Report; and

WHEREAS, the Zoning Administrator finds that the project is categorically exempt from the requirements of California Environmental Quality Act (CEQA) pursuant to Sections 15301 of the CEQA guidelines; and

NOW, THEREFORE, THE ZONING ADMINISTRATOR HEREBY RESOLVES AS FOLLOWS:

Variance VA 14-305 to allow an elevated deck (approximately 10' by 15'), landing, and stairs to extend five feet into the required five-foot side-yard setback at 11 Miller Avenue (APN 065-161-06); is approved based upon the Findings in Attachment 1 and subject to the Conditions of Approval in Attachment 2. The Project Plans are provided in Attachment 3.

Date

Jeremy Graves, AICP
Zoning Administrator

Attachments:

1. Findings
2. Conditions of Approval
3. Project Plans date-stamped October 8, 2014

EXHIBIT A

ZONING ADMINISTRATOR RESOLUTION
NOVEMBER 11, 2014
VA 14-305
11 MILLER AVENUE

ATTACHMENT 1: FINDINGS

VARIANCE FINDINGS FOR VARIANCES FROM REQUIRED SETBACKS

In accordance with Zoning Ordinance Section 10.68 (Variances), the Variance from Section 10.40.070 of the Zoning Ordinance is approved based on the following findings:

- A) There are exceptional or extraordinary circumstances or conditions applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same district.

The parcel at 11 Miller Avenue slopes upward towards Spencer Avenue and to a lesser degree, upward towards 21 Miller Avenue. The two properties at 11 Miller Avenue and 21 Miller Avenue have decks that are constructed slightly elevated due to the terrain and sloping hillside. As these two properties are non-conforming in terms of parcel size for the Single-Family Residential (R-1-6) zoning district, there is limited option for placement of decks. Furthermore, according to the Letter of Justification, "The existing wood stairs, landing and deck are the only means of transitioning from the side of the property they are located, to the back of the property where the garbage cans are located. Allowing the garbage to be collected." The project for in-kind replacement of the wood deck, landing, and stairs does not exacerbate the nonconformity of these structures and is in support of the exceptional or extraordinary circumstances experienced by 11 Miller Avenue.

- B) Owing to such exceptional or extraordinary circumstances the literal enforcement of the provisions of the Title would result in practical difficulty or unnecessary hardship.

The width of the existing deck is approximately 9-feet-10-inches and spans the distance from the side of the existing residence at 11 Miller Avenue to the fence on the shared property line with 21 Miller Avenue. If the deck were to be replaced within the parameters of the required five-foot setback requirement, the width of the deck would be reduced to approximately 4-feet-10-inches. This would, in effect, reduce the deck from a useable outdoor area to a wooden walkway. Moreover, the landing and stairs would necessitate reconfiguration. These actions would result in practical difficulty for the property owner.

- C) Such Variance is necessary for the preservation of a substantial property right of the petitioner, possessed by other property in the same district.

The wood deck, landing, and stairs, were constructed approximately 25 years ago. The project proposes in-kind replacement. Several other properties in the same district have decks that are located within side-yard setbacks, or, other properties in the same district are located on more level lots that do not limit the placement of useable outdoor area structures to such extent.

- D) The granting of such Variance will not be materially detrimental to the public welfare or injurious to the property or improvement in the vicinity or in the district in which the subject property is located.

The property potentially impacted by the deck, landing, and stairs would be that of the

neighboring property at 21 Miller Avenue. The previously-approved fence above six feet in height and built on the shared property line shields the visual impact of the deck, landing, and stairs. The project proposes in-kind replacement. With consideration of the limited project scope and topography of the project site, Staff concludes that the project is consistent with this policy.

- E) The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

Several decks located in the required side-yard setback exist in the surrounding neighborhood and district. Approval of this Variance would not be granting the property owner a special privilege inconsistent with the limitations on other properties in the same Zoning District because other properties already have decks located in the required side-yard setback areas.

- F) The granting of such Variance will be in harmony with the general purpose and intent of this title and General Plan.

The purpose of a Variance is to "provide relief from the strict application of the zoning ordinance when special circumstances apply to the property, including size, shape, topography, location or surroundings and the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning district" (Section 10.68.020). This property has special circumstances with respect to size and topography and the fact that several other properties in the neighborhood and district already have decks in required side-yard setback areas, approval of this Variance would be in harmony with the general purpose and intent of this title because it would not be granting a special privilege inconsistent with the limitations on other properties. Furthermore, granting of this Variance would be harmonious with the general purpose of the General Plan because it would preserve an existing non-conforming structure in a residential neighborhood.

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**ZONING ADMINISTRATOR RESOLUTION
NOVEMBER 11, 2014
VA 14-305
11 MILLER AVENUE**

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions apply to the project plans prepared by Oscar Salabert date-stamped received October 8, 2014.

General Conditions

1. No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Department as a modification to this approval.
2. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
3. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.
4. Construction materials, equipment, vehicles, and debris boxes shall be placed to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris box shall be emptied on a regular basis, else as directed by the City. Material stock piles & debris boxes shall be covered when not being accessed or filled to prevent material from blowing around the neighborhood. Construction materials, equipment, vehicles, and debris boxes placed off-site shall be done only after securing an encroachment permit.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

5. This approval will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
6. An approval granted by the Zoning Administrator does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.

7. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
8. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.
9. An encroachment permit shall be obtained from the Department of Public Works prior to use of the public right-of-way for non-public purposes (e.g., materials storage, debris box storage) including any and all construction and demolition activities.
10. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
11. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:
 - Weekdays – Between 8:00 a.m. and 6:00 p.m.
 - Saturdays – Between 9:00 a.m. and 5:00 p.m.
 - Sundays – Prohibited
 - City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

**ZONING ADMINISTRATOR RESOLUTION
NOVEMBER 11, 2014
VA 14-305
11 MILLER AVENUE**

ATTACHMENT 3: PROJECT PLANS DATE-STAMPED RECEIVED OCTOBER 8, 2014

11 Miller Avenue – Vicinity Map

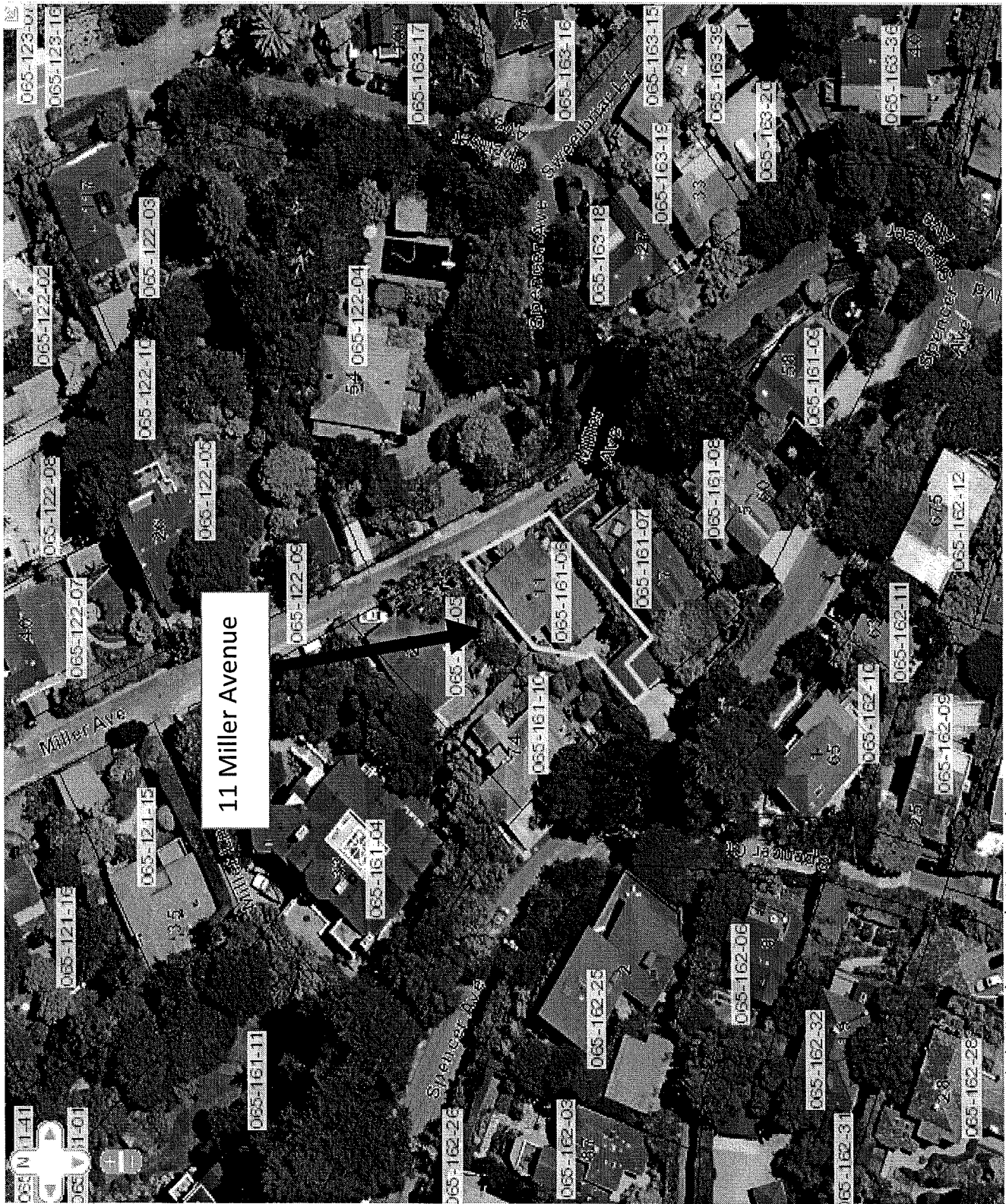


EXHIBIT B

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RECEIVED

OCT 29 2014

CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

11 Miller Ave deck variance application letter of justification

The existing wood deck, landing and stairs were built 25 years ago, it is rotting and in need of replacement. The existing wood stairs, landing and deck are the only means of transitioning from the side of the property they are located, to the back of the property where the garbage cans are located. Allowing the garbage to be collected.

The entire width of the existing deck is 9' 10" and spans the entire distance from the side of the house to the fence, which is on the property line between 11 Miller ave and 21 Miller Ave. If the replacement deck were required to be from the side of the house to 5' from the fence, it would reduce the width of the deck to 4' 9". Thereby changing it from a deck to a wood walkway. This would greatly reduce the property value, as the house at 11 Miller ave sits on a small lot on a hill, with a minimal amount of level, useable outdoor area. This would also require a complete reconfiguring of the stairs and landing leading up to the deck.

It would seem that the reason the city of Sausalito has the requirement of a 5' setback from the property line, for a deck with an average elevation of more then 2', is to assure privacy for neighbors. Because of the fact that the code for fence height is 6' or less and if one were to build a deck with an elevation of more then 2' directly against a property line fence 6' tall, anyone standing on that deck would look directly into the neighbors yard, thereby reducing their privacy and property value.

This is not an issue because the city of Sausalito has recently granted 11 Miller Ave a fence height Variance and the section of fence along the existing deck is 6' 3" or higher and affords the owner of 21 Miller Ave privacy from the deck. the current owner of 21 Miller Ave is Emmet Yeazell, Emmet and Susan Perry-Hinkle, the owner of 11 Miller Ave, have lived next to each other their entire lives and are life long friends. Emmet Yeazell has no issue with the deck being rebuilt at the same location and elevation as the existing deck.

It is for the above stated reasons and the fact that requiring the replacement deck to be setback from the property line 5" would cause Susan unnecessary and unreasonable hardship and financial loss, that we request 11 Miller Ave be granted a deck variance.

EXHIBIT C

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City of Sausalito
Correction list
September 12, 2014

11 MILLER AVE SAUSALITO

1 COVER SHEET

All construction shall comply with the Sausalito
Municipal Code and the 2013 Edition of:
CA Building Code CA Mechanical Code
CA Plumbing Code CA Electrical Code
CA Energy Code CA Residential Code
CA Fire Code CA Green Bldg Stds Code
International Property Maintenance Code

- △ a. 1
- △ b.
- △ c.
- △ d.

△ a.

△ b. Occupancy is R-3 Construction type is V-B

△ c. Scope of work: Take apart and remove existing sideyard wooden deck, railings, stairs and landing, including all framing, posts and footings. Rebuild sideyard wooden deck, railings, stairs and landing, including all framing, posts and footings at the exact same location, elevation and dimensions.

△ d. Drawings sheets index.

- ① Deck framing overview
- ② Deck framing detail: joist connections and girder assembly
- ③ Deck framing detail: post to girder, post to footing, joist to girder, connections
- ④ Deck framing detail: railing post to rim joist connection
- ⑤ Deck railing components
- ⑥ Landing framing overview
- ⑦ Stair framing overview
- ⑧ First stair off deck framing overview
- ⑨ Dimensions of stairs, landing and number of stairs
- ⑩ Site Plan

CSG CONSULTANTS, INC.
THESE PLANS AND DETAILS ARE

APPROVED

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR ANY VIOLATION OF ANY CODE OR ORDINANCE.

By [Signature]
Date 10/15/2014

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

PLAN PREPARER
Name OSCAR SALASERT
Signature [Signature]
CONTACT INFORMATION
Ph # 415-336-7773
Fax # _____
PROJECT ADDRESS
11 MILLER AVE

RECEIVED
OCT 08 2014
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

EXHIBIT D

CITY OF SAUSALITO
 CORRECTIONS LIST
 Δ 4 SEPTEMBER 13, 2014
 Δ 6
 Δ 7

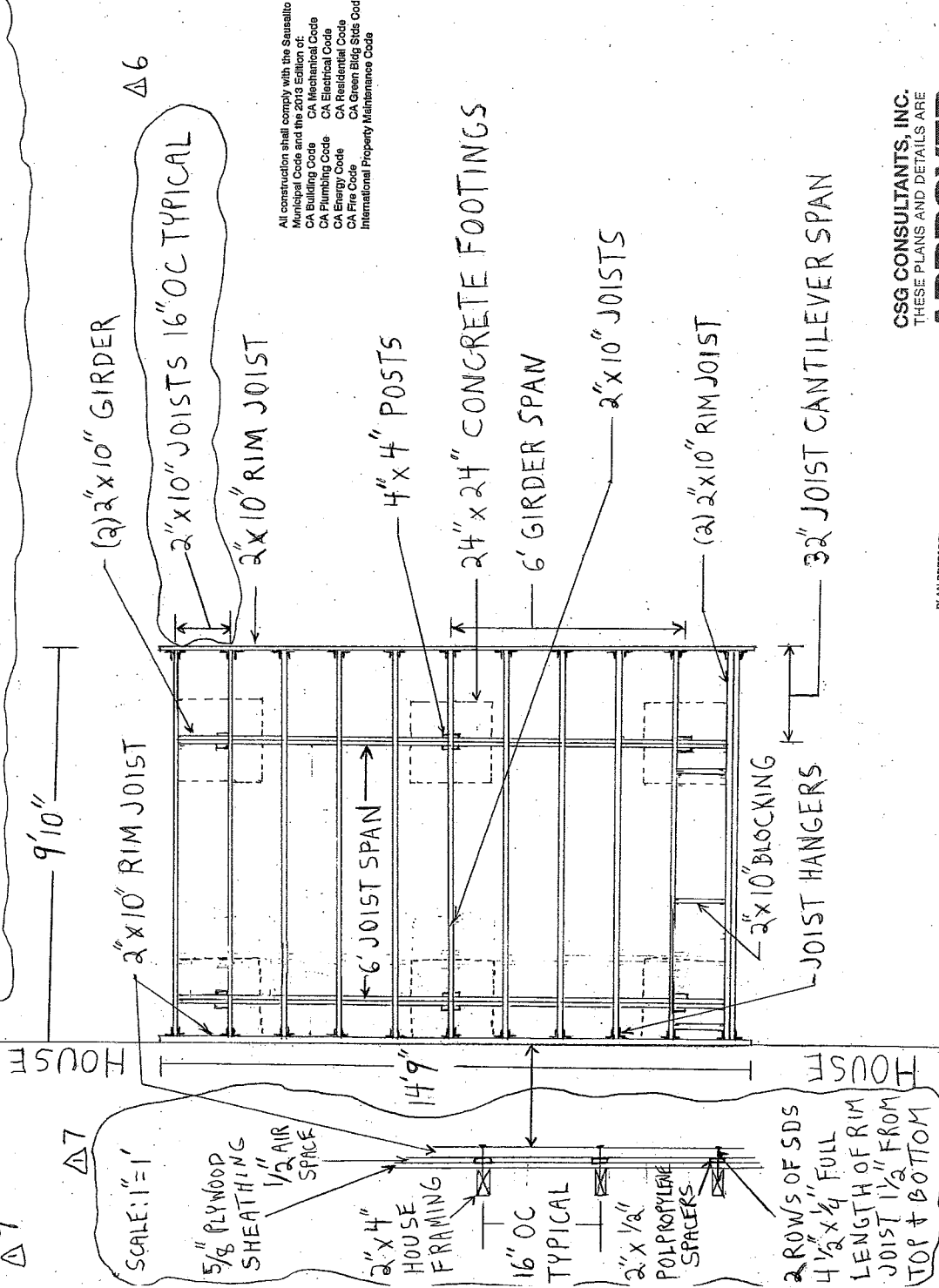
11 MILLER AVE SAUSALITO

SCALE: 1/2" = 1'

①

DECK FRAMING OVERVIEW

ALL POSTS + FRAMING LUMBER PRESSURE TREATED DOUGLAS FIR #2



All construction shall comply with the Sausalito Municipal Code and the 2013 Edition of:
 CA Building Code CA Mechanical Code
 CA Plumbing Code CA Electrical Code
 CA Energy Code CA Residential Code
 CA Fire Code CA Green Bldg Side Code
 International Property Maintenance Code

CSG CONSULTANTS, INC.
 THESE PLANS AND DETAILS ARE
APPROVED

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR VIOLATION OF ANY CODE OR ORDINANCE.

By: *[Signature]*
 Date: 10/15/2014

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

PLAN PREPARER
 Name: OSCAR SACAISERT
 Signature: *[Signature]*
 CONTACT INFORMATION
 Ph #: 415-336-7773
 Fax #:
 PROJECT ADDRESS
 11 MILLER AVE

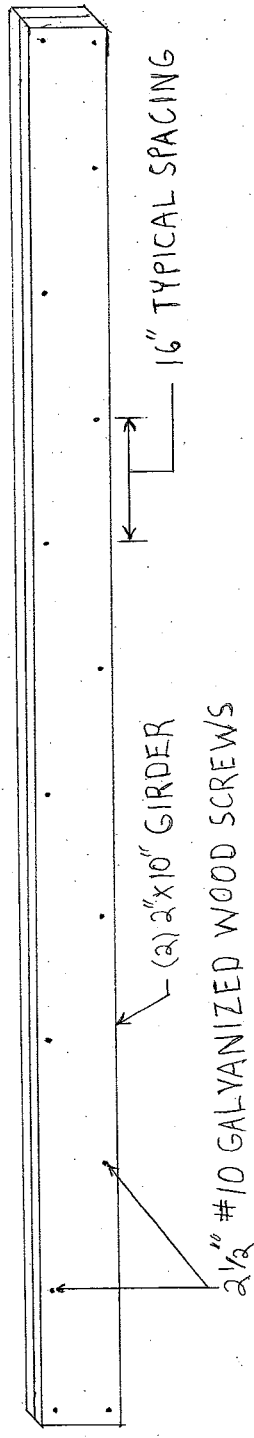
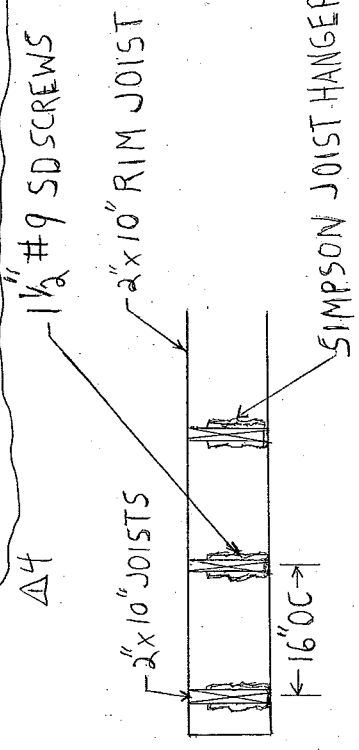
CITY OF SAUSALITO
CORRECTIONS LIST
SEPTEMBER 12, 2014
A4

SCALE: 1"=1'

(2)

11 MILLER AVE SAUSALITO
DECK FRAMING DETAIL

ALL FRAMING LUMBER + POSTS PRESSURE TREATED DOUGLAS FIR #2



SCREW PATTERN REPEATED ON OPPOSITE SIDE OF GIRDER

SCREW PATTERN AND SCREWS THE SAME FOR (2) 2" x 10" RIM JOIST
(SHOWN ON PAGE 1 DECK FRAMING OVERVIEW)

PLAN PREPARER
Name: OSCAR GALAZERT
Signature: [Signature]
CONTACT INFORMATION
Ph #: 415-336-1113
Fax #:
PROJECT ADDRESS
11 MILLER AVE

CSG CONSULTANTS, INC.
THESE PLANS AND DETAILS ARE

APPROVED

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A GUARANTEE OR ASSURANCE OF ANY CODE OR ORDINANCE.

By: [Signature]
Date: 10/15/2014

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

CITY OF SAUSALITO
CORRECTIONS LIST
SEPTEMBER 12, 2014

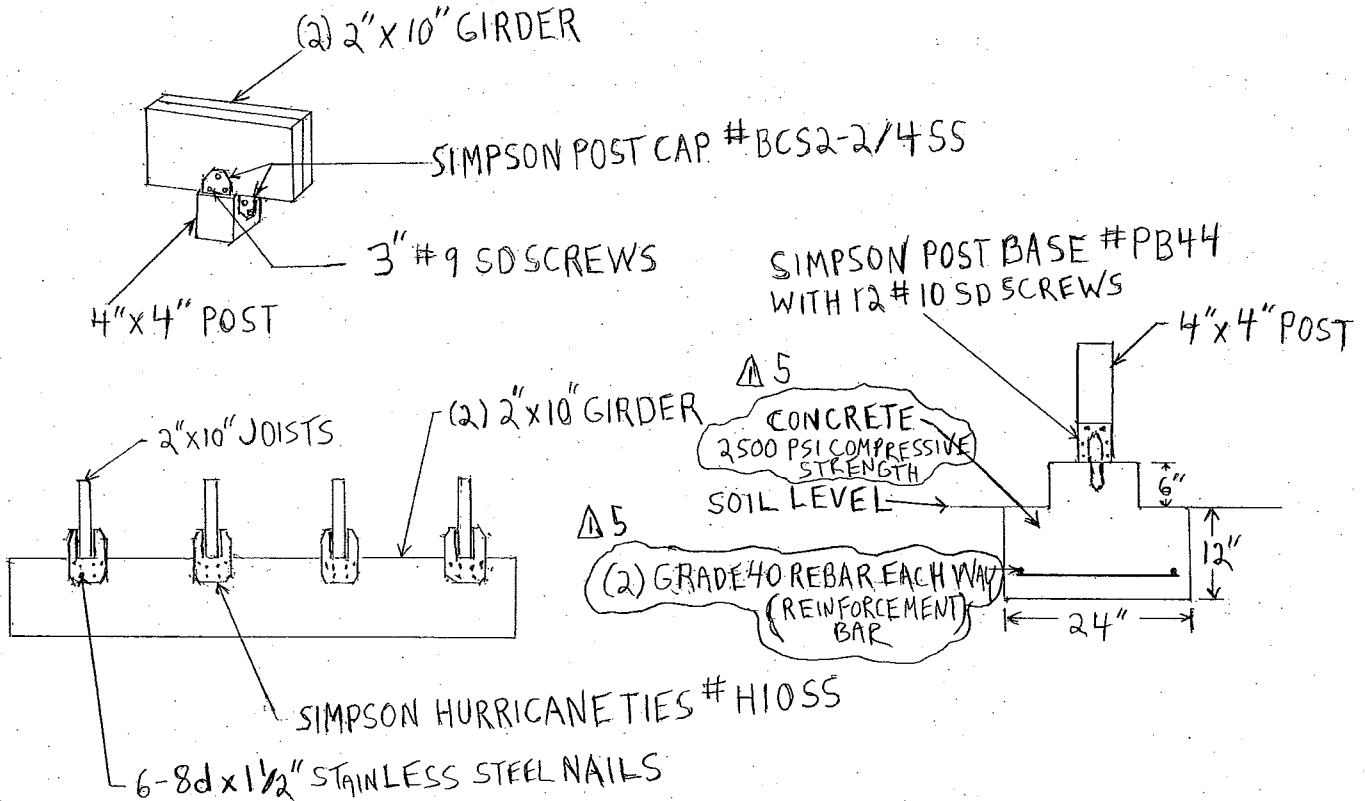
11 MILLER AVE SAUSALITO SCALE: 1"=1'
DECK FRAMING DETAIL

3

ALL FRAMING LUMBER + POSTS PRESSURE TREATED DOUGLAS FIR #2

Δ 4
Δ 5

Δ 4



CSG CONSULTANTS, INC.
THESE PLANS AND DETAILS ARE

APPROVED

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR ANY VIOLATION OF ANY CODE OR ORDINANCE.

By [Signature]

Date 10/15/2014

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

PLAN PREPARER
 Name OSCAR SALABERT
 Signature [Signature]
 CONTACT INFORMATION
 Ph # 415-336-7773
 Fax # _____
 PROJECT ADDRESS
11 MILLER AVE

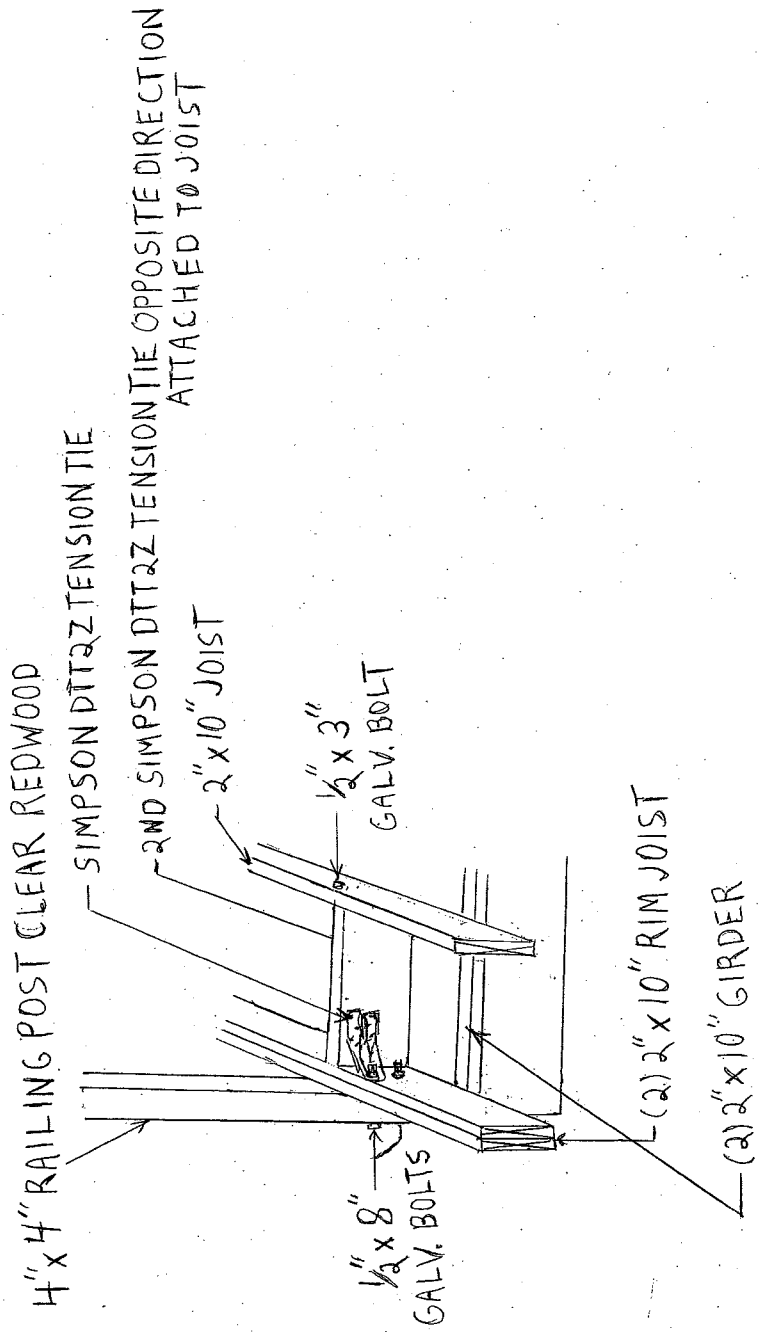
CITY OF SAUSALITO
CORRECTIONS HIST
SEPTEMBER 12, 2014
A4

11 MILLER AVE SAUSALITO SCALE: 1"=1'
DECK FRAMING DETAIL

4

ALL FRAMING LUMBER + POSTS PRESSURE TREATED DOUGLAS FIR #2

A4



PLAN PREPARER
Name: OSCAR SAUSALITO
Signature: *[Signature]*
CONTACT INFORMATION
Ph # 415-386-7773
Fax #
PROJECT ADDRESS
11 MILLER AVE

CSG CONSULTANTS, INC.
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By: *[Signature]*
Date: 10/15/2014
THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

CITY OF SAUSALITO
CORRECTIONS LIST
SEPTEMBER 12, 2014

△4
△8

HOUSE
△8

42"

4" x 4" POST
3 1/2"

HOUSE

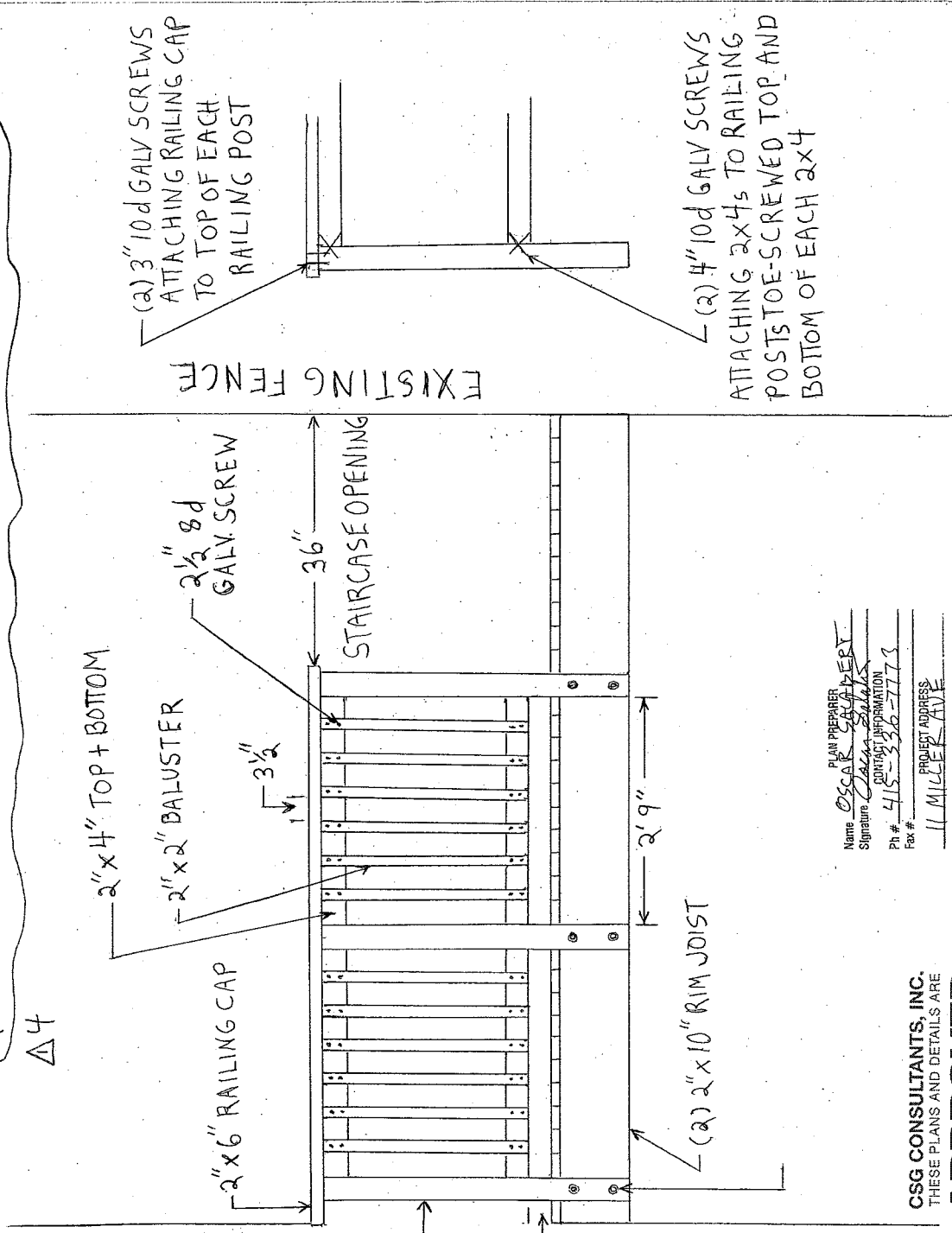
SCALE: 1" = 1'

5

11 MILLER AVE SAUSALITO

DECK RAILING COMPONENTS + DECK BOARDS CLEAR HEART REDWOOD
ALL FRAMING LUMBER + POSTS PRESSURE TREATED DOUGLAS FIR #2

△4



PLAN PREPARER
Name: OSCAR GABERT
Signature: *Oscar Gabert*
Ph #: 415-336-7773
Fax #: _____
PROJECT ADDRESS
11 MILLER AVE

CSG CONSULTANTS, INC.
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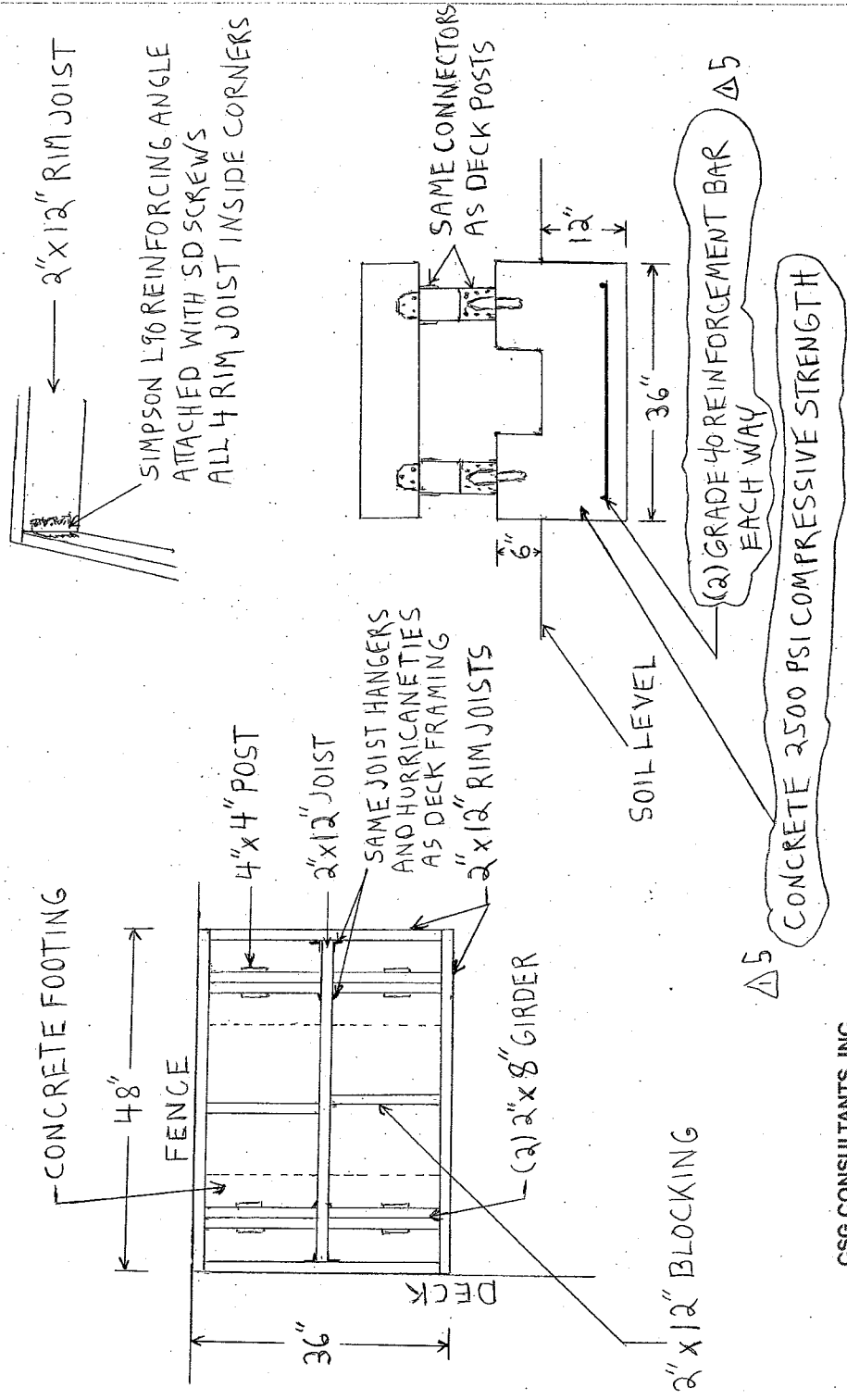
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By: *[Signature]*
Date: 10/15/2014

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CITY OF SAUSALITO
 CORRECTIONS LIST
 SEPTEMBER 12, 2014
 Δ 4
 Δ 5

11 MILLER AVE SAUSALITO SCALE: 1"=1'
 (6)
 LANDING FRAMING OVERVIEW
 (ALL POSTS + FRAMING LUMBER PRESSURE TREATED DOUGLAS FIR #2)
 Δ 4



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By: *[Signature]*
 Date: 10/15/2014

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

Name: OSCAR SALABERT
 Signature: *[Signature]*
 Ph #: 415-336-7773
 PROJECT ADDRESS: 11 MILLER AVE

CITY OF SAUSALITO
CORRECTION LIST
SEPTEMBER 12, 2014

- △ 4
- △ 5
- △ 8

11 MILLER AVE SAUSALITO

SCALE: 1"=1'

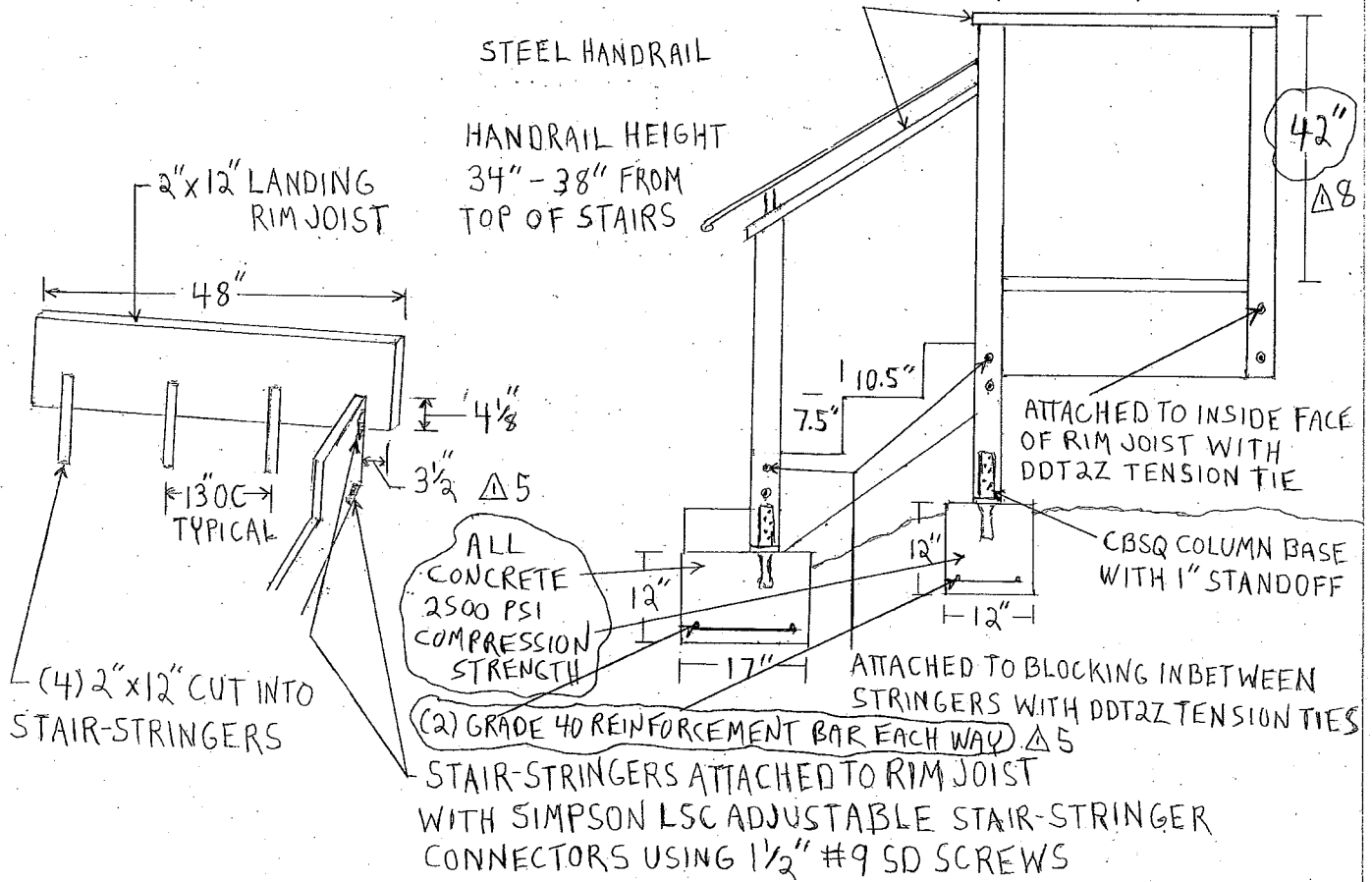
7

STAIR FRAMING OVERVIEW

ALL FRAMING LUMBER + POSTS PRESSURE TREATED DOUGLAS FIR #2

△ 4 ALL OTHER LUMBER CLEAR REDWOOD

RAILING DETAIL SAME AS DECK RAILING (See sheet 5)



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By [Signature]

Date 10/15/2014

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

PLAN PREPARER
Name OSCAR SALABERT
Signature [Signature]

CONTACT INFORMATION
Ph # 415-336-7773
Fax # _____

PROJECT ADDRESS
11 MILLER AVE

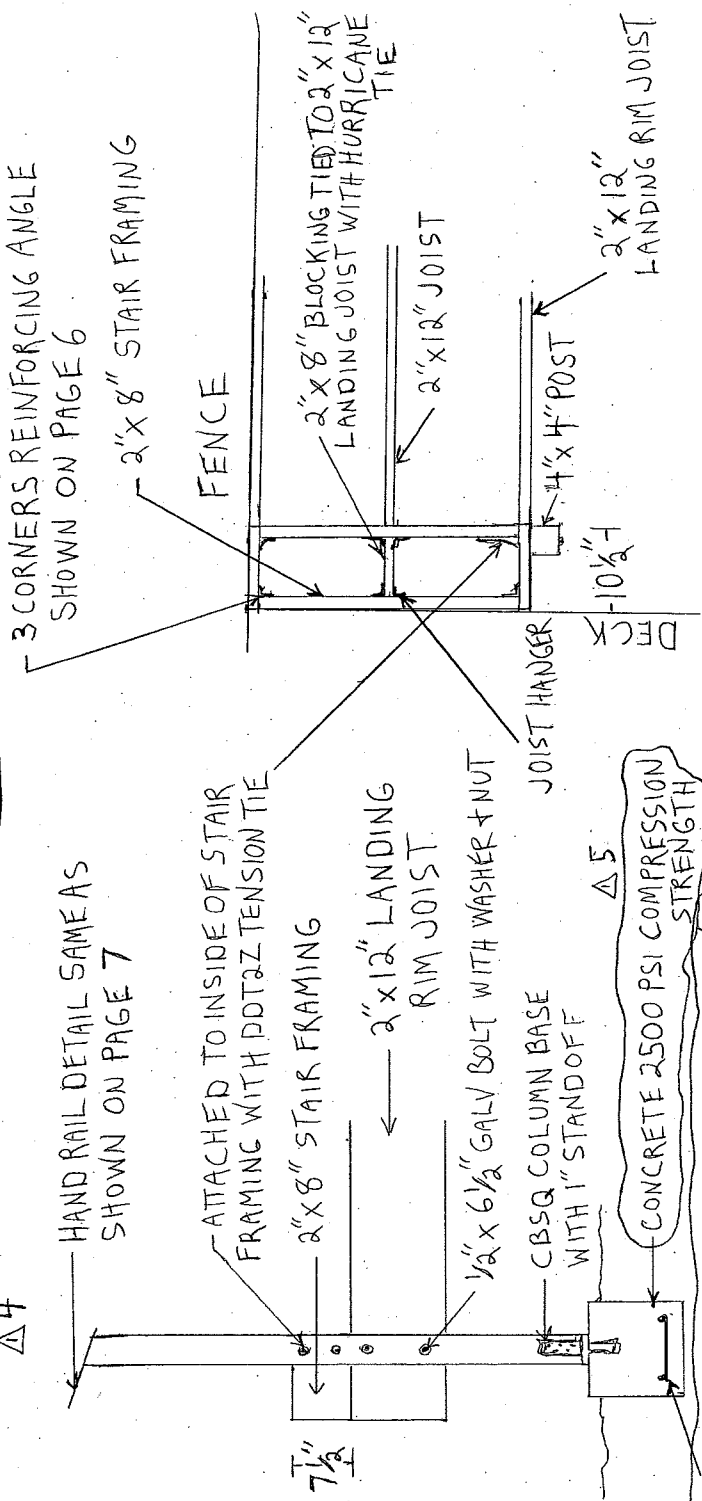
CITY OF SAUSALITO
CORRECTIONS LIST
SEPTEMBER 12, 2014

Δ 4
Δ 5

11 MILLER AVE SAUSALITO SCALE: 1"=1'
FIRST STAIR OFF DECK
FRAMING OVERVIEW

8

ALL FRAMING LUMBER + POSTS PRESSURE TREATED DOUGLAS FIR #2



CONCRETE 2500 PSI COMPRESSION STRENGTH

(2) GRADE 40 REINFORCEMENT BARS EACH WAY

ALL STAIRS FACED WITH 2"X8" REDWOOD SCREWED INTO FACE OF STRINGERS WITH 3"10d GALV SCREWS

ALL STAIRS, LANDING AND DECK TOP BOARDS 2"X4" REDWOOD ATTACHED TO FRAMING WITH EITHER GRABBER DECK MASTER HIDDEN DECK FASTENING SYSTEM OR EB-TY BISCUIT FASTENERS

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By: *[Signature]*
Date: 10/15/2014

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

PLAN PREPARED BY
Name: OSCAR ZALABERTY
Signature: *[Signature]*
Ph #: 415-338-7773
Fax #:
PROJECT ADDRESS: 11 MILLER AVE

CITY OF SAUSALITO
CORRECTIONS LIST
SEPTEMBER 12, 2014

Δ 3

11 MILLER AVE SAUSALITO

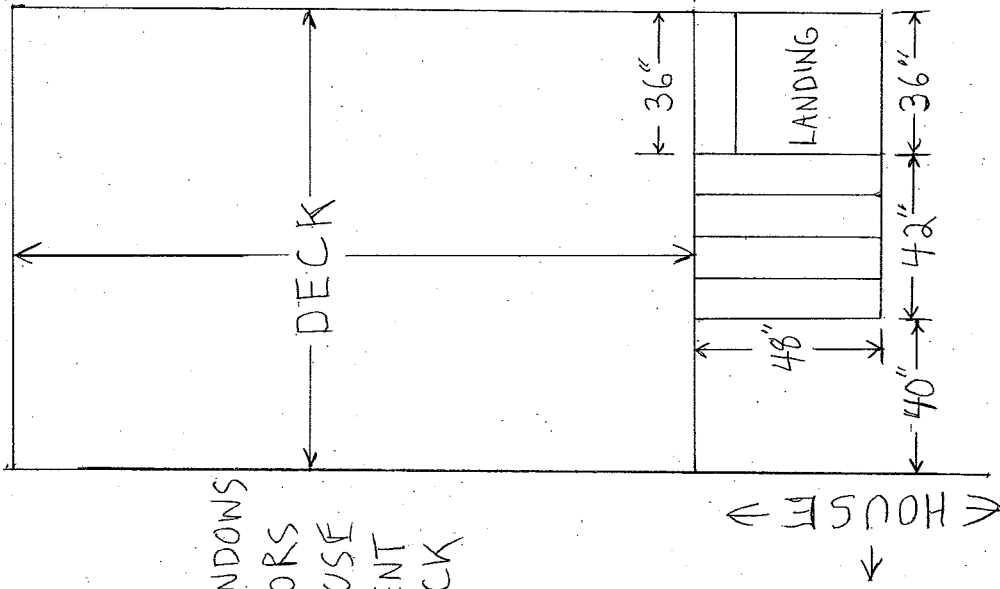
SCALE: 1/2" = 1'

9

DIMENSION OF STAIRS, LANDING AND NUMBER OF STAIRS

Δ 3

NO WINDOWS
OR DOORS
ON HOUSE
ADJACENT
TO DECK



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By: *[Signature]*
Date: 10/15/2014
THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

PLAN PREPARER
Name: OSCAR SALABERT
Signature: *[Signature]*
CONTACT INFORMATION
Ph # 415-336-7773
Fax #
PROJECT ADDRESS
11 MILLER AVE

CITY OF SAUSALITO
CORRECTIONS LIST

11 MILLER AVE SAUSALITO

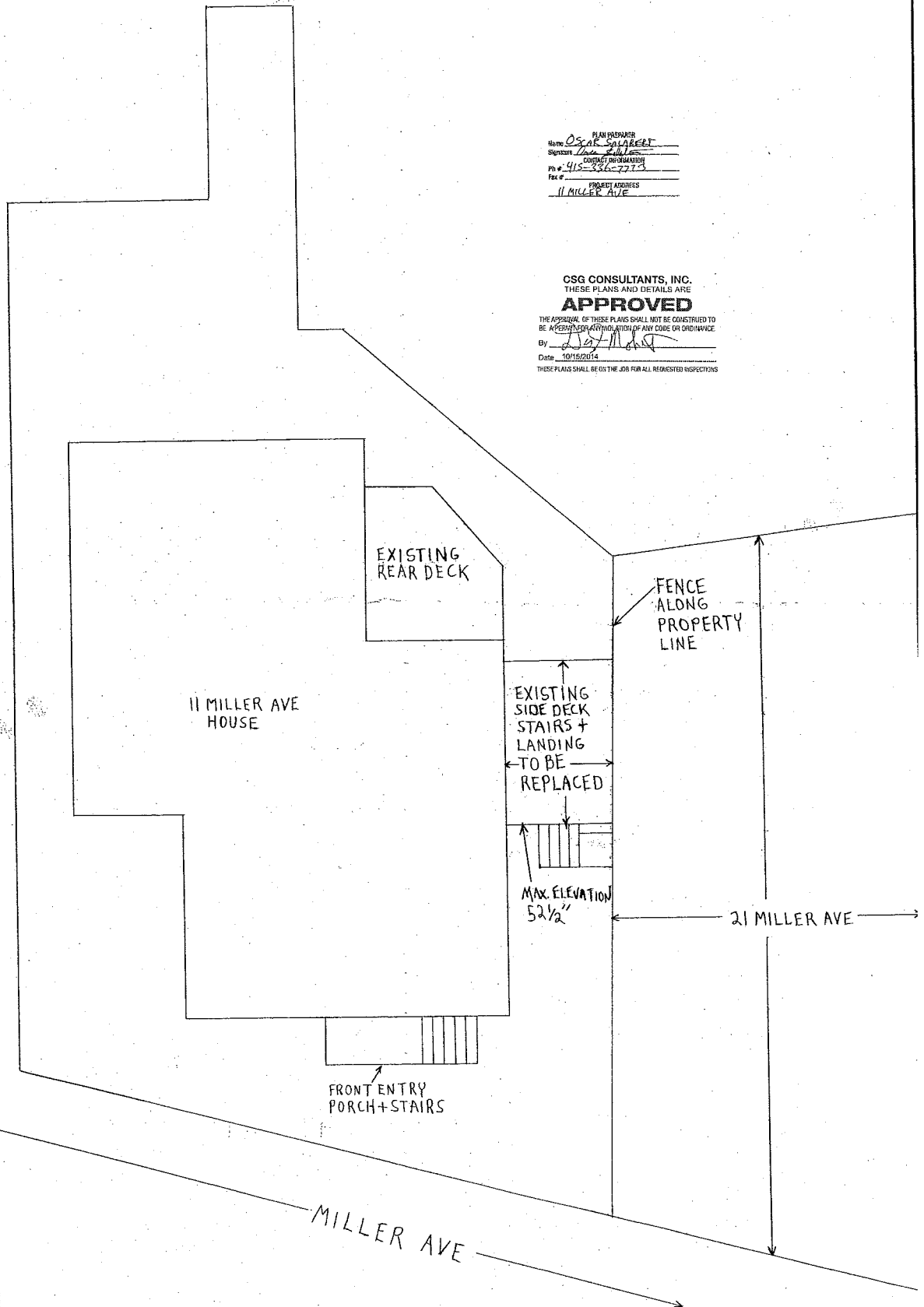
SCALE: 1/4" = 1'

(A)

Δ2 **SITE PLAN**

REPLACE EXISTING SIDE DECK, STAIRS + LANDING

Δ2



PLAN PREPARED
 By OSCAR SALABERT
 Signature [Signature]
 Title REGISTERED PROFESSIONAL ARCHITECT
 No. 415-382-7773
 Project Address
11 MILLER AVE

CSG CONSULTANTS, INC.
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 By [Signature]
 Date 10/15/2014
 THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

DATE	BY	REVISION

blank

From: emmet.yeazell@wellsfargoadvisors.com
To: [Calvin Chan](#);
Subject: 11 Miller Ave variance
Date: Wednesday, November 05, 2014 9:37:03 AM

I received the notice from the city. Susan Perry and I have discussed the project. The deck replacement should proceed as submitted. I have no objection to the work going forward. Emmet Yeazell 21 Miller Ave.

Emmet C. Yeazell
Vice President - Investments
Wells Fargo Advisors, LLC
Direct: 415-482-2663
Main: 415-454-9770
Toll Free: 800-443-9770
Fax: 415-454-5173
790 Lindaro St
Suite 300
San Rafael, CA 94901
emmet.yeazell@wfadvisors.com

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NOV 05 2014
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

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EXHIBIT E

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