

STAFF REPORT

ZONING ADMINISTRATOR

Project Dillard Residence / 20 Alexander Avenue
Administrative Design Review Permit and Variance
ADR-VA 14-046

Meeting Date August 11, 2015

Staff Calvin Chan, Associate Planner

REQUESTS

Mid-Cal Construction, Inc., applicant, on behalf of property owner Dale Dillard, is requesting approval of an Administrative Design Review Permit and a Variance to allow for the construction of a 504 square-foot residential pier that would extend into the San Francisco Bay. The requested Variance would allow the project to encroach into the required rear-yard setback of the property.

PROJECT INFORMATION

Applicant Mid-Cal Construction, Inc.

Owner Dale Dillard

Location/Parcel Size 20 Alexander Avenue (APN 065-303-18)
Approximately 6,373 square-feet (see **Exhibit B** for Vicinity Map)

General Plan Medium-High Density Residential

Zoning Two-Family Residential Zoning District (R-2-2.5)

Authority Administrative Design Review Permit (SMC 10.54.040.B.10)
Variance (SMC 10.68.020)

CEQA This project is Categorically Exempt under §15303 *New Construction or Conversion of Small Structures* of the CEQA Guidelines.

BACKGROUND

SITE LOCATION

The project site of 20 Alexander Avenue is in the R-2-2.5 Two-Family Residential Zoning District. The trapezoidal parcel is approximately 6,373 square feet and contains an existing single-family residence, garage, and site access stairs. The parcel is located in the Old Town/Hurricane Gulch neighborhood with surrounding land uses consisting of a mixture of single and multi-family residential dwellings.

HISTORIC LANDMARKS BOARD REVIEW

The existing residential structure was constructed in approximately 1958. The proposed project was referred to the Historic Landmarks Board (HLB) for review. Pursuant to the City Council policy regarding properties older than 50 years, the HLB reviewed the project on July 29, 2015. The HLB found that the residential site and structure are not historically significant and therefore no recommendation is forwarded to the Zoning Administrator regarding the proposed project (see **Exhibit C** for HLB Review Memorandum).

DESCRIPTION

PROJECT

The applicant is requesting approval of an Administrative Design Review Permit and a Variance to allow for the construction of a 504 square-foot residential pier with composite decking, guardrails, and boat lift (see **Exhibit D** for project plans). The pier is proposed to be an extension of the existing residential deck area located at the rear, easterly portion of the property. The pier will be constructed adjacent to the existing deck with a short stairway extending down to the new pier. The pier will be constructed as an independent structure not attached to the existing deck with the exception of the stairs. Redwood, picket-style guardrails are proposed. The new pier is trapezoidal in shape and will cover 504 square feet. The pier will have a maximum extension of 65 feet into the bay from the face of the existing deck. The pier will be supported by three concrete footings/piers located at the interface of the existing deck with the pier extending out over the water supported by six steel pipe piles (supports). In addition, a boat lift is proposed at the end of the pier on the north side with its own support system. Due to the proposed construction of the pier and a portion of the boat lift encroaching into the rear-yard setback, a Variance is requested.

ANALYSIS

An Administrative Design Review Permit is required for the construction of any pier or dock for private pleasure craft in the R-2-2.5 Zoning District (SMC 10.54.040.B.10). A Variance is required to allow for the project to encroach into the required 15-foot rear-yard setback (SMC 10.68.020).

GENERAL PLAN CONSISTENCY

The project site is located within the Medium-High Density Land Use designation—this density begins to reflect the more urban parts of the City. The area is intended to provide a transition between the lower density uses on the steep slopes and the higher density uses on the flat lands. To approve the proposed project, the Zoning Administrator must determine that the project is consistent with the General Plan. The project is consistent with the General Plan by meeting the applicable policies and programs that support the proposed project.

Policy CD-1.3: Neighborhood Compatibility

The proposed pier, decking, and boatlift are consistent with other piers and docks within the immediate vicinity. As stated in the Variance findings, seven out of the ten properties which front the San Francisco Bay have private docks, piers and/or floating dock systems.

Program CD-1.3.1: Zoning Ordinance (Size and Mass)

The size of the proposed project is generally consistent with piers and docks in the immediate vicinity. Furthermore, although the project would result in added building coverage, the project is within the allowances of the development standards for the R-2-2.5 Zoning District.

Program LU-4.1.1: Shoreline Access

This General Plan program encourages the maintenance and enhancement of water view corridors and access. The project is located in an area that is privately developed as residential homes with no existing public access to the shore. As the topography slopes steeply downhill from Alexander Avenue, the proposed project will not affect public access to waterfront areas or affect water view corridors.

ZONING ORDINANCE CONSISTENCY

The Project Summary Table below compares existing conditions to the proposed project and shows that the project necessitates the approval of a Variance for relief from the rear-yard setback requirement in order to be fully compliant with the Zoning Ordinance.

Project Summary Table – 20 Alexander Avenue				
Development Standard	Existing	Ordinance	Proposal	Compliance
Parcel Area	6,373 sq. ft.	5,000 sq. ft.	No change	Yes
Land Use	Single-Family Residential	Single/Two-Family Residential	No change	Yes
Dwelling Units	1 dwelling unit	1 dwelling unit per 2,500 sq. ft.	No change	Yes
Setbacks				
<i>Front</i>	0'	0'	No change	Variance required
<i>Side</i>	5 ft. avg.	5 ft. min.	No change	
<i>Rear</i>	56 ft.	15 ft. min.	2 ft.	
Height	30.65 ft.	32' max	No change	Yes
Building Coverage	1,064 sq. ft. 16.7 %	3,187 sq. ft. 50% max	1,568 sq. ft. 24.6%	Yes
Floor Area (FAR)	1,809 sq. ft. 0.28	4,142 sq. ft. 0.65 max	No change	Yes
Impervious Surface Area	1,510 sq. ft. 23.7%	4,780 sq. ft. 75%	2,014 sq. ft. 31.6%	Yes
Parking	2 spaces	2 spaces	No change	Yes

ADMINISTRATIVE DESIGN REVIEW PERMIT FINDINGS

In order to approve the Administrative Design Review Permit, the Zoning Administrator must determine whether the project is in conformance with the following Design Review Permit Findings (SMC 10.54.050.D):

1. The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance as described in the Staff Report.

2. The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The pier, decking, and boatlift maintain the prevailing neighborhood character in both materials and design.

3. The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The project will be of a similar mass, size, and scale as other floating residential-use structures within the immediate vicinity.

4. The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The pier, decking, and boatlift have been thoughtfully designed to not affect public water view corridors and private views from surrounding properties.

5. The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The project is located on the water downhill from a steeply sloped hillside. The project does not result in a prominent building profile above a ridgeline.

6. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

The project does not propose landscaping and is unnecessary in consideration of the scope of the project.

7. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The project is consistent with other boat piers and floating dock systems within the immediate vicinity and will not result in significant light and air impacts.

8. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The project does not propose any new mechanical equipment or lighting. The project is subject to the standard condition of approval that all exterior lighting be shielded and downward facing.

9. The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

Seven out of the ten properties which front the San Francisco Bay currently have boat piers and/or floating dock systems within close proximity to one another. The project has been thoughtfully designed and will not create significant privacy impacts to adjacent properties.

10. Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

The project will not affect circulation to, from, or within the site.

11. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The project will not affect any trees and protects natural features of the site.

12. The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened Design Review Findings).

The project is not subject to Heightened Design Review.

13. The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include, but are not limited to: stepping upper levels back from the first level, incorporating facade articulations and divisions (such as building wall offsets), and using varying rooflines.

Seven out of the ten properties which front the San Francisco Bay currently have boat piers and/or floating dock systems within close proximity to one another. The pier, decking, and boat lift have been thoughtfully designed to not overwhelm the structures on adjacent properties. The design follows the natural topography and complies with all requirements of the Zoning Ordinance.

Staff has reviewed all applicable Administrative Design Review Permit findings and has determined that the project is compliant (see draft Resolution in **Exhibit A**).

VARIANCE FINDINGS

In order to approve a Variance for relief from the required 15-foot rear-yard setback, the Zoning Administrator must determine whether the project is in conformance with the following Variance Findings (SMC 10.68.050):

- A. There are exceptional or extraordinary circumstances or conditions applying to the property involved or to the intended use of the property, that do not apply generally to other property or uses in the same district.

The purpose of a rear-yard setback includes the provision of the following: uniformity between structures, privacy, space for light and air circulation, and open space for landscaping and recreational use. There are four significant exceptional circumstances associated with this project to allow a deviation from the 15-foot rear-yard setback requirement. The circumstances are as follows:

- *The topography of the site drops off into the San Francisco Bay.*
- *A small percentage of City properties, such as the subject parcel, have land that is submerged by water.*
- *The parcel configuration is oddly shaped and a boat pier would be difficult to design to comply with all required setbacks.*
- *The partially-submerged property is affected by variable tides which raise and lower the water elevation of the submerged lands. Due to the topography and submerged lands affected by tides, any structure constructed within the allowable portions of the property would be subject to a Variance in order to comply with the necessary Flood Plain Management criteria for the construction of a pier.*

- B. Owing to such exceptional or extraordinary circumstances the literal enforcement of the provisions of the Title would result in practical difficulty or unnecessary hardship.

Due to the parcel's steep topography and character of being partially submerged, there is limited area on the parcel for outdoor recreational use. Furthermore, as the site is affected by tides, the pier and boatlift must be sited to accommodate boat draft and be utilized as a functional pier—providing the adequate depth for recreational boat use (Draft of a ship's hull is the vertical distance between the waterline and the bottom of the hull; draft determines the minimum depth of water a ship or boat can safely navigate.).

- C. Such Variance is necessary for the preservation of a substantial property right of the petitioner, possessed by other property in the same district.

Seven out of the ten properties within the immediate vicinity have piers and/or floating dock systems. The Variance is necessary for the preservation of a substantial property right of the property owner possessed by other properties in the same zoning district. There are existing docks and boat piers that are adjacent to this property that encroach into either a side or rear-yard setback due to steep topography, submerged lands, tides, and parcel configuration.

- D. The granting of such Variance will not be materially detrimental to the public welfare or injurious to the property or improvement in the vicinity or in the district in which the subject property is located.

Physical public access to the portion of the site subject to the Variance is only available by water due to the site's steep topography and adjacent privately-owned parcels. As such, the granting of a Variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity.

- E. The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same R-2-2.5 Zoning District for the following reasons:

- Seven of the ten of properties fronting the San Francisco Bay in the project site's immediate vicinity have piers and/or floating docks; and*
- Seven of the ten piers and/or floating docks encroach into either a side or rear-yard setback due to steep topography, submerged lands, and/or parcel configuration.*

- F. The granting of such Variance will be in harmony with the general purpose and intent of this Title and the General Plan.

The intent of the General Plan, with regard to the regulation of residential land use, is to protect and maintain the character of residential neighborhoods by establishing guidelines that reflect the predominant land use, scale, and density of the district. The goals of the General Plan are to preserve public views and access to the waterfront. This project is consistent with the intent and the goals of the General Plan as the project would not impact views from Alexander Avenue and there is no existing public access to the waterfront from this area. The project is consistent with all other regulations and standards of the Zoning Ordinance.

Staff has reviewed all applicable Variance findings and has determined that the project is

compliant (see draft Resolution in **Exhibit A**).

PUBLIC NOTICE AND CORRESPONDENCE

On July 31, 2015, a public hearing notice was posted on the project site and mailed to all property owners and residents within 300 feet of the project site, as well as interested parties. As of the compilation of this report, no correspondence has been submitted to Staff.

RECOMMENDATION

Staff recommends the Zoning Administrator approve the attached draft Resolution (**Exhibit A**) which approves an Administrative Design Review Permit and a Variance to allow for the construction of a 504 square-foot residential pier that would extend into the San Francisco Bay.

Options for Zoning Administrator action:

1. Approve the attached draft resolution (**Exhibit A**) which makes the findings to approve an Administrative Design Review Permit and a Variance to allow for the construction of a 504 square-foot residential pier that would extend into the San Francisco Bay.
2. Deny the Administrative Design Review Permit and Variance and direct staff to prepare a resolution with the specific findings for denial.
3. Continue the hearing for additional information and/or project revisions.

EXHIBITS

- A. Resolution (draft)
- B. Vicinity Map
- C. Historic Landmarks Board Review Memorandum dated July 29, 2015.
- D. Project Plans, date-stamped received June 12, 2015

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**SAUSALITO ZONING ADMINSTRATOR
RESOLUTION NO. 2015-XX**

**APPROVAL OF AN ADMINISTRATIVE DESIGN REVIEW PERMIT AND A VARIANCE
TO ALLOW FOR THE CONSTRUCTION OF A 504 SQUARE-FOOT RESIDENTIAL
PIER THAT WOULD EXTEND INTO THE SAN FRANCISCO BAY
20 ALEXANDER AVENUE
ADR-VA 14-046**

WHEREAS, on February 24, 2014, an application was filed by Mid-Cal Construction, Inc. on behalf of property owner Dale Dillard requesting approval of an Administrative Design Review Permit and a Variance to allow for the construction of a 504 square-foot residential pier that would extend into the San Francisco Bay; and

WHEREAS, the project site is located within the Medium High Density Residential land use designation and the Two-Family Residential (R-2-2.5) Zoning District; and

WHEREAS, the Zoning Administrator conducted a duly-noticed public hearing on August 11, 2015 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Zoning Administrator has reviewed and considered the information contained in the Staff Report dated August 11, 2015 for the proposed project; and

WHEREAS, the Zoning Administrator has reviewed and considered the project plans entitled, "Dale Dillard Deck and Pier" date-stamped received June 12, 2015; and

WHEREAS, the Zoning Administrator finds that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the Staff Report; and

WHEREAS, the project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to §15303 *New Construction or Conversion of Small Structures* of the CEQA Guidelines.

NOW, THEREFORE, THE ZONING ADMINISTRATOR HEREBY RESOLVES AS FOLLOWS:

An Administrative Design Review Permit and Variance to allow for the construction of a 504 square-foot residential pier that would extend into the San Francisco Bay—a portion of the project located within the required rear-yard setback—is hereby approved based upon the findings provided in Attachment 1 and subject to the conditions of approval in Attachment 2. The project plans are provided in Attachment 3.

Date

Danny Castro
Zoning Administrator

ATTACHMENTS

1. Findings
2. Conditions of Approval
3. Project Plans

EXHIBIT A

SAUSALITO ZONING ADMINISTRATOR RESOLUTION NO. 2015-XX
AUGUST 11, 2015
ADR-VA 14-046
20 ALEXANDER AVENUE

ATTACHMENT 1: FINDINGS

ADMINISTRATIVE DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Administrative Design Review Permit is approved based on the following findings:

1. The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance as described in the Staff Report.

2. The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The pier, decking, and boatlift maintain the prevailing neighborhood character in both materials and design.

3. The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The project will be of a similar mass, size, and scale as other floating residential-use structures within the immediate vicinity.

4. The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The pier, decking, and boatlift have been thoughtfully designed to not affect public water view corridors and private views from surrounding properties.

5. The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The project is located on the water downhill from a steeply sloped hillside. The project does not result in a prominent building profile above a ridgeline.

6. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

The project does not propose landscaping and is unnecessary in consideration of the scope of the project.

7. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The project is consistent with other boat piers and floating dock systems within the immediate vicinity and will not result in significant light and air impacts.

8. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The project does not propose any new mechanical equipment or lighting. The project is subject to the standard condition of approval that all exterior lighting be shielded and downward facing.

9. The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

Seven out of the ten properties which front the San Francisco Bay currently have boat piers and/or floating dock systems within close proximity to one another. The project has been thoughtfully designed and will not create significant privacy impacts to adjacent properties.

10. Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

The project will not affect circulation to, from, or within the site.

11. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The project will not affect any trees and protects natural features of the site.

12. The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened Design Review Findings).

The project is not subject to Heightened Design Review.

13. The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include, but are not limited to: stepping upper levels back from the first level, incorporating facade articulations and divisions (such as building wall offsets), and using varying rooflines.

Seven out of the ten properties which front the San Francisco Bay currently have boat piers and/or floating dock systems within close proximity to one another. The pier, decking, and boat lift have been thoughtfully designed to not overwhelm the structures

on adjacent properties. The design follows the natural topography and complies with all requirements of the Zoning Ordinance.

VARIANCE FINDINGS

In accordance with Zoning Ordinance Section 10.68 (Variances), the Variance is approved based on the following findings:

- A. There are exceptional or extraordinary circumstances or conditions applying to the property involved or to the intended use of the property, that do not apply generally to other property or uses in the same district.

The purpose of a rear-yard setback includes the provision of the following: uniformity between structures, privacy, space for light and air circulation, and open space for landscaping and recreational use. There are four significant exceptional circumstances associated with this project to allow a deviation from the 15-foot rear-yard setback requirement. The circumstances are as follows:

- *The topography of the site drops off into the San Francisco Bay.*
- *A small percentage of City properties, such as the subject parcel, have land that is submerged by water.*
- *The parcel configuration is oddly shaped and a boat pier would be difficult to design to comply with all required setbacks.*
- *The partially-submerged property is affected by variable tides which raise and lower the water elevation of the submerged lands. Due to the topography and submerged lands affected by tides, any structure constructed within the allowable portions of the property would be subject to a Variance in order to comply with the necessary Flood Plain Management criteria for the construction of a pier.*

- B. Owing to such exceptional or extraordinary circumstances the literal enforcement of the provisions of the Title would result in practical difficulty or unnecessary hardship.

Due to the parcel's steep topography and character of being partially submerged, there is limited area on the parcel for outdoor recreational use. Furthermore, as the site is affected by tides, the pier and boatlift must be sited to accommodate boat draft and be utilized as a functional pier—providing the adequate depth for recreational boat use (Draft of a ship's hull is the vertical distance between the waterline and the bottom of the hull; draft determines the minimum depth of water a ship or boat can safely navigate.).

- C. Such Variance is necessary for the preservation of a substantial property right of the petitioner, possessed by other property in the same district.

Seven out of the ten properties within the immediate vicinity have piers and/or floating dock systems. The Variance is necessary for the preservation of a substantial property right of the property owner possessed by other properties in the same zoning district. There are existing docks and boat piers that are adjacent to this property that encroach into either a side or rear-yard setback due to steep topography, submerged lands, tides, and parcel configuration.

- D. The granting of such Variance will not be materially detrimental to the public welfare or injurious to the property or improvement in the vicinity or in the district in which the subject property is located.

Physical public access to the portion of the site subject to the Variance is only available by water due to the site's steep topography and adjacent privately-owned parcels. As such, the granting of a Variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity.

- E. The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

The granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same R-2-2.5 Zoning District for the following reasons:

- Seven of the ten of properties fronting the San Francisco Bay in the project site's immediate vicinity have piers and/or floating docks; and*
- Seven of the ten piers and/or floating docks encroach into either a side or rear-yard setback due to steep topography, submerged lands, and/or parcel configuration.*

- F. *The granting of such Variance will be in harmony with the general purpose and intent of this Title and the General Plan.*

The intent of the General Plan, with regard to the regulation of residential land use, is to protect and maintain the character of residential neighborhoods by establishing guidelines that reflect the predominant land use, scale, and density of the district. The goals of the General Plan are to preserve public views and access to the waterfront. This project is consistent with the intent and the goals of the General Plan as the project would not impact views from Alexander Avenue and there is no existing public access to the waterfront from this area. The project is consistent with all other regulations and standards of the Zoning Ordinance.

**SAUSALITO ZONING ADMINISTRATOR RESOLUTION NO. 2015-XX
AUGUST 11, 2015
ADR-VA 14-046
20 ALEXANDER AVENUE**

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions apply to the project plans prepared for Mid-Cal Construction Inc. entitled "Dale Dillard Deck and Pier" date-stamped received June 12, 2015.

General Items

1. All exterior security and safety lighting must be small fixtures that are shielded and downward facing. Fixtures are subject to the review and approval of the Community Development Department prior to final sign-off of the Building Permit.
2. Prior to issuance of a Building Permit, all conditions of approval shall be restated on the plans.
3. Prior to issuance of a Building Permit, all plans shall be plotted to the scale indicated on the plans.
4. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

Stormwater Pollution Prevention

5. Applicant's contractor shall provide adequate dust and debris control measures during construction.
6. During construction, the applicant's contractor shall adhere to a water pollution prevention plan that at a minimum follows guidelines in MCSTOPPP's "Pollution Prevention It's Part of the Plan"
[<http://www.marincounty.org/depts/pw/divisions/mcstoppp/~media/Files/Departments/PW/mcstoppp/business/Pollution%20Prevention%20Part%20of%20the%20PlanOctober%202011.pdf>].

Right of Way Items

7. Prior to issuance of a Certificate of Occupancy, applicant shall repair or replace, at no expense to the City, damage to public facilities that results from applicant's construction activities. Applicant is advised that applicant's contractor shall save and protect all existing facilities not designated for removal or modification within the public right of way.

Utility Items

8. Prior to issuance of a Building Permit, construction plans shall be submitted for review and approval by the Sausalito Marin City Sanitary District (SMCSD).
9. All excavations, including footings, forms, staking, etc., shall remain a minimum of 36" from the Sanitary Sewer Force Main (SSFM). In addition, do not remove large boulders that may impact within 36" of the SSFM.
10. If excavation is to exceed 3' in depth at any location within 6' of the SSFM, the District shall be contacted for inspection and approval prior to performing associated work.
11. No heavy equipment (such as excavators) shall be operated within 10' of the SSFM. Any excavation within 10' of the SSFM shall be hand dug.
12. No tools, construction materials, or excavation debris are to contact the SSFM during

- project construction or subsequent maintenance of the piers.
13. The force main shall be clearly and continuously marked prior to construction to ensure all workers are aware of its location.
 14. No piers may be impact driven within 50' of the SSFM. Embedded piers within 50' of the SSFM shall be drilled to minimize vibration and disturbance.
 15. Provide a construction schedule to the District prior to beginning work, and notify the District once work has been completed.
 16. Prior to issuance of a building permit, an emergency response plan shall be prepared in the event that the existing 20-inch sanitary sewer main is breached during construction activities. This plan shall be submitted to the City and SMCSD for review and approval. The plan shall provide for but shall not be limited to:
 - A. Containment, handling and stoppage of sewage flow resulting from a breach of the sewer main, and for the repair of the sewer main.
 - B. Necessary equipment and materials shall be kept on-site, shall be kept in working and operable condition and shall be identified in the plan. This may include but not be limited to: Plugs, Pumps, hoses, power supply, floating booms, storage tanks, and traffic control devices.
 - C. Designated contractor's personnel with requisite experience in sanitary sewer repair, sewage containment and cleanup procedures in a marine environment shall be identified in the plan, and shall be on-site during construction operations that take place in the vicinity of the existing SSFM.
 - D. If the contractor does not have requisite personnel experienced in sanitary sewer repair, sewage containment and cleanup procedures in a marine environment, the plan shall identify firms, names and contact phone numbers, which the contractor will contact and employ at its expense for immediate response, repair and cleanup in the event that the existing SSFM is breached.
 - E. The plan shall include an outreach program to all users connected to the SSFM to notify them of the project and that they may be required to shut down their injector pumps should the SSFM be breached and immediate repair is required.
 - F. The plan shall identify and show locations of manholes that may be used as safe access points for plugging the SSFM and bypass pumping of sewage.
 - G. The plan shall include the names and phone numbers for notification of agency personnel in the event of a breach in the existing sewer main.
 - H. Proof of Pollution Liability Insurance for the contractor.
 - I. A separate endorsement sheet that names the City of Sausalito and SMCSD as additional insured.
 - J. A copy of the approved plan shall be kept on the construction site at all times. Contractor's personnel shall be knowledgeable about the plan and be prepared to implement it.
 - K. A copy of the approved plan shall be provided to the City of Sausalito and SMCSD.
 17. Prior to issuance of a building permit, the plans shall include notes directing the contractor to contact Underground Service Alert, SMCSD and the City of Sausalito a minimum of 48 hours in advance of the start of work to locate underground facilities.

Engineering Items

18. Prior to issuance of a Building Permit, approval from other jurisdictions shall be submitted to the City. This may include but not be limited to Bay Conservation and Development Commission (BCDC) and the Army Corps of Engineers.
19. Prior to issuance of a Building Permit, all easements within the 20 Alexander property shall be shown on the plans.
20. Prior to issuance of a Building Permit, a construction staging plan shall be submitted for review and approval by the City Engineer or designee. The locations of construction materials, equipment, vehicles, debris box, portable restrooms, etc shall be depicted. Approved plans shall be submitted to property owners adjacent to the subject property not less than one week prior to commencement of construction activities. The construction staging plan shall be revised to coordinate with other projects in the vicinity which may be ongoing or commence during the duration of this work. No construction staging or activities, including material storage, debris box storage, or equipment storage will be allowed within the Alexander Ave right of way.
21. Construction workers shall be prohibited from using on-street parking in the vicinity of the project and the applicant shall lease, or otherwise provide, an adequate number of parking spaces in a City parking lot to provide parking for construction workers. Workers shall car pool to the construction site which shall be documented on the construction staging plan.
22. Applicant is advised that construction materials, equipment, vehicles, and properly-permitted debris boxes (Bay Cities Refuse Service is the sole authorized solid waste hauler permitted to provide debris box service in the City of Sausalito) may not be placed in a manner that poses a traffic hazard, shall be placed to minimize obstruction of roads and gutters, shall be equipped with reflectors or lighting to ensure visibility at night and in inclement weather (if placed in the public right of way), shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris boxes shall be emptied on a regular basis, or as directed by the City. Material stock piles & debris boxes shall be covered when not being accessed or filled to prevent dust or liquid from being released to the environment.
23. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.
24. Prior to issuance of Certificate of Occupancy, the applicant shall submit for City acceptance a post-construction Elevation Certificate prepared by a qualified California Land Surveyor, Civil Engineer or Architect referenced to the North American Vertical Datum of 1988 with all relevant points of compliance with the California Building Code and City's Floodplain Management regulations certified.
25. Prior to issuance of a Certificate of Occupancy, the applicant's professional land surveyor shall certify that the location of all proposed improvements conforms to the approved plans.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. **A preliminary Flood Insurance Rate Map (FIRM) published by the Federal Emergency Management Agency (FEMA) on March 24, 2014 raises the base flood elevation for the project to 15' NAVD 88, which is 6' higher than the current base flood elevation of 9' NAVD 88. The code in force at the time of Building Permit application is the applicable code. The preliminary FIRM is expected to be in effect by March, 2016. The applicant is encouraged to recognize that the project is**

located in a coastal high-hazard zone and take the proposed new flood elevations into account in preparation of the detailed plans necessary for construction in order that the resulting structure is designed to have structural components capable of resisting the hydrostatic and hydrodynamic loads and effects of buoyancy in the coastal high hazard zone for the life of the improvements, also taking into account the projected rise in sea level over that time period.

2. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
3. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:
 - Weekdays – Between 8:00 a.m. and 6:00 p.m.
 - Saturdays – Between 9:00 a.m. and 5:00 p.m.
 - Sundays – Prohibited
 - City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.

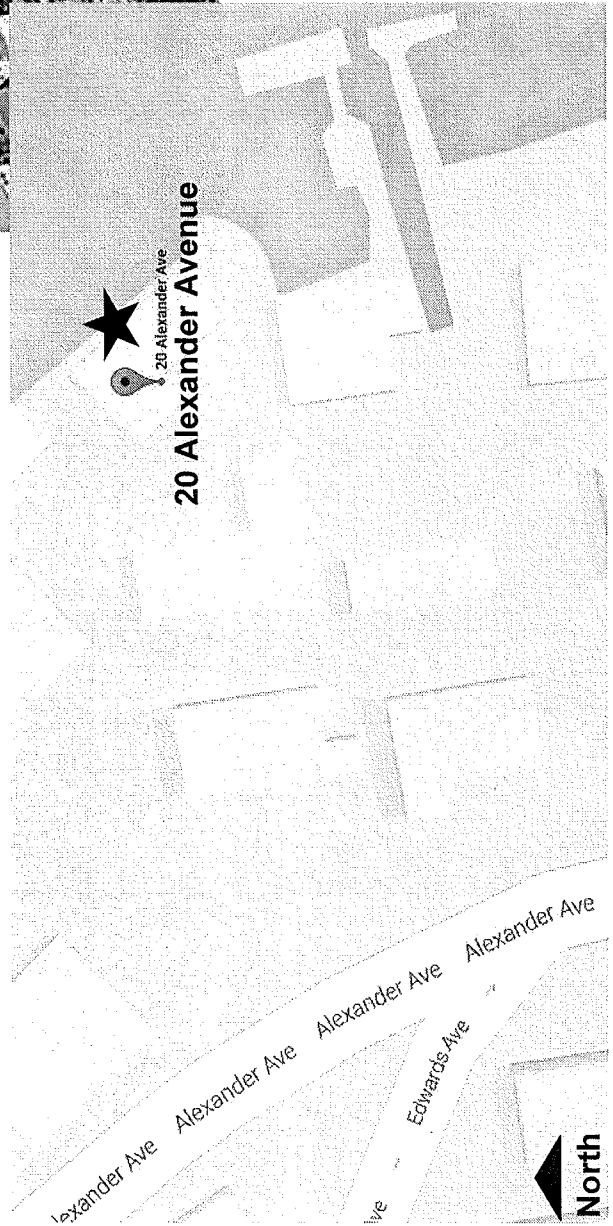
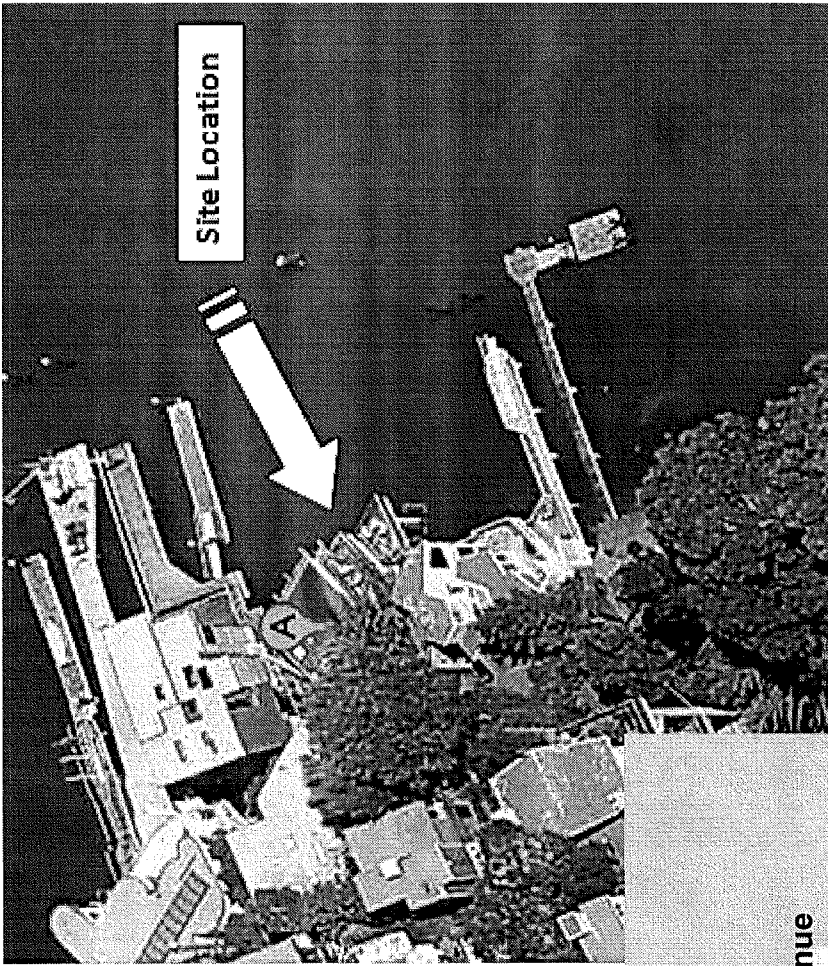
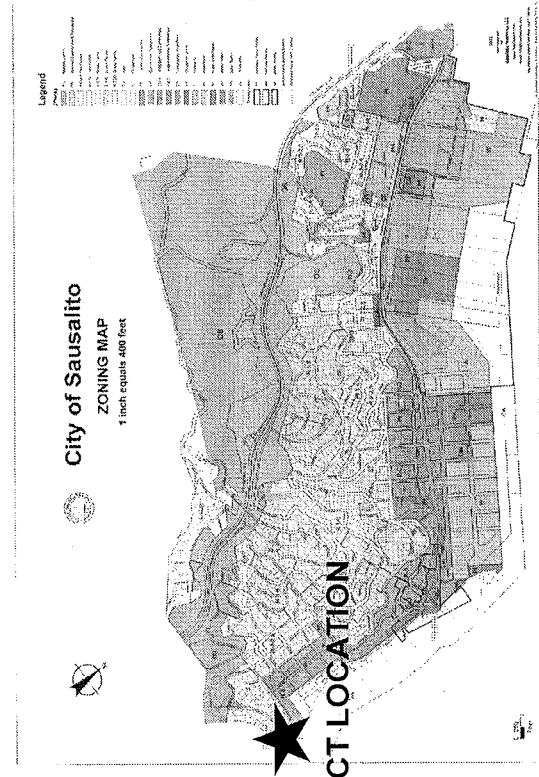
Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

**SAUSALITO ZONING ADMINISTRATOR RESOLUTION NO. 2015-XX
AUGUST 11, 2015
ADR-VA 14-046
20 ALEXANDER AVENUE**

ATTACHMENT 3: PROJECT PLANS

VICINITY MAP
20 ALEXANDER AVENUE (APN 065-303-18)

EXHIBIT B



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MEMORANDUM

TO: Sausalito Planning Commission
FROM: Sausalito Historic Landmarks Board
RE: 20 Alexander Avenue - APN: 065-303-18
DATE: July 29, 2015

I. Methodology

Pursuant to City Council direction, it is the responsibility of the Sausalito Historic Landmarks Board to examine any remodel or demolition application in the City if the application involves a structure of fifty or more years of age. The Board assigns two members to review each project and to consider the gathered information and produce this report. Our report is not intended to replace or augment any technical reports pertaining to this project: any comments regarding structural integrity, engineering, etc., are purely observational.

Architectural Research

At the request of the Planning Department, the Historic Landmarks Board conducted research into the history of the property at 20 Alexander Avenue (the "Property") to determine its historic significance.

II. Property Description

The Property is located in a residential neighborhood at the southwest end of Sausalito on the San Francisco Bay. No physical inspection was attempted as only the garage is visible from the street. (See attached image.)

III. Property History

Chain of Title and Notable Residents

According to the City of Sausalito Planning Division Memorandum dated July 2, 2015, the County of Marin Assessor's records show the date of original construction as 1958. There is no physical file located with the City of Sausalito regarding this Property.

The following owners/residents/associated names were identified in the file.

1. Dale L Dillard

No relevant information was found regarding Mr. Dillard.

Architectural and Historical Research

In order to determine the history of the site, the construction date of the property, and the ownership history of the property, the following resources were consulted:

- Sanborn Fire Insurance maps – updated through 1955 - **no information found**
- Sausalito City Permit records – **nothing found**
- Sausalito Obituary Files – **no information found**
- Town of Sausalito Block Book – **no information found**
- California Digital Newspaper Collection – **no information found**

EXHIBIT C

20 Alexander Avenue
Historic Landmarks Board Review
July 29, 2015

- Online Google search – **no substantive information found**

Property File: No property files for 20 Alexander Avenue were located in the Historical Society records.

Additional Resources: 20 Alexander does not appear on the Sausalito List of Notable Structures, is not listed in the California Historic Resource Information Systems database (CHRIS), and has not previously been identified as a historic resource.

Findings

1. Is the structure associated with events that have made a significant contribution to the broad patterns of the history, culture, or heritage of Sausalito, California, or the United States? Such structures may include but are not limited to civic structures, properties featured in publications, and sites where significant events occurred.

The board finds no significance under this criterion.

2. Is this structure associated with the life or lives of one or more people important in our past? Such structures may include but are not limited to homes of prominent persons and places referenced by prominent persons.

The board finds no significance under this criterion.

3. Does the structure embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of an important creative individual, or possess high artistic values? Such structures may include but are not limited to exceptional examples of architecture or an architect's work; more ordinary examples of such work are emblematic of a particular style or era; and any works by prominent creative individuals.

The board finds no significance under this criterion.

4. Has the structure yielded, or may it be likely to yield, information important in prehistory or history? Such structures may include but are not limited to archeological sites.

The board finds no significance under this criterion.

Recommendations: None

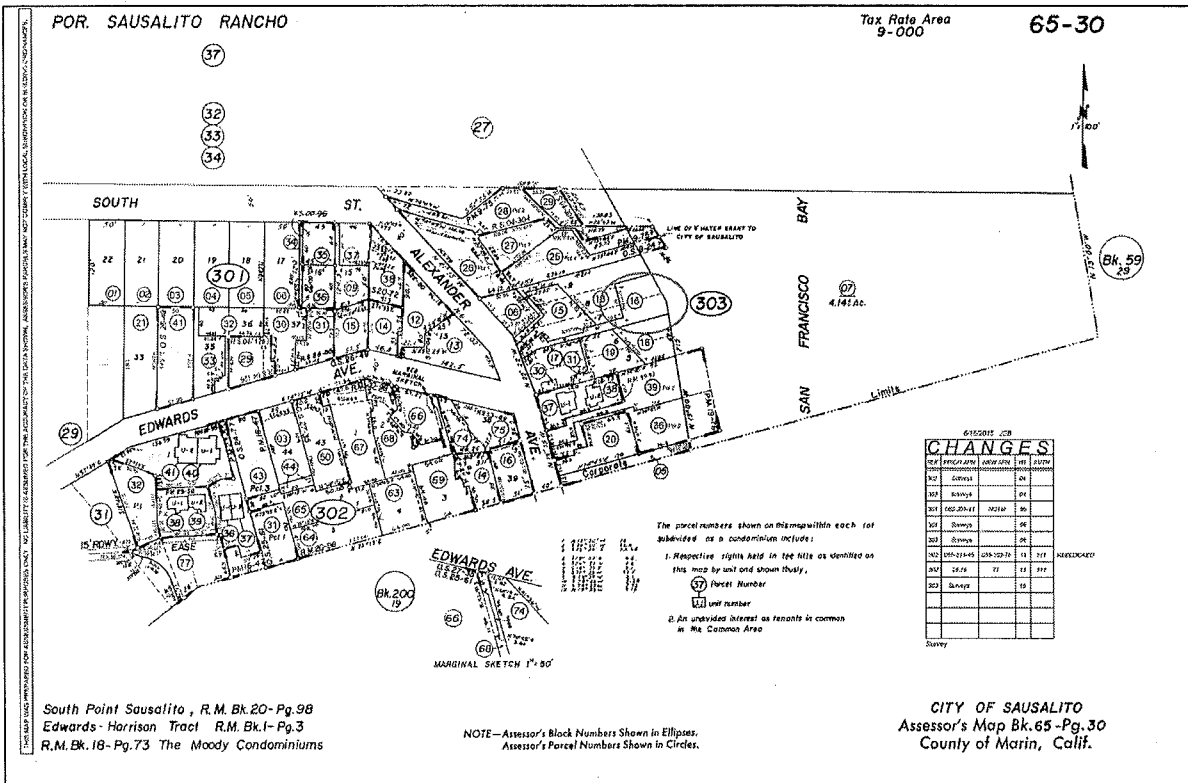
Researched by: Natascha Fraser and Aldo Mercado

Sources: Sausalito Planning Department address files, Sanborn Fire Insurance Maps, and information from the Marin County Tax Assessor's, Sausalito Historical Society, <http://cdnc.ucr.edu/> and www.google.com.

The Sausalito Historic Landmarks Board, at their publicly noticed meeting of July 29, 2015 acknowledged this memorandum:

20 Alexander Avenue
 Historic Landmarks Board Review
 July 29, 2015
 AYES: McCoy, Brown, Mercado
 NOES:
 ABSTAIN:
 ABSENT: Richardson, Fraser

Current Assessors Map for Parcel 065-303-18



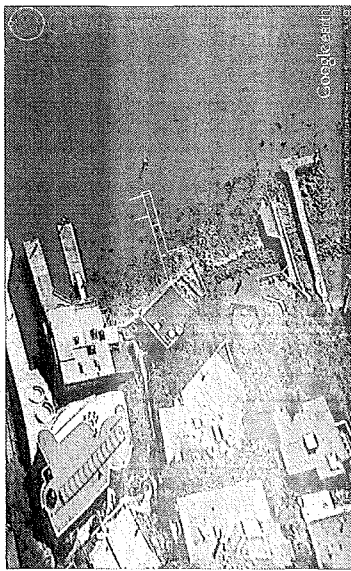
No photograph or undistorted Google Earth image is available for this property because of its location on the shoreline. Although the address is for Alexander Avenue, it does not physically front the street and is not visible from it.

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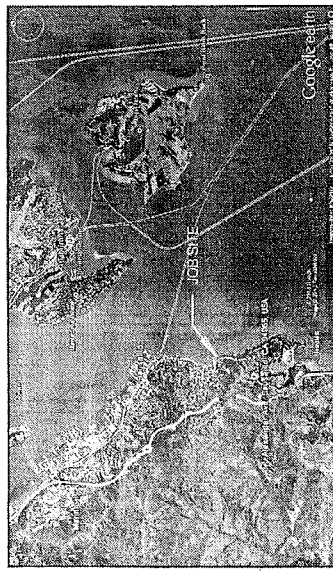
RECEIVED
CITY OF SAUSALITO

JUN 12 2015

DEPARTMENT OF
PUBLIC WORKS



AERIAL VIEW SIMULATION

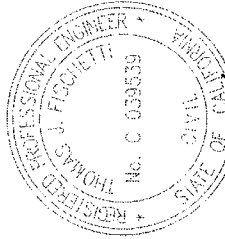


LOCATION MAP

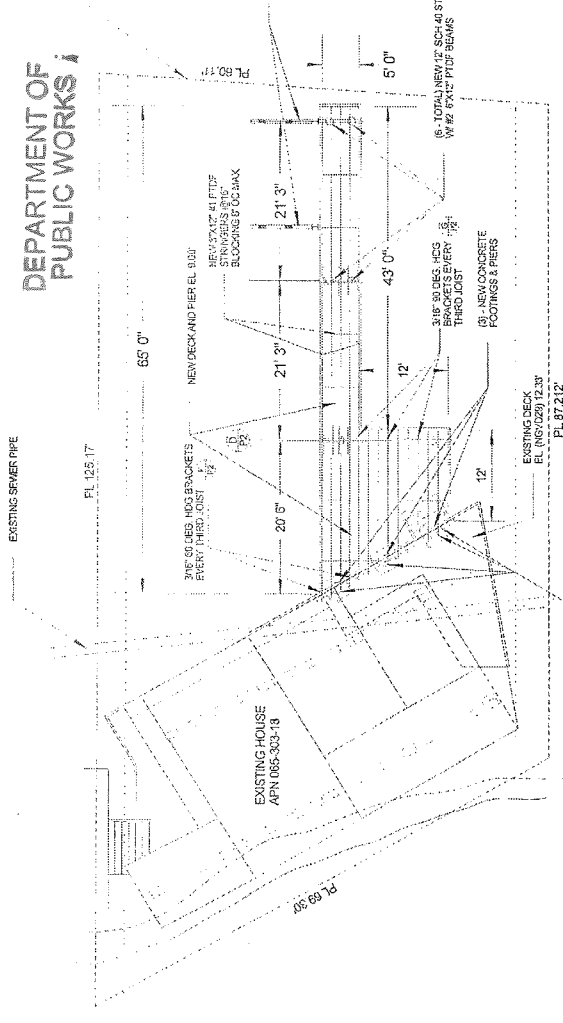
USE OF WATER GRANT TO
CITY OF SAUSALITO BY THE
STATE ENGINEER'S OFFICE
IN CONNECTION WITH THE
INSTALLATION OF THE
PIER AND DECK RECORDS

2" X 6" WELLS DRIFT LIFT WITH H-PILE
(INSTALL PER MANUFACTURER'S
SPECIFICATIONS AND RECOMMENDATIONS)

2" X 6" WELLS DRIFT LIFT WITH H-PILE
(INSTALL PER MANUFACTURER'S
SPECIFICATIONS AND RECOMMENDATIONS)



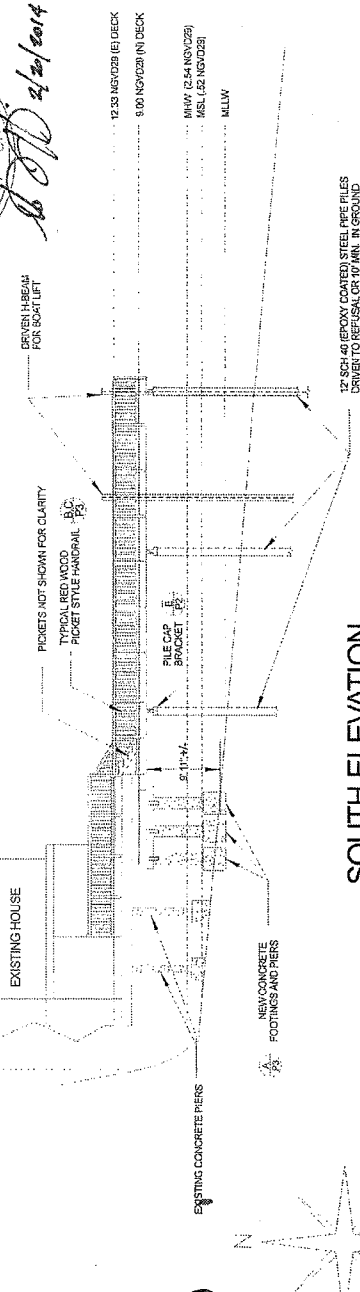
PLOT PLAN



NEW 2\"/>

BCCD 107 SHORLINE BAND JURISDICTION

BCCD 94V JURISDICTION

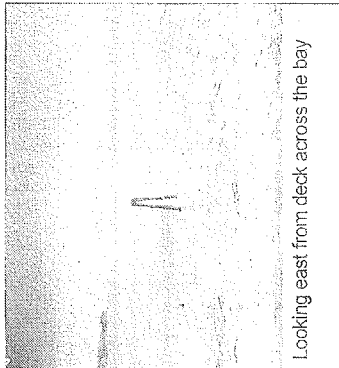


SOUTH ELEVATION

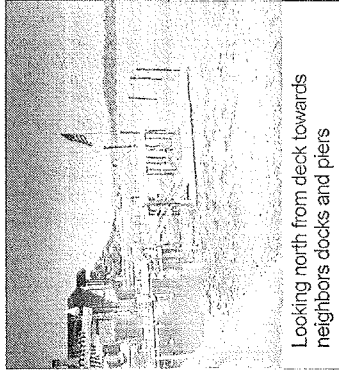
Project Name	
DALE DILLARD DECK AND PIER	
APN 065-303-18	
20 Alexander Ave.	
Sausalito, Ca. 94965	
phone# 209-915-1537	
e-mail dale@345@gmail.com	
Contractor & Agent	
MID-CAL CONSTRUCTION INC.	
2716 E. Miller Ave., Suite S	
Stockton, Ca. 95205	
phone # 209-632-4400	
fax # 209-655-8022	
Drawn/Checked By	
Scale	1/8" = 1'
Sheet No.	P1 of 3
Date	09/12/13
Drawn By	Rick Pichat

- ELEVATION**
Ref. NOAA Sta. ID 9414606 Sausalito, S.F. Bay
- Drawing Index**
- P1 - Title page, location map, simulated aerial photo, plan view, profile view.
 - P2 - Project details and job site photos.
 - P3 - Project details.
- Project Description**
1. Construct and install a new 504 sq. ft. residential pier & deck.
 2. Drive 6 - 12" hdg steel piles
 3. Install 3 - concrete footings/piers
 4. Pier constructed with PTDF wood type frame and composite decking.
 5. Install redwood picket handrails.
 6. Drive 2 - 10" hdg H piles and install boat lift.

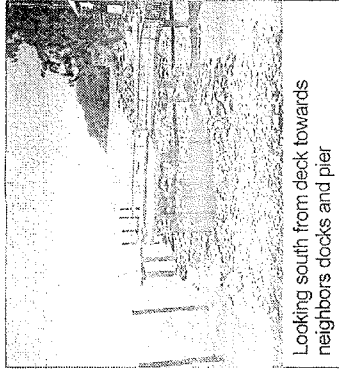
EXHIBIT D



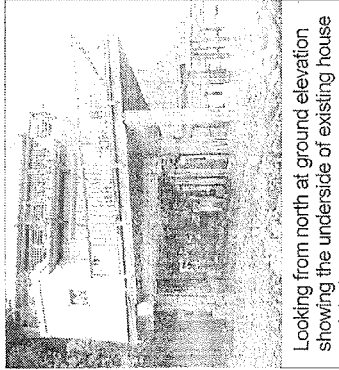
Looking east from deck across the bay



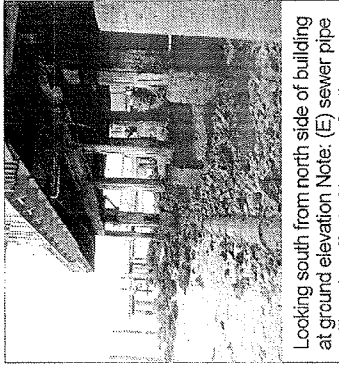
Looking north from deck towards neighbors docks and piers



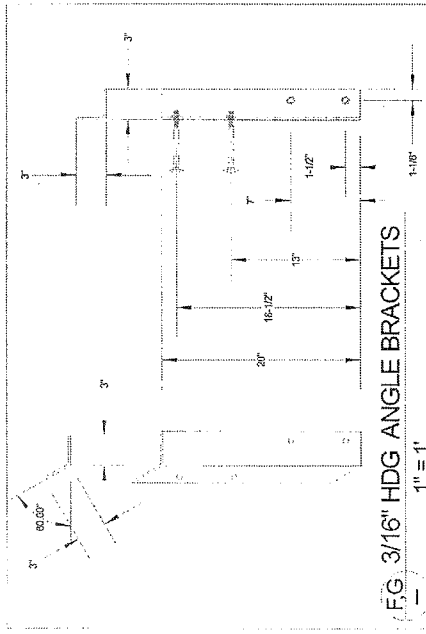
Looking south from deck towards neighbors docks and pier



Looking from north at ground elevation showing the underside of existing house and deck



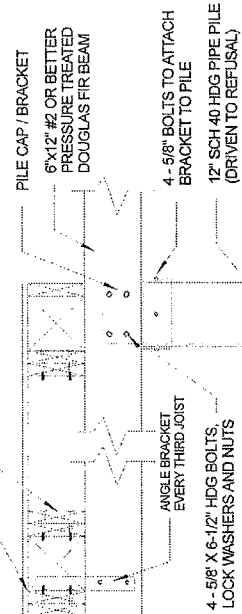
Looking south from north side of building at ground elevation. Note: (E) sewer pipe will not be affected by new footings



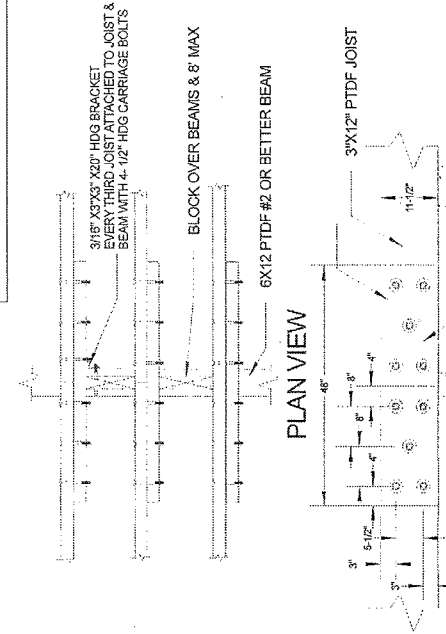
FG 3/16" HDG ANGLE BRACKETS
1" = 1'

REWOOD HAND RAIL ATTACHED WITH (2) - 1/2" HDG CARRIAGE BOLTS

3"X12" PTDF JOIST SHOWN WITH SPLICE AND BLOCK OVER BEAM



D PIER SECTION
1/2" = 1'



PLAN VIEW

3/16" X3/4" X20" HDG BRACKET EVERY THIRD JOIST ATTACHED TO JOIST & BEAM WITH 4 - 1/2" HDG CARRIAGE BOLTS

BLOCK OVER BEAMS & 8" MAX

6X12 PTDF #2 OR BETTER BEAM

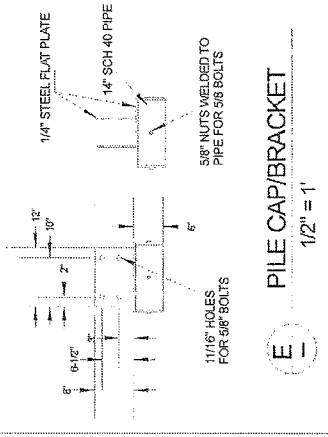
3"X12" PTDF JOIST

3"X12"X48" PTDF SPLICE W/ (10) - 1/2" HDG CARRIAGE BOLTS

PILE CAP BRACKET

12" DIA. PIPE PILE

D SPLICE DETAIL OVER BEAM
1/2" = 1'



E PILE CAP/BRACKET
1/2" = 1'

(E)

Project Name

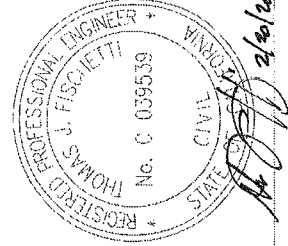
DALE DILLARD DECK & PIER
APN 065-303-18
20 Alexander Ave.
Sausalito, Ca. 94965
phone# 209-915-1537
e-mail dale0345@gmail.com

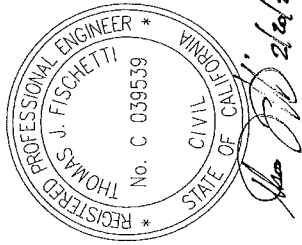
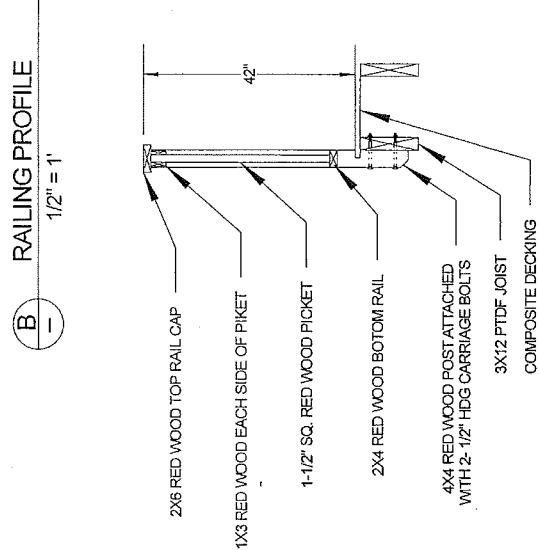
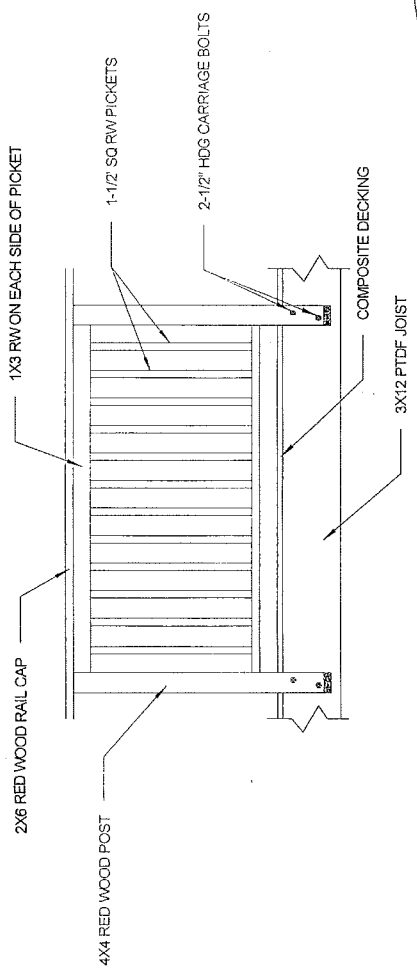
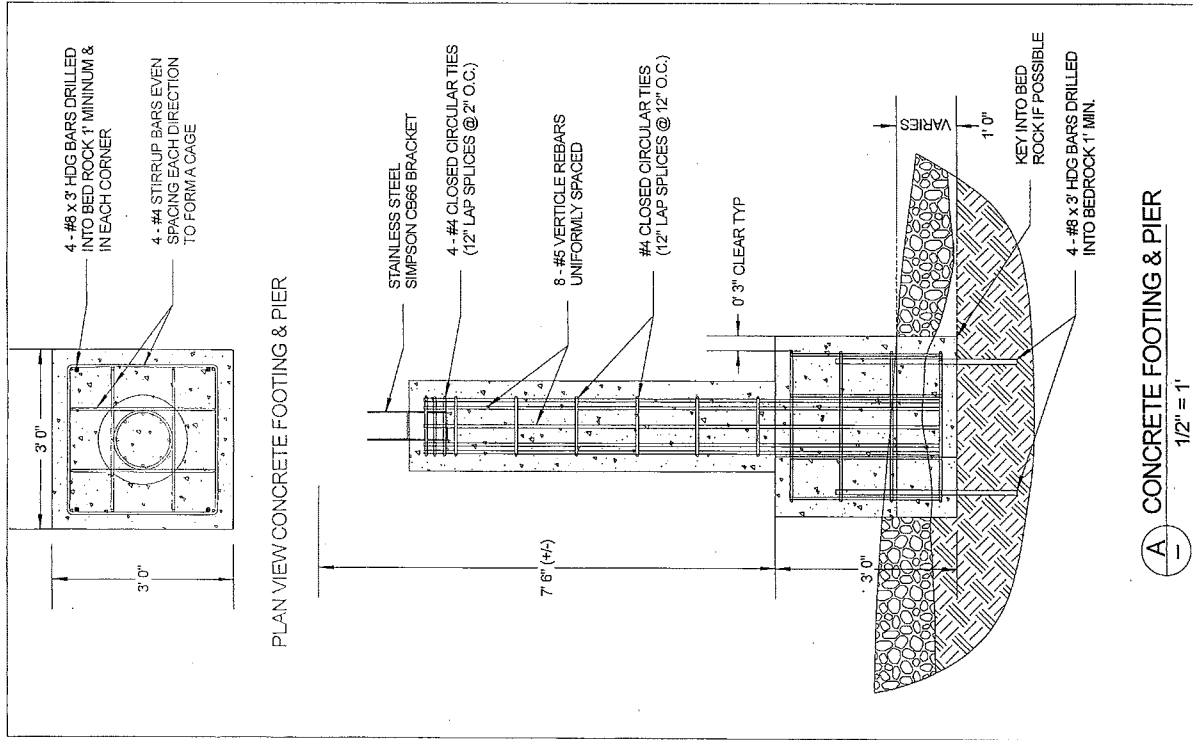
Contractor & Agent

MID-CAL CONSTRUCTION INC.
2716 E. Miller Ave., Suite S
Stockton, Ca. 95205
phone # 209-832-4400
fax # 209-955-8022

Date Approved: Approved By:

Sheet No	Date	Drawn By	Check/Permit
P2 of 3	9/20/13		Rick Pelchat
Scale	Job #		
AS NOTED			





Project Name	
DALE DILLARD DECK & PIER APN 065-303-18 20 Alexander Ave. Sausalito, Ca. 94965 phone# 209-915-1537 e-mail dalecd45@gmail.com	
Contractor & Agent	
MID-CAL CONSTRUCTION INC. 2716 E. Miner Ave., Suite S Stockton, Ca. 95205 phone # 209-832-4400 fax # 209-955-8022	
Date Issued	Approved By
Sheet No	Drawn By
P3 of 3	Rick Pelchat
Scale	Job #
1/2" = 1'	

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