

STAFF REPORT

SAUSALITO ZONING ADMINISTRATOR

Project Woodman Residence
6 Josephine Street
Time Extension Request for Approved Design Review and
Conditional Use Permits and Encroachment Agreement
(DR/CUP/EA 13-037)

Meeting Date December 30, 2015

Staff Joshua Montemayor, Assistant Planner

This Staff Report supplements the Staff Report dated June 26, 2013 (see Exhibit G for prior Staff Report).

REQUEST

Approval of a one-year time extension for: 1) a Design Review Permit to demolish the existing single-family residence and construct a two-family residence; 2) a Conditional Use Permit to allow tandem parking; 3) an Encroachment Agreement to construct a portion of an elevated garage and parking deck, landscaping, and two new street lights at the North Street stairs within the public right-of-way.

PROJECT INFORMATION

Applicant Michael Rex Architects

Property Owners Jane and Dean Woodman

Location/Size 6 Josephine Street (APN 065-211-07)
8,851 square feet (see **Exhibit B** for vicinity map)

General Plan High-Density Residential Land Use Designation

Zoning Multiple Residential (R-3) Zoning District

Authority Extension of Approved Permits (Zoning Ordinance Section 10.50.140)

CEQA: The project consists of the demolition and new construction of a two-family residence. The project is exempt pursuant to Section 15303(b) (New Construction) of the CEQA Guidelines. Section 15303(b) provides an exemption for the construction of a duplex or similar multi-residential structure.

BACKGROUND

The project application was originally filed on February 12, 2013 by Andrew Skurman, on behalf of the property owners Jane and Dean Woodman requesting Planning Commission approval of 1) a Design Review Permit to demolish the existing single-family residence and construct a two-family residence; 2) a Conditional Use Permit to allow tandem parking; 3) an Encroachment Agreement to construct a portion of an elevated garage and parking deck, landscaping, and two new street lights at the North Street stairs within the public right-of-way at 6 Josephine Avenue.

On June 12, 2013 and June 26, 2013 the Planning Commission held public hearings on the project and approved the project on June 26, 2013 via Resolution No. 2013-15 (see **Exhibit C** for Resolution No. 2013-15). Condition of Approval No. 30 states: "This approval will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date."

On June 19, 2015, the Community Development Department received a letter from the property owners requesting approval of a one-year time extension of the previously-approved Design Review and Conditional Use Permits and Encroachment Agreement (see **Exhibit E** for Applicant Request for Time Extension Letter). The extension request was timely filed before the expiration date, and suspends the permits' expiration date until a decision is made by the Zoning Administrator.

PROJECT ANALYSIS

EXTENSION OF PERMIT FINDINGS

In order to approve extension of the Design Review and Conditional Use Permits and Encroachment Agreement, the Zoning Administrator must determine that the proposed project is in conformance with the required findings listed in Sections 10.50.140.D of the Zoning Ordinance, as follows:

- A) *No change of conditions or circumstances has occurred that would have been grounds for denying the original application.*

Based upon the homeowner's request for a one-year extension the site and area have not undergone any significant change of conditions or circumstances that would have been grounds for denying the original application. Since the approval of the Design Review Permit, Conditional Use Permit and Encroachment Agreement, there are no new adopted standards or ordinances that would affect the design and construction of the project as previously approved. Furthermore, the homeowners have expressed no changes from project's original approval.

- B) *The applicant has been diligent in pursuing implementation of the permit.*

The property owners submitted a letter with reasons for the extension request on July 14, 2015 (see **Exhibit F** for letter). According to the letter, after the three-year design and entitlement approving phase of the project, the Woodmans moved out of 6 Josephine to a nearby home and went to bid for selecting a contractor for the project. Over the course of the time preceding the project's approval, concern over the amount of time required to complete the project was raised. The property owners are concerned over their growing age and in completing the project in a timely manner. The Woodmans decided to market the property with the approved plans and an extension of the approved project by one year would allow the Woodmans to complete the sale process with a potential buyer.

- C) *Modified conditions have been imposed which update the permit to reflect current adopted standards and ordinance requirements.*

Since the approval of the Design Review, Conditional Use Permit, and Encroachment Agreement in 2013, there are no newly adopted standards or ordinances that would affect the design and construction of the project as previously approved.

CONCLUSION

Staff concludes that the requisite findings can be made to approve a one-year time extension (to expire on December 30, 2016) for the Design Review and Conditional Use Permits and Encroachment Agreement as described in the draft resolution of approval.

PUBLIC NOTICE AND CORRESPONDENCE

On December 17, 2015, a public hearing notice was mailed to all property owners within 300 feet of the project site, posted on the subject property, and in City Hall.

On June 19, 2015, a letter from the property owners requesting approval of a one-year time extension of the previously-approved Design Review and Conditional Use Permits and Encroachment Agreement was received (see **Exhibit E** for letter).

On July 14, 2015, a letter from the property owners with reasons for a time extension was received (see **Exhibit F** for letter).

No correspondence regarding the project has been received as of the writing of the staff report.

RECOMMENDATION

Staff recommends the Zoning Administrator approve the attached draft resolution (see **Exhibit A** for draft resolution) which approves a one-year time extension of the Design Review and Conditional Use Permits and Encroachment Agreement for the demolition of an existing single family residence and the new construction of a two-family residence on a 8,851 square foot parcel, and Encroachment Agreement to construct a portion of an elevated garage and parking deck with guardrails, minor landscape planting, and two new street lights at the North Street stairs within the public right-of-way at 6 Josephine Street (APN 056-211-07).

Alternatively, the Zoning Administrator may:

- Approve the permit time extension with modifications.
- Continue the hearing for additional information and/or project revisions.
- Deny the permit time extension, and direct Staff to return with a Resolution of Denial.

EXHIBITS

- A. Draft Resolution
- B. Vicinity Map
- C. Planning Commission Resolution No. 2013-15
- D. City Council Resolution No. 5422
- E. Applicant request for time extension letter, date-stamped received June 19, 2015
- F. Updated applicant request with reason for extension, date-stamped received July 14, 2015
- G. Staff report dated June 26, 2013

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**SAUSALITO ZONING ADMINISTRATOR
RESOLUTION NO. 2015-XX**

**A RESOLUTION APPROVING A ONE-YEAR TIME EXTENSION
OF A DESIGN REVIEW PERMIT, CONDITIONAL USE PERMIT, AND ENCROACHMENT
AGREEMENT FOR THE NEW CONSTRUCTION OF A TWO-UNIT RESIDENCE
RESIDENCE AT 6 JOSEPHINE STREET
(DR/CUP/EA 13-037)**

WHEREAS, an application has been filed by the applicant/homeowners, Jane and Dean Woodman, requesting Zoning Administrator approval of a one-year time extension of the Design Review Permit, Conditional Use Permit and Encroachment Agreement (DR/CUP/EA 13-037), at 6 Josephine Street (APN 065—211-07); and

WHEREAS, the Zoning Administrator conducted a duly-noticed public hearing on December 30, 2015 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Zoning Administrator finds that the proposed project is categorically exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15303(b); and

WHEREAS, the Zoning Administrator has reviewed and considered the project plans prepared by Andrew Skurman Architects, entitled "Woodman Residence," and date-stamped received on July 17, 2013, and Planning Commission Resolution No. 2013-15, approved June 26, 2013 and City Council Resolution No. 5422, passed and adopted July 23, 2013; and

WHEREAS, the Zoning Administrator has received and considered oral and written testimony on the subject application; and

WHEREAS, the Zoning Administrator has reviewed and considered the information contained in the staff reports for the proposed project; and

WHEREAS, the Zoning Administrator finds that, as conditioned herein, the proposed project complies with the requirements of the General Plan and Zoning Ordinance as described in the staff report dated December 30, 2015; and

NOW, THEREFORE, THE ZONING ADMINISTRATOR HEREBY RESOLVES AS FOLLOWS:

A one-year time extension through December 30, 2016 of a Design Review Permit, Conditional Use Permit and Encroachment Agreement (DR/CUP/EA13-037) for 6 Josephine Street, is approved based upon the findings in **Attachment 1**, subject to the conditions of approval in **Attachment 2** and as shown in the project plans titled "Woodman Residence" date-stamped received on July 17, 2013 in **Attachment 3**.

December 30, 2015
Date

Danny Castro
Zoning Administrator

ATTACHMENTS

1. Findings
2. Conditions of Approval
3. Project Plans

**ZONING ADMINISTRATOR RESOLUTION
DECEMBER 30, 2015
DR/CUP/EA 13-037
6 JOSEPHINE STREET**

ATTACHMENT 1: FINDINGS FOR AN EXTENSION OF APPROVED PERMITS

In accordance with Zoning Ordinance Section 10.50.140.D (Land Use Permit Procedures), an Extension of an Approved Permit can be approved based on the following findings:

- A) *No change of conditions or circumstances has occurred that would have been grounds for denying the original application.*

Based upon the homeowner's request for a one-year extension the site and area have not undergone any significant change of conditions or circumstances that would have been grounds for denying the original application. Since the approval of the Design Review Permit, Conditional Use Permit and Encroachment Agreement, there are no new adopted standards or ordinances that would affect the design and construction of the project as previously approved. Furthermore, the homeowners have expressed no changes from project's original approval.

- B) *The applicant has been diligent in pursuing implementation of the permit.*

The property owners submitted a letter with reasons for the extension request on July 14, 2015 (see **Exhibit F** for letter). According to the letter, after the three-year design and entitlement approving phase of the project, the Woodmans moved out of 6 Josephine to a nearby home and went to bid for selecting a contractor for the project. Over the course of the time preceding the project's approval, concern over the amount of time required to complete the project was raised. The property owners are concerned over their growing age and in completing the project in a timely manner. The Woodmans decided to market the property with the approved plans and an extension of the approved project by one year would allow the Woodmans to complete the sale process with a potential buyer.

- C) *Modified conditions have been imposed which update the permit to reflect current adopted standards and ordinance requirements.*

Since the approval of the Design Review, Conditional Use Permit, and Encroachment Agreement in 2013, there are no newly adopted standards or ordinances that would affect the design and construction of the project as previously approved.

**ZONING ADMINISTRATOR RESOLUTION
DECEMBER 30, 2015
DR/CUP/EA 13-037
6 JOSEPHINE STREET**

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions apply to the plans prepared by Andrew Skurman Architects, entitled "Woodman Residence," and date-stamped received on July 17, 2013:

1. This approval will expire ON December 30, 2016 if the property owner has not exercised the entitlements hereby granted.
2. All conditions of approval contained in Planning Commission Resolution No. 2013-15 and City Council Resolution No. 5422 remain in force.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
2. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.
3. Encroachment permit, grading permit, third party review fees (cost plus 10%) fees shall be paid.
4. An encroachment permit shall be obtained from the Public Works Department prior to using the public right of way for non-public purposes (e.g., material storage, sidewalk construction or demolition) including any and all construction and demolition activities.
5. Grading/drainage permit(s) shall be obtained from the Public Works Department for any earthwork in excess of 50 cubic yards.
6. Grading on hillside land with of geologic formation known to slide will be limited to between April 15 and October 15 without written approval of the City Engineer.
7. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
8. Pursuant to Municipal Code Section 18.08.020, overhead electrical and communication service laterals shall be placed underground when the main electrical service equipment is relocated or replaced.
9. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 7:00 p.m.

Saturdays – Between 9:00 a.m. and 5:00 p.m.

Sundays – Prohibited

Holidays recognized by the City – Between 9:00 a.m. and 7:00 p.m.

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays between 9:00 a.m. and 7:00 p.m.

10. Permits required by other agencies having jurisdiction within construction area shall be obtained in accordance with their respective agency's regulations.

**ZONING ADMINISTRATOR RESOLUTION
DECEMBER 30, 2015
DR/CUP/EA 13-037
6 JOSEPHINE STREET**

ATTACHMENT 3: PROJECT PLANS

WOODMAN RESIDENCE

6 Josephine Street
Sausalito, Ca. 94965



Andrew Skurman Architects
3654 Sacramento Street
San Francisco, CA 94118

(415)440-4480 / FAX: (415)440-4488

**PLANNING RE-SUBMITTAL
NOT FOR CONSTRUCTION**

12 November 2012
Planning Comments 25 April 2013
Planning Re-Submittal 23 May 2013
Revision 19 June 2013

PLANNING COMMISSION ACTION
RESO No. 2013-15
Date 6/26/13
Director of Planning
CITY COUNCIL ACTION
RESO No. 542A
Date 7/23/13
Director of Planning

RECEIVED

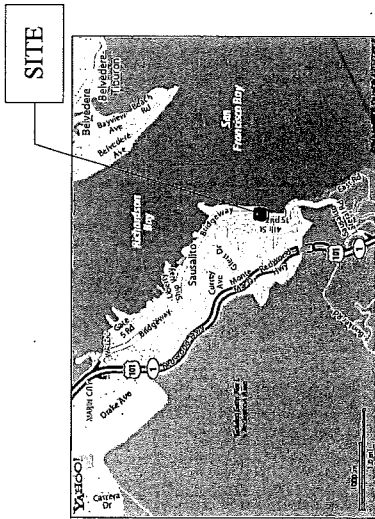
JUL 17 2013
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

6 Josephine Street

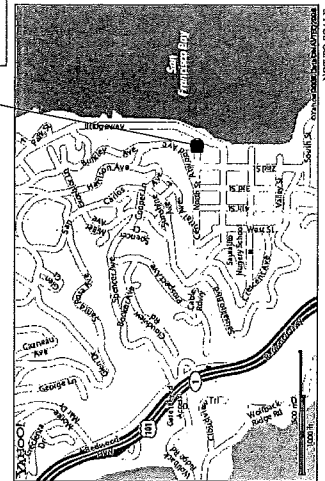


SAUSALITO, CALIFORNIA 94965

MAPS



VICINITY MAP



CITY MAP

PROJECT DATA

Address: 6 Josephine Street
 Sausalito CA 94965
 A.P.N.: 65-211-07
 Lot Area: 8,851.35 Sq. Ft.
 Zoning District: R-3 Multiple Family Residential
 Occupancy: Multi-Family Residence
 Height Limit: 32' Above Average Natural Grade
 Sprinklered: Yes (Deferred Submittal)
 Type of Construction: V
 FAR: 57%

FLOOR AREA RATIO
 ALLOWED: 87.18%
 7,081.08 SQ. FT.
 .8 FAR

EXISTING:
 798 SQ FT 1ST FLR
 1,408 SQ FT 2ND FLR
 1,497 SQ FT 3RD FLR
 449 SQ FT ATTIC
 84.2 SQ FT SHED
 4286.2 SQ FT TOTAL
 .48 FAR

PROPOSED: 1081.66 SQ FT 1ST FLR — UNIT 2
 2043.82 SQ FT 2ND FLR — UNIT 1
 1921.32 SQ FT 3RD FLR — UNIT 1
 5046.60 SQ FT TOTAL
 .57 FAR

NOTE: (N) ATTIC IS LESS THAN 5'-11" HIGH, THEREFORE DOES NOT COUNT AS FAR PER ZONING CODE 10.40.040.B

BUILDING COVERAGE LIMITS
 ALLOWED: 50% OF SITE AREA
 8851.35 SQ. FT. X .5 = 4,425.67 SQ. FT.

EXISTING: 2,037.33 SQ. FT. HOUSE
 + 727.27 SQ. FT. PARKING DECK
 + 387.88 SQ. FT. DECKS
 3,152.48 SQ. FT.
 38.3% BUILDING COVERAGE

PROPOSED: 3665.22 SQ. FT. HOUSE W/ GARAGE
 + 193.32 SQ. FT. PAVING
 3,858.54 SQ. FT.
 43.6% BUILDING COVERAGE

IMPERVIOUS SURFACES
 ALLOWED: 75% OF SITE AREA
 8851.35 SQ. FT.
 X .75
 6,638.51 SQ. FT.

EXISTING: 2,037.33 SQ. FT. HOUSE
 727.27 SQ. FT. PARKING DECK
 1,800.34 SQ. FT. PAVING DECKS
 4,594.94 SQ. FT. TOTAL
 51.9% IMPERVIOUS SURFACE

PROPOSED: 3665.22 SQ. FT. HOUSE W/ GARAGE
 922.71 SQ. FT. WALKS, DRIVE, ETC.
 4,387.93 SQ. FT. TOTAL
 51.88% IMPERVIOUS SURFACE

PROJECT TEAM

ARCHITECT:
 ANDREW SKURMAN ARCHITECTS
 3654 SACRAMENTO STREET
 SAN FRANCISCO, CA 94118
 415 440 4480 PHONE
 415 440 4488 FAX

SCOPE OF WORK

REMOVE EXISTING RESIDENCE, EXTERIOR STAIRS, WALKS, PATIO AS SHOWN ON DEMOLITION SITE PLAN SHEET A1.01. CONSTRUCT NEW PROPOSED RESIDENCE, CONSTRUCT NEW ENCLOSED PARKING AREA AT EXISTING RENOVATED PARKING DECK.

DRAWING INDEX

- T-1 COVER SHEET
- T-2 PROJECT DATA, SCOPE OF WORK, VICINITY MAP
- T-3 DRAWING INDEX
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- T-5 SITE SECTION
- T-6 EXISTING/PROPOSED COMPARISON
- T-7 SOUTH ELEV. EXISTING/PROPOSED COMPARISON
- T-8 EAST ELEV. EXISTING/PROPOSED COMPARISON
- T-9 NORTH ELEV. EXISTING/PROPOSED COMPARISON

- CIVIL
- T-10
- C-2

- GRAVING AND TERRACING PLANS
- GRADING AND DRAINAGE PLANS

- ARCHITECTURAL
- A011 EXISTING DEMOLITION 1ST FLOOR PLAN
- A022 EXISTING DEMOLITION 2ND FLOOR PLAN
- A033 EXISTING DEMOLITION 3RD FLOOR PLAN
- A044 EXISTING DEMOLITION ROOF PLAN
- A055 EXISTING DEMOLITION ROOF PLAN

- A066 EXISTING DEMOLITION WEST ELEVATION
- A077 EXISTING DEMOLITION EAST ELEVATION
- A088 EXISTING DEMOLITION NORTH ELEVATION
- A099 EXISTING DEMOLITION SOUTH ELEVATION
- A100 SITE PLAN - DEMO
- A101 SITE PLAN - PROPOSED
- A111 PROPOSED 1ST FLOOR PLAN
- A122 PROPOSED 2ND FLOOR PLAN
- A133 PROPOSED 3RD FLOOR PLAN
- A144 PROPOSED ROOF PLAN

- A155 PROPOSED WEST ELEVATION
- A166 PROPOSED SOUTH ELEVATION
- A177 PROPOSED EAST ELEVATION
- A188 PROPOSED NORTH ELEVATION

PERSPECTIVES
 PROPOSED JOSEPHINE STREET PERSPECTIVE
 EXISTING JOSEPHINE STREET PERSPECTIVE
 PROPOSED PERSPECTIVE FROM BAY
 EXISTING PERSPECTIVE FROM BAY
 PROPOSED PANORAMIC FROM BAY
 EXISTING PANORAMIC FROM BAY

PLANNING COMMISSION ACTION

RES No. 2013-15
 Date 6/26/13

Director of Planning

CITY COUNCIL ACTION

RES No. 5427
 Date 7/23/13

Director of Planning

Andrew Skurman,
 Architect



3654 Sacramento Street
 San Francisco, CA 94118
 Tel 415/440-4480
 Ex 415/440-4488

WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

Sheet 04

PROJ. DATA
 SCOPE, MAPS
 & DWG INDEX

Project No.

Sheet No.


Scale

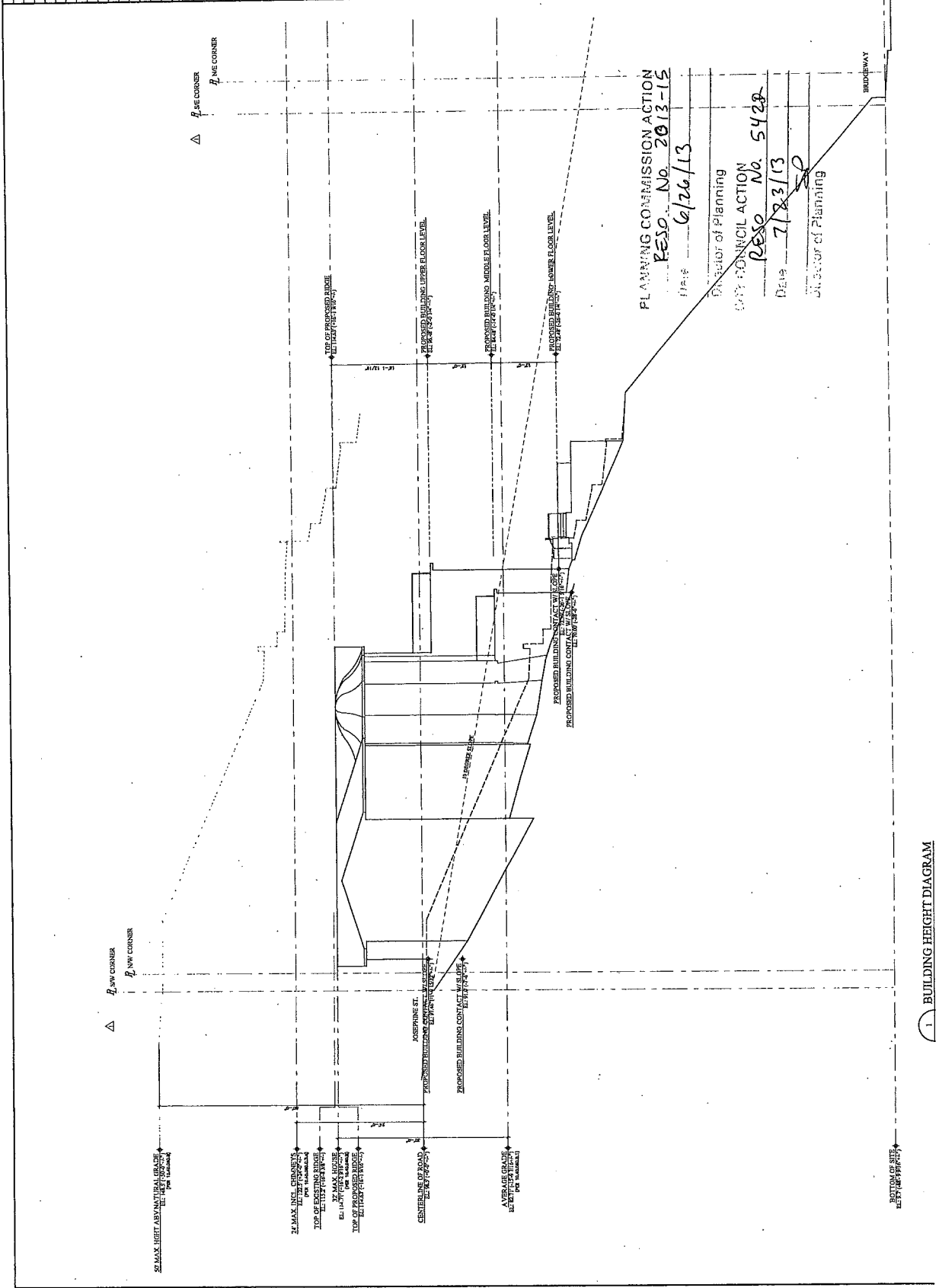
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Date

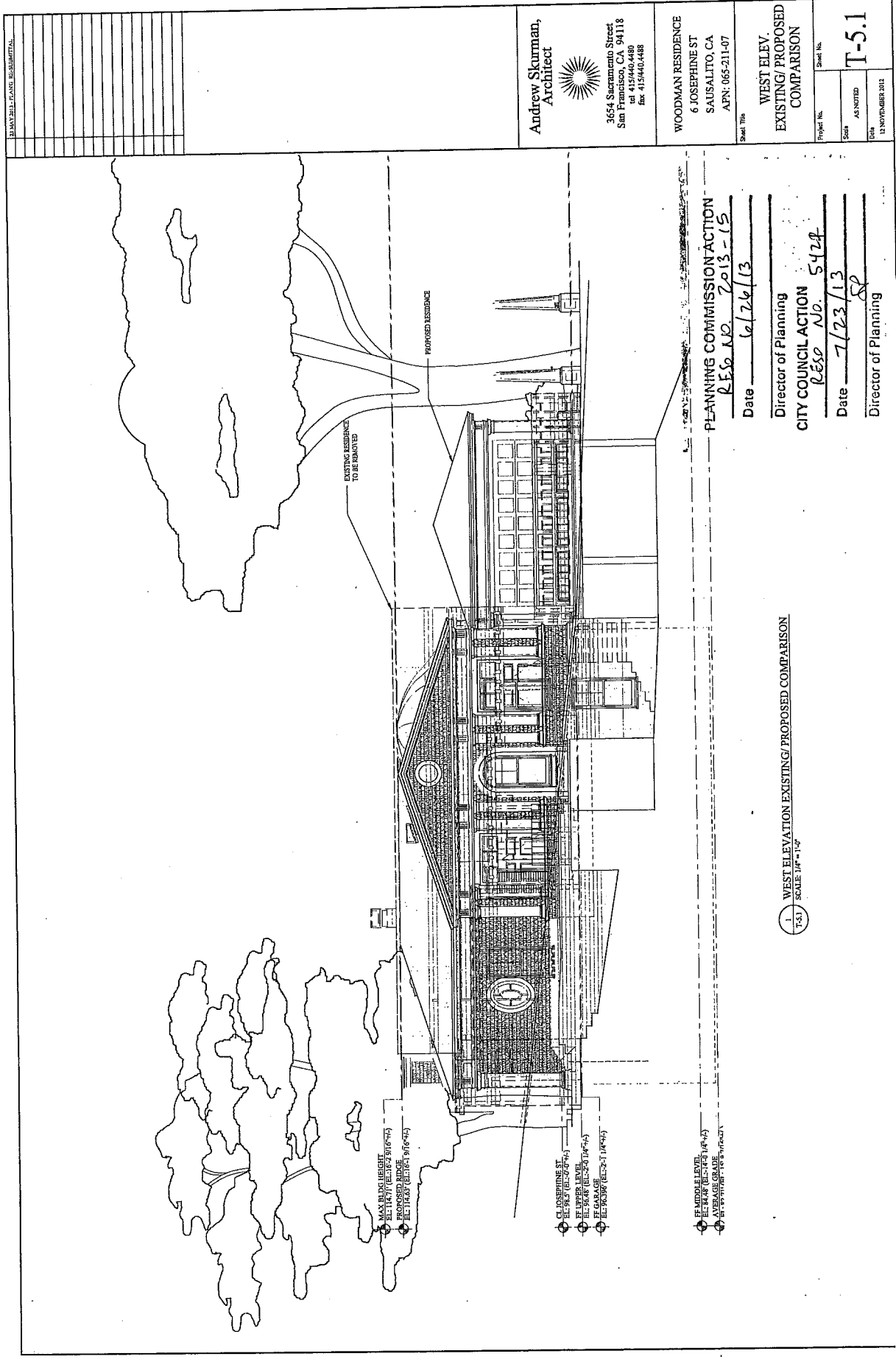
T-1

11 NOVEMBER 2013

3654 SACRAMENTO STREET SAN FRANCISCO, CA 94118 TEL: 415/440-4480 FAX: 415/440-4488	Andrew Skurman, Architect 	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	SHEET TITLE BUILDING HEIGHT DIAGRAM	PROJECT No. SCALE AS NOTED DATE	SHEET No. T-3
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1 BUILDING HEIGHT DIAGRAM



Andrew Skurman,
Architect

3654 Sacramento Street
San Francisco, CA 94118
Tel: 415.774.4488
Fax: 415.640.4488

WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

WEST ELEV.
EXISTING/PROPOSED
COMPARISON

Project No. _____
Sheet No. AS NOTED
DATE 12 NOVEMBER 2012

T-5.1

NO. DATE BY	REVISION

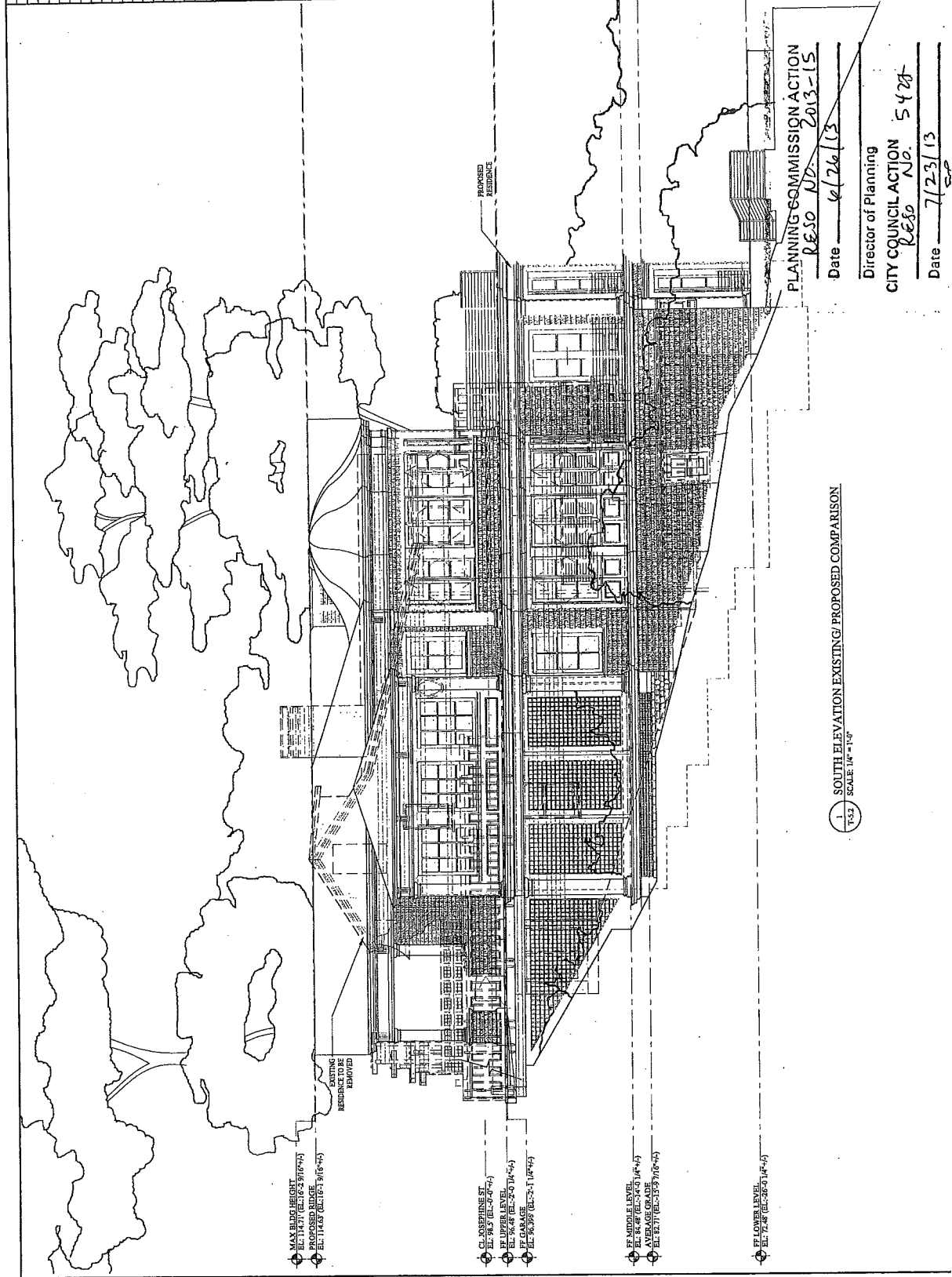
Andrew Skurman,
Architect


3654 Sacramento Street
San Francisco, CA 94118
Tel: 415.740.4480
Fax: 415.740.4488

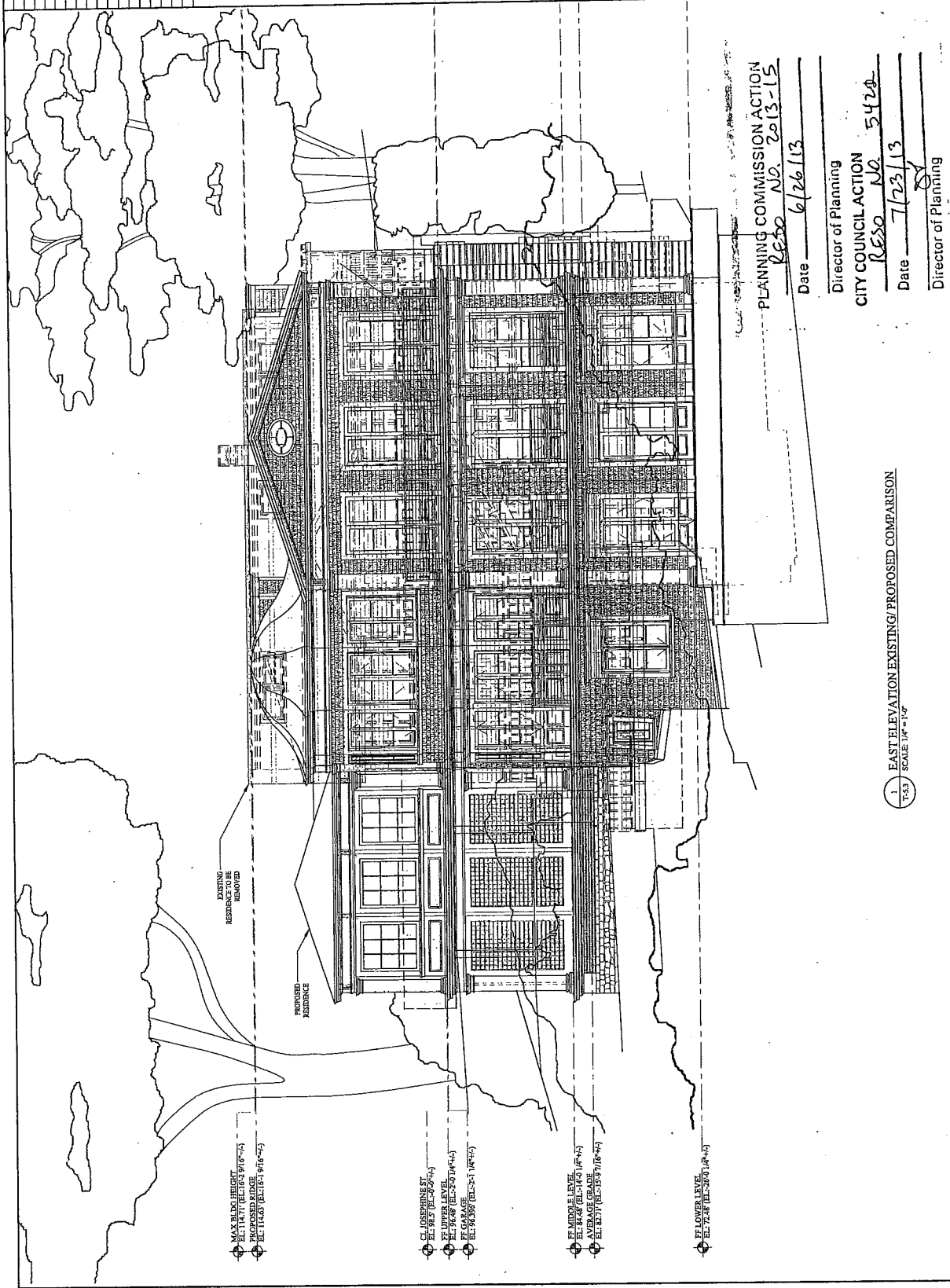
WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-271-07

SOUTH ELEV.
EXISTING/PROPOSED
COMPARISON

Project No.	
Sheet No.	T-5.2
DATE	11 NOVEMBER 2013
AS NOTED	



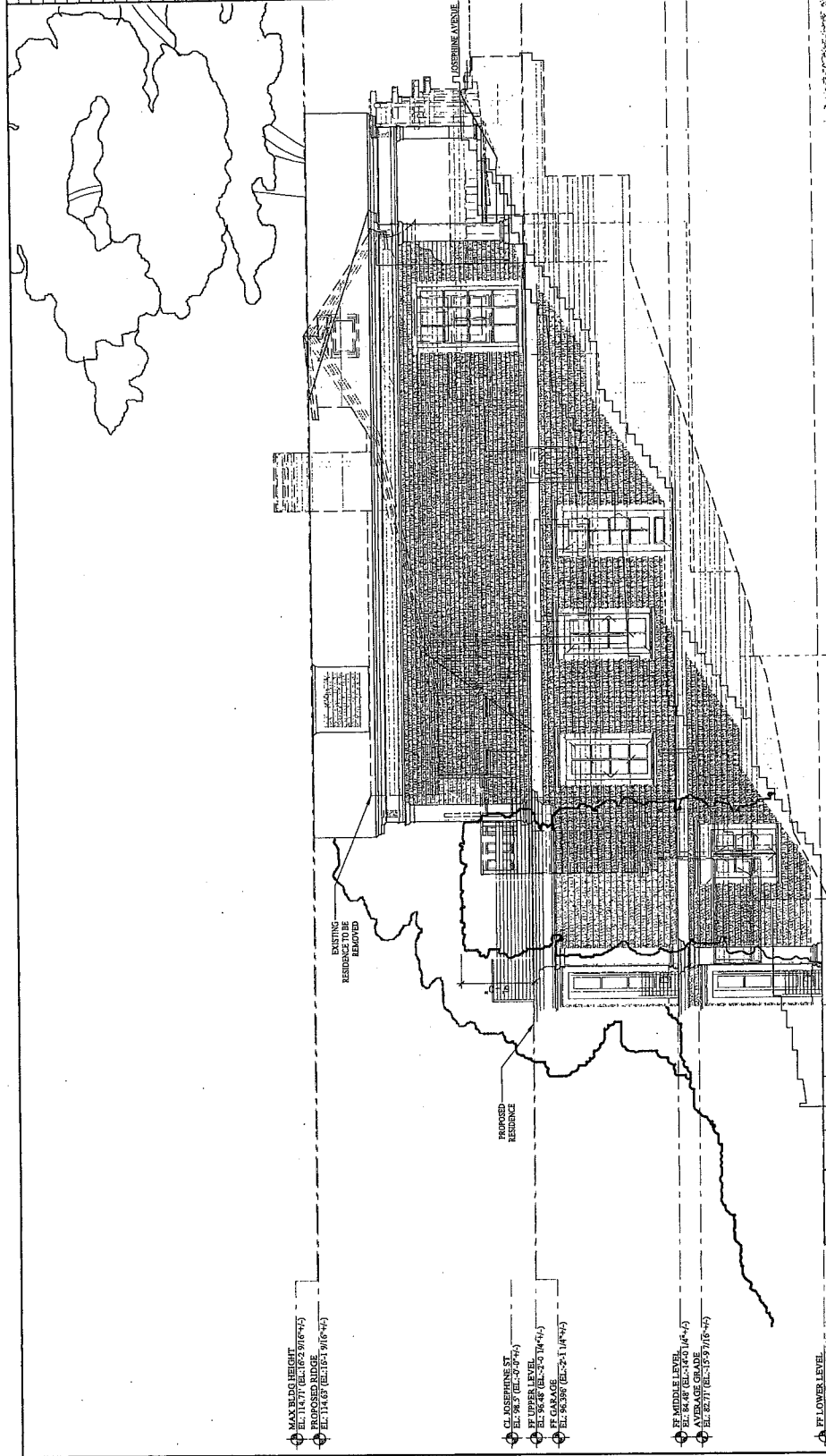
DIMAY 2010 PLANNING REVISION REVISIONS:		Andrew Skurman, Architect  3654 Sacramento Street San Francisco, CA 94118 tel. 415/440.4480 fax. 415/440.0488	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	EAST ELEV. EXISTING/ PROPOSED COMPARISON	Project No.	Sheet No.
Date	AS NOTED				11 NOVEMBER 2012	



PLANNING COMMISSION ACTION
 RESO NO. 2013-15
 Date 6/26/13
 Director of Planning
 CITY COUNCIL ACTION
 RESO NO. 5470
 Date 7/23/13
 Director of Planning

1 EAST ELEVATION EXISTING/ PROPOSED COMPARISON
 T-5.3 SCALE: 1/4" = 1'-0"

LANDMARK PLANS SUBMITTAL
12/19/2013 - NOVEMBER 2013



Andrew Skurman,
Architect

3654 Sacramento Street
San Francisco, CA 94118
tel 415.440.4480
fax 415.440.4486

WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

Sheet Title
**NORTH ELEV
EXISTING/PROPOSED
COMPARISON**

Project No.
Scale
Date

AS NOTED
13 NOVEMBER 2013

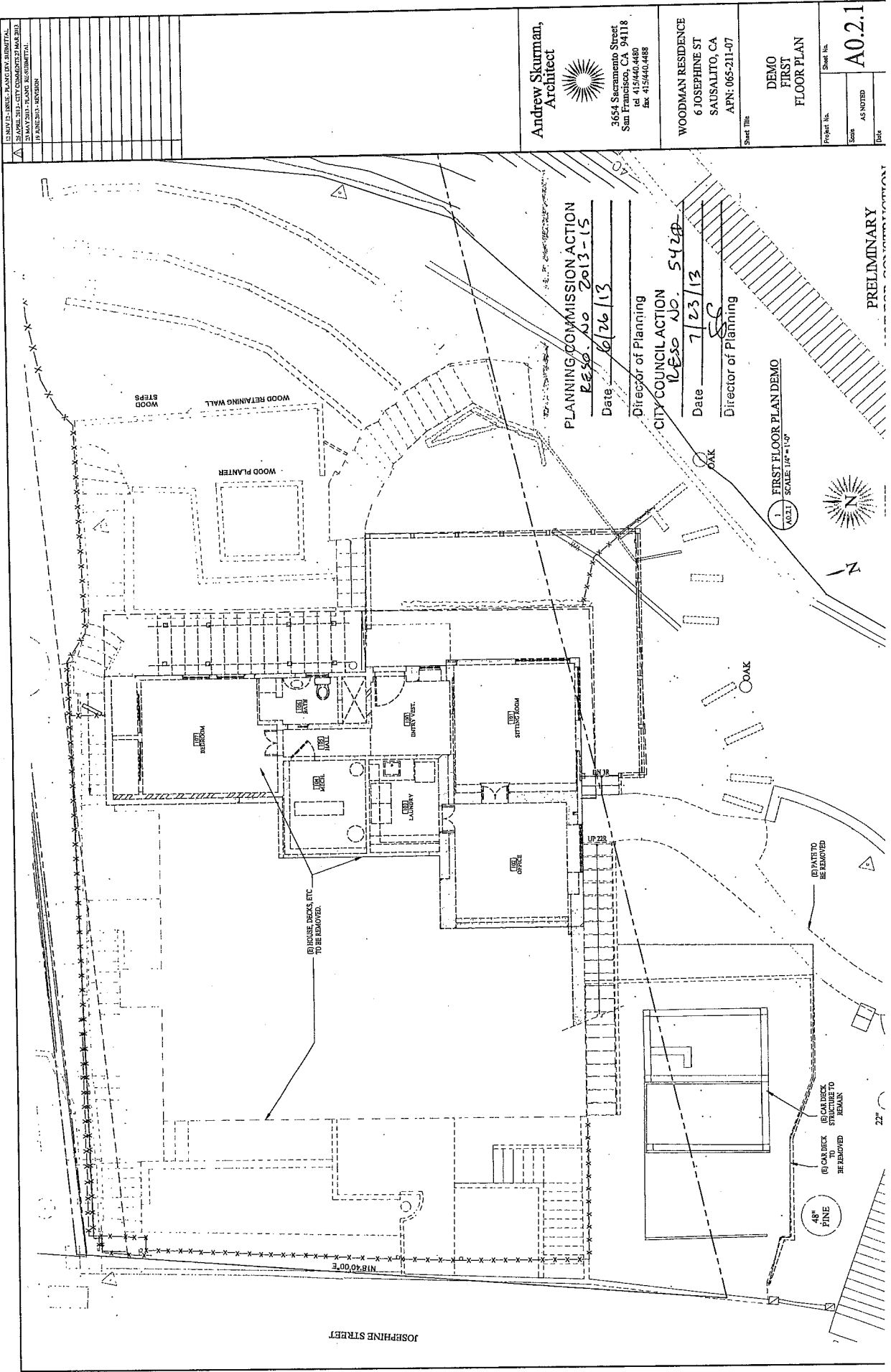
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PLANNING COMMISSION ACTION
RESO. NO. 2013-15
Date 6/26/13

Director of Planning
CITY COUNCIL ACTION
RESO. NO. 542A
Date 7/23/13

Director of Planning

1 NORTH ELEVATION EXISTING/PROPOSED COMPARISON
T-5.4 SCALE: 1/4" = 1'-0"



12 MAY 2012 - ISSUE - PLANNING ACTION SUBMITTAL
22 APRIL 2012 - CITY COMMISSION ACTION ITEM #11
24 MAY 2011 - PLANNING ACTION SUBMITTAL
19 JAN 2011 - REVISION

Andrew Skurman, Architect

3654 Sacramento Street
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WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

Sheet Title: DEMO FIRST FLOOR PLAN

Project No. _____
Scale AS NOTED

Sheet No. **A0.2.1**
Date

PLANNING COMMISSION ACTION
Reso. No. **2013-15**
Date **6/26/13**


Director of Planning

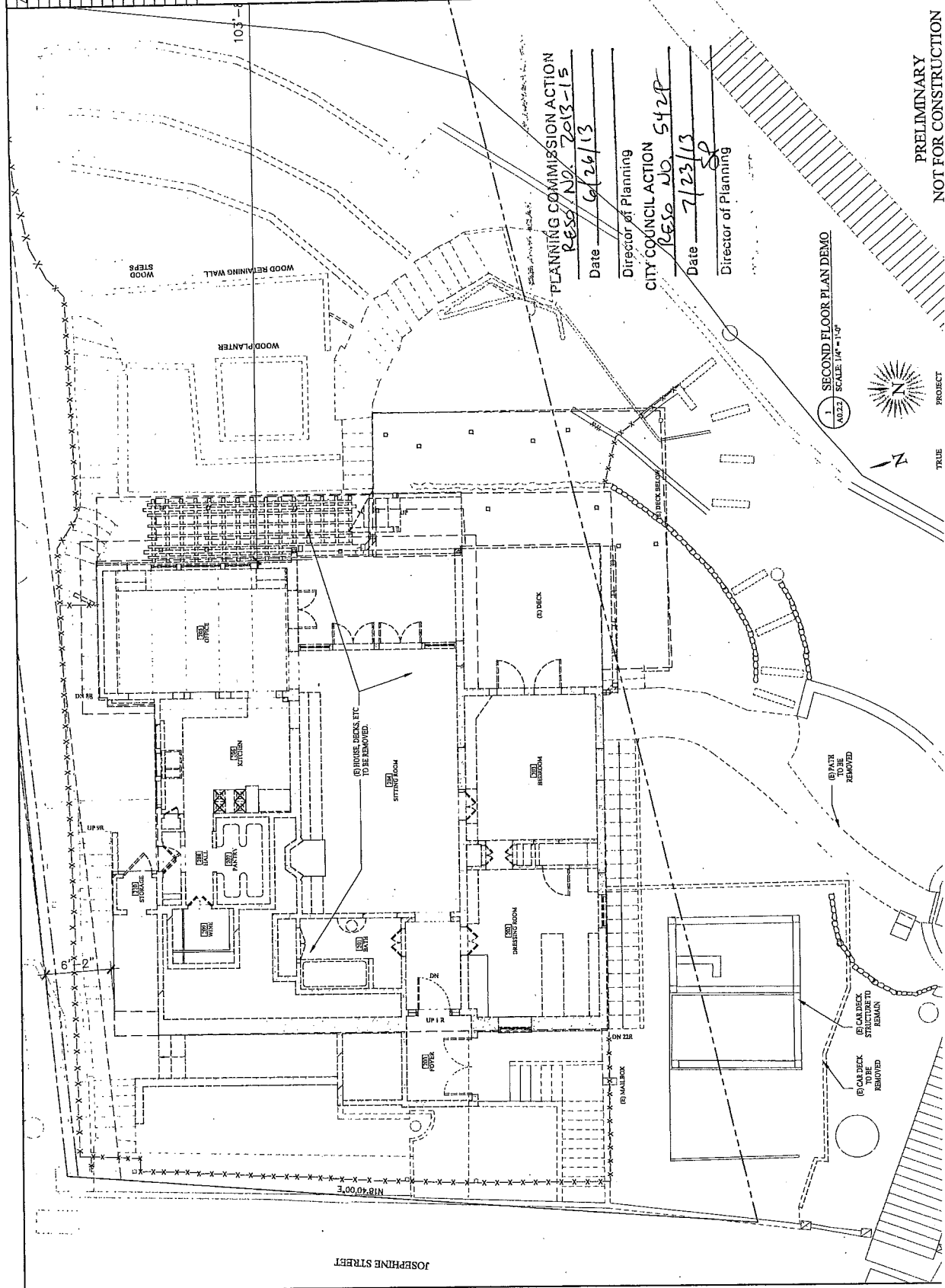
CITY COUNCIL ACTION
Reso. No. **5424**
Date **7/23/13**

Director of Planning

1 FIRST FLOOR PLAN DEMO
A0.2.1 SCALE: 1/4" = 1'-0"

PRELIMINARY

12 NOV 12 - ISSUE - TRANSFORM SUBMITTAL	Andrew Skurman, Architect  3654 Sacramento Street San Francisco, CA 94118 Tel: 415/440.4480 Fax: 415/440.4488	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	DEMO SECOND FLOOR PLAN	Sheet No. A0.2.2		
13 MAY 2013 - PLANNING BOARD SUBMITTAL					Project No.	AS NOTED
17 JAN 2013 - PERMITS					Scale: 1/4" = 1'-0"	DATE



PLANNING COMMISSION ACTION
 RESO NO. 2013-15
 Date 6/26/13
 Director of Planning

CITY COUNCIL ACTION
 RESO NO. 542P
 Date 7/23/13
 Director of Planning

1 SECOND FLOOR PLAN DEMO
 A022 SCALE: 1/4" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION

12. REVIEW: THIRD FLOOR PLAN DEMO SUBMITTAL
 13. APPROVE: CITY ENGINEER/STANDARD 300
 14. APPROVE: CITY ENGINEER/STANDARD 300
 15. APPROVE: CITY ENGINEER/STANDARD 300
 16. APPROVE: CITY ENGINEER/STANDARD 300
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 100. APPROVE: CITY ENGINEER/STANDARD 300

Andrew Skurman,
 Architect

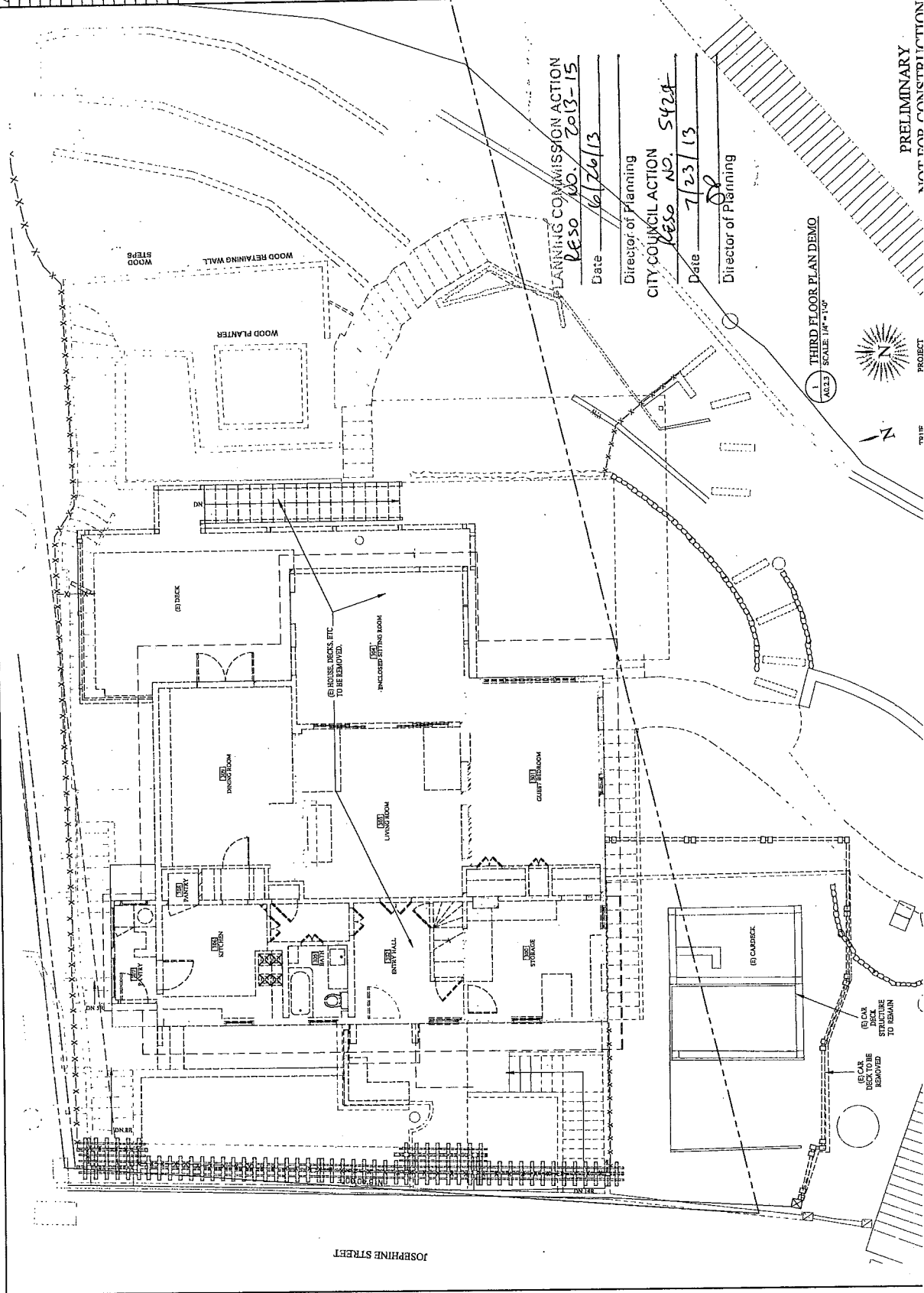


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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

DEMO
 THIRD
 FLOOR PLAN

Project No. _____
 Scale AS NOTED
 Sheet No. **A0.2.3**
 Date _____



PLANNING COMMISSION ACTION
 RESO NO. 2013-15
 Date 6/26/13

Director of Planning
 CITY COUNCIL ACTION
 RESO NO. 5424
 Date 7/23/13


Director of Planning

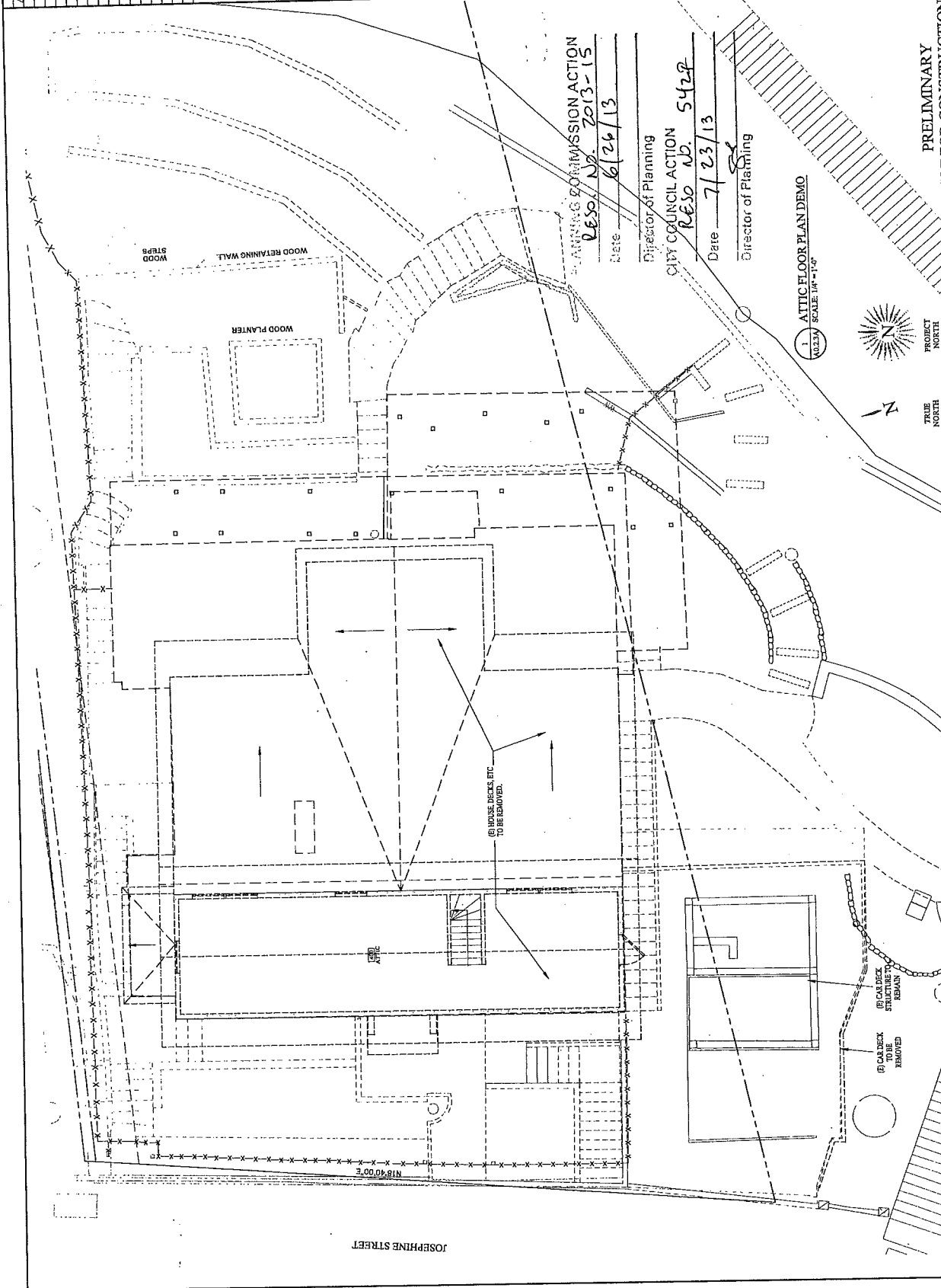
1 THIRD FLOOR PLAN DEMO
 SCALE: 1/4" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION

JOSEPHINE STREET

12 NOV 12 - ISSUE - PLANNING PERMIT	Andrew Skurman, Architect  3654 Sacramento Street San Francisco, CA 94118 tel. 415/440.4480 fax. 415/440.4488	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	Sheet Title	Sheet No.	
24 APR 12 - CITY COUNCIL ACTION			DEMO ATTIC FLOOR PLAN	Project No.	AS NOTED
25 MAY 2013 - PLANS - RESUBMITTAL				Scale	AS NOTED
19 JUNE 2013 - REVISION			Scale	AS NOTED	



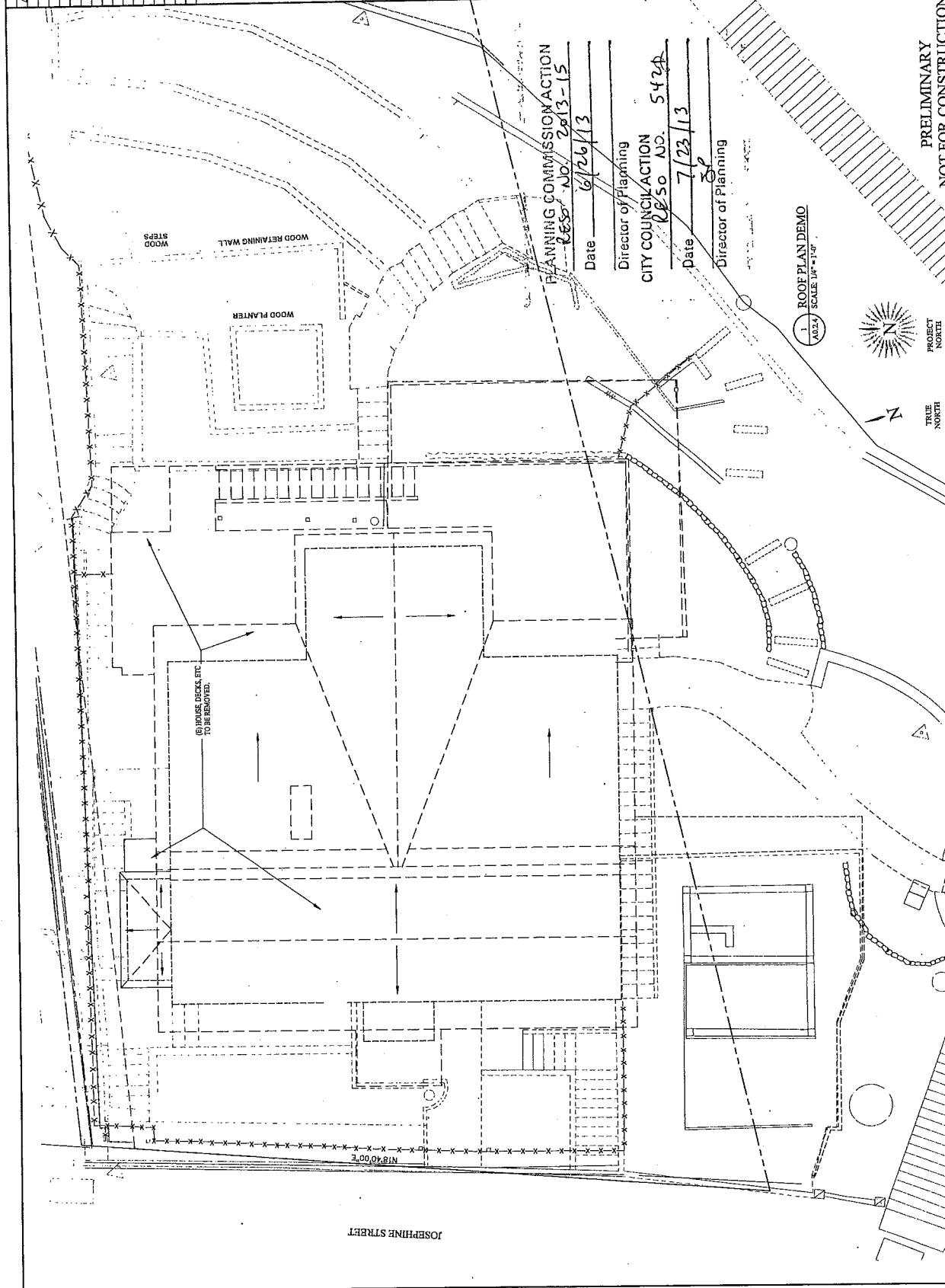
12 NOV 12 - SITE PLAN DIV. SUBMITTAL	Project No. _____ AS NOTED Date _____
15 APR 13 - CITY COMMISSION ACTION	
23 MAY 2013 - PLANTING SUBMITTAL	
FRANCE 2013 - REVISION	Sheet No. A0.2.4

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 Architect

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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

DEMO
 ROOF
 PLAN



PLANNING COMMISSION ACTION
 Reso. NO. 2013-15
 Date 6/26/13
 Director of Planning
 CITY COUNCIL ACTION
 RESO. NO. 542A
 Date 7/23/13
 Director of Planning

1 ROOF PLAN DEMO
 SCALE 1/8" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION

1	SHOW ELEVATION AND EXTERIOR
2	FOR ARCHITECTURAL
3	FOR ARCHITECTURAL
4	FOR ARCHITECTURAL
5	FOR ARCHITECTURAL
6	FOR ARCHITECTURAL
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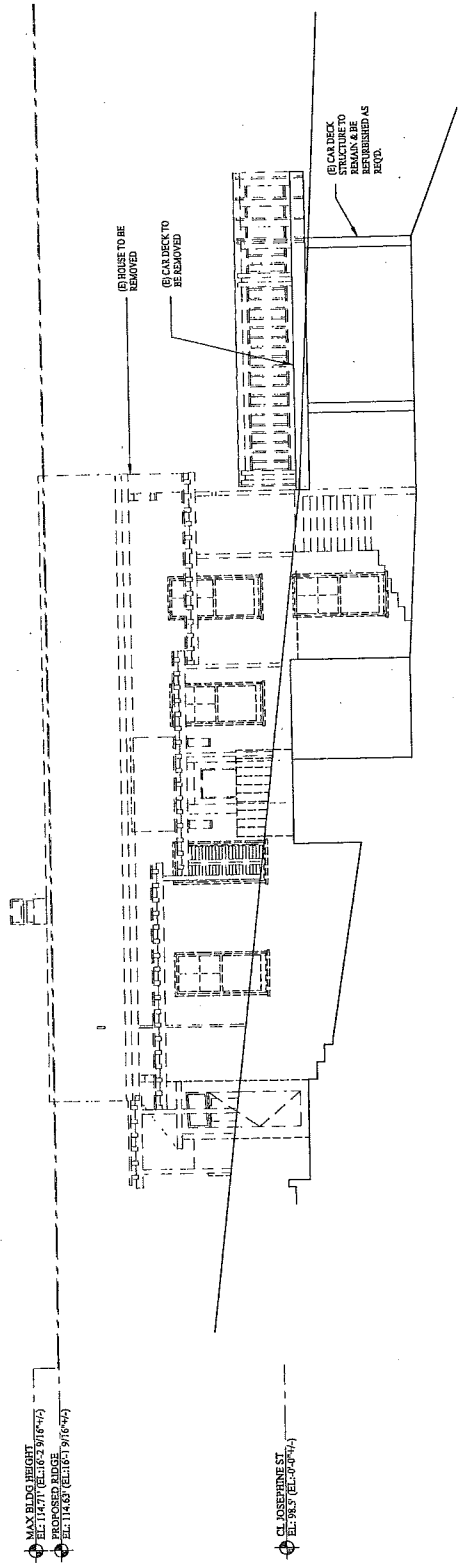
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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

DEMOLITION WEST EXTERIOR ELEVATION

Project No. _____
 Scale AS NOTED
 Date _____
A0.3.1



PLANNING COMMISSION ACTION
 Reso No. 2015-15
 Date 6/26/13
 Director of Planning

CITY COUNCIL ACTION
 Reso No. 5428
 Date 7/23/13
 Director of Planning

1 WEST ELEVATION DEMO
 (A0.3.1) SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

12 MONTH - ISSUE PLANS BY SUBMITTAL
24 MONTH - PLANS RE-SUBMITTAL
36 MONTH - PLANS RE-SUBMITTAL
48 MONTH - PLANS RE-SUBMITTAL
60 MONTH - PLANS RE-SUBMITTAL
72 MONTH - PLANS RE-SUBMITTAL
84 MONTH - PLANS RE-SUBMITTAL
96 MONTH - PLANS RE-SUBMITTAL
108 MONTH - PLANS RE-SUBMITTAL
120 MONTH - PLANS RE-SUBMITTAL
132 MONTH - PLANS RE-SUBMITTAL
144 MONTH - PLANS RE-SUBMITTAL
156 MONTH - PLANS RE-SUBMITTAL
168 MONTH - PLANS RE-SUBMITTAL
180 MONTH - PLANS RE-SUBMITTAL
192 MONTH - PLANS RE-SUBMITTAL
204 MONTH - PLANS RE-SUBMITTAL
216 MONTH - PLANS RE-SUBMITTAL
228 MONTH - PLANS RE-SUBMITTAL
240 MONTH - PLANS RE-SUBMITTAL
252 MONTH - PLANS RE-SUBMITTAL
264 MONTH - PLANS RE-SUBMITTAL
276 MONTH - PLANS RE-SUBMITTAL
288 MONTH - PLANS RE-SUBMITTAL
300 MONTH - PLANS RE-SUBMITTAL

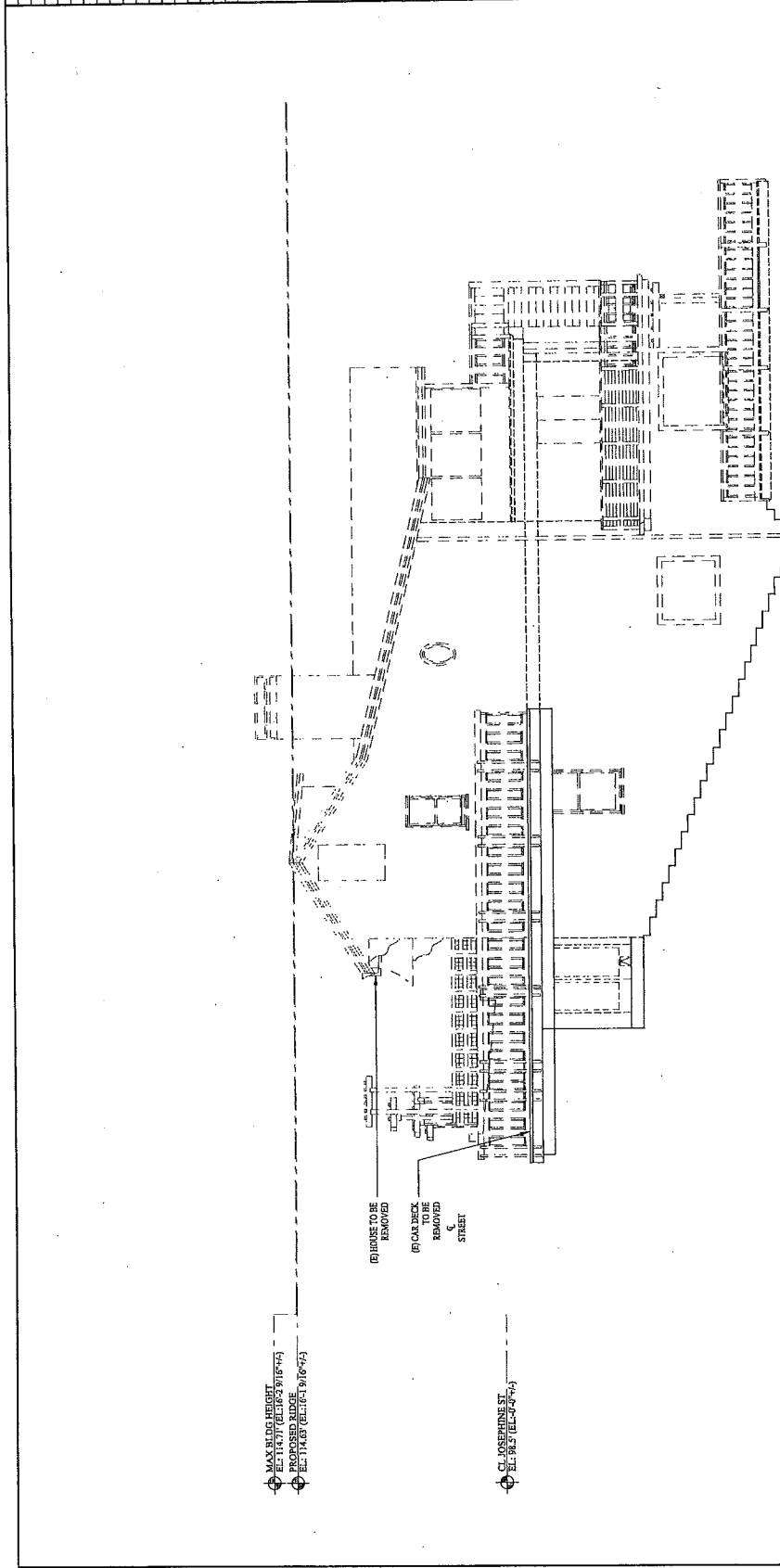
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WOODMAN RESIDENCE
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SAUSALITO, CA
APN: 065-211-07

DEMOLITION
SOUTH EXTERIOR
ELEVATION

Sheet Title
Project No.
Scale
AS NOTED
Date
A0.3.2



PLANNING COMMISSION ACTION
RESO NO. 2013-15
Date 6/26/13
Director of Planning
CITY COUNCIL ACTION
RESO NO. 5424
Date 7/23/13
Director of Planning

1 SOUTH ELEVATION DEMO
00.33 SCALE 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

12	REVISED: INTERIOR PLAN/VIEW SUBMITTAL
11	MAY 2013 - PLANNING BOARD SUBMITTAL
10	APRIL 2013 - REVISION
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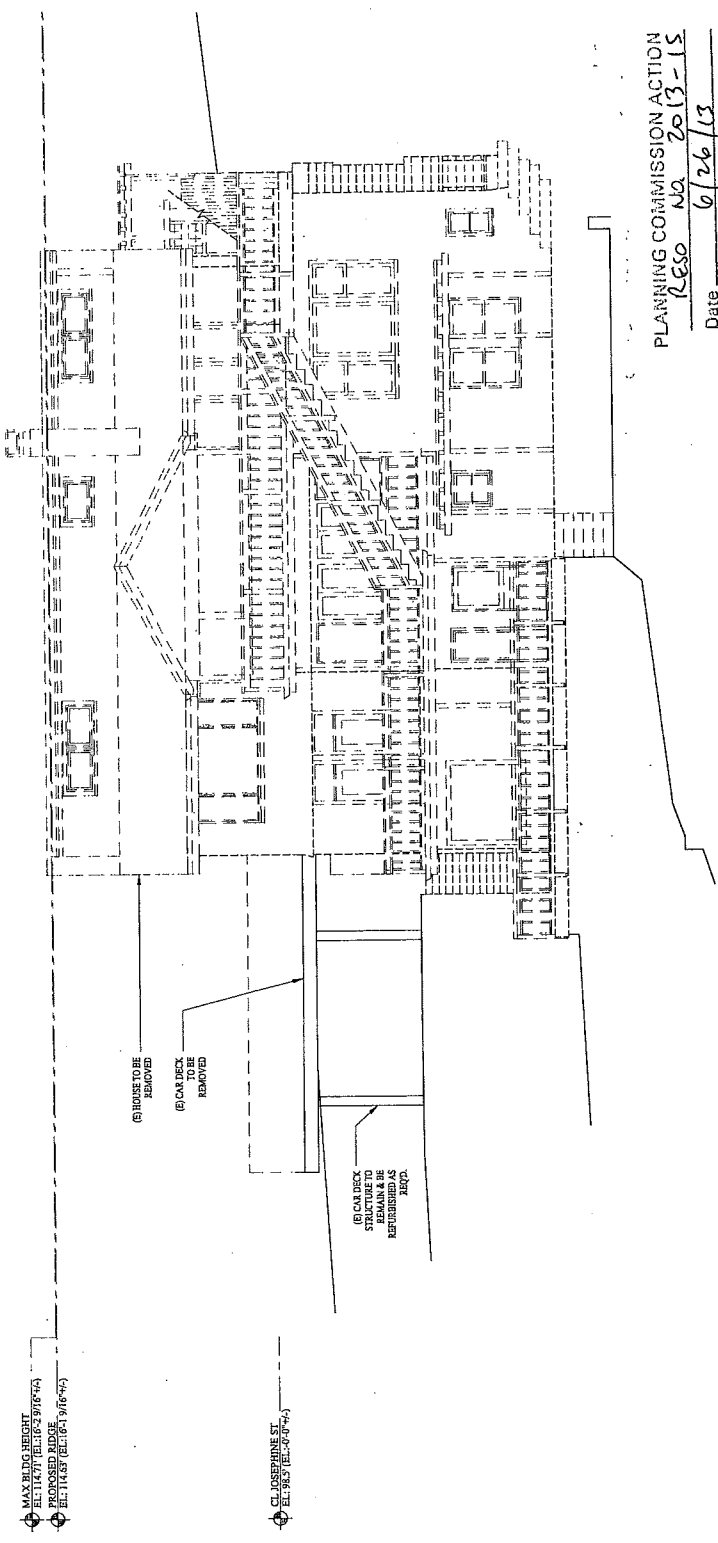
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Architect**

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6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

DEMOLITION
EAST EXTERIOR
ELEVATION

Project No. _____
Sheet No. **A0.3.3**
Scale: AS NOTED
Date: 11 NOVEMBER 2011



PLANNING COMMISSION ACTION
RESO NO. 2013-15
Date 6/26/13
Director of Planning _____

CITY COUNCIL ACTION
RESO NO. 542A
Date 7/23/13
Director of Planning _____

PRELIMINARY
NOT FOR CONSTRUCTION

1 EAST ELEVATION DEMO
A0.3.3 SCALE: 1/8"=1'-0"

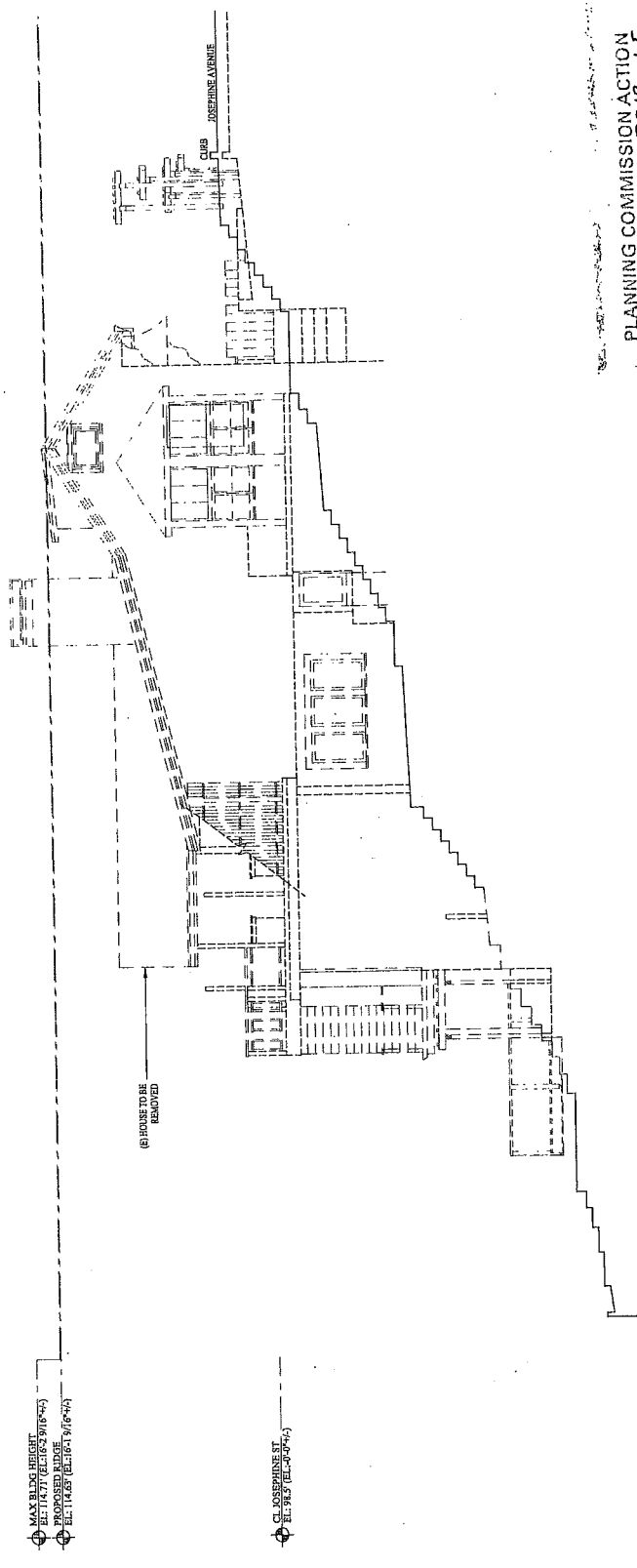
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30. DEMOLITION - REVISIONS	

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WOODMAN RESIDENCE
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 SAUSALITO, CA
 APN: 065-211-07

DEMOLITION NORTH EXTERIOR ELEVATION

Sheet No. **A0.3.4**
 Project No. _____
 Scale AS NOTED
 Date _____



PLANNING COMMISSION ACTION
 RESO No. 2013-15
 Date 6/26/13
 Director of Planning _____

CITY COUNCIL ACTION
 RESO No. 5427
 Date 7/23/13
 Director of Planning _____

**PRELIMINARY
 NOT FOR CONSTRUCTION**

1. NORTH ELEVATION DEMO
 (A0.3.4) SCALE: 1/4" = 1'-0"

1	REVISION: ISSUE: PLANS FOR SUBMITTAL
2	REVISION: ISSUE: CITY COMMENTS
3	REVISION: ISSUE: PERMITS
4	REVISION: ISSUE: PERMITS
5	REVISION: ISSUE: PERMITS
6	REVISION: ISSUE: PERMITS
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22	REVISION: ISSUE: PERMITS
23	REVISION: ISSUE: PERMITS
24	REVISION: ISSUE: PERMITS
25	REVISION: ISSUE: PERMITS

LANDS OF BAKOODES, ET AL
APN: 065211-06

EXISTING RESIDENCE
12 JOSEPHINE ST
LANDS OF KALSTON TRUST
APN: 065211-08

6 JOSEPHINE STREET
APN: 065211-07
EXISTING RESIDENCE
DECK, STAIRS, ETC. TO BE REMOVED

EXISTING RESIDENCE
LANDS OF O'CALLAGHAN
APN: 065203-07

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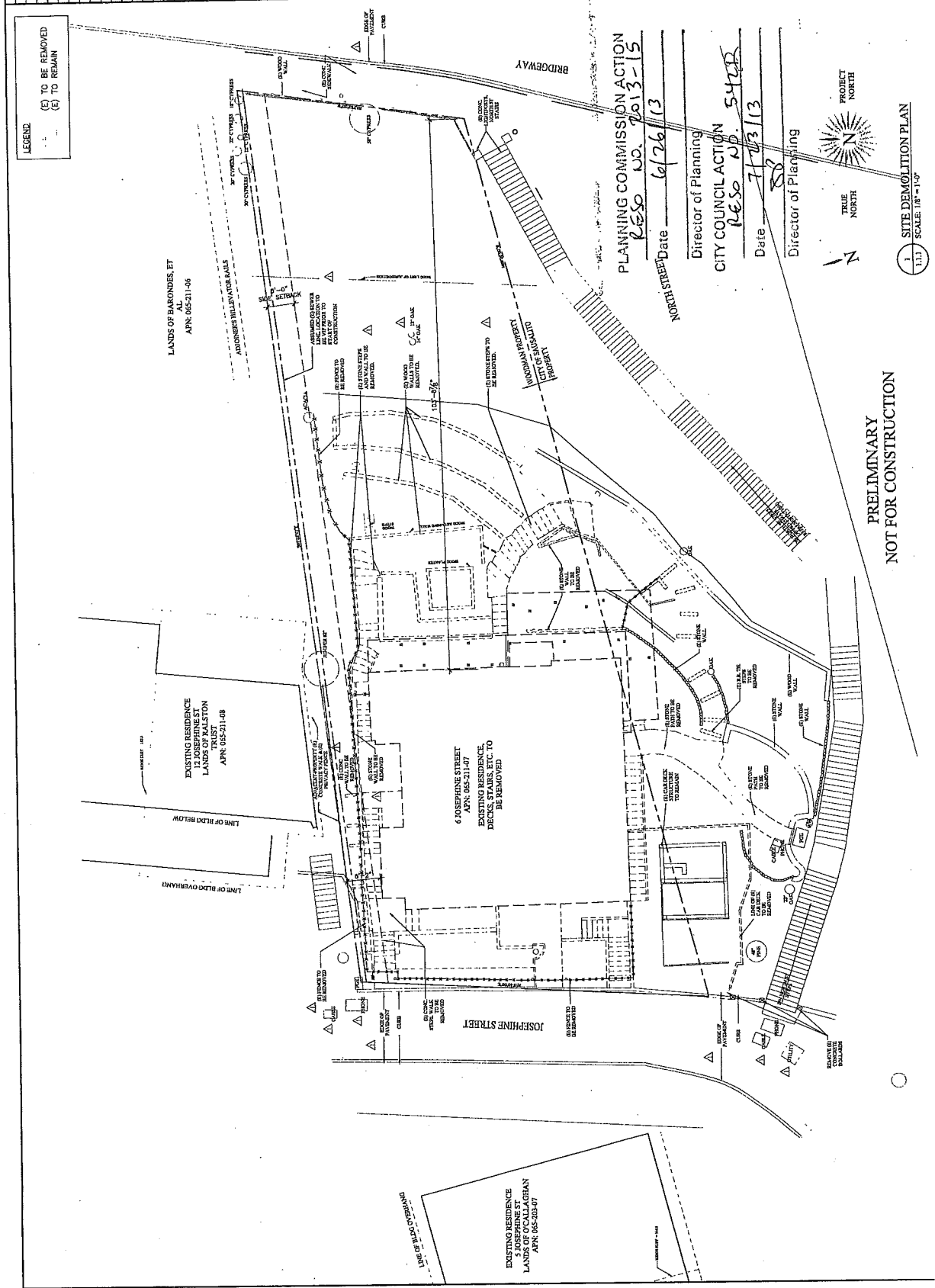
WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07


Sheet Title
SITE DEMOLITION PLAN

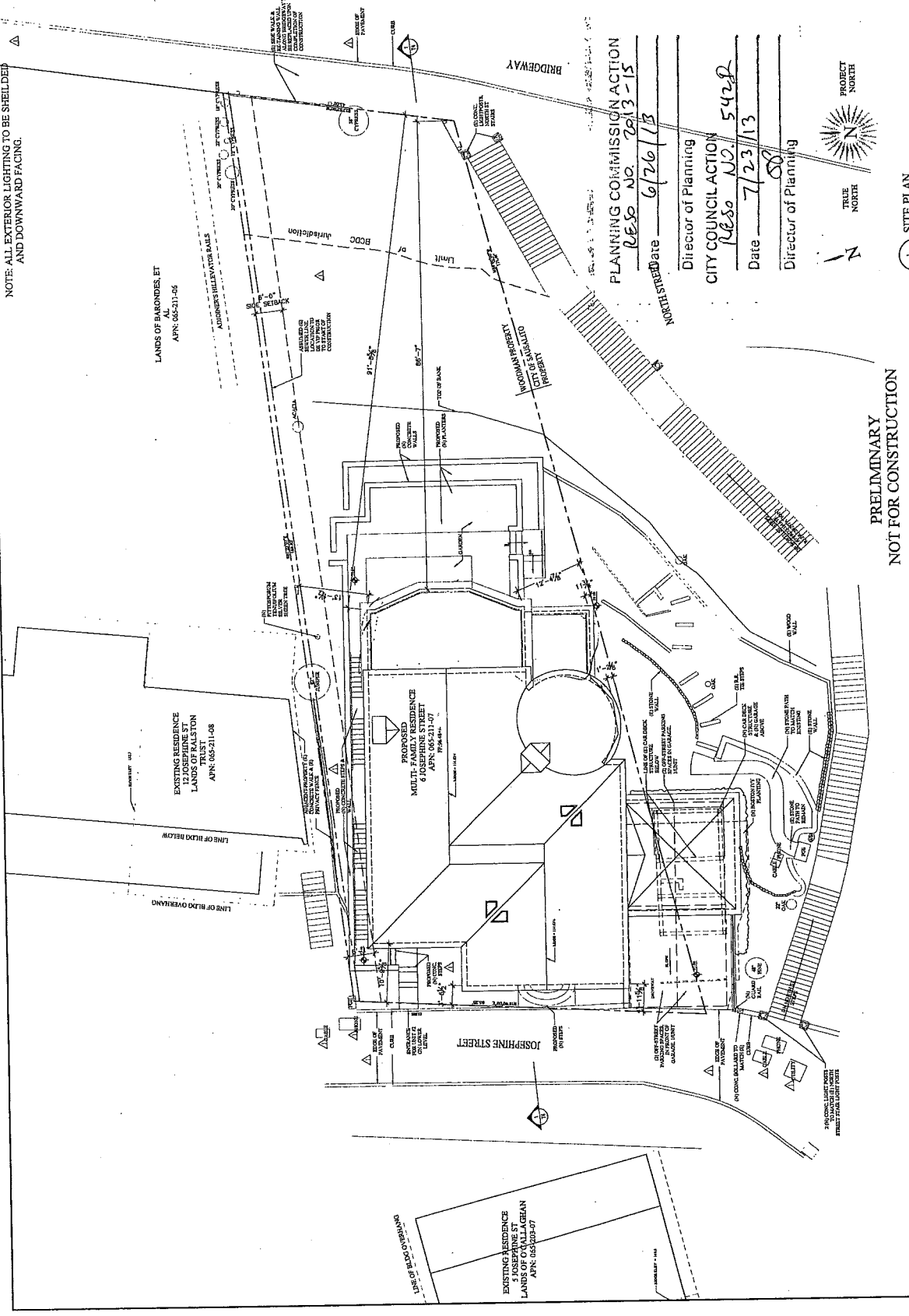
Project No.
100

Scale
AS NOTED

Sheet No.
A1.0.1



1. JERRY D. HENNE - PLANNING DIV. SUBMITTAL 2. JERRY D. HENNE - CITY ENGINEERING DEPARTMENT 3. JERRY D. HENNE - COMMUNITY DEVELOPMENT DIV. 4. JERRY D. HENNE - INSPECTION DIV.	Andrew Skurman, Architect  3654 Sacramento Street San Francisco, CA 94118 Tel. 415/440.4480 Fax. 415/440.4488	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07 Sheet: 1/3	Project No. _____ Scale: AS NOTED Sheet No. A1.1.1 Date
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**PRELIMINARY
NOT FOR CONSTRUCTION**

1.1.1 SITE PLAN
SCALE: 1/8" = 1'-0"

1	PLANNING COMMISSION ACTION
2	CITY COUNCIL ACTION
3	DATE
4	RESOLUTION NO.
5	DATE
6	RESOLUTION NO.
7	DATE
8	RESOLUTION NO.
9	DATE
10	RESOLUTION NO.
11	DATE
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23	DATE
24	RESOLUTION NO.
25	DATE
26	RESOLUTION NO.
27	DATE
28	RESOLUTION NO.
29	DATE
30	RESOLUTION NO.

Andrew Skurman,
Architect



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WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

Sheet Title

PROPOSED
FIRST
FLOOR PLAN

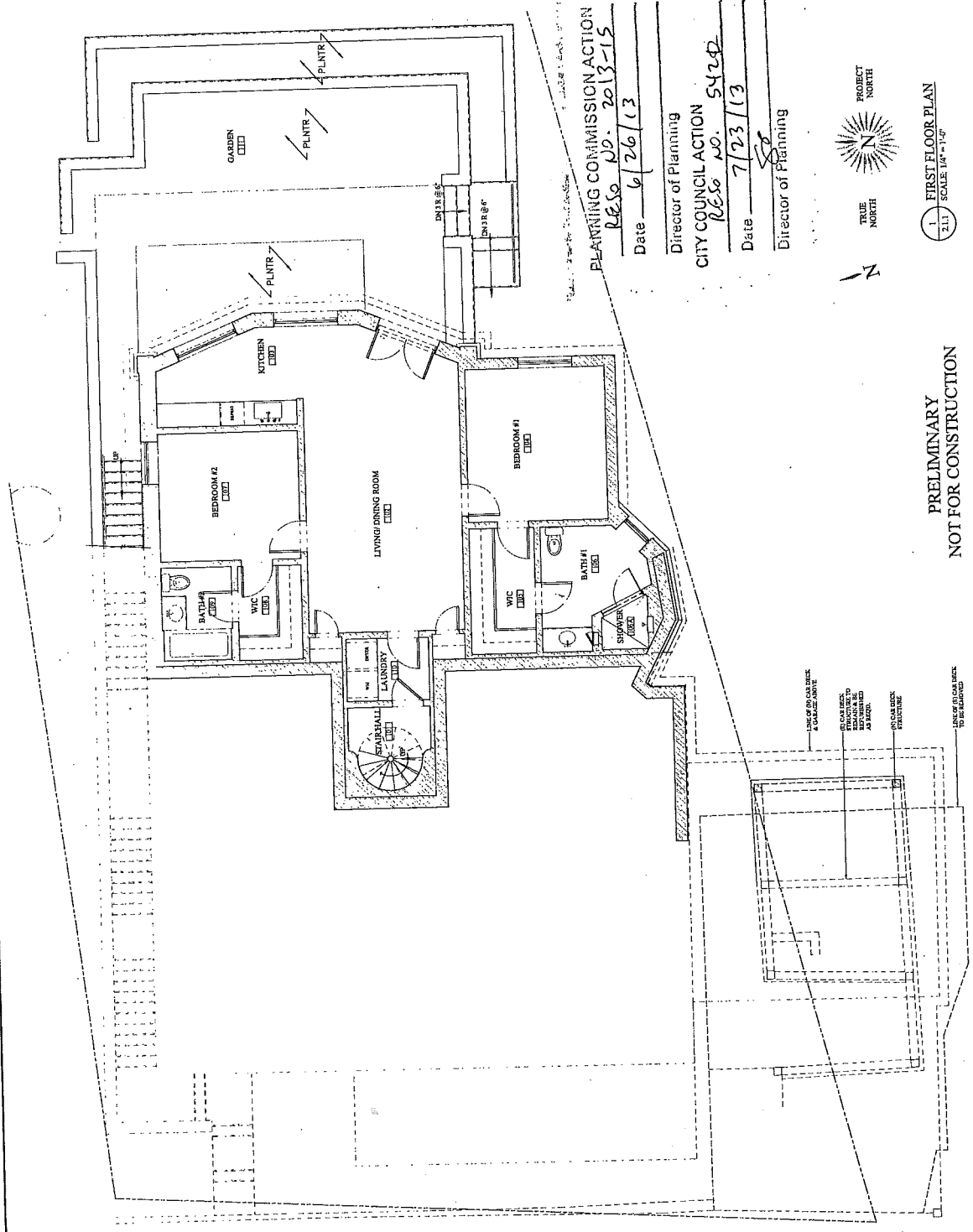
Project No.

Scale AS NOTED

East

Sheet No.

A2.1.1



PLANNING COMMISSION ACTION
RES. NO. 2013-15
Date 6/26/13

Director of Planning
CITY COUNCIL ACTION
RES. NO. 5424
Date 7/23/13

Director of Planning



1/8" = 1'-0"
FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

JOSEPHINE STREET

13 NOV 12, 05:00 - PLANNING ACTION SUBMITTAL
25 APR 2013 - CITY COMMISSIONS & BOARD 2013
19 APR 2013 - PLANNING RESUBMITTAL
19 APR 2013 - REVISION

**Andrew Skurman,
Architect**



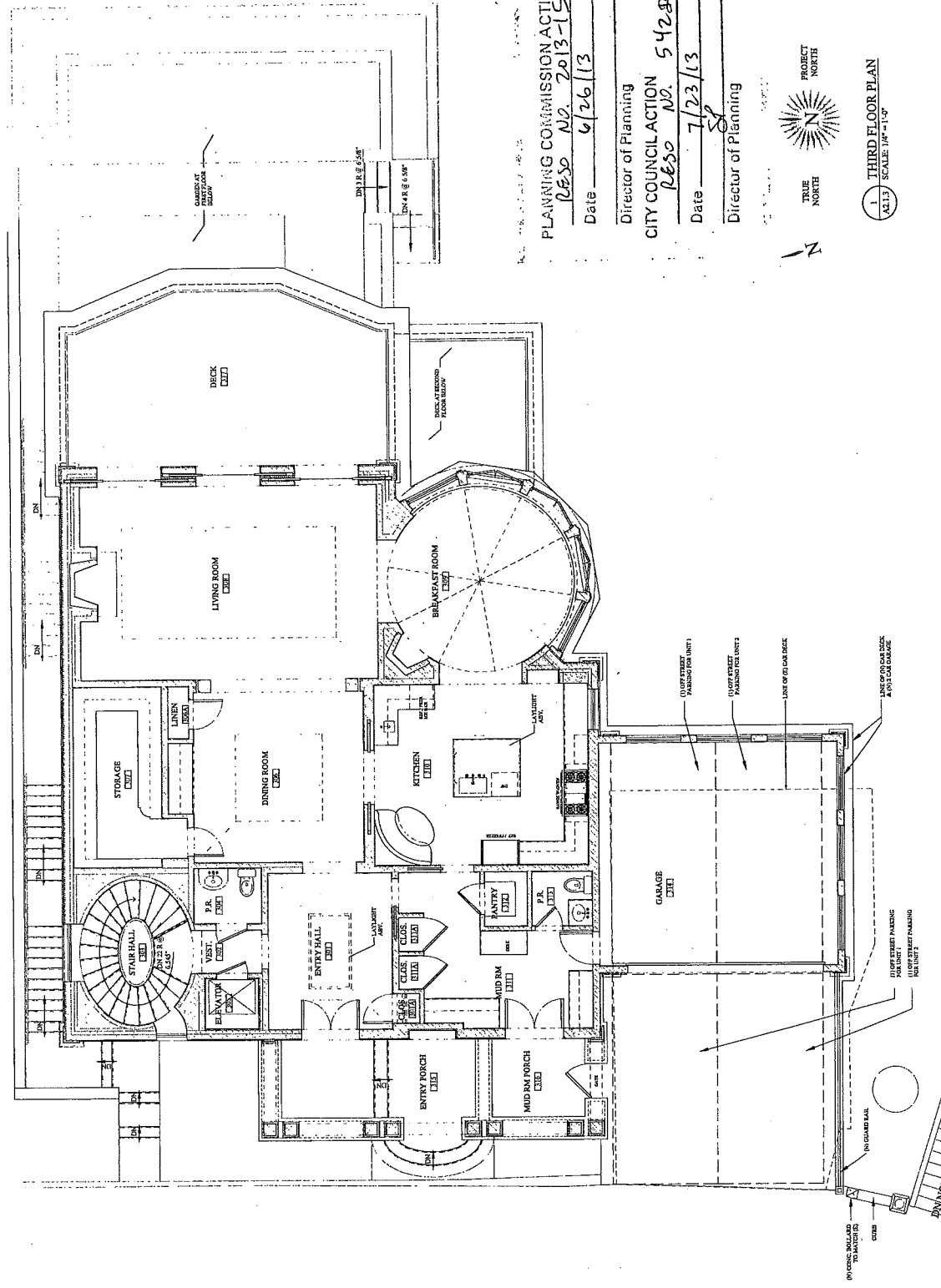
3654 Sacramento Street
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fax: 415/440-4488

WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

Sheet Title

**PROPOSED
THIRD
FLOOR PLAN**

Project No.	Sheet No.
Scale	AS NOTED
Date	A2.1.3



PLANNING COMMISSION ACTION
RESO NO. 2013-15

Date 6/26/13

Director of Planning

CITY COUNCIL ACTION

RESO NO. 542R

Date 7/23/13

Director of Planning



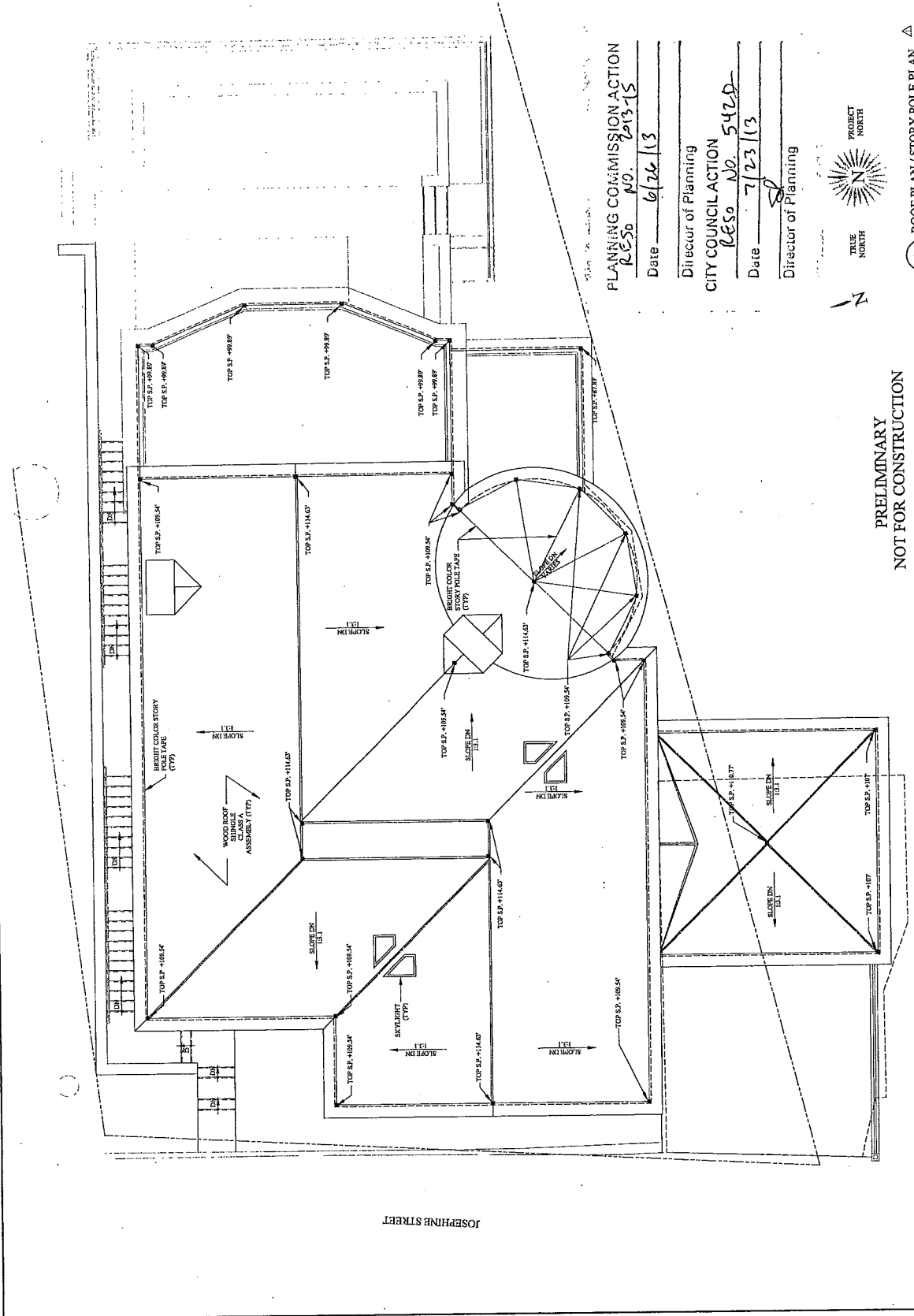
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

PROPOSED ROOF PLAN/
 1 STORY POLE PLAN
 Project No. _____
 Scale AS NOTED
 Sheet No. **A2.1.4**




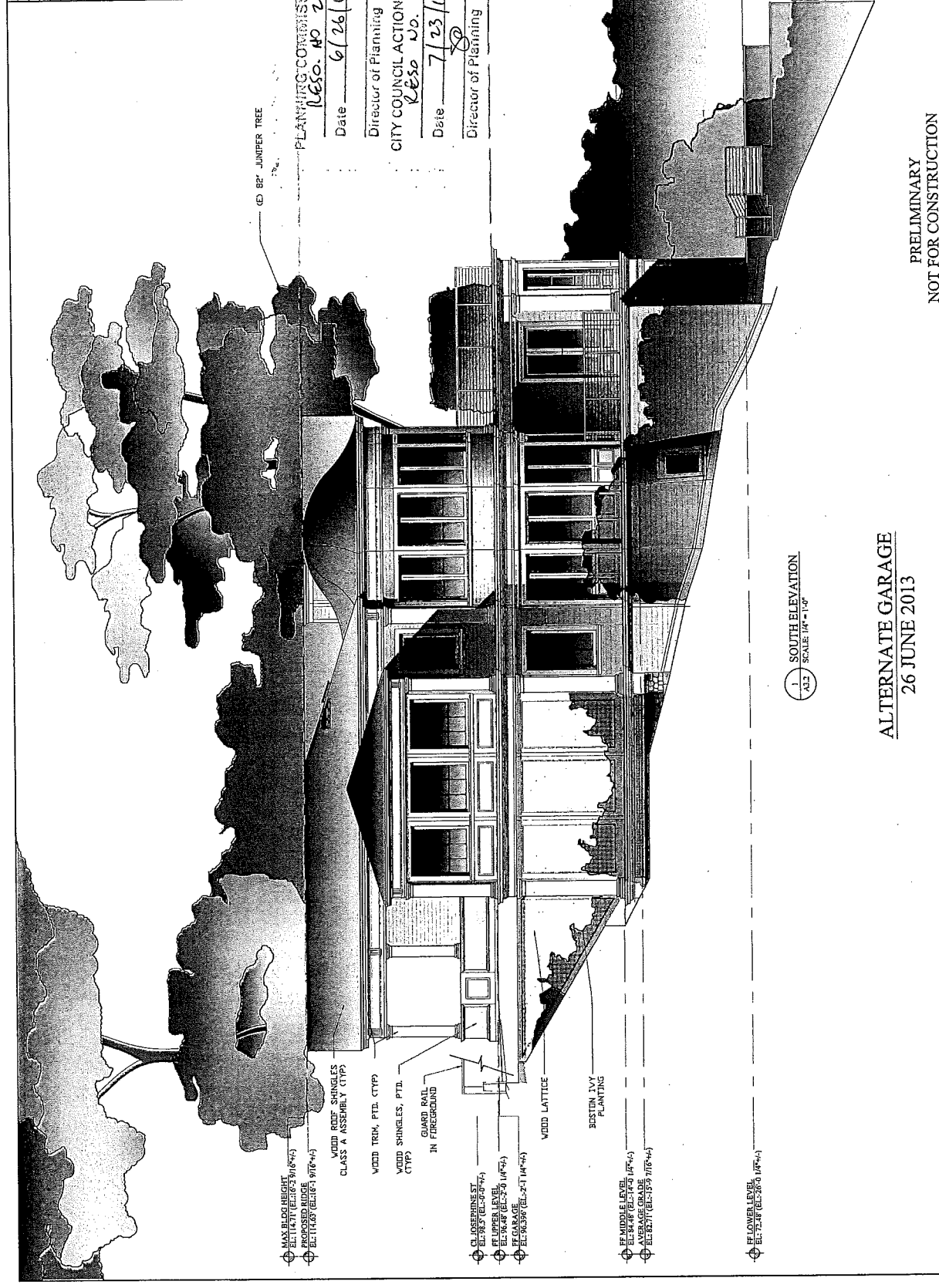
PLANNING COMMISSION ACTION
 RESO NO. 2013-15
 Date 6/26/13
 Director of Planning
 CITY COUNCIL ACTION
 RESO NO. 542-D
 Date 7/23/13
 Director of Planning



1 ROOF PLAN / STORY POLE PLAN
 SCALE: 1/8" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

12 NOV 17 10:51 AM - PLANS BY: SUBMITAL	Andrew Skurman, Architect  3654 Sacramento Street San Francisco, CA 94118 tel 415-440-4480 fax 415-440-4488	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	PROPOSED SOUTH EXTERIOR ELEVATION	Sheet No.	A3.2
12 NOV 17 10:51 AM - PLANS BY: SUBMITAL 12 NOV 17 10:51 AM - PLANS BY: SUBMITAL 12 NOV 17 10:51 AM - PLANS BY: SUBMITAL				Project No.	



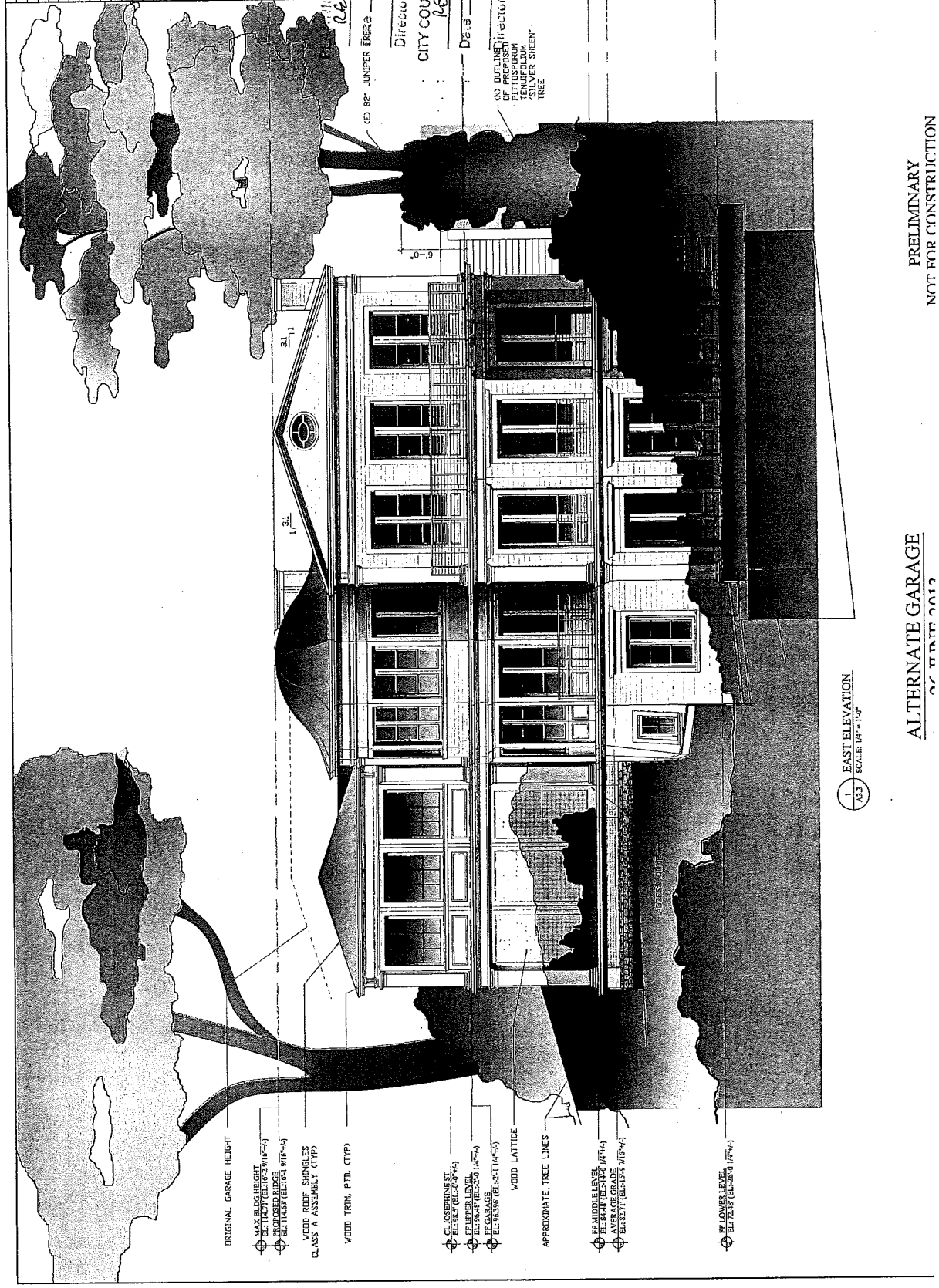
PLANNING COMMISSION ACTION
 RESO. NO. 2013-15
 Date 6/26/13
 Director of Planning
 CITY COUNCIL ACTION
 RESO. NO. 5424
 Date 7/23/13
 Director of Planning

1 SOUTH ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"

ALTERNATE GARAGE
 26 JUNE 2013

PRELIMINARY
 NOT FOR CONSTRUCTION

1. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES. 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.	PROJECT NO. 13-00000-0000 SHEET NO. 13-00000-0000	PROJECT NO. 13-00000-0000 SHEET NO. 13-00000-0000	PROJECT NO. 13-00000-0000 SHEET NO. 13-00000-0000
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PLANNING COMMISSION ACTION
 RES. NO. 2013-15
 6/26/13
 Director of Planning
 CITY COUNCIL ACTION
 RES. NO. 542D
 Date 7/23/13
 Director of Planning

Andrew Skurman,
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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

PROPOSED
 EAST EXTERIOR
 ELEVATION

Project No.	Sheet No.
Scale	AS NOTED
Title	
A3.3	

1 EAST ELEVATION
 A3.3 SCALE: 1/8" = 1'-0"

ALTERNATE GARAGE
 07.11.13.2013

PRELIMINARY
 NOT FOR CONSTRUCTION

1. NEW ISSUE - HANSHU SUBMITTAL
 2. APRIL 2013 - CITY COMMENTS PLAN SHEET
 3. MAY 2013 - PLAN SHEET SUBMITTAL
 4. FEB 2013 - REVISED

Andrew Skurman,
 Architect

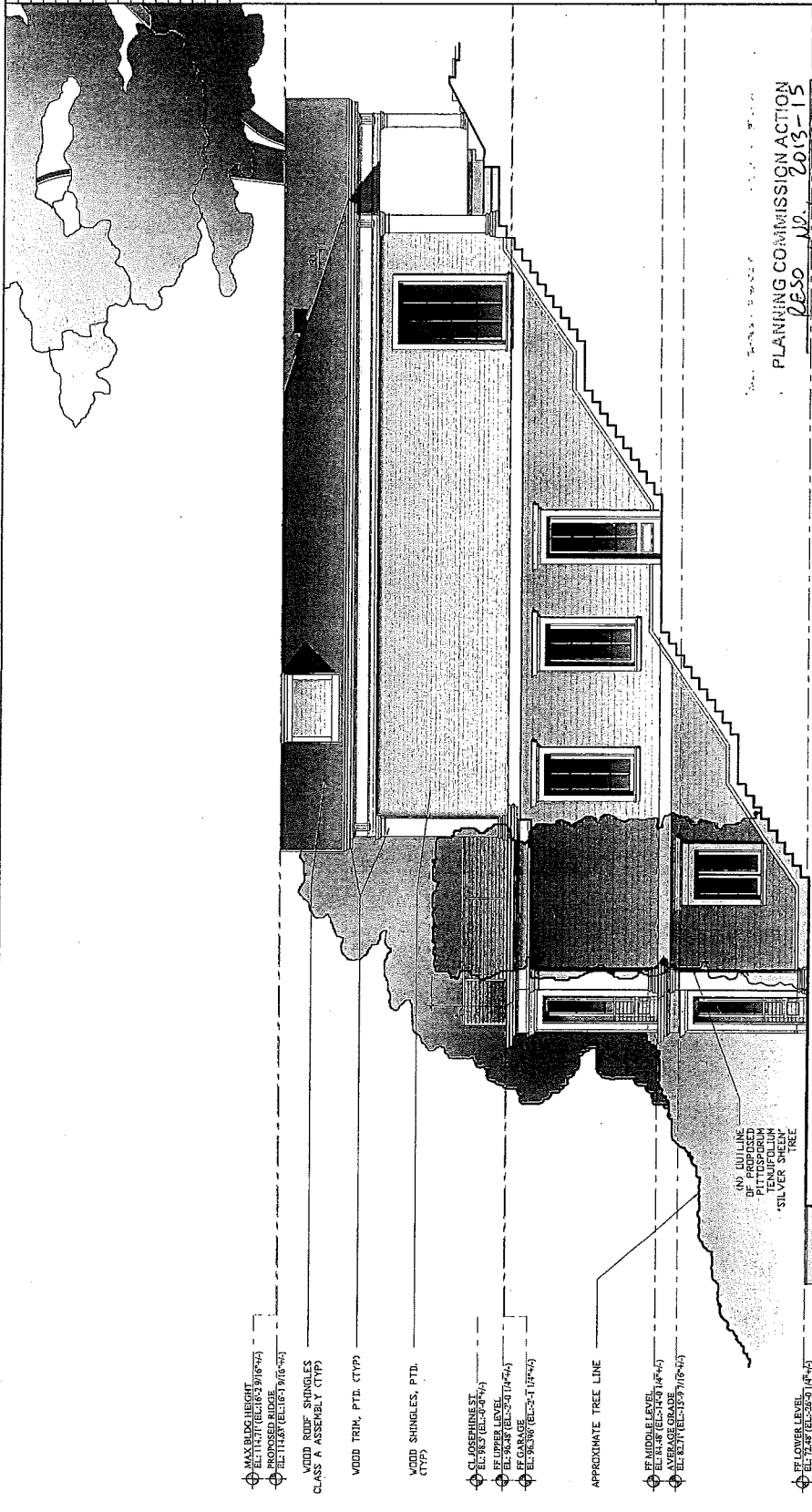


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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

Sheet Title
 PROPOSED
 NORTH EXTERIOR
 ELEVATION

Project No.
 Scale AS NOTED
 Sheet No. **A3.4**



- ⊕ MAX BUILDING HEIGHT
ELEV: 14.71' (ELEV: 2.91/16'-4")
- ⊕ PROPOSED BRIDGE
ELEV: 14.71' (ELEV: 2.91/16'-4")
- WOOD ROOF SHINGLES
CLASS A ASSEMBLY (CTYP)
- WOOD TRIM, PTD. (CTYP)
- WOOD SHINGLES, PTD.
(CTYP)
- ⊕ 6 JOSEPHINE ST.
ELEV: 14.71' (ELEV: 2.91/16'-4")
- ⊕ ELEV: 9.28' (ELEV: 2.01/14'-4")
- ⊕ FF GARAGE
ELEV: 9.28' (ELEV: 2.01/14'-4")
- APPROXIMATE TREE LINE
- ⊕ FF MIDDLE LEVEL
ELEV: 8.21' (ELEV: 1.82/11'-9")
- ⊕ AVERAGE GRADE
ELEV: 8.21' (ELEV: 1.82/11'-9")
- ⊕ FF LOWER LEVEL
ELEV: 7.28' (ELEV: 0.91/10'-4")

PLANNING COMMISSION ACTION
 RESO NO. 2013-15
 Date 6/26/13

Director of Planning
 CITY COUNCIL ACTION
 RESO NO. 5428
 Date 7/23/13

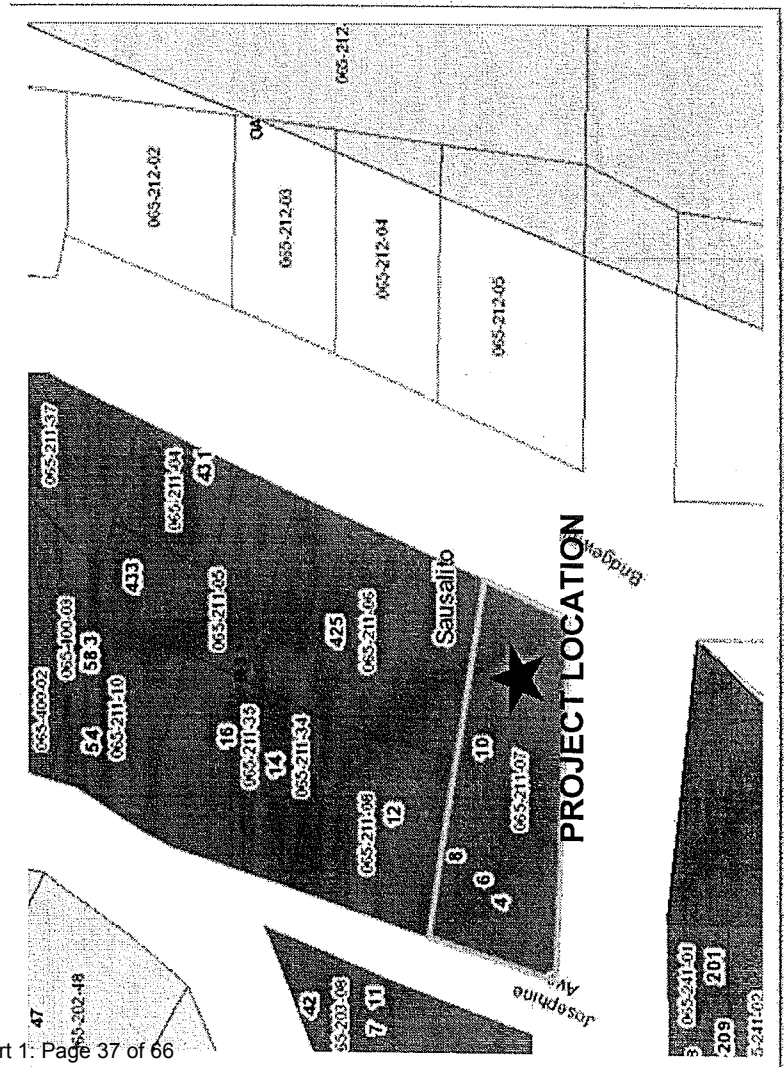
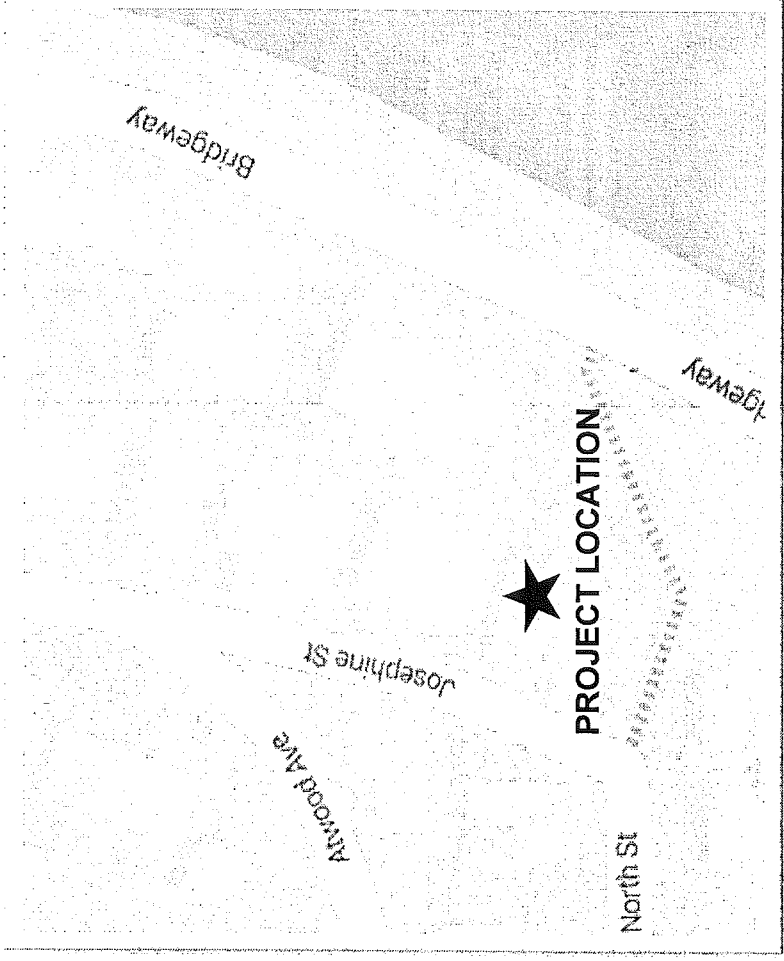
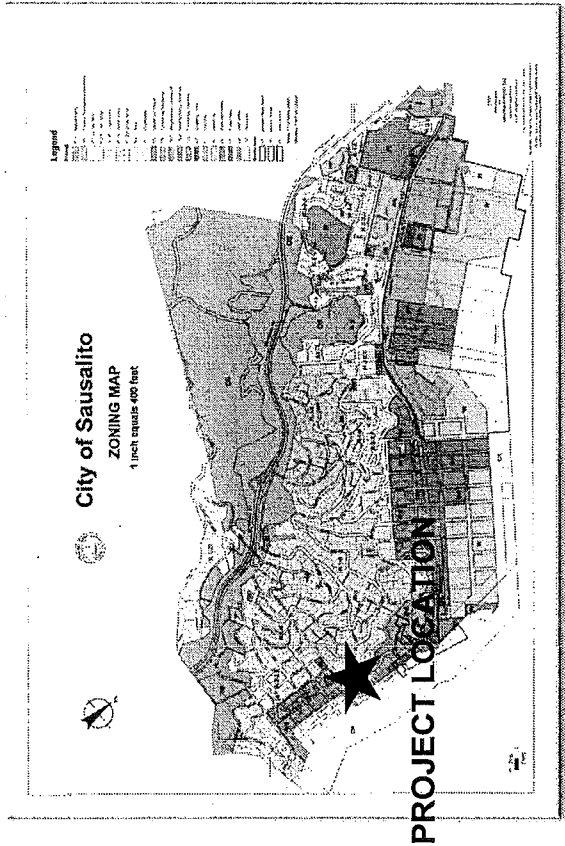
Director of Planning

PRELIMINARY
 NOT FOR CONSTRUCTION

NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

VICINITY MAP
6 JOSEPHINE AVENUE (APN 065-211-07)

EXHIBIT B



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**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2013-15**

**APPROVAL OF A DESIGN REVIEW PERMIT
FOR THE CONSTRUCTION OF A NEW TWO-FAMILY RESIDENCE, A CONDITIONAL
USE PERMIT TO ALLOW TANDEM PARKING,
AND RECOMMENDING CITY COUNCIL APPROVAL OF AN ENCROACHMENT
AGREEMENT FOR CONSTRUCTION OF A GARAGE, PARKING DECK WITH
GUARDRAILS, LANDSCAPING AND INSTALLATION OF TWO STREET LIGHTS IN
THE PUBLIC RIGHT-OF-WAY AT 6 JOSEPHINE AVENUE
(DR/CUP/EA 13-037)**

WHEREAS, on February 12, 2013 an application was filed by the applicant, Andrew Skurman Architects on behalf of the property owners, Jane and Dean Woodman, requesting Planning Commission approval of a Design Review Permit to demolish the existing residence on the site and construct a new two-family residence with a two-car garage and parking deck, Conditional Use Permit to allow tandem parking, and a recommendation of City Council approval of an Encroachment Agreement to construct a portion of the garage, parking deck with guardrails, landscaping, and installation of two street lights in the North Street public right-of-way at 6 Josephine Street (APN 065-211-07); and

WHEREAS, the project site is located within the High Density Residential Land Use Designation, and the Multi-Family Residential (R-3) Zoning District; and

WHEREAS, the Planning Commission conducted a duly-noticed public hearing on June 12, 2013 and June 26, 2013 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed project; and

WHEREAS, the Planning Commission has reviewed and considered the project plans titled "Woodman Residence", date-stamped received June 19, 2013 and the revised garage design as depicted on Sheets A.3.1, A.3.2. and A.3.3 received June 26, 2013; and

WHEREAS, the Planning Commission finds that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

WHEREAS, approval of the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(b) (New Construction) as the new residence will be replacing an existing residence in an established neighborhood.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:


1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Sections 15303(b).

EXHIBIT C

2. The Design Review Permit for construction of a new two-family residence is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Woodman Residence", date-stamped received June 19, 2013 (Attachment 3).
3. The Conditional Use Permit to allow tandem parking is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Woodman Residence", date-stamped received June 19, 2013 (Attachment 3).
4. The Planning Commission recommends City Council approval of an encroachment agreement for the construction a portion of the garage, parking deck with guardrails, and installation of two street lights in the North Street public right-of-way at 6 Josephine Street, based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Woodman Residence", date-stamped received June 19, 2013 (Attachment 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 26th day of June, 2013, by the following vote:

AYES:	Commissioner:	Graef, Bair, and Cox
NOES:	Commissioner:	None
ABSENT:	Commissioner:	Werner and Keegin
ABSTAIN:	Commissioner:	None



 Jeremy Graves, AICP
 Secretary to the Planning Commission

Attachments

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans

I:\CDD\PROJECTS - ADDRESS\Josephine 6\DR-EA-CUP 13-037\PC RESO 6-26-13.docx

**SAUSALITO PLANNING COMMISSION
JUNE 26, 2013
6 JOSEPHINE STREET
DR/CUP/EA 13-037**

ATTACHMENT 1: FINDINGS

1. DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The proposed project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance.

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The Hill neighborhood, as defined by the General Plan, is comprised of a variety of architectural styles, in addition to a range of building materials. The project's architectural style and high quality building materials are in keeping and representative of similar materials utilized in the Hill neighborhood. Additionally, the proposed mass and scale of the two-unit residence is generally consistent with that of the residence proposed to be demolished. As such, the combination of materials, mass, scale, and proposed architecture will be compatible with and complement the neighborhood.

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The project is designed with a similar mass and scale and the existing single family residence. The Zoning District and General Plan designation for the property identify the site for High Density Residential Land Use Designation. The project two-family residence is designed below the maximum general development standards for a property located in the R-3 Zoning District.

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

As described in the Staff Report dated June 26, 2013, the project will not negatively impact private and public views based on the doglegged orientation of the street, the elevation of the street relative to public vantage points, the downward sloping topography of the site, the mass, scale, and location of project, including the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation. The only public view one sees is if a

pedestrian stops at the existing parking deck and looks over the cars parking on the street.

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The subject parcel is not located along a ridgeline.

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

The site currently has a large amount of existing and mature trees and vegetation, and the applicant will be maintaining a vast majority of the current on-site landscaping. Additionally, the applicant is proposing to install a garden area adjacent to the second unit of the first floor of the residence, as well as plant Blue Ivy within the North Street public right-of-way and one Pittosporum tenuifolium "Silver Sheen" along the northwest property line.

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The project is designed to generally maintain a similar mass, scale and location of the existing residence, accordingly, the project will be able to maintain the similar light and air conditions relative to adjacent properties and the general public.

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The project is designed with faux chimneys related to the aesthetic of the design, therefore no air quality impacts are anticipated. Additionally, no exterior mechanical equipment is being proposed, therefore no impacts to noise is anticipated. Lastly, the project is subject to the standard condition that all exterior lighting be shaded and downward facing.

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

The project is designed to provide a reasonable level of privacy for the adjacent properties. Specifically, the north elevation is designed to locate windows and doors in such a way as to maintain the highest level of privacy as it relates to 12 Josephine Street which is located directly adjacent to the project site. Furthermore, due to the downward sloping nature of the project site, the North Street public right-of-way to the south and no developable properties to the east, therefore the project will not impact the surrounding properties.

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

The project is designed to maintain the general special relationship of the existing residence as it relates to access and circulation on Josephine Street and North Street. Specifically, the project is designed to reconstruct the previously approved parking deck in order to provide parking. Although the project is requesting the use of tandem parking, there is adequate back-out distancing to the Josephine Street and North Street roadways which facilitates an appropriate level of traffic safety and ease of movement.

- K) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened [Design] Review Findings).

The project does not exceed 80 percent of the maximum allowed Floor Area Ratio and/or site coverage, therefore, the project does not require Heightened Design Review.

2. CONDITIONAL USE PERMIT FINDINGS

Pursuant to the Municipal Code Section 10.60.050 (Conditional Use Permit), the Planning Commission finds:

- A. The proposed use is allowed with issuance of a Conditional Use Permit, pursuant to Chapters 10.20 through 10.28 (Zoning District Regulations), or Section 10.46.040 (Conditional Uses), Chapter 10.44 (Specific Use Requirements) or any other applicable section of the Title 10.

Tandem parking is permitted with the issuance of a Conditional Use Permit in the Multi-Family Zoning Designation, as long as the tandem parking spaces are dedicated to the same living unit.

- B. The proposed use is consistent with the General Plan, the purposes of the Zoning Ordinance, and the purposes of the applicable zoning district.

As supported in the below findings, the project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance.

- C. The proposed use, together with the applicable conditions, will not be detrimental to the public health, safety, or general welfare of the City.

As supported in Design Review Permit Finding J, the project is designed to maintain the general special relationship of the existing residence as it relates to access and circulation on Josephine Street and North Street. Although the project is requesting the use of tandem parking, there is adequate back-out distancing to the Josephine Street and North Street roadways which facilitates an appropriate level of traffic safety and ease of movement.

- D. The proposed use complies with each of the applicable provisions of the Zoning Ordinance.

The Zoning Ordinance states that tandem parking is permitted with a Conditional Use Permit, as long as the two parking spaces are designated for the same living unit. A Condition of Approval has been written accordingly.

- E. The proposed use or facility is properly located relative to the community as a whole and to land uses and transportation and service facilities in the vicinity.

The tandem parking spaces are located within the footprint of a previously permitted and used parking deck. The use of the parking deck has functioned well and is properly located to serve the project site and accommodate off-street parking.

- F. The size and shape of the subject property is adequate to provide features needed to ensure reasonable compatibility with land uses normally permitted in the surrounding area. Features may include but not be limited to yards, open spaces, walls and fences, parking, loading, landscaping, and such features as may be required by this Title or the Commission.

The size and shape of the subject property is adequate to provide features needed to ensure reasonable compatibility with the project and uses as supported by the Staff Report dated June 26, 2013.

- G. Public utilities and facilities are or will be adequate to serve the proposed use, including streets and highways paved (and of adequate width) for the quantity and type of traffic it will generate.

As previously stated, the project is proposing to construct a garage and parking deck with the footprint of a previously constructed and used parking deck. The location of the garage and parking deck is located in such a way to not impede traffic circulation, therefore the garage and parking deck is adequately situated for the traffic generated by the project units.

- H. The proposed use will not materially adversely affect nearby properties or their permitted uses.

The use of two parking spaces in tandem will not materially adversely affect nearby properties of their permitted uses based on the dog-legged orientation of the street, the elevation of the street relative to public vantage points, the downward sloping topography of the site, the mass, scale, and location of project, including the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation.

- I. Findings required by Chapter 10.44 (Specific Use Requirements) for the approval of specific uses are made.

There are no Findings required by Chapter 10.44 with regards to tandem parking.

3. ENCROACHMENT AGREEMENT FINDINGS

In accordance with Zoning Ordinance Section 10.56.060, An Encroachment Agreement is favorably recommended based on the following finding:

- A) The proposed encroachment is compatible with the surrounding area and will either improve or not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.

As stated in the June 26, 2013 Staff Report, based on the street orientation, site topography, the mass, scale, and location of the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation, the encroachments do not significantly diminish the visual or public enjoyment of the streetscape. Although the project creates a new aesthetic along the streetscape for passers-by, the physical use and enjoyment of the streetscape is not altered beyond its existing conditions.

- B) The encroachment will not adversely affect the usability or enjoyment of adjoining parcels nor create or extend an undesirable land use precedent.

The encroachment does not impact access to adjoining parcels nor set a new land use precedent as it is solely for the driveway, parking area and associated improvements as it relates to the site's access.

- C) The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable.

The encroachment allows for a two-car garage, parking deck with guardrails, and related improvements within the North Street public right-of-way are all necessary to provide access

parking for the site due to the steep topography and orientation of the property. The installation of the two-car garage and parking deck with guardrails in the public right-of-way is necessary to the reasonable use and enjoyment of the property.

- D) The proposed encroachment will not adversely affect the public circulation nor create or constitute a hazard to public safety.

The project encroachments are not anticipated to adversely affect public circulation nor create or constitute a hazard to public safety in that the project generally maintains the confines of the previously approved Encroachment Agreement for the same parking purposes. The existing parking deck and use has not adversely affected public circulation or constituted a hazard to public safety. Furthermore, the two street lights are located off the paved road and adjacent to the existing North Street stairs.

- E) The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvement of streets or pedestrian ways.

The value of the proposed improvements in the right-of-way do not preclude or make difficult the establishment or improvement of streets or pedestrian ways in the future.

**SAUSALITO PLANNING COMMISSION
JUNE 26, 2013
6 JOSEPHINE STREET
DR/CUP/EA 13-037**

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions of approval apply to the plans prepared by Andrew Skurman Architect, entitled "Woodman Residence" date-stamped received June 19, 2013 and the revised garage design as depicted on Sheets A.3.1, A.3.2, and A.3.3 dated June 26, 2013.

General Conditions

1. All exterior lighting shall be shielded and downward facing.
2. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards".
3. Upon Building Permit submittal the Conditions of Approval shall be shown on the construction drawings.
4. Upon Building Permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval.
5. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.
6. Third party peer reviews shall be required as determined by the City Engineer or authorized designee. Such review shall be performed at the Developer's expense and may include the review of the final soils report, grading, hydrology, lot closure calculations, improvement plans, erosion control plans and post construction pollution prevention plans, field inspections of permitted work. Developer shall submit a deposit to the City prior to third party review.
7. Prior to issuance of a Construction Permit, the Director of Public Works or designee shall approve the design, location, and means of installation of the two lights to be located at the top of the North Street Stairs.
8. The owner(s) of the property shall allocate two parking spaces in tandem to each unit.
9. All exterior lighting shall be shielded and downward facing.
10. Prior to issuance of a Demolition Permit or Construction Permit, the applicant shall complete a photographic inventory of the interior and exterior of the existing structure and donate such inventory to the Sausalito Historical Society.

Stormwater Pollution Prevention

11. Prior to issuance of a Construction Permit the Developer's Civil Engineer shall submit a detailed erosion control plan for review and approval by the Department of Public Works. Erosion control plan shall incorporate guidelines and measures from the most current Marin County Stormwater Pollution Prevention Program (MCSTOPPP) Construction Guidance Documents for erosion and sediment control.
12. Grading work shall be limited to between April 1 and October 15 of any year. Between October 15 and April 15, all unvegetated ground surfaces shall be covered or otherwise protected against storm driven erosion.
13. The applicant's contractor shall implement and maintain erosion control measures per the approved erosion control plan if construction occurs between October 15th and May 1st. During the remainder of the construction project, erosion control materials shall be stock piled on site for use should rain be forecast.
14. Prior to issuance of a Construction Permit, an Erosion Control Plan shall be developed to demonstrate dust control measures during construction.

Street Conditions

15. Applicant shall repair or replace, at no expense to the City, damage to existing public facilities due to construction or in poor condition. Contractor shall save and protect all existing public facilities not designated for removal or modification within the project limits.
16. Prior to issuance of a Construction Permit, an encroachment permit shall be obtained from the Department of Public Works prior to using the public right of way for non-public purposes (e.g., private parking, material & debris box storage, sidewalk construction or demolition, driveway connection).
17. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.

Utility Conditions

18. Provide a video of the existing sanitary sewer lateral for review by the City Sanitary Sewer Systems coordinator. Any damage to the existing sanitary sewer in the vicinity of the new wall shall be repaired to the satisfaction of the Sanitary Sewer System's Coordinator.

Engineering Conditions

19. Construction materials, equipment, vehicles, and debris boxes shall be placed on site exclusively to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris box shall be emptied on a regular basis, else as directed by the City. Material stock piles & debris boxes shall be covered when not being accessed or filled to prevent material from blowing around the neighborhood. Construction materials, equipment, vehicles, and debris boxes shall be placed off-site only after securing an encroachment permit.
20. Prior to issuance of a Construction Permit, a Final geotechnical report shall be prepared by a licensed geotechnical engineer. The report shall also evaluate groundwater and develop recommendations for adequate structural foundations, on-site parking lot pavement structure, subdrainage to collect and convey groundwater discharges to public drain system. The report shall also evaluate and make recommendations as necessary to manage and control soil creep. The report shall be evaluated and approved by the Engineering staff prior to issuance of Building permits.
21. Prior to issuance of a Construction Permit, all shoring and foundation systems that utilize tie

backs shall be designed to not extend beyond property boundaries. Exception can be made if the property owner obtains a tie-back easement from affected private property owners. No exception will be granted for encroachments into public right-of-way.

22. Prior to issuance of a Construction Permit, the garage floor elevation shall be set at a level to be above street grade to limit rainfall runoff from entering the structure. The garage driveway shall be designed to not require pipe culvert across the frontage.
23. Prior to issuance of a Construction Permit, a construction staging plan and construction schedule shall be submitted for review and approval of the City Engineer or designee.
24. Prior to issuance of a Construction Permit, an offsite parking plan for the construction staging shall be submitted for approval. The transportation of workers to and from the site shall be discussed in the plan. Construction workers shall be prohibited from using more than one on-street parking space in the vicinity of the project.

Fire District Conditions

25. CFC Section 903.2 fire sprinkler systems are required in all new construction. Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District N.F.P.A Standard(s) 13, 13D or 13R.
26. The address shall be posted in accordance with requirements of the California Fire Code.
27. Non-combustible roofing is required (Note: A "non-combustible" roof is a Class A roof as defined in the California Building Code.
28. The applicant shall comply with California Fire Code and Public Resource Code 4291 requirements relating to the clearance of flammable brush and weeds. A minimum clearance of 30 feet from structures and 10 feet from roads and property lines shall be maintained.
29. Final occupancy approval shall not be granted until authorization to the Community Development Department has been received from the Fire District.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

30. This approval will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
31. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
32. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
33. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.

34. Grading/drainage permit(s) shall be obtained from the Department of Public Works for any earthwork in excess of 50 cubic yards.
35. Grading on hillside lands composed of geologic formations known to slide will be limited to between April 15 and October 15 without written approval of the City Engineer.
36. Pursuant to Municipal Code Section 11.12.030.C, applicants shall provide protection for any protected trees (as defined by Section 11.12.020) which are to remain standing.
37. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
38. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
39. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:
 - Weekdays – Between 8:00 a.m. and 6:00 p.m.
 - Saturdays – Between 9:00 a.m. and 5:00 p.m.
 - Sundays – Prohibited
 - City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.
40. Pursuant to Municipal Code Section 18.08.020, overhead electrical and communication service drops shall be placed underground when the main electrical service equipment (including the panel) is relocated, replaced, and/or modified.
41. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated service laterals shall be repaired prior to approval of the building permit.
42. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
 - a. Marin Municipal Water District (415-945-1400), including landscaping and irrigation regulations;
 - b. Marin County Environmental Health Services (415-499-6907), including spas and septic systems, as well as facilities for preparation or sale of food;
 - c. Southern Marin Fire Protection District – (415-388-8182).

43. Pursuant to Municipal Code Section 10.54.100, construction activities undertaken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

**SAUSALITO PLANNING COMMISSION
JUNE 26, 2013
6 JOSEPHINE STREET
DR/CUP/EA 13-037**

ATTACHMENT 3: PROJECT PLANS

"Woodman Residence" date-stamped received June 19, 2013 and the revised garage design as depicted on Sheets A.3.1, A.3.2, and A.3.3 dated June 26, 2013.

WOODMAN RESIDENCE

6 Josephine Street
Sausalito, Ca. 94965



Andrew Skurman Architects
3654 Sacramento Street
San Francisco, CA 94118
(415)440-4480 / FAX: (415)440-4488

**PLANNING RE-SUBMITTAL
NOT FOR CONSTRUCTION**

12 November 2012
Planning Comments 25 April 2013
Planning Re-Submittal 23 May 2013
Revision 19 June 2013

RECEIVED

JUN 19 2013

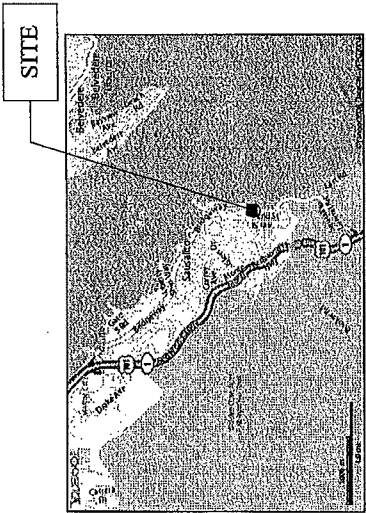
CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT

6 Josephine Street

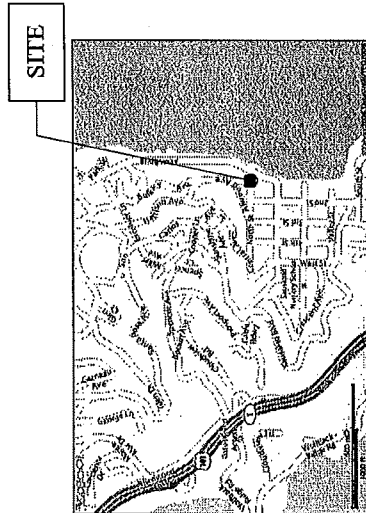


SAUSALITO, CALIFORNIA 94965

MAPS



VICINITY MAP



CITY MAP

PROJECT DATA

Address: 6 Josephine Street Sausalito CA 94965
A.P.N.: 65-211-07
Lot Area: 8,851.35 Sq. Ft
Zoning District: R-3 Multiple Family Residential
Occupancy: Multi-Family Residence
Height Limit: 32' Above Average Natural Grade
Sprinklered: Yes (Deferred Submittal)
Type of Construction: Y
FAR: 57%
FLOOR AREA RATIO ALLOWED: 8851.35 SQ FT
X .8
7,081.08 SQ FT
.8 FAR
EXISTING: 798 SQ FT 1ST FLR
1,408 SQ FT 2ND FLR
1,497 SQ FT 3RD FLR
449 SQ FT ATTIC
84.2 SQ FT SHED
426.2 SQ FT TOTAL
.48 FAR
PROPOSED: 1081.46 SQ FT 1ST FLR --- UNIT 2
204.82 SQ FT 2ND FLR --- UNIT 1
191.32 SQ FT 3RD FLR --- UNIT 1
5046.60 SQ FT TOTAL
.57 FAR

PROJECT TEAM

ARCHITECT:
ANDREW SKURMAN ARCHITECTS
3654 SACRAMENTO STREET
SAN FRANCISCO, CA 94118
415 440 4480 PHONE
415 440 4488 FAX

SCOPE OF WORK

REMOVE EXISTING RESIDENCE EXTERIOR STAIRS, WALLS, EXTERIOR STAIRS, EXTERIOR WALKS, ETC. PROPOSE TO CONSTRUCT EXTERIOR STAIRS, WALLS, ETC. PROPOSE TO CONSTRUCT PARKING DECK.
DRAWING INDEX
PROJECT DATA, SCOPE OF WORK, VICINITY MAP
GENERAL NOTES
BUILDING HEIGHT DIAGRAM
SITE SECTION
WEST ELEV., EXISTING / PROPOSED COMPARISON
EAST ELEV., EXISTING / PROPOSED COMPARISON
NORTH ELEV., EXISTING / PROPOSED COMPARISON
SITE PLAN - DEMO
GRADING AND DRAINAGE PLANS
GRADING AND DRAINAGE PLANS

DRAWING INDEX

- T-1 COVER SHEET
T-2 PROJECT DATA, SCOPE OF WORK, VICINITY MAP
T-3 GENERAL NOTES
T-4 BUILDING HEIGHT DIAGRAM
T-5 SITE SECTION
T-6 WEST ELEV., EXISTING / PROPOSED COMPARISON
T-7 EAST ELEV., EXISTING / PROPOSED COMPARISON
T-8 NORTH ELEV., EXISTING / PROPOSED COMPARISON
T-9 SITE PLAN - DEMO
T-10 GRADING AND DRAINAGE PLANS
T-11 GRADING AND DRAINAGE PLANS
ARCHITECTURAL
A1-1 EXISTING/DEMOLITION 1ST FLOOR PLAN
A1-2 EXISTING/DEMOLITION 2ND FLOOR PLAN
A1-3 EXISTING/DEMOLITION 3RD FLOOR PLAN
A1-4 EXISTING/DEMOLITION ATTIC
A1-5 EXISTING/DEMOLITION ROOF PLAN
A1-6 EXISTING/DEMOLITION WEST ELEVATION
A1-7 EXISTING/DEMOLITION SOUTH ELEVATION
A1-8 EXISTING/DEMOLITION EAST ELEVATION
A1-9 EXISTING/DEMOLITION NORTH ELEVATION
A1-10 SITE PLAN - DEMO
A1-11 SITE PLAN - PROPOSED
A1-12 PROPOSED 1ST FLOOR PLAN
A1-13 PROPOSED 2ND FLOOR PLAN
A1-14 PROPOSED 3RD FLOOR PLAN
A1-15 PROPOSED ROOF PLAN
A1-16 PROPOSED WEST ELEVATION
A1-17 PROPOSED SOUTH ELEVATION
A1-18 PROPOSED EAST ELEVATION
A1-19 PROPOSED NORTH ELEVATION
PERSPECTIVES
P-1 EXISTING JOSEPHINE STREET PERSPECTIVE FROM EAST
P-2 EXISTING JOSEPHINE STREET PERSPECTIVE FROM WEST
P-3 PROPOSED PERSPECTIVE FROM EAST
P-4 EXISTING PERSPECTIVE FROM EAST
P-5 EXISTING PERSPECTIVE FROM WEST
P-6 PROPOSED PERSPECTIVE FROM WEST



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WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07
Sheet 706

PROJ DATA
SCOPE MAPS
& DWG INDEX

Table with columns for Project No., Sheet No., and Date. Project No. is 065-211-07, Sheet No. is 706, and Date is 12 NOVEMBER 2013.

PROPOSED-1

JUN 19 2013

CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

REVISIONS
NO. DATE DESCRIPTION
1 08/13/19 1- PLANT RESUBMITTAL
2 08/13/19 1- PLANT RESUBMITTAL
3 08/13/19 1- PLANT RESUBMITTAL
4 08/13/19 1- PLANT RESUBMITTAL
5 08/13/19 1- PLANT RESUBMITTAL
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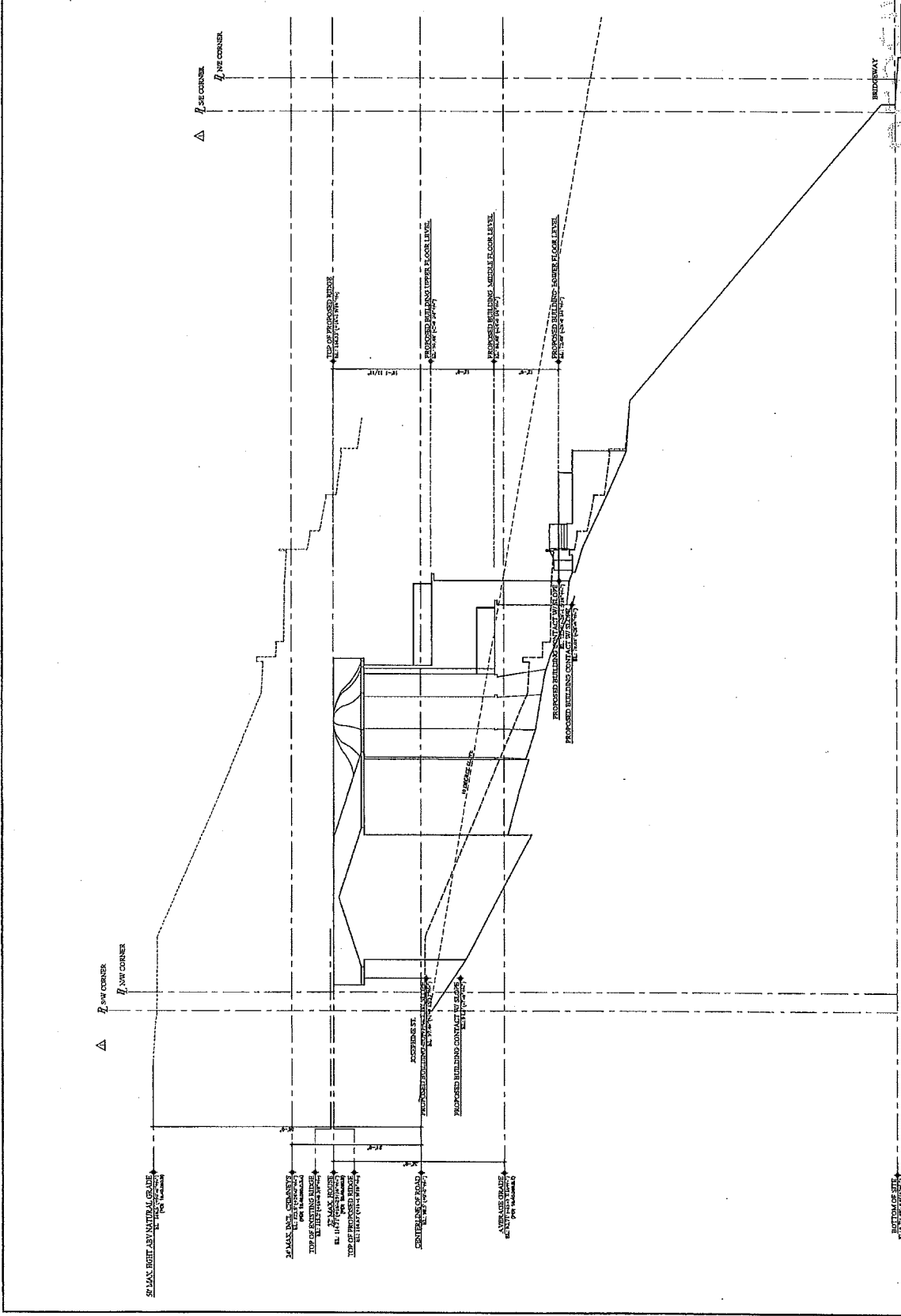
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WOODMAN RESIDENCE
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SAUSALITO, CA
APN: 065-211-07

BUILDING
HEIGHT DIAGRAM

Sheet No. T-3
Project No. 1819
Scale AS NOTED
DATE JUN 19 2019
JOB NO. 1819



1 BUILDING HEIGHT DIAGRAM
T-3 SCALE 1/8" = 1'-0"

CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT

WOODMAN RESIDENCE
 2785 CEDAR AVE
 SAN FRANCISCO, CA 94124
 APN: 065-211-07

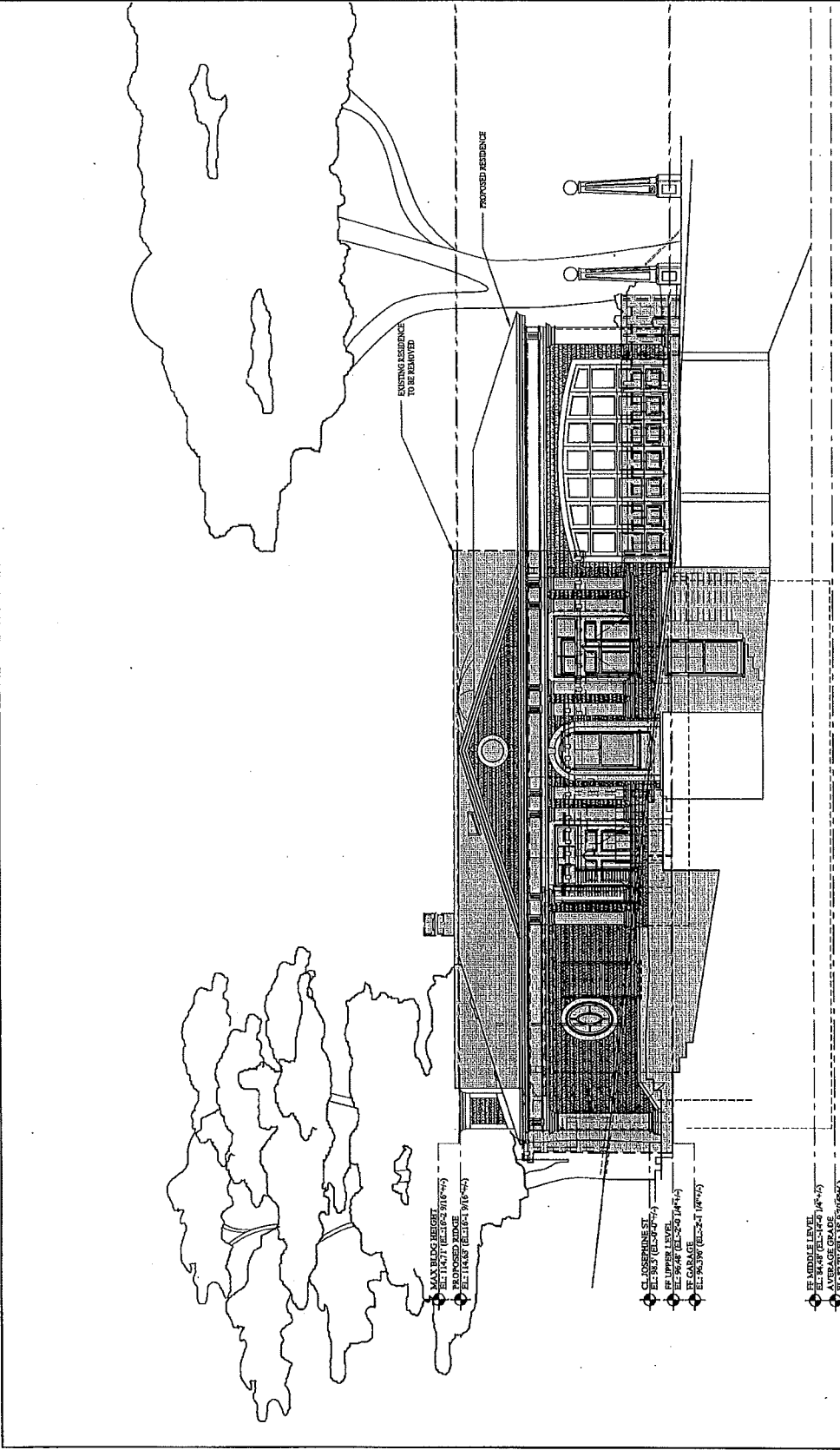
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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

WEST ELEV.
 EXISTING/ PROPOSED
 COMPARISON

Project No. _____
 Sheet No. T-5.1
 Scale: AS SHOWN
 Date: 6/19/13



1 WEST ELEVATION EXISTING/ PROPOSED COMPARISON
 T-5.1 SCALE: 1/4" = 1'-0"

RECEIVED
 JUN 19 2013
 CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT

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San Francisco, CA 94118
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Fax: 415/440-4488

WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-47

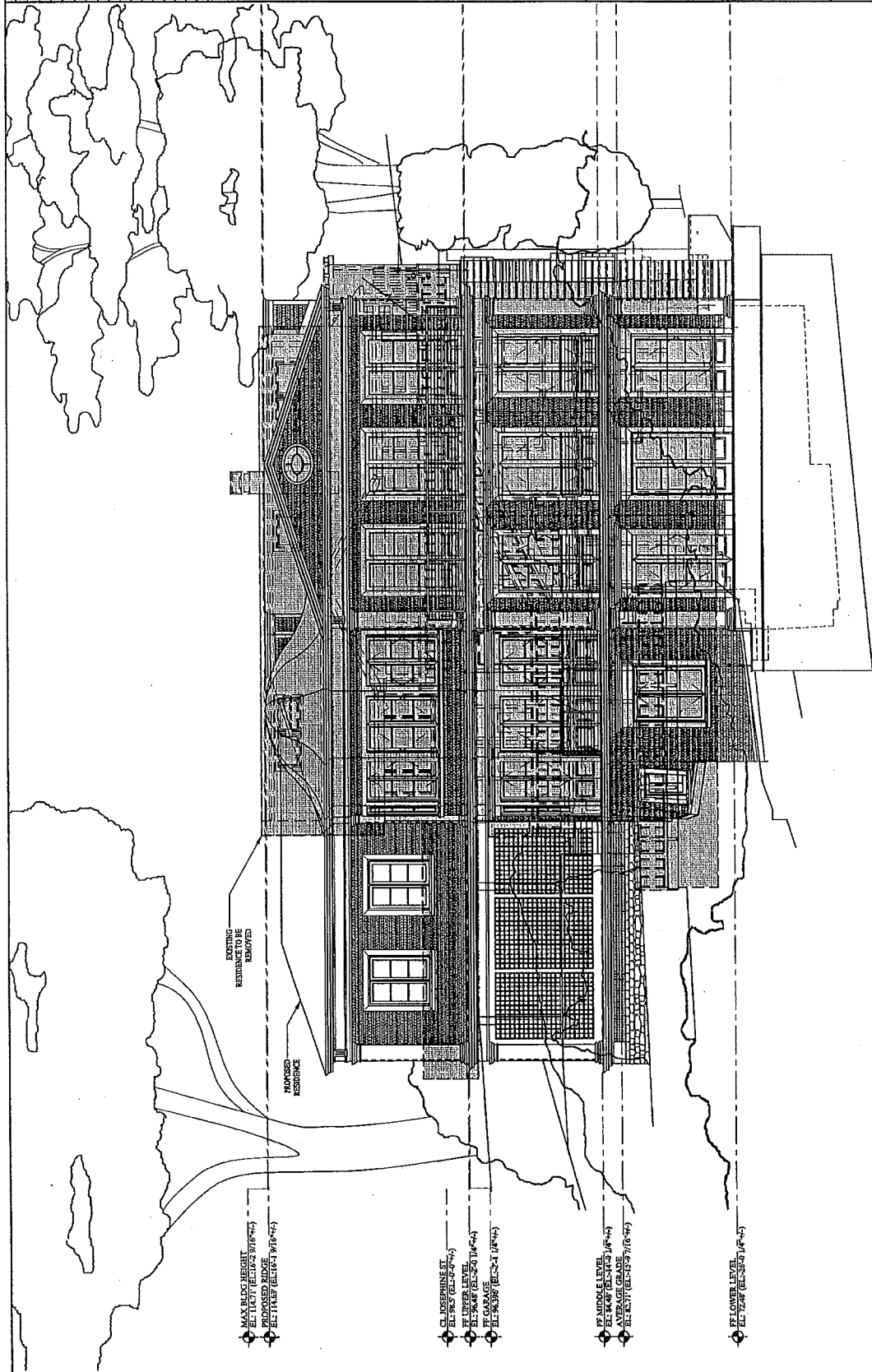
EAST ELEV.
EXISTING/ PROPOSED
COMPARISON

Project No. [blank]
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Scale: AS NOTED
DATE: 12/19/2012

RECEIVED
T-5.3

JUN 19 2013

CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT



EXISTING RESIDENCE TO BE REMOVED

MARKER RESIDENCE

MAX. BLDG HEIGHT
EL. 14'7" (EL. 14'-2 9/16")

PROPOSED RIDGE
EL. 14'8" (EL. 14'-2 9/16")

CL. JOSEPHINE ST.
EL. 26'5" (EL. 26'-0 1/2")

FF UPPER LEVEL
EL. 26'8" (EL. 26'-0 1/2")


FF GARAGE
EL. 26'0" (EL. 26'-0 1/2")

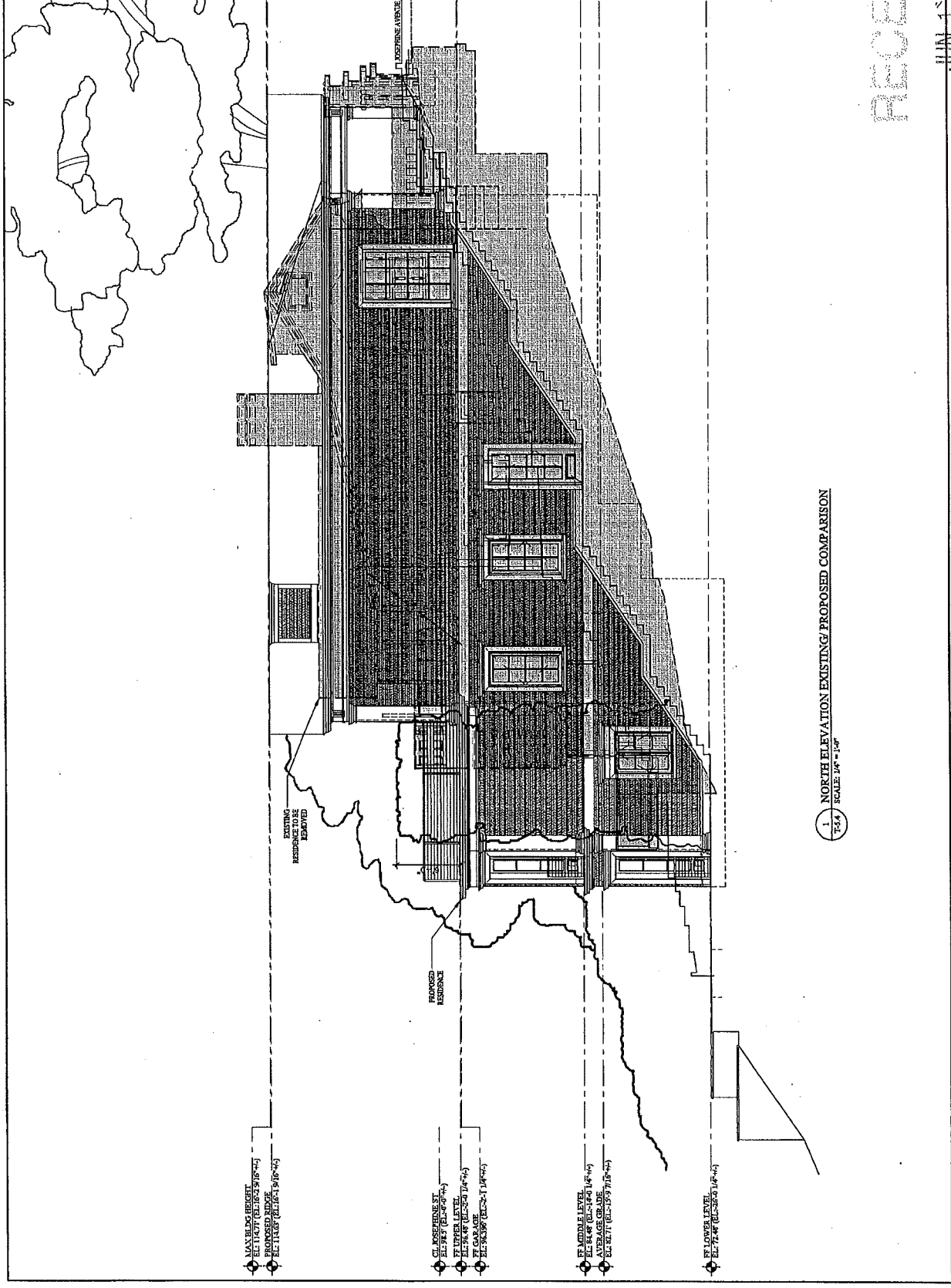
FF MIDDLE LEVEL
EL. 26'8" (EL. 26'-0 1/2")


AVERAGE GRADE
EL. 26'7" (EL. 26'-0 1/2")

FF LOWER LEVEL
EL. 24'8" (EL. 24'-0 1/2")

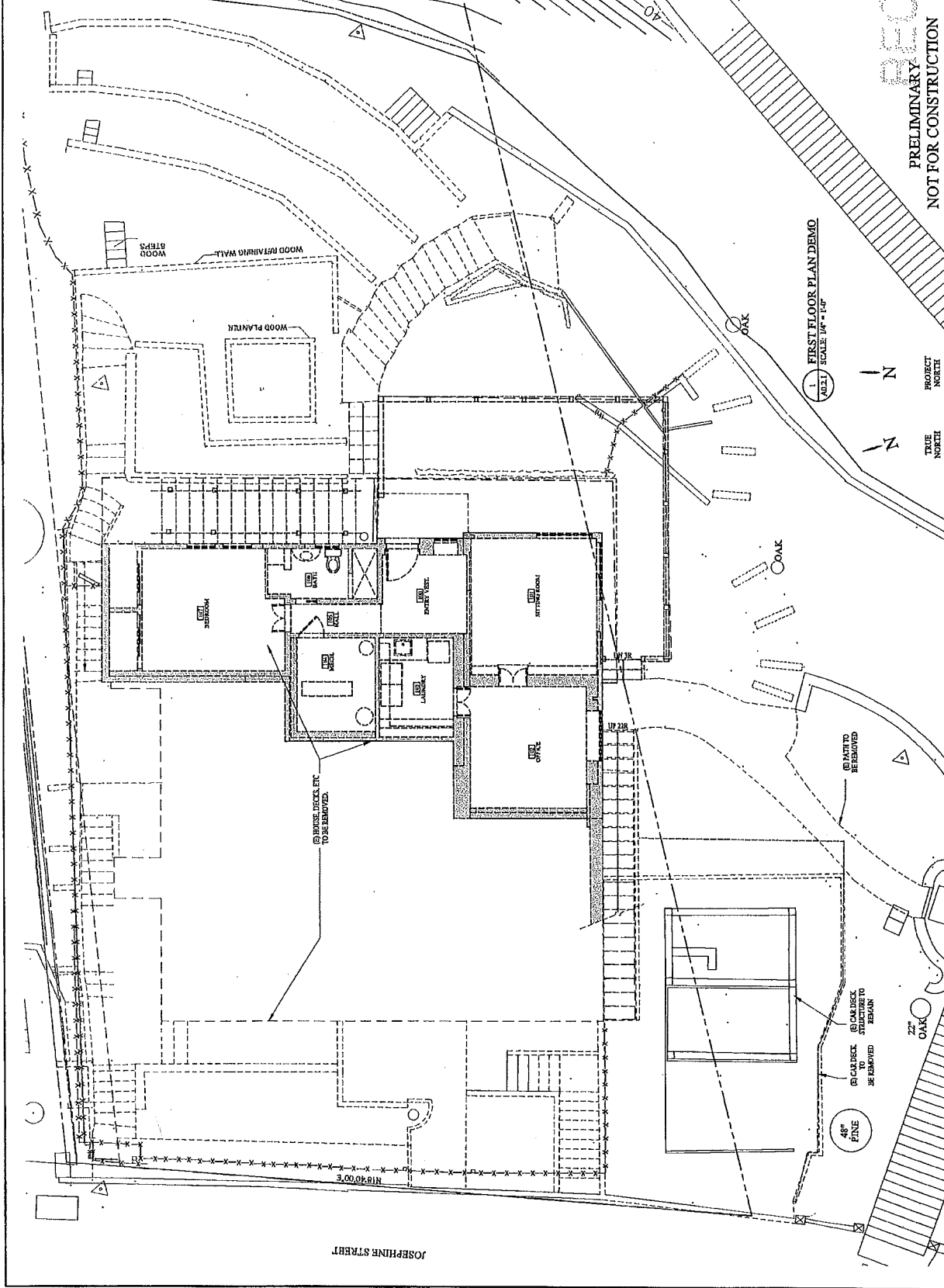
1 EAST ELEVATION EXISTING/ PROPOSED COMPARISON
SCALE: 1/8" = 1'-0"

23 MAY 2013 PLANNING RESUBMITTAL 27 JUNE 2013 - REVISION	Andrew Skurman, Architect 	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	NORTH ELEV. EXISTING/PROPOSED COMPARISON	Project No. Date As-noted Sheet No.
	3654 Sacramento Street San Francisco, CA 94118 Tel: 415/440,4688 Fax: 415/440,4688	6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	NORTH ELEV. EXISTING/PROPOSED COMPARISON	Project No. T-5.4 Date As-noted
	JUN 18 2013	JUN 18 2013	JUN 18 2013	JUN 18 2013



1. NEW 11' SIDE P. AND DIV. BRACKET. 2. 1/2" CORE 3/16" CITY COMPLIANCE 2" MAX. 3/16" 3. 2" MAX 2 1/4" REVISION		Andrew Skurman, Architect  31654 Sacramento Street San Francisco, CA 94118 TEL 415/440-4480 FAX 415/440-4488	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	Sheet No. DEMO FIRST FLOOR PLAN	Project No. A0.21 SCALE AS NOTED DATE 11/15/2013
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JUN 19 2013
 CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT



1. FIRST FLOOR PLAN DEMO
 SCALE: 1/4" = 1'-0"

TRUE NORTH
 PROJECT NORTH

PRELIMINARY-
 NOT FOR CONSTRUCTION

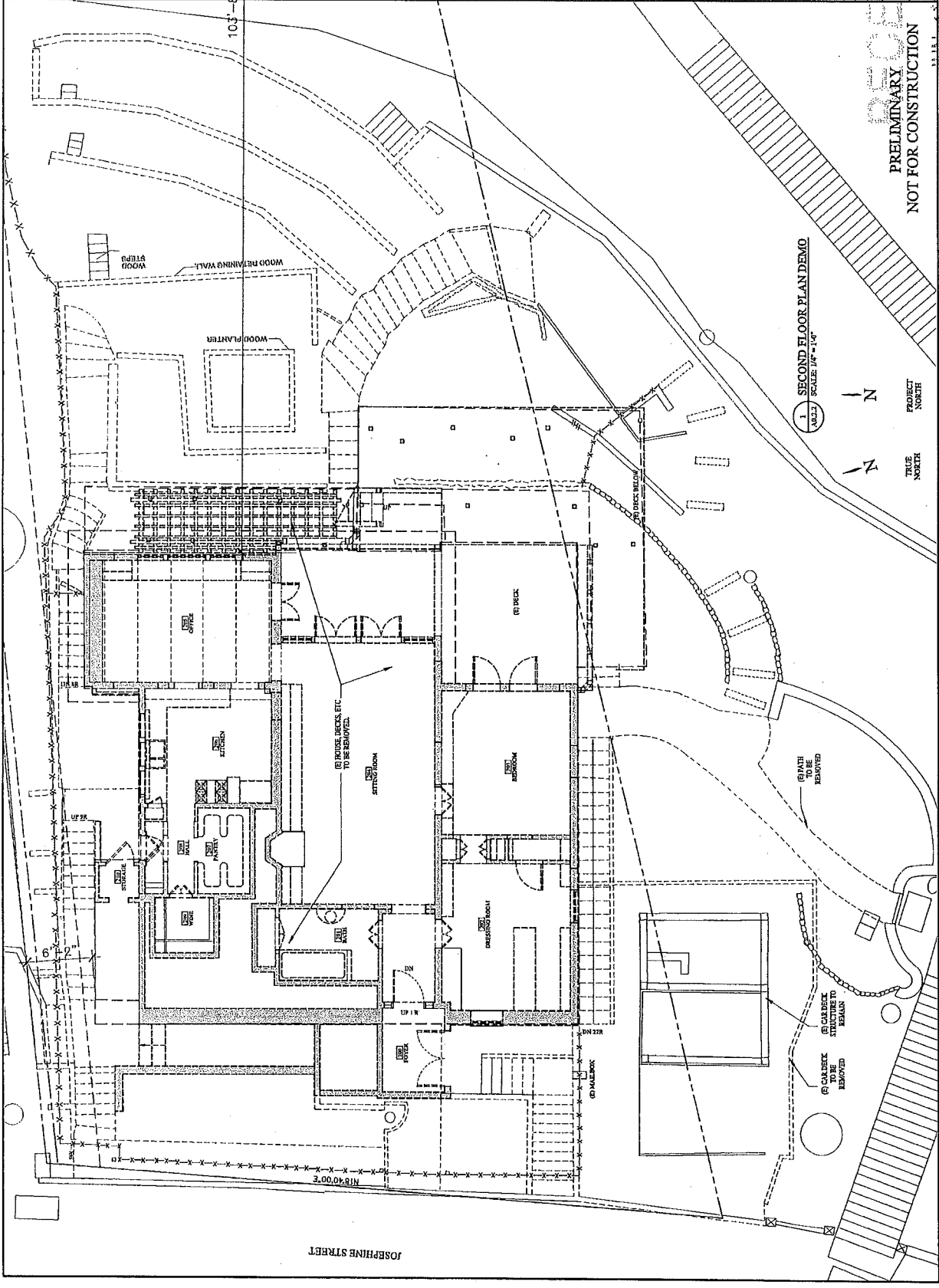
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WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

Sheet No. _____
 Project No. _____
 Scale: AS NOTED
 Date: _____
 File: _____


DEMO SECOND FLOOR PLAN
A0.2.2

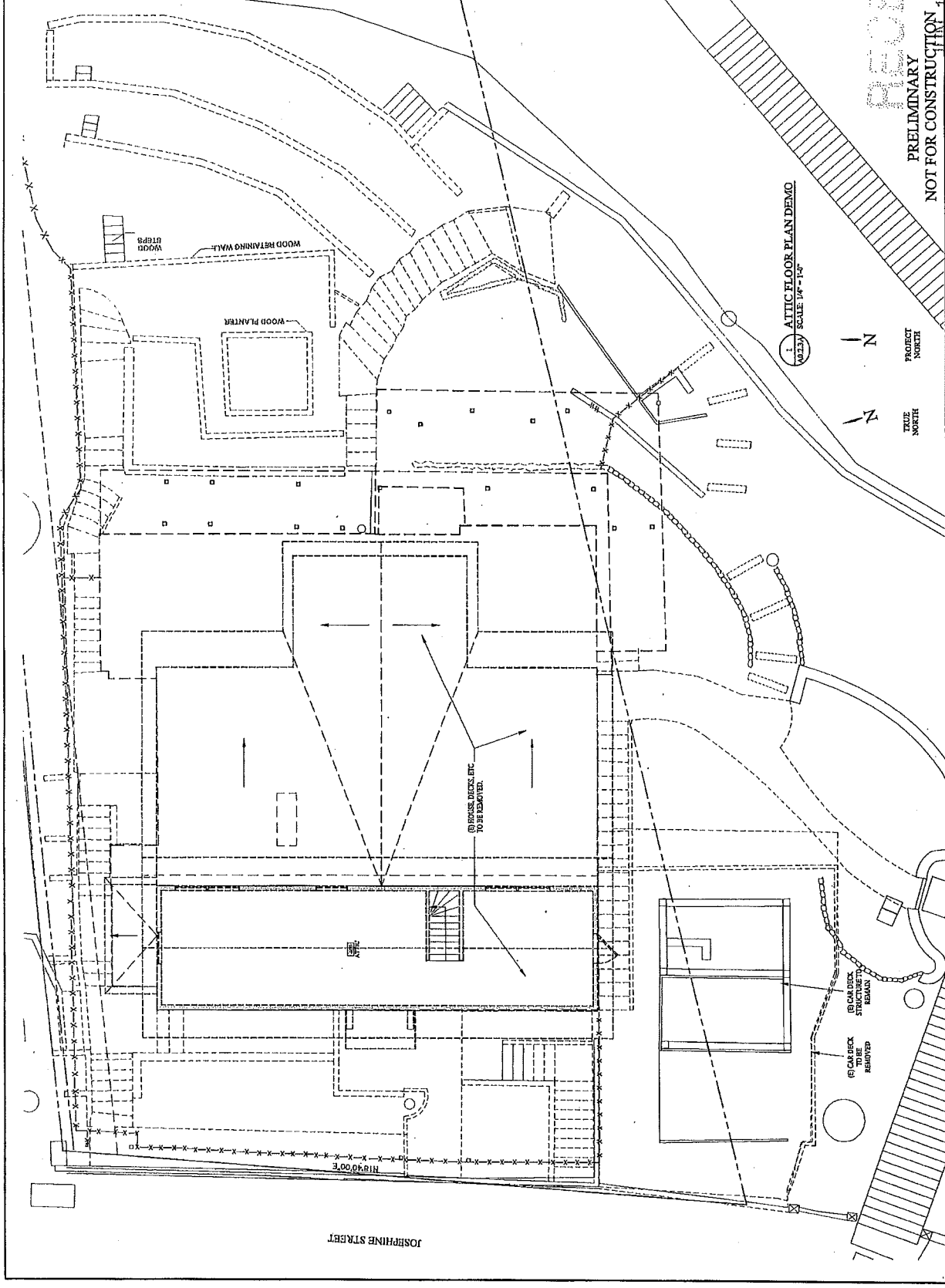


PRELIMINARY
 NOT FOR CONSTRUCTION

JUN 19 2013

CITY OF Sausalito
 COMMUNITY DEVELOPMENT

1. NEW 1/2" X 3/4" PLANKS @ 16" ON CENTER 2. 2" X 4" JOIST @ 16" ON CENTER 3. 2" X 6" JOIST @ 16" ON CENTER 4. 2" X 8" JOIST @ 16" ON CENTER 5. 2" X 10" JOIST @ 16" ON CENTER 6. 2" X 12" JOIST @ 16" ON CENTER 7. 2" X 14" JOIST @ 16" ON CENTER 8. 2" X 16" JOIST @ 16" ON CENTER 9. 2" X 18" JOIST @ 16" ON CENTER 10. 2" X 20" JOIST @ 16" ON CENTER 11. 2" X 22" JOIST @ 16" ON CENTER 12. 2" X 24" JOIST @ 16" ON CENTER 13. 2" X 26" JOIST @ 16" ON CENTER 14. 2" X 28" JOIST @ 16" ON CENTER 15. 2" X 30" JOIST @ 16" ON CENTER 16. 2" X 32" JOIST @ 16" ON CENTER 17. 2" X 34" JOIST @ 16" ON CENTER 18. 2" X 36" JOIST @ 16" ON CENTER 19. 2" X 38" JOIST @ 16" ON CENTER 20. 2" X 40" JOIST @ 16" ON CENTER 21. 2" X 42" JOIST @ 16" ON CENTER 22. 2" X 44" JOIST @ 16" ON CENTER 23. 2" X 46" JOIST @ 16" ON CENTER 24. 2" X 48" JOIST @ 16" ON CENTER 25. 2" X 50" JOIST @ 16" ON CENTER 26. 2" X 52" JOIST @ 16" ON CENTER 27. 2" X 54" JOIST @ 16" ON CENTER 28. 2" X 56" JOIST @ 16" ON CENTER 29. 2" X 58" JOIST @ 16" ON CENTER 30. 2" X 60" JOIST @ 16" ON CENTER 31. 2" X 62" JOIST @ 16" ON CENTER 32. 2" X 64" JOIST @ 16" ON CENTER 33. 2" X 66" JOIST @ 16" ON CENTER 34. 2" X 68" JOIST @ 16" ON CENTER 35. 2" X 70" JOIST @ 16" ON CENTER 36. 2" X 72" JOIST @ 16" ON CENTER 37. 2" X 74" JOIST @ 16" ON CENTER 38. 2" X 76" JOIST @ 16" ON CENTER 39. 2" X 78" JOIST @ 16" ON CENTER 40. 2" X 80" JOIST @ 16" ON CENTER 41. 2" X 82" JOIST @ 16" ON CENTER 42. 2" X 84" JOIST @ 16" ON CENTER 43. 2" X 86" JOIST @ 16" ON CENTER 44. 2" X 88" JOIST @ 16" ON CENTER 45. 2" X 90" JOIST @ 16" ON CENTER 46. 2" X 92" JOIST @ 16" ON CENTER 47. 2" X 94" JOIST @ 16" ON CENTER 48. 2" X 96" JOIST @ 16" ON CENTER 49. 2" X 98" JOIST @ 16" ON CENTER 50. 2" X 100" JOIST @ 16" ON CENTER	Andrew Skurman, Architect  3654 Sacramento Street San Francisco, CA 94118 Tel: 415-440-4480 Fax: 415-440-4488	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	Sheet No. DEM0 ATTIC FLOOR PLAN	Project No. A02.3A Scale: AS SHOWN Date: NOVEMBER 15, 2013
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PRELIMINARY
 NOT FOR CONSTRUCTION
 JUN 19 2013

CITY OF SAN FRANCISCO
 COMMUNITY DEVELOPMENT

12	NOV 12 - 2012 - PENDING PERMIT.
13	APRIL 2011 - CITY COMMENTS #1 AND #2
14	MAY 2011 - PLANS BE SUBMITTED
15	NOV 2011 - PERMITS
16	NOV 2011 - DEMO
17	NOV 2011 - DEMO
18	NOV 2011 - DEMO
19	NOV 2011 - DEMO
20	NOV 2011 - DEMO
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Andrew Skurman, Architect

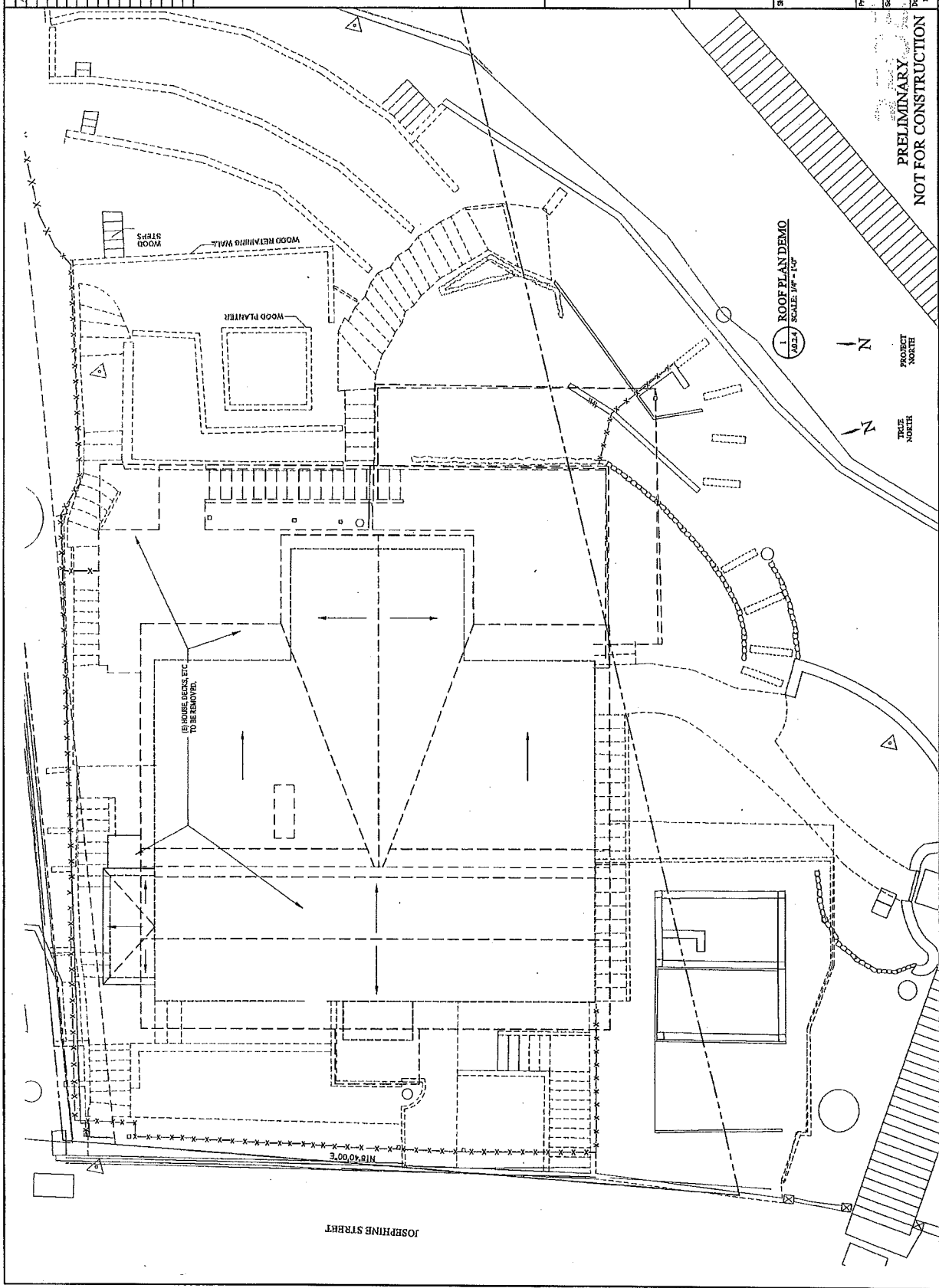
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 Fax: 415/440-4488

WOODMAN RESIDENCE
 6 JOSEPHINE ST
 SAUSALITO, CA
 APN: 065-211-07

Sheet Title:
DEMO ROOF PLAN

Project No. **A0.2.4**
 Date: **15 NOVEMBER 2012**

JUN 19 2013



**PRELIMINARY
 NOT FOR CONSTRUCTION**

CITY OF SAN FRANCISCO
 COMMUNITY DEVELOPMENT

1	UNSWAY - HOUSE - MAIN FLOOR - EXTERIOR
2	UNSWAY - HOUSE - MAIN FLOOR - EXTERIOR
3	UNSWAY - HOUSE - MAIN FLOOR - EXTERIOR
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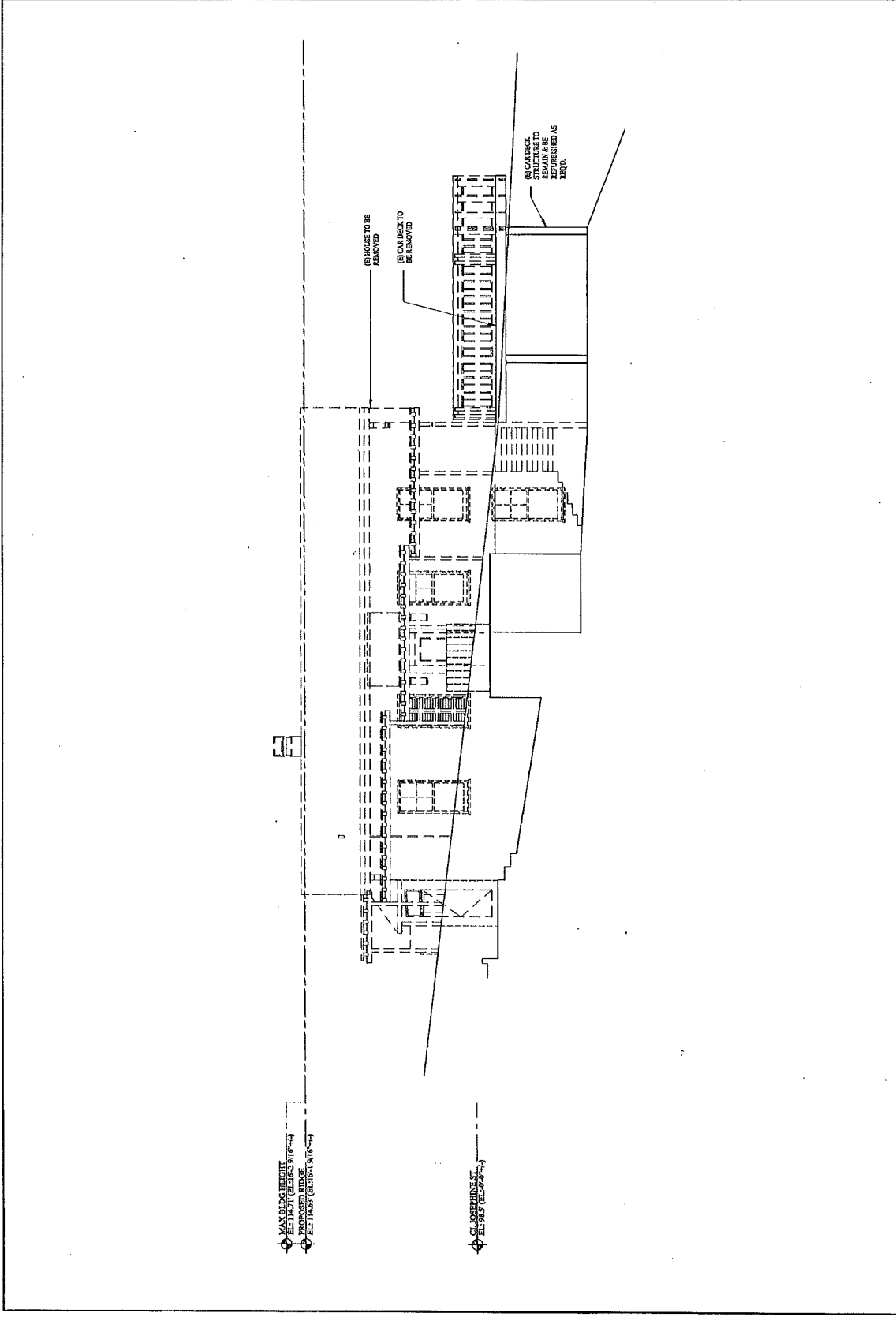
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WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

DEMOLITION
WEST EXTERIOR
ELEVATION

Project No. **A03.1**
Scale: AS NOTED
Date: 12/19/2012
E:\PROJECTS\012



PRELIMINARY
NOT FOR CONSTRUCTION

1 WEST ELEVATION DEMO
SCALE 1/8" = 1'-0"

JUN 19 2013

CITY OF SAN FRANCISCO
COMMUNITY DEVELOPMENT

1	DEMOLITION PLAN
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99	DEMOLITION PLAN
100	DEMOLITION PLAN

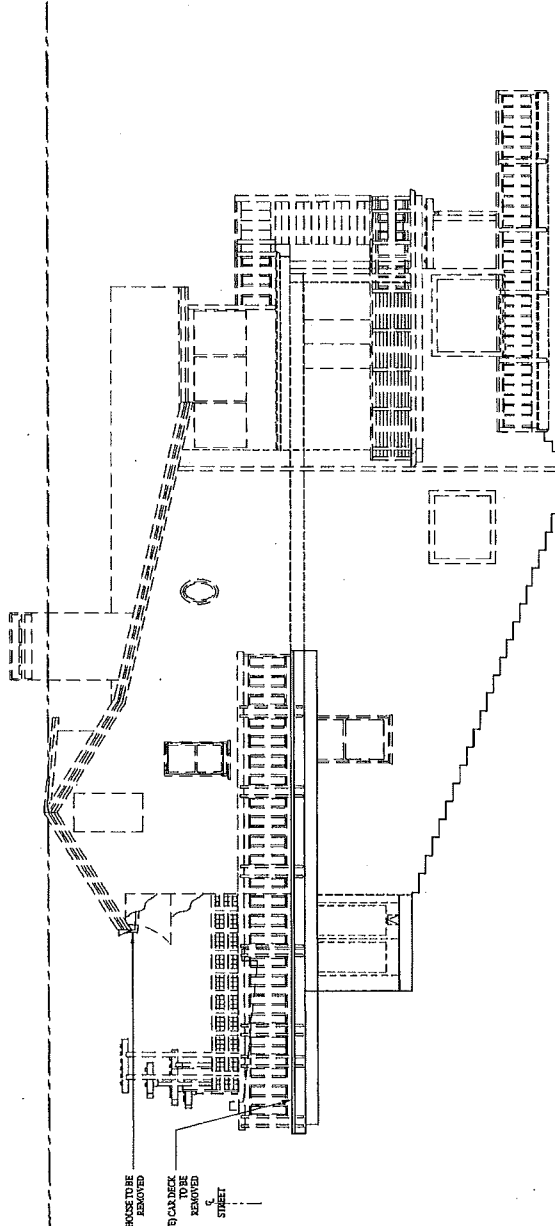
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WOODMAN RESIDENCE
6 JOSEPHINE ST
SAUSALITO, CA
APN: 065-211-07

DEMOLITION
SOUTH EXTERIOR
ELEVATION

Project No.	A0.3.2
Sheet No.	A0.3.2
Date	11 NOVEMBER 2012



MAX BUILDING HEIGHT
PROPOSED BUILDING
ELEVATION (ELEVATION) 10/27/12

CL. JOSEPHINE ST
ELEVATION (ELEVATION) 10/27/12

HOUSE TO BE REMOVED

CAR RACK TO BE REMOVED & STREET

1 SOUTH ELEVATION DEMO
SCALE: 1/4" = 1'-0"

PRELIMINARY RECORD
NOT FOR CONSTRUCTION

JUN 19 2013

CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT