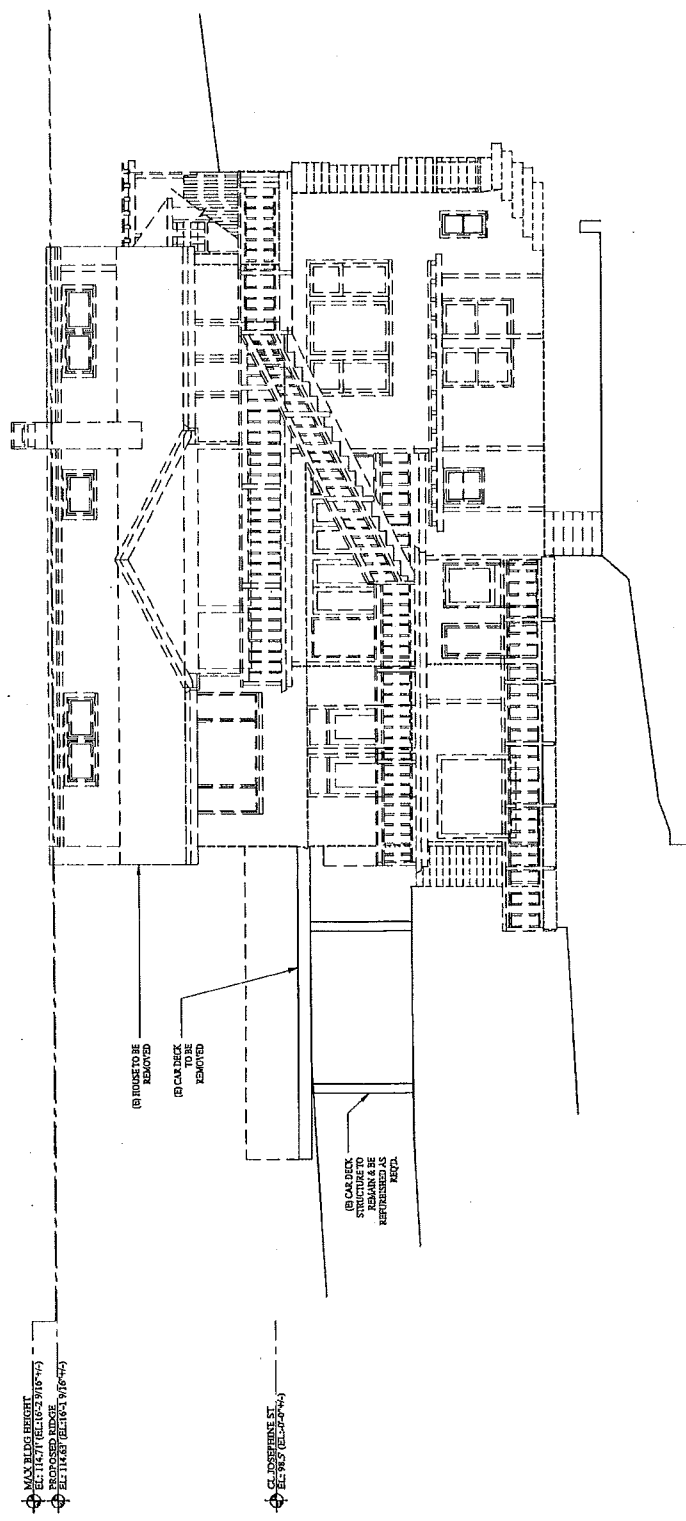


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Andrew Skurman,  
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WOODMAN RESIDENCE  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN: 065-211-07

DEMOLITION  
EAST EXTERIOR  
ELEVATION

Project No. **A0.3.3**

DATE: 12 NOVEMBER 2012

PRELIMINARY DEMOLITION  
NOT FOR CONSTRUCTION

1 EAST ELEVATION DEMO  
SCALE: 1/8" = 1'-0"  
A0.3.3

JUN 19 2013

CITY OF Sausalito  
COURTNEY DEMOLITION

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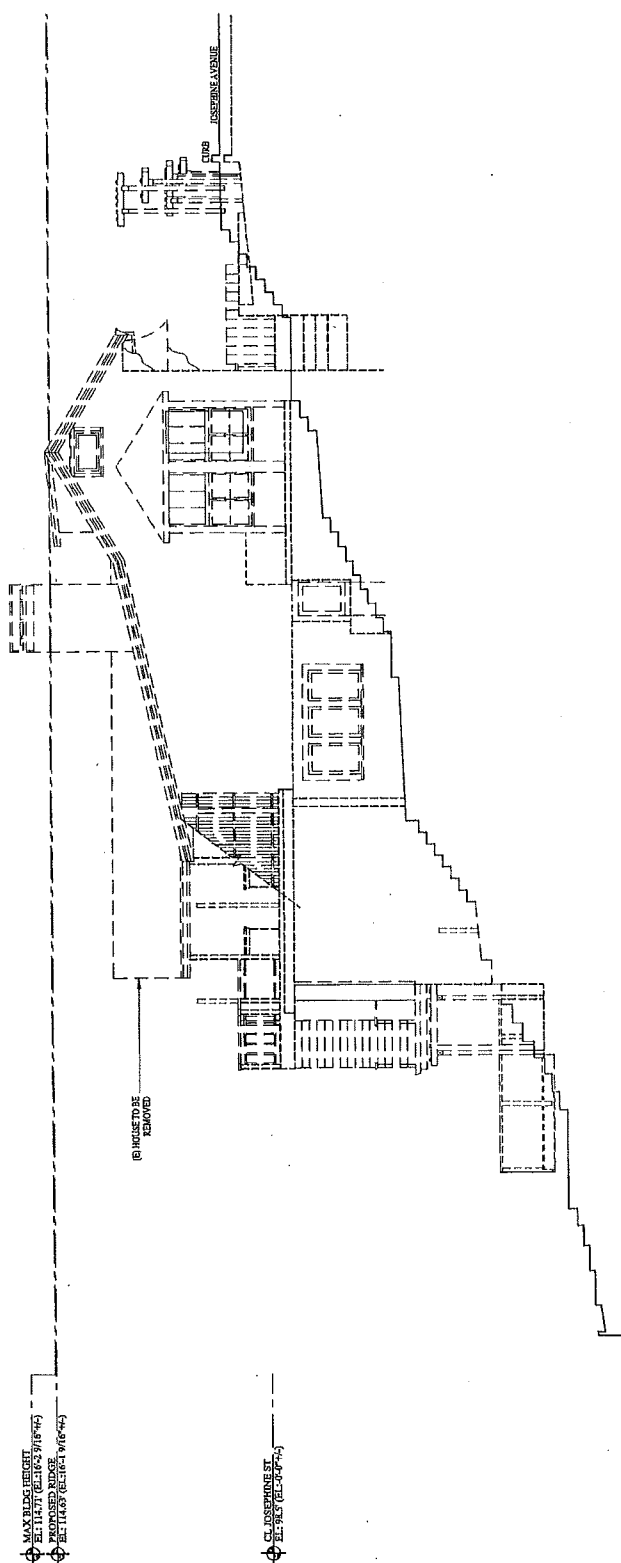
Andrew Skurman,  
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3654 Sacramento Street  
San Francisco, CA 94118  
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Fax 415/440-4488

WOODMAN RESIDENCE  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN: 065-211-07

DEMOLITION  
NORTH EXTERIOR  
ELEVATION

Project No. A0.3.4  
Scale AS NOTED  
Date JUN 19 2010



1 NORTH ELEVATION DEMO  
SCALE 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

WOODMAN RESIDENCE  
COMMUNITY DEVELOPMENT

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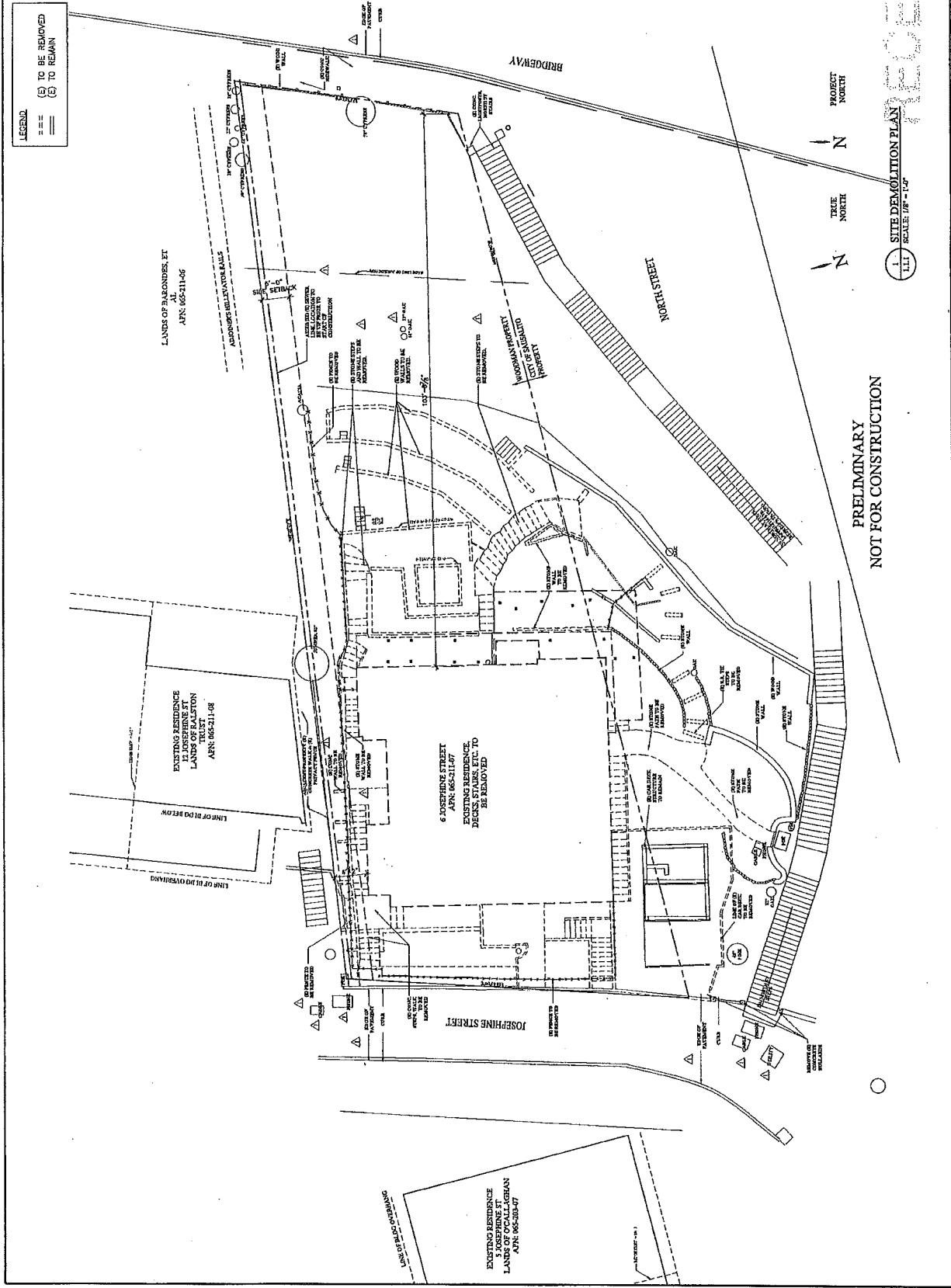
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 31654 Sacramento Street  
 San Francisco, CA 94118  
 Tel: 415/440-4480  
 Fax: 415/440-4488

**Andrew Skarman,  
 Architect**

**WOODMAN RESIDENCE  
 6 JOSEPHINE ST  
 SAUSALITO, CA  
 APN: 065-211-07**

Sheet No.  
**SITE DEMOLITION PLAN**

Project No.  
**AI.0.1**  
 DATE: 13 NOVEMBER 2012



JUN 19 2013

CITY OF SAUSALITO  
 QUALITY DEVELOPMENT

14. NOV 15, 2017 - PLAN REVIEW, SUBMITTAL
13. APRIL 2017 - CITY COMMENTS, 27 MAY 2017
12. APRIL 2017 - CITY COMMENTS, 27 MAY 2017
11. APRIL 2017 - CITY COMMENTS, 27 MAY 2017
10. APRIL 2017 - CITY COMMENTS, 27 MAY 2017
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3. APRIL 2017 - CITY COMMENTS, 27 MAY 2017
2. APRIL 2017 - CITY COMMENTS, 27 MAY 2017
1. APRIL 2017 - CITY COMMENTS, 27 MAY 2017

**Andrew Skurman,**  
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**WOODMAN RESIDENCE**  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN: 065-211-07

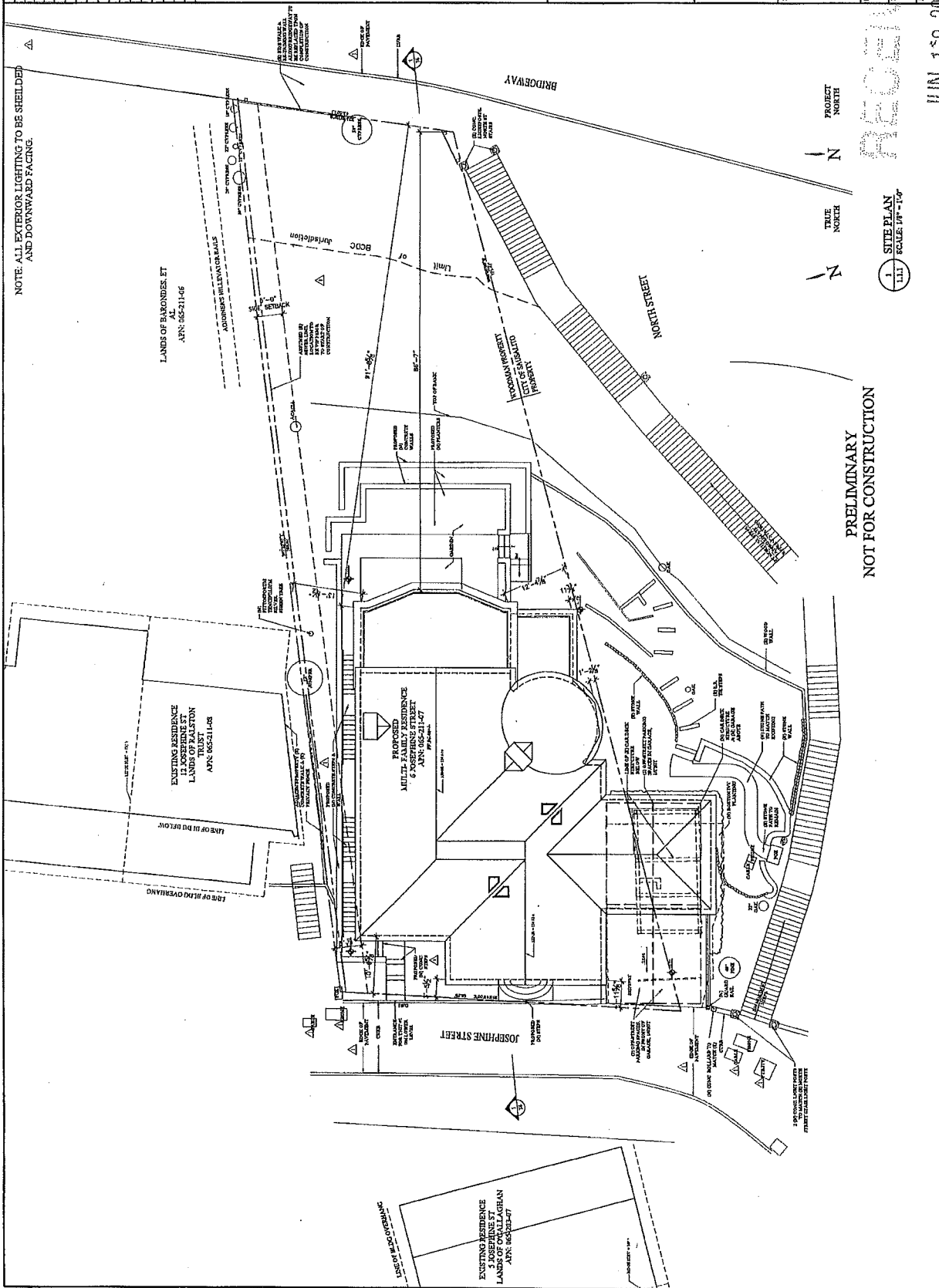
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SITE PLAN**

Project No. **A1.1.1**

DATE: **2017**

Scale: **AS SHOWN**

Sheet No. **1**



CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT



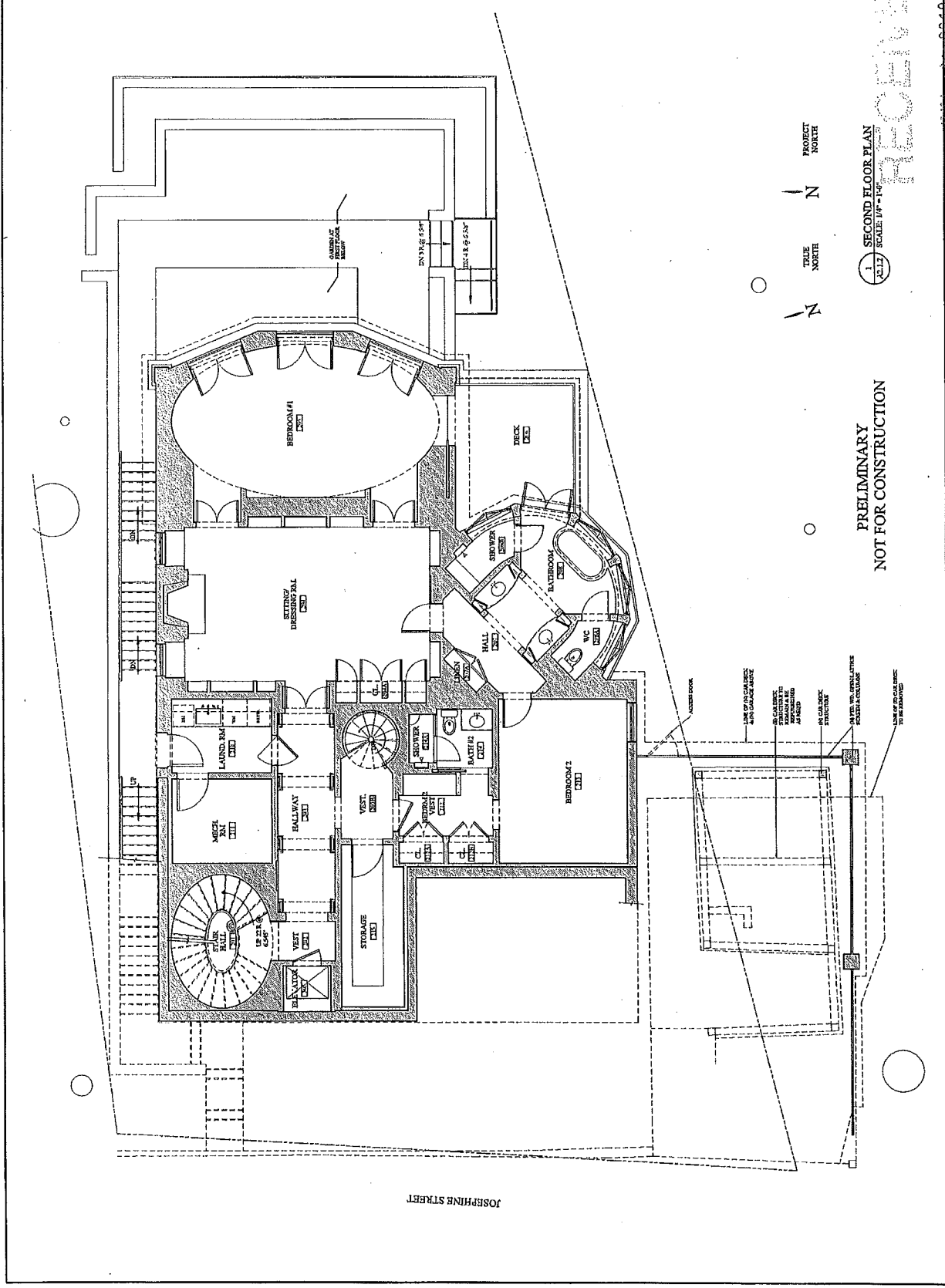
IF NOT FOR USE - PLANNING PERMIT  
 STATE OF CALIFORNIA  
 COUNTY OF SAN FRANCISCO  
 PROJECT NO. 2013-0001  
 SHEET NO. 2013-0001

**Andrew Skurman,  
 Architect**  
 2654 Sacramento Street  
 San Francisco, CA 94118  
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**WOODMAN RESIDENCE**  
 6 JOSEPHINE ST  
 SAUSALITO, CA  
 APN: 065-211-07

Sheet Title  
**PROPOSED  
 SECOND  
 FLOOR PLAN**

Project No. \_\_\_\_\_  
 Scale 1/8" = 1'-0"  
 Date 12/10/2013  
 Sheet No. **A2.1.2**  
 Date 12/10/2013



**1 SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**PRELIMINARY  
 NOT FOR CONSTRUCTION**

JUN 19 2013

CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

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68	NO. 68	ISSUE	PLANNING	12/31/16

Andrew Skurman,  
Architect



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Fax: 415.440.4488

WOODMAN RESIDENCE  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN: 065-211-07

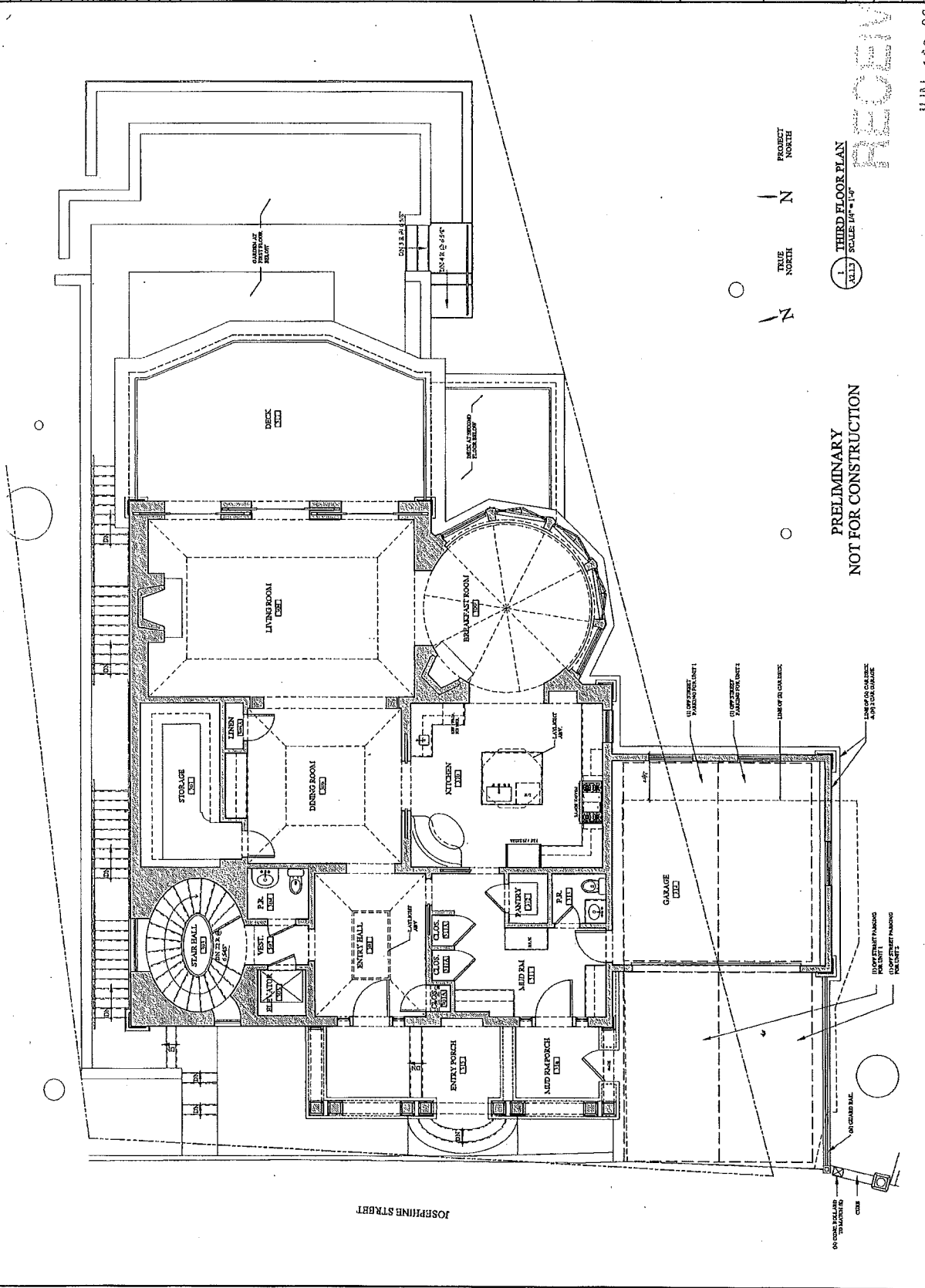
Sheet No.

PROPOSED  
THIRD  
FLOOR PLAN

Sheet No.

A2.1.3

Date: 7 NOVEMBER 2012



PROJECT NORTH  
TRUE NORTH

1. THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

RECEIVED

JUN 19 2013

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT





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2. DATE: 2013.06.26
3. PROJECT: WOODMAN RESIDENCE
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6. CHECKED BY: RAY E. HANSEN
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188. DATE: 2013.06.26
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299. DATE: 2013.06.26
300. PROJECT NO.: 13-000000

Andrew Skurman,  
Architect

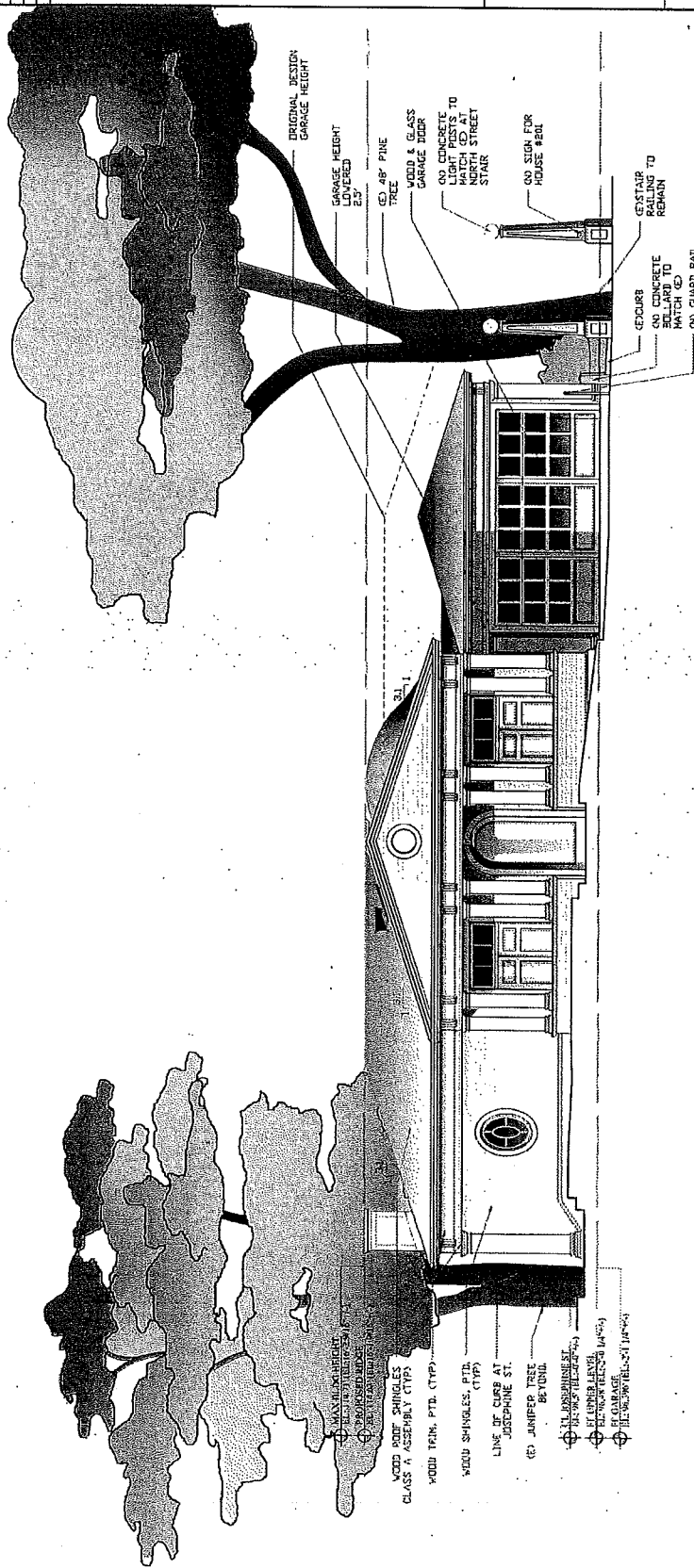
3654 Sacramento Street  
San Francisco, CA 94118  
tel 415/440-4480  
fax 415/440-4488

WOODMAN RESIDENCE  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN: 065-211-07

PROPOSED  
WEST EXTERIOR  
ELEVATION

A3.1

AS SHOWN  
JUN 26 2013  
12:00 PM  
12 NOVEMBER 2012



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

ALTERNATE GARAGE  
26 JUNE 2013

PRELIMINARY  
NOT FOR CONSTRUCTION

JUN 26 2013

RECEIVED

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

1. DATE: 12-15-12	2. NAME: P. FINCH - PLANNING SUBMITTAL
3. APPROVED: CITY COMMENTS: STAFF: M. S. J.	4. DRAWN BY: CLAYTON DE SERRAVALLE
5. SCALE: 1/8" = 1'-0"	6. SHEET NO.: 100
7. PROJECT NO.: 12-11-12-001	8. CLIENT: P. FINCH
9. ADDRESS: 3654 SACRAMENTO STREET	10. CITY: SAN FRANCISCO, CA 94118
11. COUNTY: ALAMEDA	12. ZONING: O-1
13. PERMIT NO.:	14. DATE OF PERMIT:
15. ARCHITECT: ANDREW SKURMAN, ARCHITECT	16. PHONE: 415-440-4480
17. FAX: 415-440-4488	18. EMAIL: ANDREW@ANDREWSKURMAN.COM

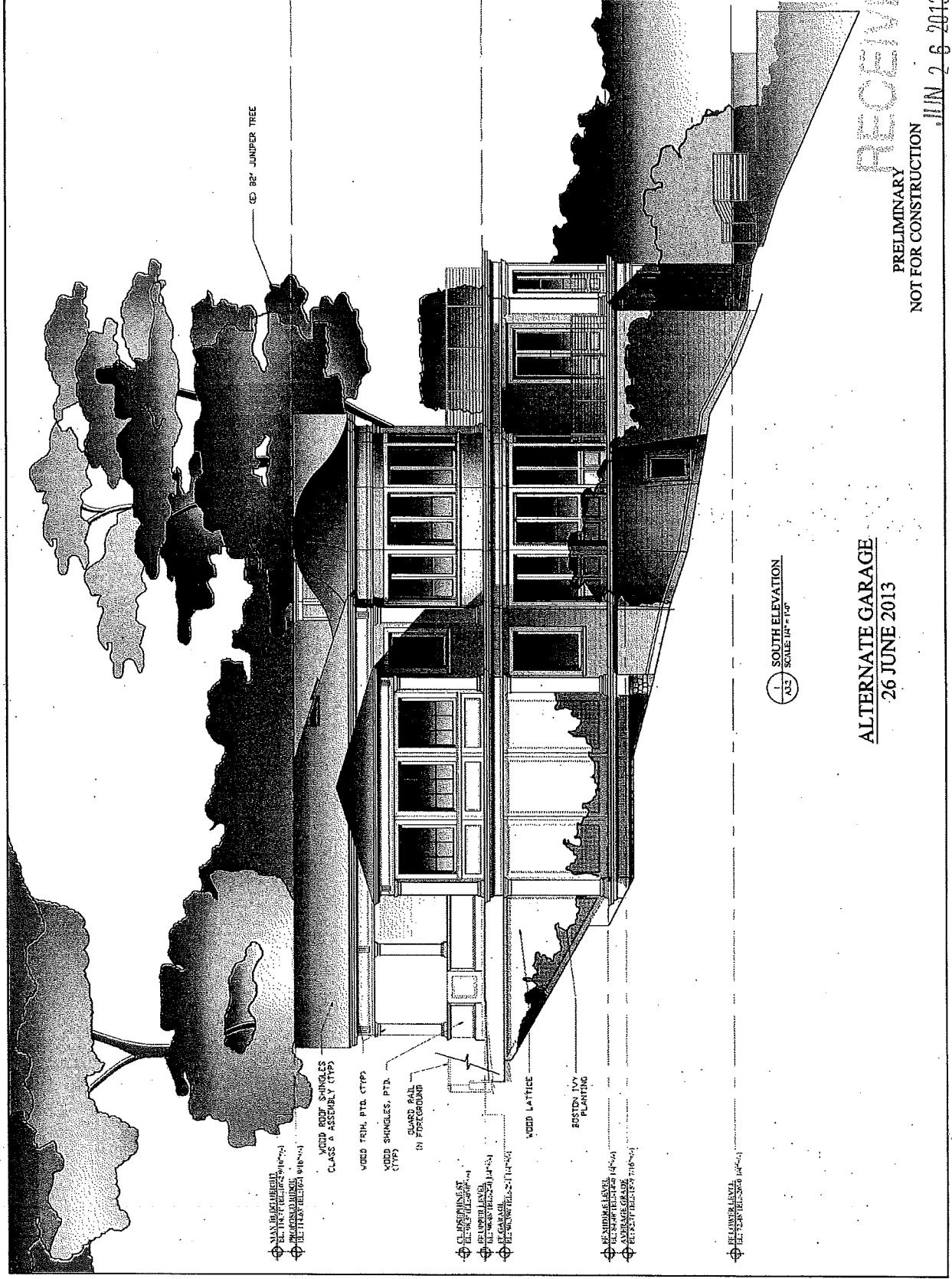
Andrew Skurman,  
Architect

3654 Sacramento Street  
San Francisco, CA 94118  
Tel: 415-440-4480  
Fax: 415-440-4488

WOODMAN RESIDENCE  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN: 065-211-07

PROPOSED  
SOUTH EXTERIOR  
ELEVATION

Project No. A3.2  
AS NOTED  
DATE: 12 NOVEMBER 2012



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"


ALTERNATE GARAGE  
26 JUNE 2013

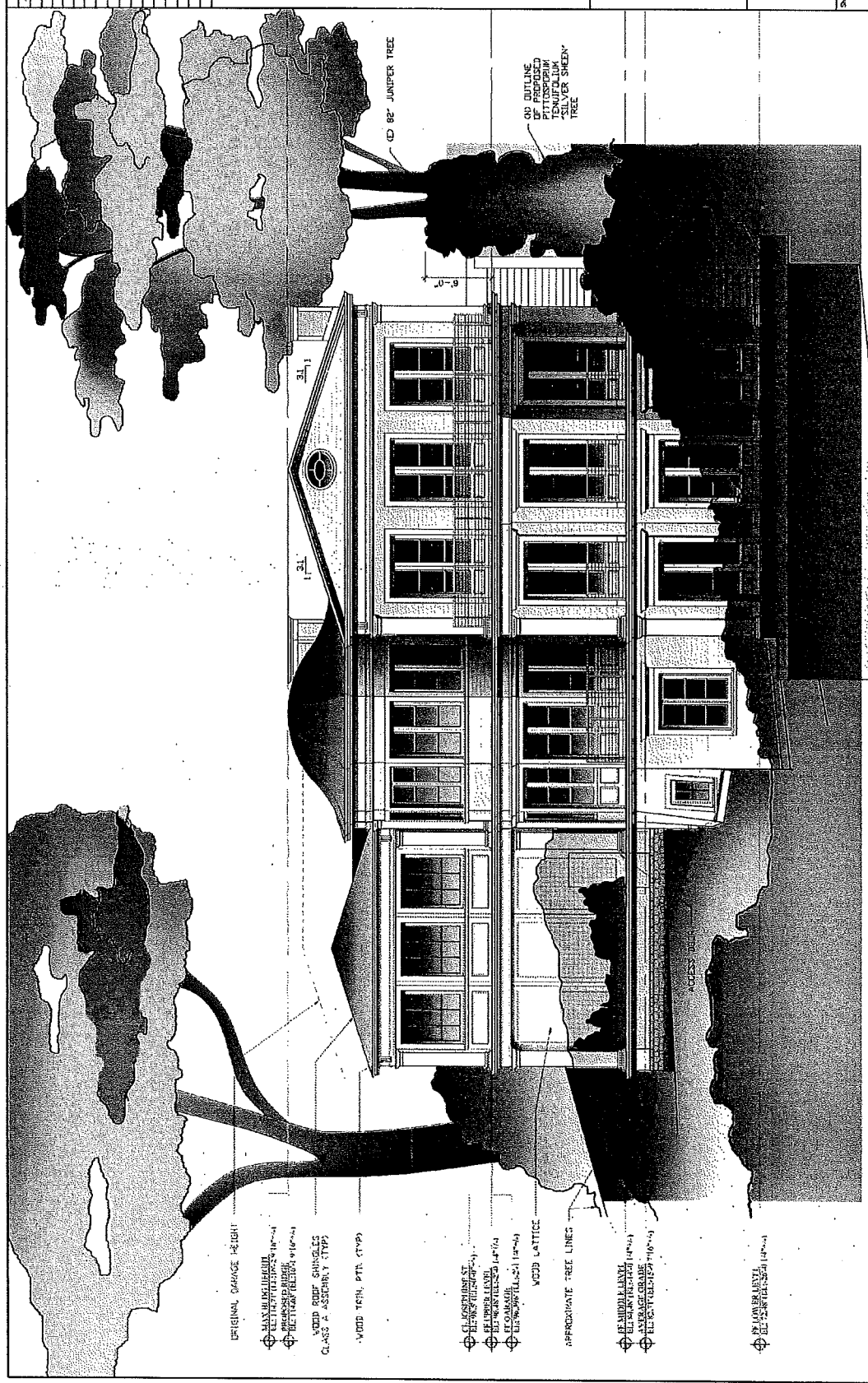
PRELIMINARY  
NOT FOR CONSTRUCTION

JUN 26 2013

RECEIVED

CITY OF SACRAMENTO  
COMMUNITY DEVELOPMENT

12 NOV 2012 - PLAN REVIEW SUBMITTED 12 APR 2013 - CITY COMMENTS 22 APR 2013 12 MAY 2013 - PLAN REVIEW SUBMITTED 15 JUN 2013 - DESIGN	Andrew Skurman, Architect  3654 Sacramento Street San Francisco, CA 94118 tel 415 440-4480 fax 415 440-4483	WOODMAN RESIDENCE 6 JOSEPHINE ST SAUSALITO, CA APN: 065-211-07	PROPOSED EAST EXTERIOR ELEVATION
Sheet Title:			Sheet No.: A3.3
Date: 12 NOVEMBER 2012			AS NOTED:



1 EAST ELEVATION  
SCALE 1/8" = 1'-0"

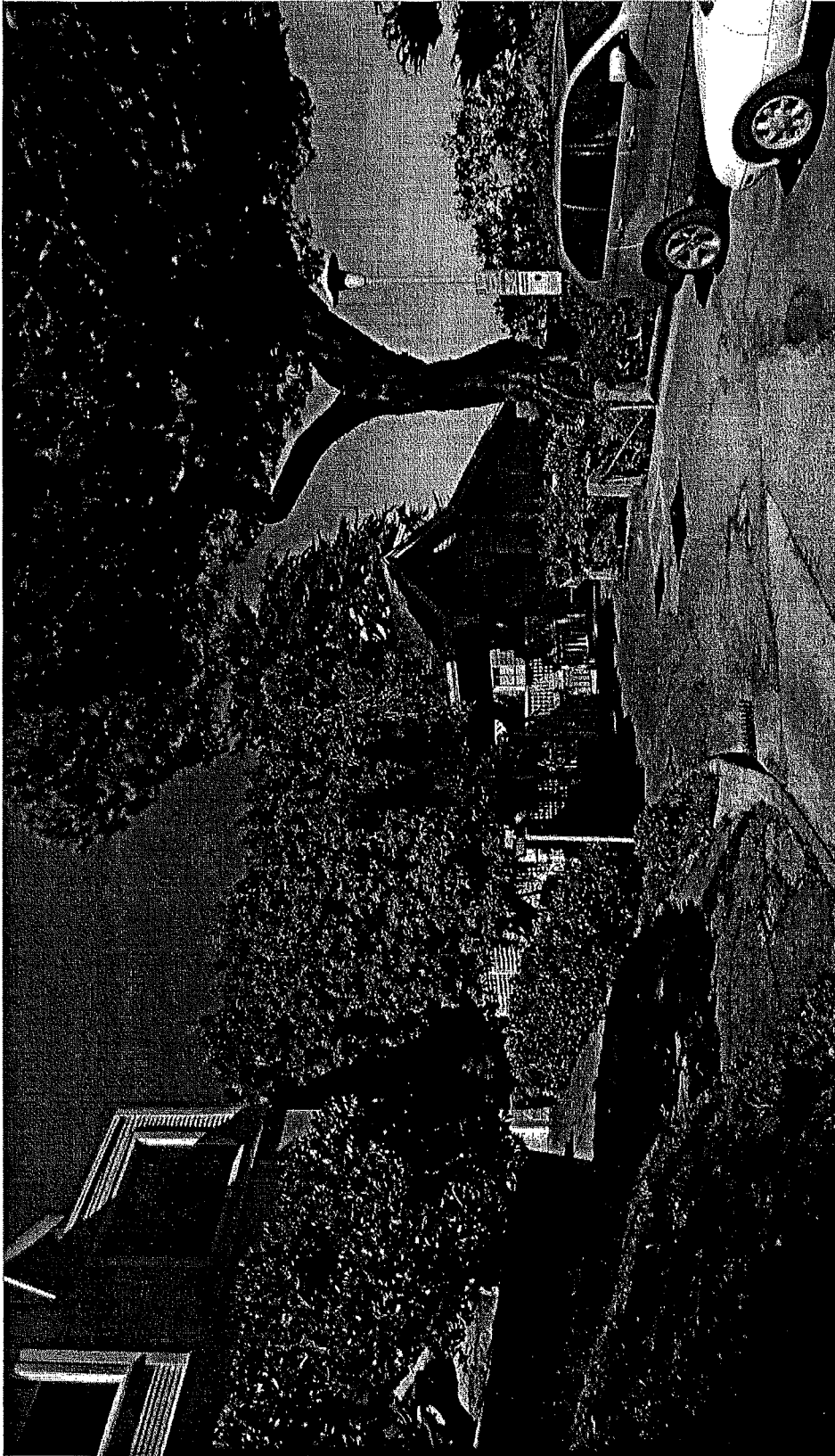
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26 JUNE 2013

PRELIMINARY  
NOT FOR CONSTRUCTION JUN 26 2013

RECEIVED

CITY OF SACRAMENTO  
COMMUNITY DEVELOPMENT



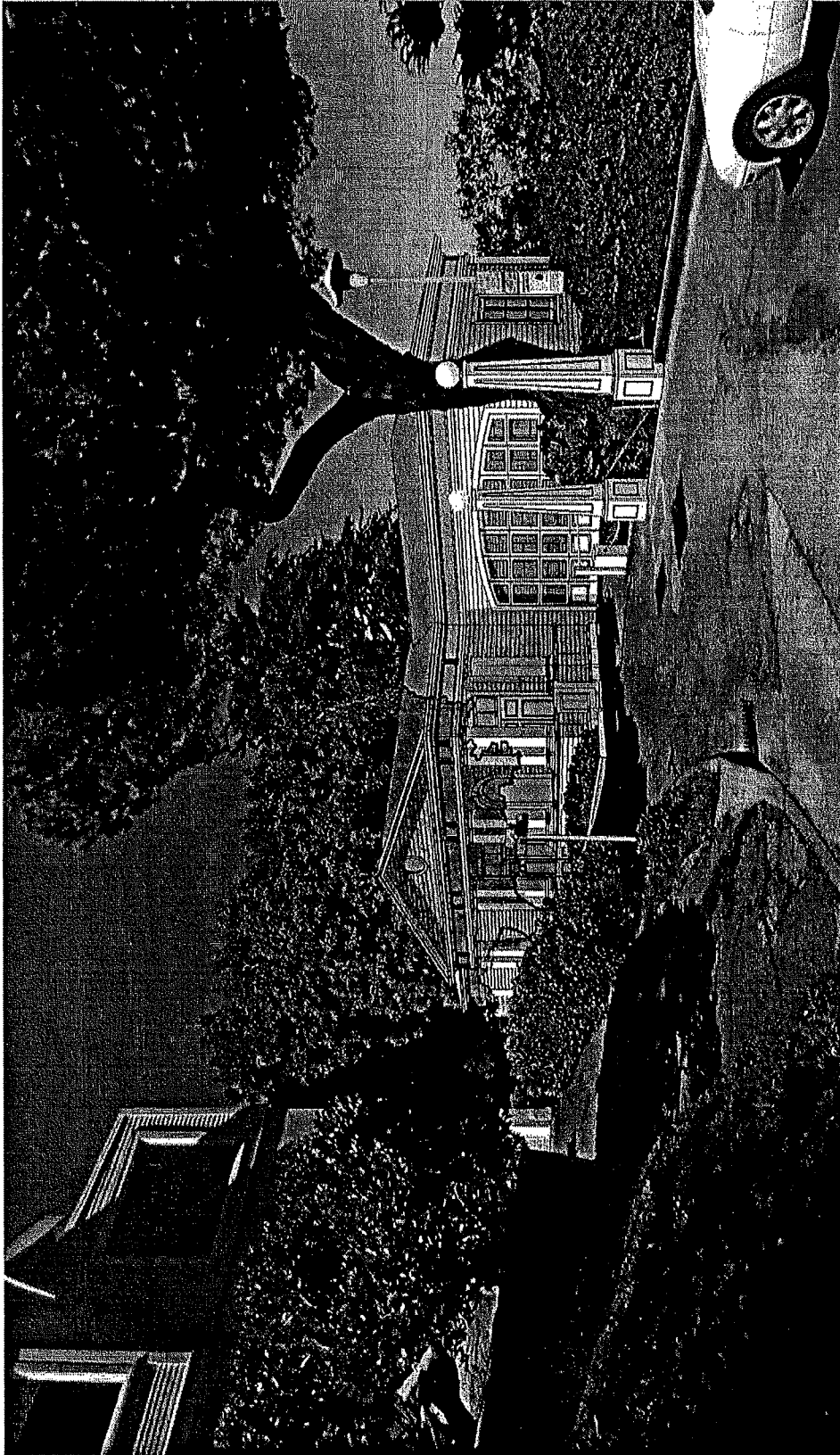


WOODMAN RESIDENCE- EXISTING VIEW FROM STREET  
6 JOSEPHINE STREET  
SAUSALITO, CA.

RECEIVED

JUN 19 2013

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

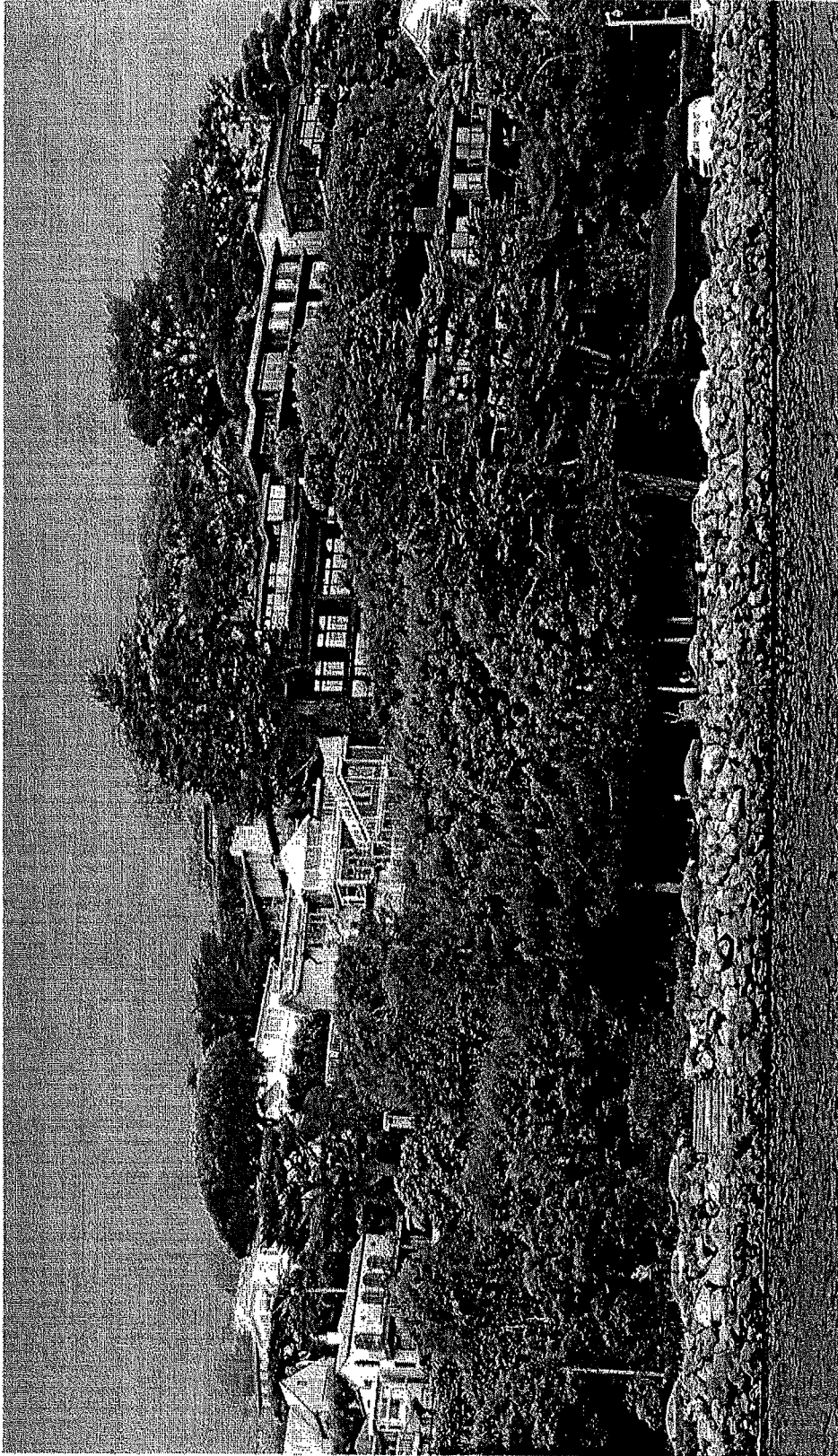


WOODMAN RESIDENCE- PROPOSED PERSPECTIVE FROM STREET  
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SAUSALITO, CA

RECEIVED

JUN 19 2013

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

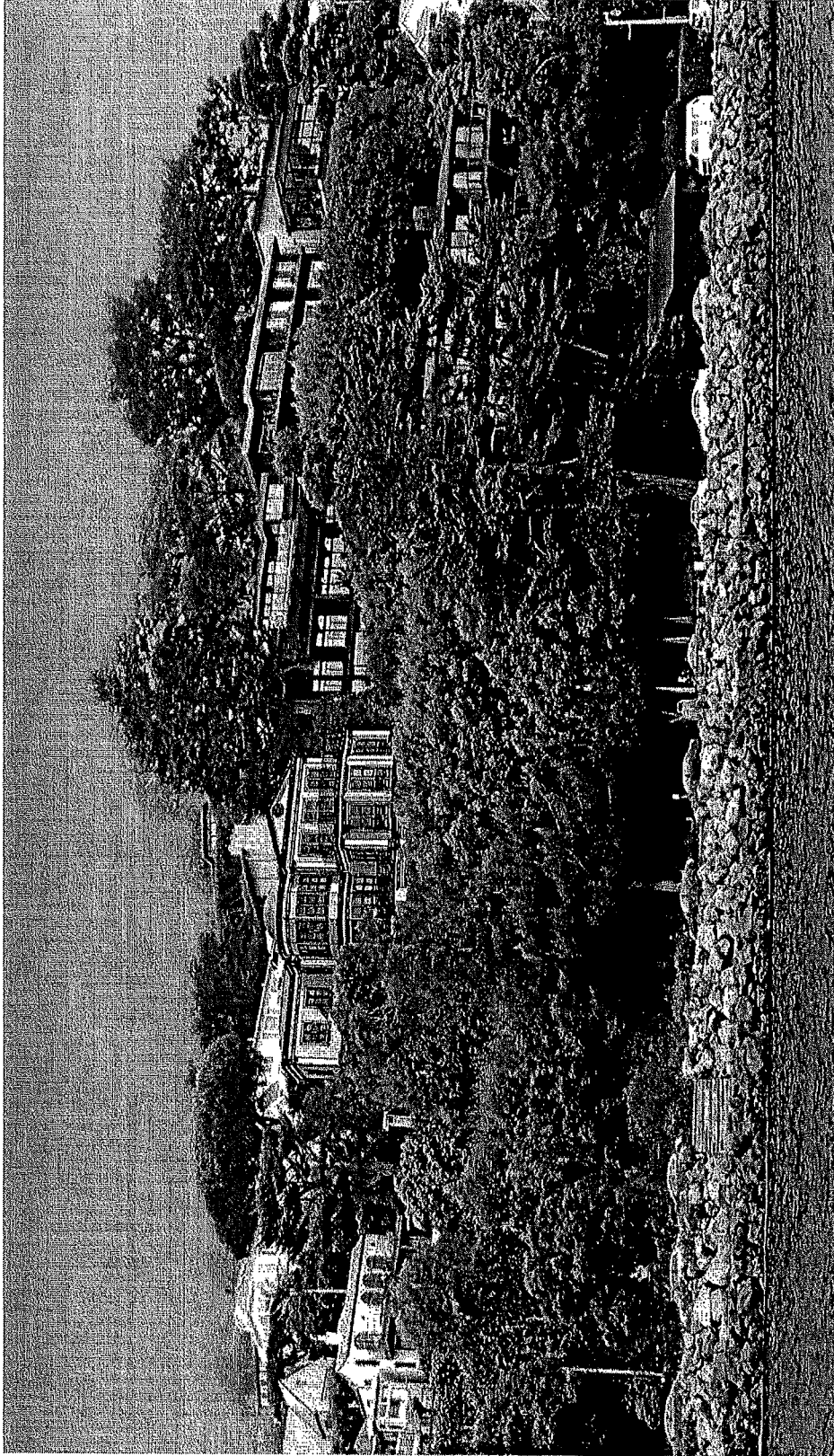


WOODMAN RESIDENCE- EXISTING PERSPECTIVE FROM BAY  
6 JOSEPHINE STREET  
SAUSALITO, CA

RECEIVED

JUN 19 2013

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT



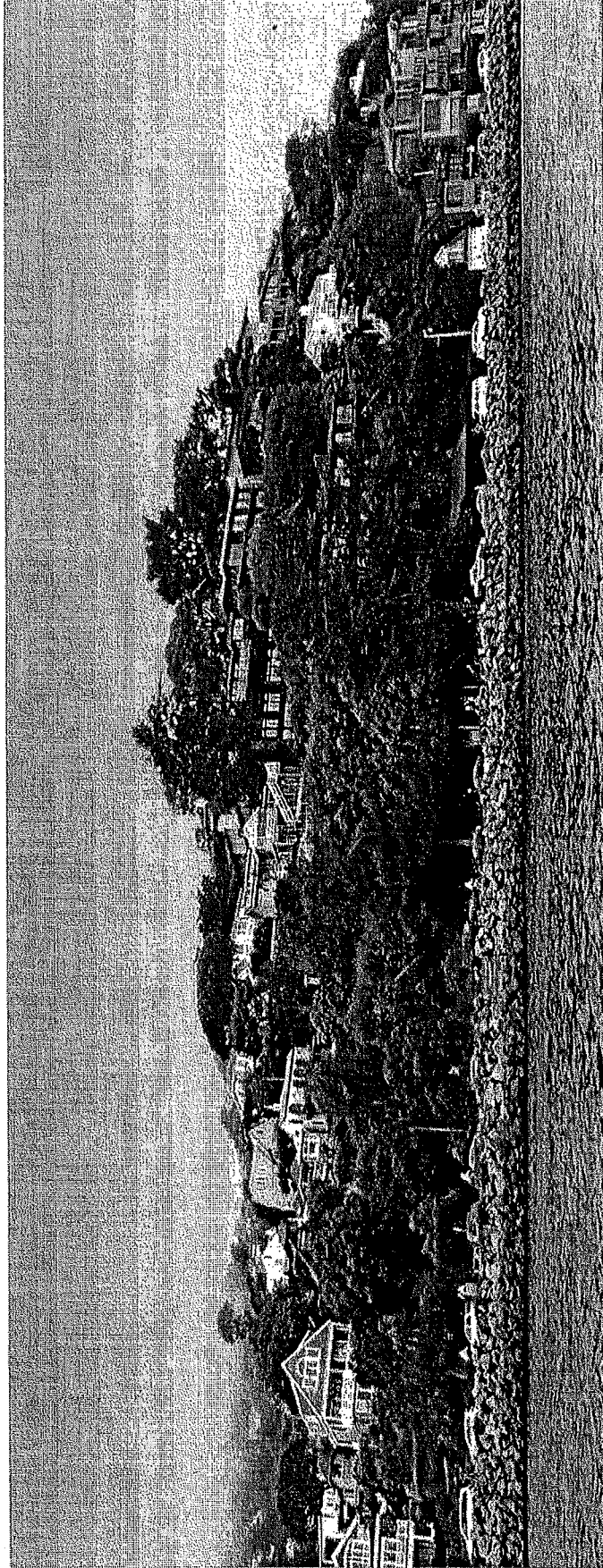
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SAUSALITO, CA

HEAVY

JUN 19 2013

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT



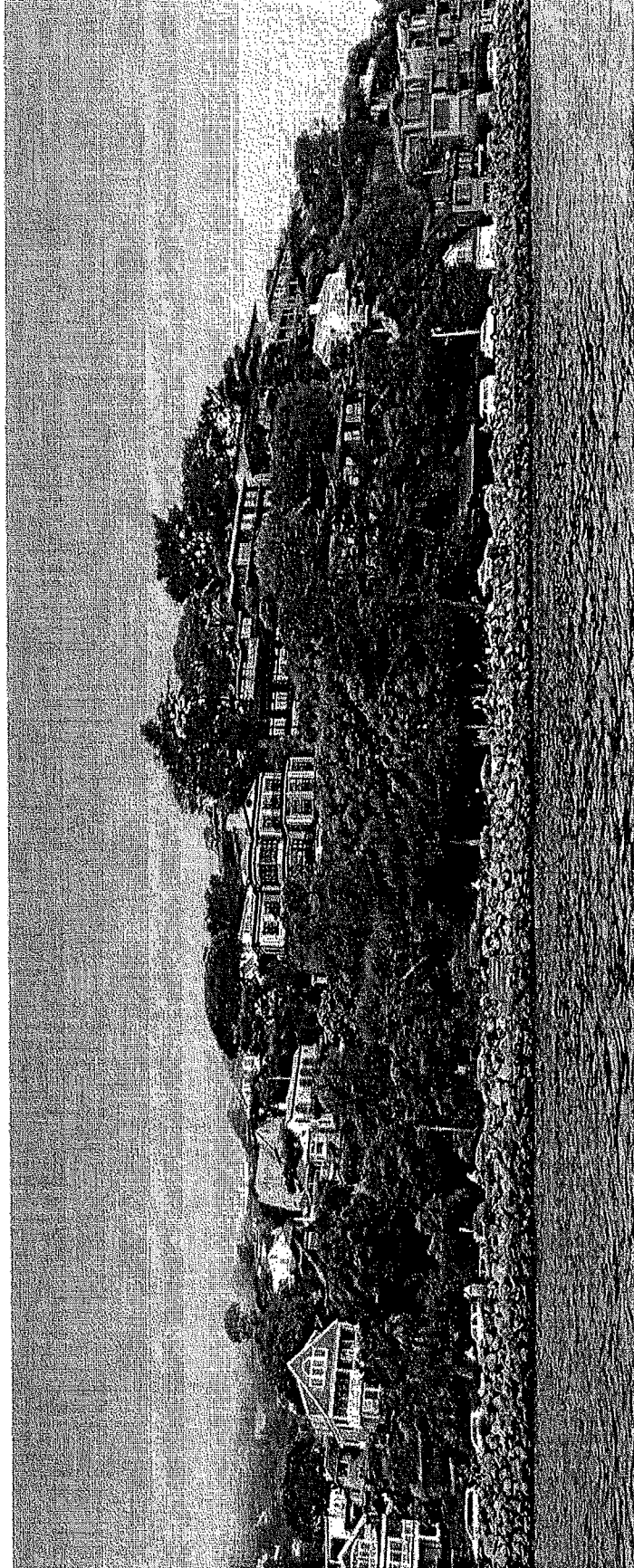


WOODMAN RESIDENCE- EXISTING PANORAMIC FROM BAY  
6 JOSEPHINE STREET  
SAUSALITO, CA

REC'D

JUN 19 2013

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT



WOODMAN RESIDENCE- PROPOSED PANORAMIC FROM BAY  
6 JOSEPHINE STREET  
SAUSALITO, CA

ALDEN (W-1)

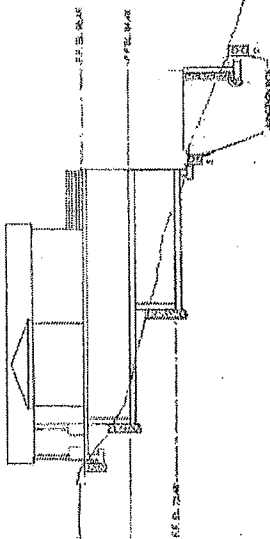
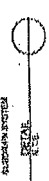
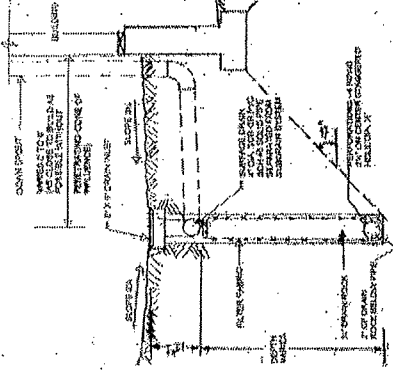
JUN 19 2013

00134 10:50:00  
COUNTY OF SOLANO

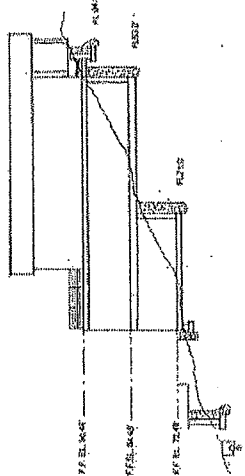
NO.	REVISIONS	BY	DATE
1	ISSUED	...	...
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**NOTES:**

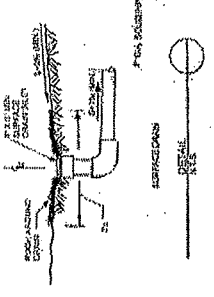
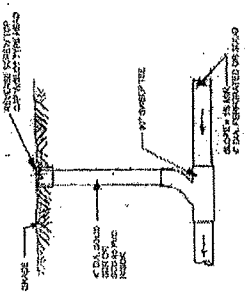
1. See Notes on previous sheets. All notes on this sheet apply to this sheet unless otherwise indicated. All work shall be in accordance with the latest editions of the following codes and specifications:
  - a. California Building Code
  - b. California Electrical Code
  - c. California Fire Code
  - d. California Mechanical Code
  - e. California Plumbing Code
  - f. California Sanitary Code
  - g. California Water Code
  - h. California Fire and Life Safety Code
2. All work shall be in accordance with the following specifications:
  - a. All electrical work shall be in accordance with the National Electrical Code (NEC), 2011 Edition, as amended.
  - b. All plumbing work shall be in accordance with the Uniform Plumbing Code (UPC), 2003 Edition, as amended.
  - c. All mechanical work shall be in accordance with the International Mechanical Code (IMC), 2009 Edition, as amended.
  - d. All fire and life safety work shall be in accordance with the California Fire and Life Safety Code, 2007 Edition, as amended.
  - e. All water work shall be in accordance with the California Water Code, 2007 Edition, as amended.
3. **CONTRACTOR'S OBLIGATION:**
  - a. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
  - b. The Contractor shall be responsible for providing all materials and labor required for the completion of the work.
  - c. The Contractor shall be responsible for maintaining the site in a safe condition at all times.
  - d. The Contractor shall be responsible for protecting all existing utilities and structures.
  - e. The Contractor shall be responsible for restoring the site to its original condition.



**SOUTH ELEVATION (N.T.S.)**



**NORTH ELEVATION (N.T.S.)**



**PRELIMINARY  
PLAN  
GRADING AND DRAINAGE**

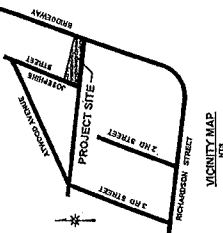
**WOODMAN RESIDENCE  
6 KOSBERG STREET  
Sausalito, California**

**JUN 19 2013**

**C-2**

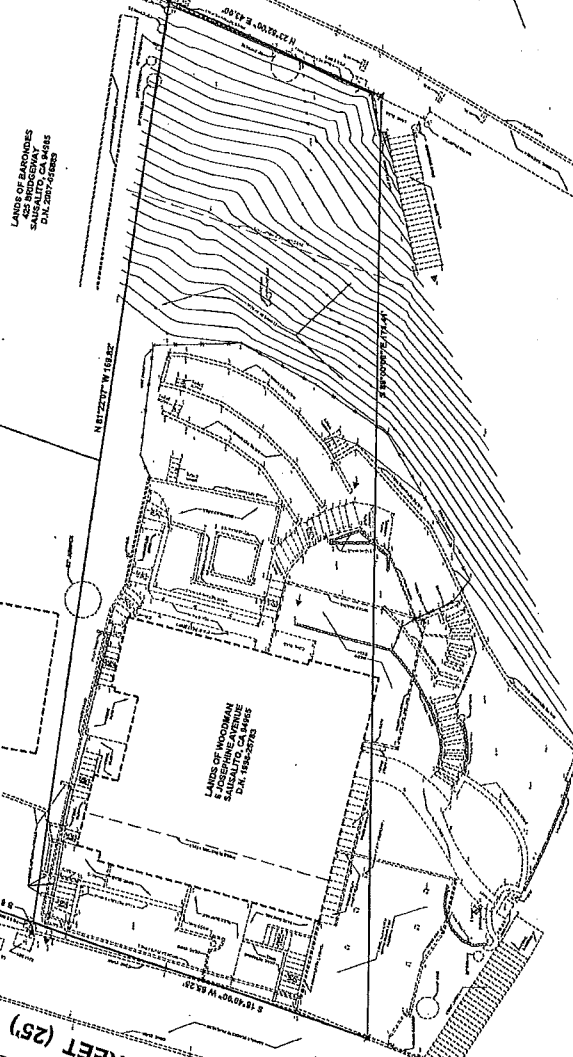
**LEGEND**

--- PROPERTY BOUNDARY LINE  
 --- FOUND LEAD PLUMB, BRASS NAIL AND TAGS L.S. ST.  
 --- CONTROL POINTS  
 --- EXISTING CONTOUR (2' INTERVAL)  
 --- TREE SIZE AND TYPE



**BENCHMARK:**  
 1) THE PROPERTY BOUNDARY FOR THIS TOPOGRAPHIC SURVEY IS BASED ON THE WEST SIDE BRIDGEWAY WHERE BRIDGEWAY TURNS WESTERLY.  
 2) THE CURB LINE OF BRIDGEWAY ELEVATION = 1.14, NVD 1929

**NOTES:**  
 1) THE PROPERTY BOUNDARY FOR THIS TOPOGRAPHIC SURVEY IS BASED ON THE WEST SIDE BRIDGEWAY WHERE BRIDGEWAY TURNS WESTERLY.  
 2) THE CURB LINE OF BRIDGEWAY ELEVATION = 1.14, NVD 1929  
 3) THE LIMIT OF RECORD JURISDICTION WAS DETERMINED BY USING THE ADOPTED 100-YEAR TIDE ELEVATION OF 61 FEET (FROM US ARMY CORPS OF ENGINEERS DATA) AND THE 100-YEAR TIDE ELEVATION OF 61 FEET (FROM US ARMY CORPS OF ENGINEERS DATA) TO DETERMINE THE LIMIT LINE BEING 100 FEET BACK FROM THAT ELEVATION.



**PROFESSIONAL ENGINEER**  
 STATE OF CALIFORNIA  
 No. 25536  
 Thomas Allen  
 Seal

*Shah Paris*

APN 052-211-07



**TOPOGRAPHIC SURVEY**  
 LANDS OF DEAN S. AND JANE B. WOODMAN AS DESCRIBED  
 IN THE TRUST TRANSFER DEED D.N. 1998-025783, RECORDED  
 APRIL 23, 1998; IN THE OFFICE OF THE COUNTY RECORDER  
 OF MARIN COUNTY, CALIFORNIA

ALCO ENGINEERING, INC.  
 1111 W. WILSON AVENUE  
 MILL VALLEY, CA 94542-2525  
 PHONE: (415) 955-5322  
 MAY 15, 2013  
 SCALE: 1" = 10'

JUN 19 2013

Exp 9/30/13

SHEET 1 OF 1

**RESOLUTION NO. 5422**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAUSALITO  
APPROVING AN ENCROACHMENT AGREEMENT FOR IMPROVEMENTS IN THE NORTH  
STREET PUBLIC RIGHT-OF-WAY FRONTING  
THE PROPERTY AT 6 JOSEPHINE STREET  
(DR/CUP/EA 13-037)**

---

**WHEREAS**, an application has been filed by applicant, Andrew Skurman Architects, on behalf of property owners Jane and Dean Woodman, requesting City Council approval of an Encroachment Agreement to allow the construction of an elevated two-car garage, construction an elevated two-car parking deck (with guardrails), installation of landscaping, and installation of two-street lights at the top of the North Street stairs to encroach within the North Street public right-of-way adjacent to 6 Josephine Street (APN 065-211-07); and

**WHEREAS**, on June 26, 2013, the Planning Commission found that the proposed project is consistent with the General Plan and the Zoning Ordinance; approved a Design Review Permit for the construction of a new two-family residence; approved a Conditional Use Permit to allow tandem parking; and recommended City Council approval of an Encroachment Agreement for the construction of an elevated two-car garage, construction an elevated two-car parking deck (with guardrails), installation of landscaping, and installation of two-street lights at the top of the North Street stairs to encroach within the North Street public right-of-way; and

**WHEREAS**, on July 23, 2013, the City Council reviewed and considered the project plans for the proposed encroachment agreement titled "Woodman Residence" date-stamped received June 19, 2013 revised garage elevations as depicted on Sheets A.3.1, A.3.2, and A.3.3 date-stamped June 26, 2013; and

**WHEREAS**, the City Council considered all written and oral testimony on the subject application; and

**WHEREAS**, the approval of the proposed Encroachment Agreement is categorically exempt from the application of the California Environmental Quality Act (CEQA), pursuant to Section 15303(e) (New Construction of Accessory Structures) of the State CEQA Guidelines.

**NOW, THEREFORE, THE CITY COUNCIL HEREBY RESOLVES AS FOLLOWS:**

**Section 1. CEQA - Categorical Exemption**

The Encroachment Agreement is exempt from CEQA pursuant to Section 15303(e) (New Construction of Accessory Structures) of the State CEQA Guidelines.

**Section 2. Approval of Encroachment Agreement**

Based upon the findings provided in **Exhibit A**, the Encroachment Agreement provided in **Exhibit B** is approved to allow the improvements in the public right-of-way within the North Street property frontage at 6 Josephine Street and the Mayor is authorized to execute the Agreement on behalf of the City.

**EXHIBIT D**

**Section 3. Judicial Review**

The time within which judicial review of this decision may be sought is governed by the provisions of section 65009 of the Government Code, section 1094.6 of the Code of Civil Procedure and all other applicable law.

**THIS RESOLUTION WAS PASSED AND ADOPTED** at the regular meeting of the City Council of the City of Sausalito on the 23rd day of July, 2013, by the following vote:

AYES:	Councilmember:	Pfeifer, Theodores, Withy, Mayor Weiner
NOES:	Councilmember:	None
ABSENT:	Councilmember:	None
ABSTAIN:	Councilmember:	None
RECUSED:	Councilmember:	Leone

---

MAYOR OF THE CITY OF SAUSALITO

ATTEST:

---

CITY CLERK

## EXHIBIT A

### ENCROACHMENT AGREEMENT FINDINGS 6 JOSEPHINE STREET (DR/CUP/EA 13-037)

Pursuant to Zoning Ordinance 10.56.060 (Encroachment Review and Agreements), the City Council's approval of the Encroachment Agreement at 6 Josephine Street is based upon the following findings:

- A) The proposed encroachment is compatible with the surrounding area and will either improve or not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.

*The project would be constructed out of high quality materials and is compatible with other improvements within the North Street public right-of-way.*

- B) The encroachment will not adversely affect the usability or enjoyment of adjoining parcels nor create or extend an undesirable land use precedent.

*The project encroaches within the unimproved and under-utilized portions of the North Street public right-of-way; therefore the project would not adversely impact the usability or enjoyment of the adjoining properties.*

- C) The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable.

*Without the project, the property owner would not be able to provide off-site parking to the two-family residence, which would negatively impact ease of movement and circulation within the travelled-ways on Josephine Street.*

- D) The proposed encroachment will not adversely affect the public circulation nor create or constitute a hazard to public safety.

*The project encroaches within the unimproved and under-utilized portions of the North Street public right-of-way and will not adversely impact any public circulation.*

- E) The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvement of streets or pedestrian ways.

*The project is located within unimproved portions of the North Street public right-of-way. Accordingly, the project would not preclude any future improvements to the pedestrian way or prejudice a policy decision to terminate the encroachment.*

## EXHIBIT B

### CITY OF SAUSALITO ENCROACHMENT AGREEMENT

This **ENCROACHMENT AGREEMENT** ("Agreement") is entered into this 23<sup>rd</sup> day of July, 2013 (the "Effective Date") by and between **JANE and DEAN WOODMAN** ("Owner") of the property at 6 Josephine Street (APN 065-211-07), and the **CITY OF SAUSALITO**, a municipal corporation ("City").

#### RECITALS

The following Recitals are a substantive part of this Agreement:

A. The construction of an elevated two-car garage, construction an elevated two-car parking deck (with guardrails), installation of landscaping, and installation of two-street lights at the top of the North Street stairs to encroach within the North Street public right-of-way adjacent to 6 Josephine Street (APN 065-211-07) requires City Council approval of an Encroachment Agreement (DR-CUP-EA 13-037). In accordance with Chapter 10.56 of the City's Municipal Code, the Planning Commission has reviewed the proposed encroachment and has recommended that the City Council approve the encroachment.

B. The City has the authority to regulate the use of the public right-of-way and is willing to allow Owner the encroachments as shown in the attached site plan and in accordance with Titles 10 and 17 of the Sausalito Municipal Code under certain terms and conditions as set forth below.

**NOW, THEREFORE**, Owner and City hereby agree as follows:

1. Description of Encroachments. The encroachments covered by this Agreement allow for the construction of an elevated two-car garage, construction an elevated two-car parking deck (with guardrails), installation of landscaping, and installation of two-street lights at the top of the North Street stairs to encroach within the North Street public right-of-way adjacent to 6 Josephine Street, as shown in the attached site plan (see **Exhibit 1**) which is incorporated herein (the "Encroachments").
2. Term. The term of this Agreement is one (1) year after which it shall be automatically renewed on an annual basis unless City issues a notice of non-renewal.
3. Condition of Encroachments and Right-of-Way. With the exception of the two street lights to be installed by the Owner and maintained by the City, the owner shall maintain all Encroachments and the City-owned property affected thereby in good and safe condition and free from any nuisance to the satisfaction of the City Engineer.
4. Removal or Relocation. Owner acknowledges and agrees that it shall remove or relocate the Encroachment(s) at its sole cost and expense if the Encroachment(s) interferes with any lawful governmental or proprietary purpose of the City of Sausalito; is detrimental to governmental activities; and/or the right of way or street is being vacated. If the Owner fails to remove the Encroachment(s) within the time specified by the City Engineer, City may cause the work to be done at the Owner's expense.



5. Taxes. Owner shall be responsible for payment of all fees and taxes charged in connection with the right, title and interest in the Encroachments.

6. Indemnification. Owner hereby agrees to indemnify, defend (with counsel reasonably acceptable to City) and hold harmless City and its elected and appointed officials, officers, employees, consultants, agents, volunteers and successors in interest from any and all claims, demands, causes of action, damages, liabilities and obligations arising from or in any way related to this Agreement and/or Owner's use of the right of way.

7. Termination. This Agreement may be terminated by either party with or without cause upon thirty (30) days written notice. Upon such termination, the Encroachment(s) must be removed as specified by and within the time required by the City Engineer. In addition, the City owned right of way must be restored to the condition required by the City Engineer. In the event that Owner fails to remove the Encroachment(s) and/or restore the right of way as required by the City Engineer within the specified time, City shall have the right to perform the work and charge Owner.

8. No Grant. This Agreement is not a grant by City of any property interest but is made subject and subordinate to the prior and continuing right of City and its assigns to lawfully use any or all of the right of way for public facilities, including but not limited to, public use as a street and for the purpose of laying, installing, maintaining, repairing, protecting, replacing and removing sanitary sewers, water mains, storm drains, gas mains, poles, overhead and underground electric and telephone wires, television and other utility and municipal uses together with appurtenances thereof and with right of ingress and egress along, over, across and in the right of way. No use of any right of way or other interest under this Agreement shall create or vest in Owner any ownership interest in the right of way; nor shall anything in this Agreement be deemed or construed to grant or create any franchise rights.

9. Condemnation. If the right-of-way is taken totally by condemnation, this Agreement shall terminate on the date of the taking with no compensation to Owner therefore. If a portion of the right of way is taken by condemnation, then this Agreement shall remain in effect as to the part not taken.

10. Standard Conditions. Owner shall comply with any and all Standard Conditions for Encroachment Permits required by the City Engineer, including the Conditions of Approval (see **Exhibit 2**) which are incorporated herein.

11. Compliance with Laws. Owner shall comply with all applicable laws, any permit issued by the City pursuant to this Agreement and any general or specific conditions required by the City Engineer.

12. Notices. All notices required or permitted to be given under the terms of this Agreement shall be in writing and shall be deemed to be given as of the time of hand delivery to the addresses set forth below, or three (3) days after deposit in the United States mail, postage prepaid, by register or certified mail, return receipt requested, addressed as follows:

**Owner:**

Jane and Dean Woodman  
6 Josephine Street  
Sausalito, CA 94965

**City:**

Director of Public Works  
420 Litho Street  
Sausalito, CA 94965

13. Assignment. This Agreement is not assignable unless City consents in writing, which consent shall be withheld unreasonably. Such consent to assignment shall bind and insure to the benefit of the respective successors and assigns of the parties. This requirement for consent shall not apply to: (a) any disposition of all or a portion of the Property; or (b) any collateral assignment, security interest or pledge of this Agreement by Owner to any lender.

14. Waivers. The failure of any party at any time or times to require performance of any provision hereof shall in no manner affect the right at a later time to enforce the same. No waiver by any party of any condition, or of any breach of any term, covenant, representation, or warranty contained herein, in any one or more instances, shall be deemed to be construed as a further or continuing waiver of any such condition or breach or waiver of any other condition or of any breach of any other term, covenant, representation or warranty.

15. Severability. If one or more of the provisions of this Agreement shall be held by a court of competent jurisdiction in a final judicial action to be void, voidable or unenforceable, such provision shall be deemed severable from the remaining provisions of this Agreement and shall not affect the legality, validity or constitutionality of the remaining portions of the Agreement.

16. Entire Agreement. This Agreement contains the entire agreement of the parties with respect to the matters addressed herein.

17. Modification. This Agreement may not be amended unless made in writing and signed by each party.

18. California Law. The interpretation and enforcement of this Agreement shall be governed by the laws of the State of California. In the event that suit shall be brought by either party to this Agreement, the parties agree that venue shall be exclusively vested in the State courts of the County of Marin or where appropriate, in the United States District Court, Northern District of California.

19. Attorneys' Fees. Should any legal proceeding be commenced between the parties to this Agreement seeking to enforce any of its provisions, the prevailing party in such a proceeding shall be entitled, in addition to such other relief as may be granted, to a reasonable sum for attorneys' fees which shall be determined by the court or forum in such a proceeding or in a separate action brought for that purpose. For purposes of this provision, "prevailing party" shall include a party which dismisses an action for recovery hereunder in exchange for payment of the sum allegedly due, performance of covenants allegedly breached, or consideration substantially equal to the relief sought in the action or proceeding.

20. Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same agreement.

21. Authority. The parties represent that the individuals signing this Agreement have the authority to do so.

22. No Personal Liability. No member, official or employee of City shall be personally liable to Owners or any successor in interest in the event of any default or breach by City or on any obligation under the terms of this Agreement.

IN WITNESS WHEREOF, the parties have hereto set their signatures as of the date first above named herein.

OWNER:

CITY:

\_\_\_\_\_  
Jane Woodman, Owner

\_\_\_\_\_  
Herb Weiner, Mayor

\_\_\_\_\_  
Dean Woodman, Owner

RECOMMENDED FOR APPROVAL:

APPROVED AS TO FORM:

\_\_\_\_\_  
City Engineer

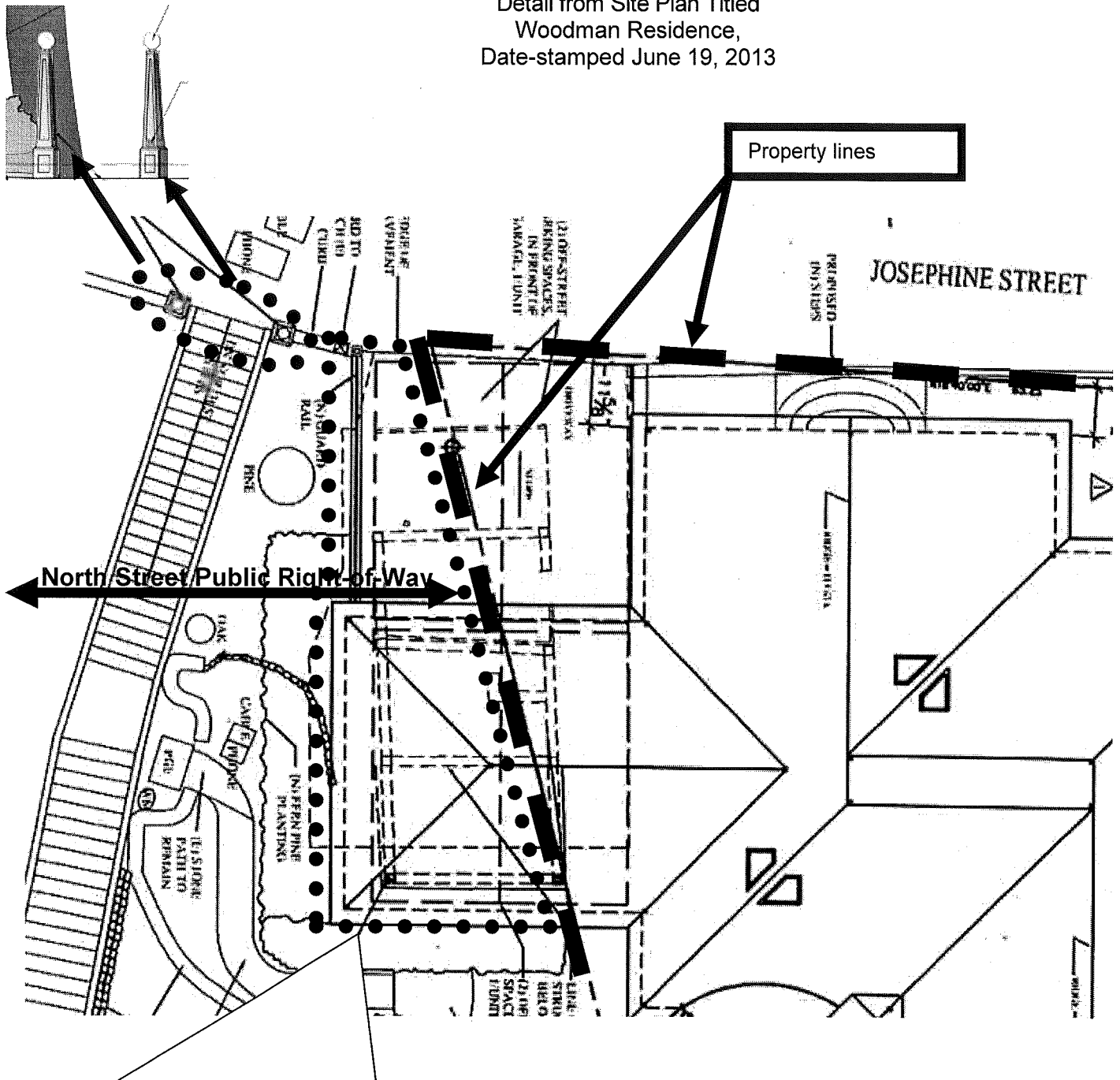
\_\_\_\_\_  
Mary Wagner, City Attorney

EXHIBITS:

1. Detail from "Woodman Residence", date-stamped June 19, 2013
2. Encroachment Agreement Conditions of Approval

**EXHIBIT 1**

Detail from Site Plan Titled  
Woodman Residence,  
Date-stamped June 19, 2013



**North Street Public Right-of-Way Improvements:**

- ✓ Construction of an elevated two-car garage partially located within the North Street public right-of-way; and
- ✓ Construction of an elevated two-car parking deck (with guardrails) partially located within the North Street public right-of-way; and
- ✓ Installation of landscaping at the base of the garage located within the North Street public right-of-way; and
- ✓ Installation of two street lights at the top of the North Street stairs. The street lights shall match the historic street lamps.

## EXHIBIT 2

### ENCROACHMENT AGREEMENT CONDITIONS OF APPROVAL

These conditions apply only to the project plans "Woodman Residence", date-stamped received June 19, 2013 and the revised garage elevations as depicted on Sheets A.3.1, A.3.2, and A.3.3 date-stamped June 26, 2013.

1. The applicant shall obtain the necessary building permits and encroachment permit(s) for the following improvements to be located within the North Street public right-of-way:
  - a. Construction of a two-car garage partially located within the North Street public right-of-way; and
  - b. Construction of a two-car parking deck partially located within the North Street public right-of-way; and
  - c. Installation of a guardrail to be attached to the parking deck entirely located within the North Street public right-of-way; and
  - d. Installation of Boston Ivy to be planted at the base of the garage located within the North Street public right-of-way; and
  - e. Installation of two-street lights to match the historic street lamps on the North Street stairs.
2. Prior to issuance of a Construction Permit, the Director of Public Works or designee shall approve the design, location, and means of installation of the two lights to be located at the top of the North Street Stairs.
3. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.
4. As a condition of this approval, no alternative or unrelated construction, site improvements, and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Department as a modification to this approval.

#### **Advisory Notes**

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

5. Pursuant to Section 10.56.130 the Encroachment Agreement is valid for one year unless a building permit has been issued and construction is diligently pursued.
6. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
7. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.

8. Encroachment permit, grading permit, third party review fees (cost plus 10%) fees shall be paid.
9. An encroachment permit shall be obtained from the Public Works Department prior to using the public right of way for non-public purposes (e.g., material storage, sidewalk construction or demolition) including any and all construction and demolition activities.
10. Permits required by other agencies having jurisdiction within construction area shall be obtained in accordance with their respective agency's regulations.

Dear Mr. Castro:

June 18, 2015

Thank you for the message that you left me regarding **how to file for a one year extension on our Design Review Permit and our Encroachment Agreement with the City.**

On June 26, 2013, the Planning Commission took the following actions with regard to our property at **6 Josephine Street:**

- Approved a Design Review Permit to demolish the existing residence on the site and construct a new two-family residence with a two-car garage and parking deck,
- Approved a Conditional Use Permit to allow tandem parking, and
- Recommended City Council approval of an Encroachment Agreement to construct a portion of the garage, parking deck with guardrails, landscaping, and installation of two street lights in the North Street public right-of-way.

On July 23, 2013, the City Council upheld the approvals granted by the Planning Commission.

**My husband, Dean, and I are requesting a one year extension on the Design Review Permit and the Encroachment agreement.** My understanding is the extension will extend the life of the Permit and the Encroachment agreement to June 26, 2016.

**I will bring a check for the \$1800 filing fee into your offices on Monday.**

Thank you for your assistance with this matter.

Sincerely,

Jane Woodman

415 305-8206

RECEIVED  
JUN 19 2015  
CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPT

**EXHIBIT E**

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**•We are requesting the one year extension for the following reason:**

After a three-year design and approval process for our new home to replace a very old structure which was deemed uninhabitable, we moved to another smaller home nearby to oversee the 2+year construction of the new home for 6 Josephine Street.

After gaining City approval we went to bid to choose a contractor and finished engineering design and all the other parts of the process prior to filing for a building permit.

We began our clean out, storage and move from 6 Josephine after 34 years of our family life. (Add to that the three years of architectural planning and the approval process preceding our move. )

At this point, one year after approval of plans, we were exhausted by not only the multi-year process that had transpired, but also were panicked at the thought of the years ahead to complete our now approved home. Our ages began to matter at this point. My husband Dean is 86 yrs. old and I am approaching 68.

After much discussion and soul searching we decided to enlist a broker and market the property with the approved plans for sale a year after moving out of 6 Josephine.

We have been in contract once, and have two other prospective buyers doing their due diligence right now. The fact that we can offer the property with Approvals enhances its value to prospective buyers, so we would very much appreciate your extending them for one year while we complete the sale process with the eventual buyer.

**NOTE:**

•No altering conditions to the plans have occurred or been requested since the City approval of the plans and Encroachment permit.

7/10/2015-Balance of filing fee \$14.00 and noticing fee of \$235 are on their way to you.

RECEIVED

JUL 14 2015

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPT.

**EXHIBIT F**


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# STAFF REPORT

## SAUSALITO PLANNING COMMISSION

**Project** Woodman Residence / 6 Josephine Street  
Design Review Permit, Conditional Use Permit, and Encroachment Agreement  
DR-CUP-EA 13-037

**Meeting Date** June 26, 2013

**Staff** Heidi Scoble, Associate Planner 

### REQUESTS

- Approval of a **Design Review Permit** for the demolition of an existing single family residence and the new construction of a two family residence on a 8,851 square foot parcel; and
- Approval of a **Conditional Use Permit** to allow tandem parking; and
- Recommendation for City Council approval of an **Encroachment Agreement** to construct a portion of an elevated garage and parking deck with guardrails, in addition to minor landscape planting and the installation of two new street lights at the top of the North Street stairs within the North Street public right-of-way.

### PROJECT INFORMATION

**Applicants/** Andrew Skurman Architects

**Property Owners** Jane and Dean Woodman

**Location/Size** 6 Josephine Street; APN 065-211-07  
8,851 square feet (see **Exhibit A** for vicinity map)

**General Plan** High Density Residential Land Use Designation

**Zoning** Multiple Residential (R-3) Zoning District

**Authority** Construction of new two-family residences requires a Design Review Permit per Section 10.54.050.B.1. A Design Review Permit is also required for the demolition of more than 51% of existing residences per Section 10.54.050.B.15.

Tandem parking may be permitted for two family dwellings subject to a Conditional Use Permit per Section 10.40.120.B.1.

Construction of structures in the public right-of-way requires an Encroachment Agreement per Section 10.56.030.B.

**CEQA** The project consists of the demolition and new construction of a two-family residence. The project is exempt pursuant to Section 15303(b) (New Construction) of the CEQA Guidelines. Section 15303(b) provides an exemption for the construction of a duplex or similar multi-family residential structure.

ITEM NO. 2 PAGE 1

**EXHIBIT G**

## **BACKGROUND**

The existing residence was constructed in 1892 and is comprised of three stories. The residence has been historically utilized for single and multi-family residential purposes. Since the 1980's, the current property owners have utilized the existing residence as a single family use.

On June 3, 1980, the City Council approved an Encroachment Agreement to allow for the demolition of an existing one-car garage and the new construction of a two-car parking deck to be partially located within the North Street public right-of-way (see **Exhibit F**).

## **HISTORIC LANDMARKS BOARD REVIEW**

Pursuant to the City Council policy regarding properties older than 50 years, the Historic Landmarks Board (HLB) reviewed the project on March 28, 2012. The HLB found that the residence has a modest degree of integrity and minimal historical significance associated with the property (See **Exhibit H**); therefore the HLB has not provided a recommendation to the Planning Commission regarding the proposed project.

## **PROJECT DESCRIPTION**

### **SITE LOCATION**

The subject parcel is located on a downward sloping corner lot fronting Josephine Street to the west, Bridgeway to the east, and North Street to the south. Access to the site is provided by either Josephine Street or North Street.

### **STRUCTURES AND LAND USE**

The applicant is proposing to demolish the existing 4,236 square foot single family residence and related exterior on-site improvements such as adjacent steps, paving, and garden walls. The demolition also includes the existing elevated deck which partially encroaches into the North Street public right-of-way. The only structure proposed to remain is the foundation of the existing parking deck. All other landscape and hardscape improvements within the North Street public right-of-way is proposed to be removed with the exception of the existing rockery and wood retaining walls as shown on Sheets A1.0.1 and A1.1.1.

The applicant is proposing to replace the existing structure with the new construction of a three-story, 5,046 square foot two-unit residence. As detailed on Sheet T-1, Unit 1 is proposed to be approximately 3,965 and located on the second (middle) and third (top) floors. The second unit is proposed to be approximately 1,081 square feet and will be located on the first (ground) floor. The project also includes a two-car garage and parking deck to be constructed on top of the existing parking deck. Approximately one-half of the garage and parking deck is located within the North Street public right-of-way as shown on Sheet A1.1.1. A guardrail adjacent to the parking deck will be constructed entirely within the North Street public right-of-way.

Tandem parking is also proposed so that each unit will have the use of one covered parking space and one parking space to be located directly behind the covered parking space.

Lastly, the applicant is proposing to install two new concrete light posts at the top of the North Street stairs to match the existing North Street light posts. The proposed light posts are located within the North Street public right-of-way as shown on Sheet A1.1.1 of **Exhibit D** and Sheet A3.1 of **Exhibit E**.

### ***Materials and Finishes***

The applicant is proposing the following materials and finishes:

- ✓ Wood shingles for the roof with a brown finish.
- ✓ Wood shingles for the siding with a grey finish.
- ✓ Wood trim painted with a white finish.

### **Landscaping**

As depicted on Sheet A1.1.1, the applicant is proposing to plant Boston Ivy within the North Street public right-of-way adjacent to the garage and parking deck, in addition to planting one Pittosporum tenuifolium "Silver Sheen" along the northwest property line. The applicant is indicated that the tree will be grown to a maximum height of six feet above the third floor deck.

See Exhibit C for the applicant's project description, Exhibit D for the project plans and Exhibits E and F for the applicant's project renderings, photosimulations, and photographs of the project site.

## **PROJECT ANALYSIS**

### **GENERAL PLAN CONSISTENCY**

In order to approve the project the Planning Commission must determine whether the project is consistent with the General Plan. The project site is located within the General Plan's High Density Residential land use category. As specified on page 2-23 of the General Plan, the High Density land use category "is envisioned to maintain a mix of single family residences, condominiums, and apartment buildings...which provide opportunities for residents to live within easy walking distance to commuter and shopping facilities." The site is also located in "The Hill" neighborhood, which is characterized by large older single family homes mixed with multi-family condominiums and apartment units towards and within the downtown area. General Plan policies would allow infill and some intensification of densities close to the commercial area as well as new second units at selected sites. The following General Plan Policies and Programs that Staff has identified as the most relevant to the proposed project.

***Policy LU – 1.4 High Density Residential. Allow a mix of housing types at high density in those areas that are located near transportation, commercial and public services as described in Table 2-1, while recognizing that maximum number of units may not be achieved on all sites due to parcel configuration and other site constraints.***

Based on the size of the parcel, the site could allow a maximum density of five units. The applicant is proposing two units based on the steep downward topography of the site and parking requirements.

***Policy CD – 1.3 Neighborhood Compatibility. Provide that all new residential structures, all residential structures that are to be removed and replaced, and those structures that are to be significantly remodeled, are designed to complement their setting and the other buildings in the neighborhood.***

The neighborhood is comprised of a variety of architectural styles, in addition to a range of building materials. Staff suggests the proposed wooden materials are in keeping and representative of similar materials utilized in The Hill neighborhood. Additionally, the proposed mass and scale of the two-unit residence is generally consistent with that of the residence proposed to be demolished. As such, the combination of materials, mass, scale, and proposed architecture will be compatible with and complement the neighborhood.

***Policy CD – 3.1: Private Views. Locate and design new and significantly remodeled structures and landscape improvements so as to minimize the interference with primary views from structures of neighboring properties. Some minor loss of view may be consistent with this policy if necessary to protect a property right.***

This General Plan policy specifies that all new structures should be designed to minimize interference with the primary views of neighboring properties. However, the policy continues to state that some minor view loss may be approved if necessary to protect the property rights of the applicant. The project has been designed to mitigate any view impacts from structures on neighboring properties. As such, based on the architectural design, mass, scale, and location of the two-unit residence relative to the surrounding residences, staff suggests the project will not impact private views.

**Policy CD – 3.2: Public Views. Locate and design new and significantly remodeled structures and other private and public improvements with consideration for their impact on significant public views and view corridors.**

As discussed in the *Design Review Permit* section of the Staff Report, staff suggests the project will not negatively and/or significantly impact any public views, therefore, the project can be found to be consistent with the subject General Plan policy.

**ZONING CONSISTENCY**

The Project Summary Table below compares the development standards of the R-3 Zoning District with the existing conditions and the proposed project. The table shows that the project is in compliance with the development standards of the R-3 Zoning District.

**Project Summary Table**

<b>Development Standard</b>	<b>Existing</b>	<b>Ordinance</b>	<b>Proposal</b>	<b>Compliance</b>
<b>Parcel Area (square feet)</b>	Total: 8,851	5,000	No Change	Yes
<b>Land Use:</b>	Single Family	Single and Multi-Family Residential	Two-Family	Yes
<b>Dwelling Units:</b>	1 dwelling unit	1 dwelling unit per 1,500 square feet parcel area	2 Units	Yes
<b>Setbacks:</b> <i>Right (North) Side:</i> <i>Left (South) Side:</i> <i>Rear:</i>	7'5" 5' 86'	0' 5' 0'	0' 5' 26'5"	Yes <sup>1</sup>
<b>Height (feet):</b>	32'6"	32' Average	32'	Yes
<b>Building Coverage (square feet):</b>	3,394 sq. ft. (38%)	4,425 sq.ft. max (50% max )	3,897 sq. ft. (44%)	Yes
<b>Floor Area (square feet):</b>	4,236 sq.ft. (0.48 FAR)	7,081 sq.ft. max (0.80 FAR max)	5,046 sq.ft. (0.57 FAR)	Yes
<b>Impervious Surface (square feet):</b>	4,595 sq. ft. (52%)	6,638 sq. ft. max (75%)	4,627 sq. ft. (52%)	Yes
<b>Parking:</b>	2 space	2 spaces per unit	4	Yes

1. Per Section 10.40.070.C of the Zoning Ordinance, no setback shall be required from parcel lines adjoining two intersecting streets or rights-of-way.

### **DESIGN REVIEW PERMIT**

In order to approve or conditionally approve the Design Review Permit, the Planning Commission must determine the project is in conformance with the required Design Review Findings (Section 10.54.050 of the Zoning Ordinance). Specific findings have been highlighted below.

#### ***Neighborhood Compatibility***

Required Finding No. 2 in Section 10.54.050.D states that the Planning Commission must favorably find that:

*The proposed architecture and site design complements the surrounding neighborhood and/or district by either: (a) Maintaining the prevailing design character of the neighborhood and/or district; or (b) introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.*

The project architecture is designed with a similar mass and scale as the existing single family residence in order to maintain the prevailing character of the project relative to the neighborhood. Although the proposed two-unit residence is designed with an updated architectural design and new materials, based on the project plans, renderings, and photosimulations as depicted in **Exhibit E**, staff suggests the project will be compatible with the neighborhood.

#### ***Public and Primary Views***

Required Finding No. 4 in Section 10.54.050.D states that the Planning Commission must favorably find that:

*The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.*

Section 10.88 defines "public view" as

*"Any view from a public right-of-way, including from a public road, street, sidewalk, pedestrian lane or stair, trail, or pathway."*

Chapter 10.88 defines views as,

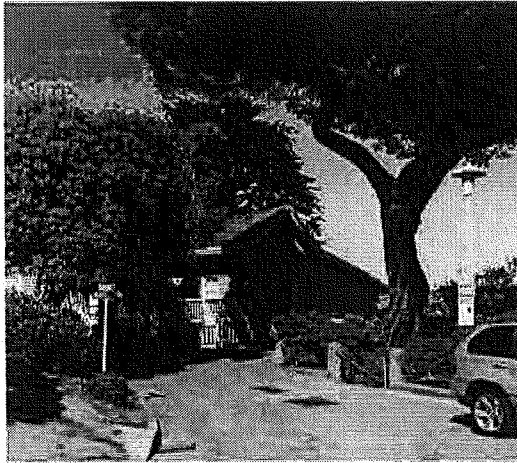
*any view of the Sausalito Waterfront, San Francisco Waterfront, San Francisco Bay, Mt. Tam, Strawberry Point, Tiburon, Belvedere, Angel Island, East Bay, and/or the City of San Francisco or any view greater than 300 feet distance and/or including significant aesthetic, cultural, natural or historical features. The term "view" does not mean an unobstructed panorama of all or any of the above.*

Chapter 10.88 defines primary views as,

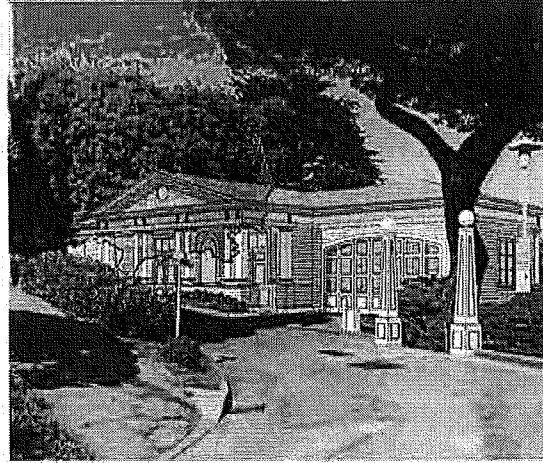
*any view distance from primary viewing areas of a dwelling such as the living room, dining room, kitchen, master bedroom, and deck or patio spaces serving such living area. A secondary view shall be any view from bathrooms, accessory bedrooms, passageways and utility areas.*

The project has been designed on the site to avoid impacts to any existing private views. Specifically, the project has been designed to maintain all existing views from the adjacent property owners. Letters of support for the project have been submitted by the adjacent property owners at 5 Josephine and 12 Josephine Street. Furthermore, the two-unit residence will maintain a similar mass, scale, and location as the existing residence in order to not negatively impact or exacerbate any existing conditions related to v.

Although the project includes the construction of a two-car garage over an existing parking deck, staff suggests the proposed garage will only minimally obstruct a public view as depicted in the photomossimulation below. As such, staff suggests the project is consistent with this finding based on the dog-legged orientation of the street, the elevation of the street relative to public vantage points, the downward sloping topography of the site, the mass, scale, and location of project, including the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation. The only current public view passers-by may see is if a pedestrian stops at the existing parking deck and looks over the cars parking on the street.



*Existing Residence*



*Proposed Residence*

### **Privacy**

Required Finding No. 9 in Section 10.54.050.D states that the Planning Commission must favorably find that:

*The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing and window, deck and patio configurations.*

The project is designed to provide a reasonable level of privacy for the adjacent properties. Specifically, the north elevation is designed to locate windows and doors in such a way as to maintain the highest level of privacy as it relates to 12 Josephine Street. 12 Josephine Street is located directly north and contiguous to the project site. Furthermore, due to the downward sloping nature of the project site, the North Street public right-of-way to the south and no developable properties to the east, staff suggests the project will not impact the surrounding properties. Lastly, although the City has received a letter from the property owners at 425 Bridgeway stating that the proposed second unit located on the First floor would impact their privacy (see **Exhibit H.1**), staff suggests that the proposed residence and accessory garden will not negative impact the privacy of 425 Bridgeway due to the topography, orientation and location of the proposed two-unit residence relative to the Bridgeway property.

### **Light and Air**

Required Finding No. 7 in Section 10.54.050.D states that the Planning Commission must favorably find that:

*The design and location of buildings provide adequate light and air for the project site, adjacent properties and the general public.*

ITEM NO. 2 PAGE 6



The project is designed to generally maintain a similar mass, scale and location of the existing residence, therefore staff suggests the project will be able to maintain the similar light and air conditions relative to adjacent properties and the general public, thus demonstrating consistency with the subject finding.

### **Circulation**

Required Finding No. 10 in Section 10.54.050.D states that the Planning Commission must favorably find that:

*Proposed entrances, existing, internal circulation and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.*

The project is designed to maintain the general spatial relationship of the existing residence as it relates to access and circulation on Josephine Street and North Street. Specifically, the project is designed to reconstruct the previously approved parking deck in order to provide four off-street parking spaces parked in tandem. Although the project is requesting the use of tandem parking, there is adequate back-out distancing to the Josephine Street and North Street roadways which facilitates an appropriate level of traffic safety and ease of movement.

### **Conditional Use Permit**

The tandem parking spaces requested by the applicant require the approval of a Conditional Use Permit. The standards for approval of a CUP state that the tandem spaces must be located for a two-family dwelling where both parking spaces are intended to serve one and the same dwelling unit. A condition of approval is recommended to be imposed on the project to require the property owner(s) to allocate two tandem parking spaces for each unit, thus satisfying the Conditional Use Permit standard.

The proposed tandem parking area is consistent with the General Plan, the purposes of the Zoning Ordinance and the purposes of the R-3 Zoning District. Staff supports the tandem parking arrangement as a means of providing sufficient parking to accommodate the two residential units, while not impacting the existing on-street parking and/or circulation patterns on Josephine Street and North Street roadways.

In order to approve or conditionally approve the Conditional Use Permit, the Planning Commission must determine that the proposed project is in conformance with the required findings listed in Sections 10.60.050 of the Zoning Ordinance. Staff suggests the requisite findings can be made to approve the Conditional Use Permit as depicted in Attachment 1 of **Exhibit A**.

### **Encroachment Agreement**

Pursuant to Section 10.56.010, the purpose of the Encroachment Agreement is to provide "an opportunity to review permanent and/or semi-permanent encroachments onto public lands, easements, and rights-of-way of the City." An Encroachment Agreement is being requested to allow the construction and use of a portion of the two-car garage with accessory parking deck and guardrail within the North Street public right-of-way for parking purposes at 6 Josephine Street and landscape plantings adjacent to the proposed garage and parking deck. Additionally, the applicant is proposing to install two street lights at the top of the North Street stairs to enhance the aesthetics of the site, provide pedestrian lighting, and as a public benefit to the community. The applicant will install the street lights and connect the street lights to the existing City lights electrical system. The Department of Public Works supports the installation of the lights and the connectivity to the City's street light electrical system. The Department of Public Works has also stated that they will maintain the light fixtures once the fixtures have been installed.

As summarized previously, the City Council approved the construction of a two-car parking deck in the in 1980. The applicant is proposing to construct a two-car garage and accessory parking area with related improvements within the footprint of the previous encroachment. In order to recommend City Council approval of the encroachment agreement, the Planning Commission must determine whether the

proposed encroachment is in conformance with the encroachment agreement findings listed in Section 10.56.060 of the Zoning Ordinance. Staff suggests the requisite findings can be achieved to support the issuance of the Encroachment Agreement to allow for the two-car garage, parking deck with guardrails, and the street lights as it relates to Finding A in Section 10.56.060

*The proposed encroachment is compatible with the surrounding area and will either improve or not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.*

The project site is located at the corner of Josephine Street and North Street. Both streets are very narrow. There is a sharp dogleg which occurs at the top of the North Street stairs where North Street intersects with Josephine Street. As depicted previously described in the *Public and Private Views* section of the report, based on the street orientation, site topography, the mass, scale, and location of the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation, the proposed encroachments will not significantly diminish the visual or public enjoyment of the streetscape. Although the project will create a new aesthetic along the streetscape for passers-by, staff suggests the physical use and enjoyment of the streetscape will not be altered beyond its existing conditions.

An issue for the Planning Commission's consideration is that the applicant is proposing to remove the existing hardscape improvements (stone paths, entrance gate/trellis, and rail road tie stairs) within the North Street public right-of-way as depicted on Sheets A1.0.1 and A1.1.1 of the project plans. The existing rockery and wood retaining walls are proposed to remain. There are no records regarding when and by whom the retaining walls were installed by (i.e., City during the construction of the North Street stairs and/or by a previous owner). The applicant is not proposing the continued maintenance of the subject retaining walls.

A question for Planning Commission consideration is that the site has some features which are similar to features considered by the Planning Commission in the Bruce Residence project on Marion Avenue. The Bruce project included a request for an Encroachment Agreement to allow the after-the-fact approval of landscape and hardscape improvements within the Marion Avenue public right-of-way. The Planning Commission expressed concerns with the perception of the privatization of public lands and its conditions of approval included attention on the following issues:

1. Installation of a fence along the property line adjacent to the Marion Avenue public right-of-way.
2. Removal of existing hardscape improvements in the Marion Avenue public right-of-way.
3. Maintenance of the existing landscaping improvements within the Marion Avenue public right-of-way.

Although the applicant is proposing to remove all existing hardscape improvements, with the exception of the existing rockery and wood retaining walls within the North Street public right-of-way, should a condition of approval be imposed on the applicant to construct a fence along the property line adjacent to the North Street public right-of-way to ensure there is no public perception of the privatization of public lands.

## **PUBLIC NOTICE AND CORRESPONDENCE**

- May 30, 2013 – A public hearing notice was posted on the project site and mailed to all property owners and residents within 300 feet of the project site for the June 12, 2013 Planning Commission meeting.
- June 13, 2013 – A public hearing notice was posted on the project site and mailed to all property owners and residents within 300 feet of the project site for the June 26, 2013 Planning Commission meeting.

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- The applicant has provided a copy of the neighborhood outreach provided to property owners within 300 feet of the project site (**Exhibit I**).
- Correspondence received is provided in **Exhibit J**.

## **RECOMMENDATION**

Staff recommends the Planning Commission approve the attached draft resolution (**Exhibit A**) which:

- Approves a **Design Review Permit** for the demolition of an existing single family residence and the new construction of a two family residence on a 8,851 square foot parcel; and
- Approves of a **Conditional Use Permit** to allow tandem parking; and
- Recommends for City Council approval an **Encroachment Agreement** to construct an elevated garage, parking deck, and related site improvements in the North Street public right-of-way.

Alternatively, the Planning Commission may:

- Continue the hearing for additional information and/or project revisions; or
- Direct staff to prepare a resolution for denial of the Design Review Permit, Conditional Use Permit, and Encroachment Agreement.

## **EXHIBITS**

- A. Draft Resolution of approval
- B. Vicinity Map
- C. Applicant's Project Description, date stamped June 20, 2013
- D. Project Plans, date stamped June 19, 2013
- E. Project renderings and Photosimulations, date-stamped June 20, 2013.
- F. Site Photographs prepared by the applicant, dated February 12, 2013
- G. Approved Encroachment Agreement for the construction of a 2-car parking deck located within the North Street public right-of-way dated June 3, 1980
- H. Historic Landmarks Board Memorandum, dated March 28, 2012
- I. Neighborhood Outreach provided by the applicant, dated June 5, 2013
- J. Correspondence
  1. Samuel Barondes and Louann Brizendine, date-stamped June 3, 2013
  2. Stephen Buckley, date-stamped June 5, 2013
  3. Lonner Ralston, date-stamped June 5, 2013
  4. Nancy and Michael O'Callaghan, date-stamped June 5, 2013
  5. Davis and Elizabeth Alleavitch, date-stamped June 5, 2013
  6. Elaine Zhou, date-stamped June 5, 2013
  7. Paul Ronan, date-stamped June 10, 2013
  8. Jackie Ronan, date-stamped June 10, 2013
  9. Lonner Ralston, date-stamped June 18, 2013
  10. Carolyn and Walter Treiber, date-stamped June 18, 2013

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ITEM NO. 2 PAGE 10

SAUSALITO PLANNING COMMISSION  
RESOLUTION NO. 2013-XX

APPROVAL OF A DESIGN REVIEW PERMIT  
FOR THE CONSTRUCTION OF A NEW TWO-FAMILY RESIDENCE, A CONDITIONAL  
USE PERMIT TO ALLOW TANDEM PARKING,  
AND RECOMMENDING CITY COUNCIL APPROVAL OF AN ENCROACHMENT  
AGREEMENT FOR CONSTRUCTION OF A GARAGE, PARKING DECK WITH  
GUARDRAILS, LANDSCAPING AND INSTALLATION OF TWO STREET LIGHTS IN  
THE PUBLIC RIGHT-OF-WAY AT 6 JOSEPHINE AVENUE  
(DR/CUP/EA 13-037)

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**WHEREAS**, on February 12, 2013 an application was filed by the applicant, Andrew Skurman Architects on behalf of the property owners, Jane and Dean Woodman, requesting Planning Commission approval of a Design Review Permit to demolish the existing residence on the site and construct a new two-family residence with a two-car garage and parking deck, Conditional Use Permit to allow tandem parking, and an recommendation of City Council approval of an Encroachment Agreement to construct a portion of the garage, parking deck with guardrails, landscaping, and installation of two street lights in the North Street public right-of-way at 6 Josephine Street (APN 065-211-07); and

**WHEREAS**, the project site is located within the High Density Residential Land Use Designation, and the Multi-Family Residential (R-3) Zoning District; and

**WHEREAS**, the Planning Commission conducted a duly-noticed public hearing on June 26, 2013 at which time all interested persons were given an opportunity to be heard; and

**WHEREAS**, the Planning Commission has reviewed and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed project; and

**WHEREAS**, the Planning Commission has reviewed and considered the project plans titled "Woodman Residence", date-stamped received June 19, 2013; and

**WHEREAS**, the Planning Commission finds that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

**WHEREAS**, approval of the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(b) (New Construction) as the new residence will be replacing an existing residence in an established neighborhood.

**NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:**

1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Sections 15303(b).
2. The Design Review Permit for construction of a new two-family residence is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Woodman Residence", date-stamped received June 19, 2013 (Attachment 3).

ITEM NO. 2 PAGE 4  
Exhibit A

3. The Conditional Use Permit to allow tandem parking is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Woodman Residence", date-stamped received June 19, 2013 (Attachment 3).
4. The Planning Commission recommends City Council approval of an encroachment agreement for the construction a portion of the garage, parking deck with guardrails, and installation of two street lights in the North Street public right-of-way at 6 Josephine Street, based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Woodman Residence", date-stamped received June 19, 2013 (Attachment 3).

**RESOLUTION PASSED AND ADOPTED**, at the regular meeting of the Sausalito Planning Commission on the XX day of June, 2013, by the following vote:

AYES:           Commissioner:  
NOES:           Commissioner:  
ABSENT:        Commissioner:  
ABSTAIN:       Commissioner:

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Jeremy Graves, AICP  
Secretary to the Planning Commission

Attachments

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans

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SAUSALITO PLANNING COMMISSION  
JUNE 26, 2013  
6 JOSEPHINE STREET  
DR/CUP/EA 13-037

ATTACHMENT 1: FINDINGS

1. DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

*The proposed project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance.*

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The Hill neighborhood, as defined by the General Plan, is comprised of a variety of architectural styles, in addition to a range of building materials. The project's architectural style and high quality building materials are in keeping and representative of similar materials utilized in the Hill neighborhood. Additionally, the proposed mass and scale of the two-unit residence is generally consistent with that of the residence proposed to be demolished. As such, the combination of materials, mass, scale, and proposed architecture will be compatible with and complement the neighborhood.

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

*The project is designed with a similar mass and scale and the existing single family residence. The Zoning District and General Plan designation for the property identify the site for High Density Residential Land Use Designation. The project two-family residence is designed below the maximum general development standards for a property located in the R-3 Zoning District.*

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

*As described in the Staff Report dated June 26, 2013, the project will not negatively impact private and public views based on the doglegged orientation of the street, the elevation of the street relative to public vantage points, the downward sloping topography of the site, the mass, scale, and location of project, including the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation. The only public view one sees is if a pedestrian stops at the existing parking deck and looks over the cars parking on the street.*

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

*The subject parcel is not located along a ridgeline.*

ITEM NO. 2 PAGE 13

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

*The site currently has a large amount of existing and mature trees and vegetation, and the applicant will be maintaining a vast majority of the current on-site landscaping. Additionally, the applicant is proposing to install a garden area adjacent to the second unit of the first floor of the residence, as well as plant Blue Ivy within the North Street public right-of-way and one Pittosporum tenuifolium "Silver Sheen" along the northwest property line.*

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

*The project is designed to generally maintain a similar mass, scale and location of the existing residence, accordingly, the project will be able to maintain the similar light and air conditions relative to adjacent properties and the general public.*

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

*The project is designed with faux chimneys related to the aesthetic of the design, therefore no air quality impacts are anticipated. Additionally, no exterior mechanical equipment is being proposed, therefore no impacts to noise is anticipated. Lastly, the project is subject to the standard condition that all exterior lighting be shaded and downward facing.*

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

*The project is designed to provide a reasonable level of privacy for the adjacent properties. Specifically, the north elevation is designed to locate windows and doors in such a way as to maintain the highest level of privacy as it relates to 12 Josephine Street which is located directly adjacent to the project site. Furthermore, due to the downward sloping nature of the project site, the North Street public right-of-way to the south and no developable properties to the east, therefore the project will not impact the surrounding properties.*

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

*The project is designed to maintain the general special relationship of the existing residence as it relates to access and circulation on Josephine Street and North Street. Specifically, the project is designed to reconstruct the previously approved parking deck in order to provide parking. Although the project is requesting the use of tandem parking, there is adequate back-out distancing to the Josephine Street and North Street roadways which facilitates an appropriate level of traffic safety and ease of movement.*

- K) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened [Design] Review Findings).

*The project does not exceed 80 percent of the maximum allowed Floor Area Ratio and/or site coverage, therefore, the project does not require Heightened Design Review.*



## 2. CONDITIONAL USE PERMIT FINDINGS

Pursuant to the Municipal Code Section 10.60.050 (Conditional Use Permit), the Planning Commission finds:

- A. The proposed use is allowed with issuance of a Conditional Use Permit, pursuant to Chapters 10.20 through 10.28 (Zoning District Regulations), or Section 10.46.040 (Conditional Uses), Chapter 10.44 (Specific Use Requirements) or any other applicable section of the Title 10.

*Tandem parking is permitted with the issuance of a Conditional Use Permit in the Multi-Family Zoning Designation, as long as the tandem parking spaces are dedicated to the same living unit.*

- B. The proposed use is consistent with the General Plan, the purposes of the Zoning Ordinance, and the purposes of the applicable zoning district.

*As supported in the below findings, the project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance.*

- C. The proposed use, together with the applicable conditions, will not be detrimental to the public health, safety, or general welfare of the City.

*As supported in Design Review Permit Finding J, the project is designed to maintain the general special relationship of the existing residence as it relates to access and circulation on Josephine Street and North Street. Although the project is requesting the use of tandem parking, there is adequate back-out distancing to the Josephine Street and North Street roadways which facilitates an appropriate level of traffic safety and ease of movement.*

- D. The proposed use complies with each of the applicable provisions of the Zoning Ordinance.

*The Zoning Ordinance states that tandem parking is permitted with a Conditional Use Permit, as long as the two parking spaces are designated for the same living unit. A Condition of Approval has been written accordingly.*

- E. The proposed use or facility is properly located relative to the community as a whole and to land uses and transportation and service facilities in the vicinity.

*The tandem parking spaces are located within the footprint of a previously permitted and used parking deck. The use of the parking deck has functioned well and is properly located to serve the project site and accommodate off-street parking.*

- F. The size and shape of the subject property is adequate to provide features needed to ensure reasonable compatibility with land uses normally permitted in the surrounding area. Features may include but not be limited to yards, open spaces, walls and fences, parking, loading, landscaping, and such features as may be required by this Title or the Commission.

*The size and shape of the subject property is adequate to provide features needed to ensure reasonable compatibility with the project and uses as supported by the Staff Report dated June 26, 2013.*

- G. Public utilities and facilities are or will be adequate to serve the proposed use, including streets and highways paved (and of adequate width) for the quantity and type of traffic it will generate.

*As previously stated, the project is proposing to construct a garage and parking deck with the footprint of a previously constructed and used parking deck. The location of the garage and parking deck is located in such a way to not impede traffic circulation, therefore the garage and parking deck is adequately situated for the traffic generated by the project units.*

- H. The proposed use will not materially adversely affect nearby properties or their permitted uses.

*The use of two parking spaces in tandem will not materially adversely affect nearby properties of their permitted uses based on the dog-legged orientation of the street, the elevation of the street relative to public vantage points, the downward sloping topography of the site, the mass, scale, and location of project, including the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation.*

- I. Findings required by Chapter 10.44 (Specific Use Requirements) for the approval of specific uses are made.

*There are no Findings required by Chapter 10.44 with regards to tandem parking.*

### 3. ENCROACHMENT AGREEMENT FINDINGS

In accordance with Zoning Ordinance Section 10.56.060, An Encroachment Agreement is favorably recommended based on the following finding:

- A) The proposed encroachment is compatible with the surrounding area and will either improve or not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.

*As stated in the June 26, 2013 Staff Report, based on the street orientation, site topography, the mass, scale, and location of the garage and parking deck within the North Street public right-of-way, and the existing mature vegetation, the proposed encroachments will not significantly diminish the visual or public enjoyment of the streetscape. Although the project will create a new aesthetic along the streetscape for passers-by, the physical use and enjoyment of the streetscape will not be altered beyond its existing conditions.*

- B) The encroachment will not adversely affect the usability or enjoyment of adjoining parcels nor create or extend an undesirable land use precedent.

*The encroachment does not impact access to adjoining parcels nor set a new land use precedent as it is solely for the driveway, parking area and associated improvements as it relates to the site's access.*

- C) The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable.

*The encroachment allows for a two-car garage, parking deck with guardrails, and related improvements within the North Street public right-of-way are all necessary to provide access parking for the site due to the steep topography and orientation of the property. The installation of the two-car garage and parking deck with guardrails in the public right-of-way is necessary to the reasonable use and enjoyment of the property.*

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- D) The proposed encroachment will not adversely affect the public circulation nor create or constitute a hazard to public safety.

*The project encroachments are not anticipated to adversely affect public circulation nor create or constitute a hazard to public safety in that the project will generally maintain the confines of the previously approved Encroachment Agreement for the same parking purposes. The existing parking deck and use has not adversely affected public circulation or constituted a hazard to public safety. Furthermore, the two street lights will be installed off the paved road and adjacent to the existing North Street stairs.*

- E) The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvement of streets or pedestrian ways.

*The value of the proposed improvements in the right-of-way would not preclude or make difficult the establishment or improvement of streets or pedestrian ways in the future.*

SAUSALITO PLANNING COMMISSION  
JUNE 26, 2013  
6 JOSEPHINE STREET  
DR/CUP/EA 13-037

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions of approval apply to the plans prepared by Andrew Skurman Architect, entitled "Woodman Residence" date-stamped received June 19, 2013.

General Conditions

1. All exterior lighting shall be shielded and downward facing.
2. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards".
3. Upon Building Permit submittal the Conditions of Approval shall be shown on the construction drawings.
4. Upon Building Permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval.
5. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.
6. Third party peer reviews shall be required as determined by the City Engineer or authorized designee. Such review shall be performed at the Developer's expense and may include the review of the final soils report, grading, hydrology, lot closure calculations, improvement plans, erosion control plans and post construction pollution prevention plans, field inspections of permitted work. Developer shall submit a deposit to the City prior to third party review.
7. Prior to issuance of a Construction Permit, the Director of Public Works or designee shall approve the design, location, and means of installation of the two lights to be located at the top of the North Street Stairs.
8. The owner(s) of the property shall allocate two parking spaces in tandem to each unit.
9. All exterior lighting shall be shielded and downward facing.

Stormwater Pollution Prevention

10. Prior to issuance of a Construction Permit the Developer's Civil Engineer shall submit a detailed erosion control plan for review and approval by the Department of Public Works. Erosion control plan shall incorporate guidelines and measures from the most current Marin County Stormwater Pollution Prevention Program (MCSTOPPP) Construction Guidance Documents for erosion and sediment control.
11. Grading work shall be limited to between April 1 and October 15 of any year. Between October 15 and April 15, all unvegetated ground surfaces shall be covered or otherwise protected against storm driven erosion.
12. The applicant's contractor shall implement and maintain erosion control measures per the

approved erosion control plan if construction occurs between October 15<sup>th</sup> and May 1<sup>st</sup>. During the remainder of the construction project, erosion control materials shall be stock piled on site for use should rain be forecast.

13. Prior to issuance of a Construction Permit, an Erosion Control Plan shall be developed to demonstrate dust control measures during construction.

#### **Street Conditions**

14. Applicant shall repair or replace, at no expense to the City, damage to existing public facilities due to construction or in poor condition. Contractor shall save and protect all existing public facilities not designated for removal or modification within the project limits.
15. Prior to issuance of a Construction Permit, an encroachment permit shall be obtained from the Department of Public Works prior to using the public right of way for non-public purposes (e.g., private parking, material & debris box storage, sidewalk construction or demolition, driveway connection).
16. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.

#### **Utility Conditions**

17. Provide a video of the existing sanitary sewer lateral for review by the City Sanitary Sewer Systems coordinator. Any damage to the existing sanitary sewer in the vicinity of the new wall shall be repaired to the satisfaction of the Sanitary Sewer System's Coordinator.

#### **Engineering Conditions**

18. Construction materials, equipment, vehicles, and debris boxes shall be placed on site exclusively to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris box shall be emptied on a regular basis, else as directed by the City. Material stock piles & debris boxes shall be covered when not being accessed or filled to prevent material from blowing around the neighborhood. Construction materials, equipment, vehicles, and debris boxes shall be placed off-site only after securing an encroachment permit.
19. Prior to issuance of a Construction Permit, a Final geotechnical report shall be prepared by a licensed geotechnical engineer. The report shall also evaluate groundwater and develop recommendations for adequate structural foundations, on-site parking lot pavement structure, subdrainage to collect and convey groundwater discharges to public drain system. The report shall also evaluate and make recommendations as necessary to manage and control soil creep. The report shall be evaluated and approved by the Engineering staff prior to issuance of Building permits.
21. Prior to issuance of a Construction Permit, all shoring and foundation systems that utilize tie backs shall be designed to not extend beyond property boundaries. Exception can be made if the property owner obtains a tie-back easement from affected private property owners. No exception will be granted for encroachments into public right-of-way.
22. Prior to issuance of a Construction Permit, the garage floor elevation shall be set at a level to be above street grade to limit rainfall runoff from entering the structure. The garage driveway shall be designed to not require pipe culvert across the frontage.
23. Prior to issuance of a Construction Permit, a construction staging plan and construction schedule shall be submitted for review and approval of the City Engineer or designee.
24. Prior to issuance of a Construction Permit, an offsite parking plan for the construction

staging shall be submitted for approval. The transportation of workers to and from the site shall be discussed in the plan. Construction workers shall be prohibited from using more than one on-street parking space in the vicinity of the project.

#### **Fire Department Conditions**

25. CFC Section 903.2 fire sprinkler systems are required in all new construction. Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District N.F.P.A Standard(s) 13, 13D or 13R.
26. The address shall be posted in accordance with requirements of the California Fire Code.
27. Smoke Detectors and Carbon Monoxide Detectors shall be installed in accordance with the California Building Code and California Fire Code.
28. Non-combustible roofing is required (Note: A "non-combustible" roof is a Class A roof as defined in the California Building Code.
29. The applicant shall comply with California Fire Code and Public Resource Code 4291 requirements relating to the clearance of flammable brush and weeds. A minimum clearance of 30 feet from structures and 10 feet from roads and property lines shall be maintained.
30. CFC 202 Prior to Occupancy, a spark arrestor shall be installed on the chimney.
31. Final occupancy approval shall not be granted until authorization to the Community Development Department has been received from the Fire Department.

#### **Advisory Notes**

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

32. This approval will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
33. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
34. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
35. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.
36. Grading/drainage permit(s) shall be obtained from the Department of Public Works for any earthwork in excess of 50 cubic yards.
37. Grading on hillside lands composed of geologic formations known to slide will be limited to between April 15 and October 15 without written approval of the City Engineer.

38. Pursuant to Municipal Code Section 11.12.030.C, applicants shall provide protection for any protected trees (as defined by Section 11.12.020) which are to remain standing.
39. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
40. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
41. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:
  - Weekdays – Between 8:00 a.m. and 6:00 p.m.
  - Saturdays – Between 9:00 a.m. and 5:00 p.m.
  - Sundays – Prohibited
  - City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

42. Pursuant to Municipal Code Section 18.08.020, overhead electrical and communication service drops shall be placed underground when the main electrical service equipment (including the panel) is relocated, replaced, and/or modified.
43. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated service laterals shall be repaired prior to approval of the building permit.
44. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
  - a. Marin Municipal Water District (415-945-1400), including landscaping and irrigation regulations;
  - b. Marin County Environmental Health Services (415-499-6907), including spas and septic systems, as well as facilities for preparation or sale of food;
  - c. Southern Marin Fire Protection District – (415-388-8182); and
  - d. Bay Conservation and Development Commission – (415-352-3600).
45. Pursuant to Municipal Code Section 10.54.100, construction activities undertaken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

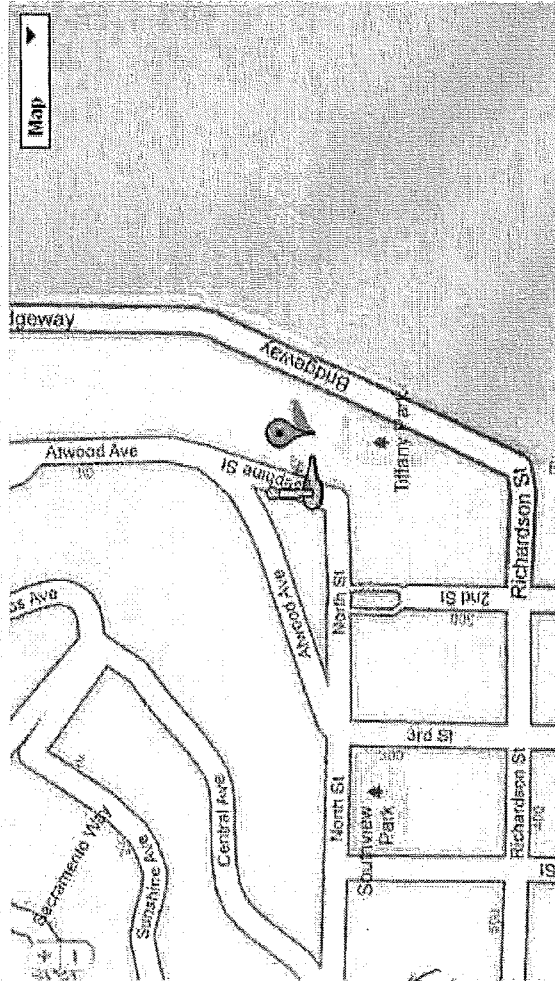
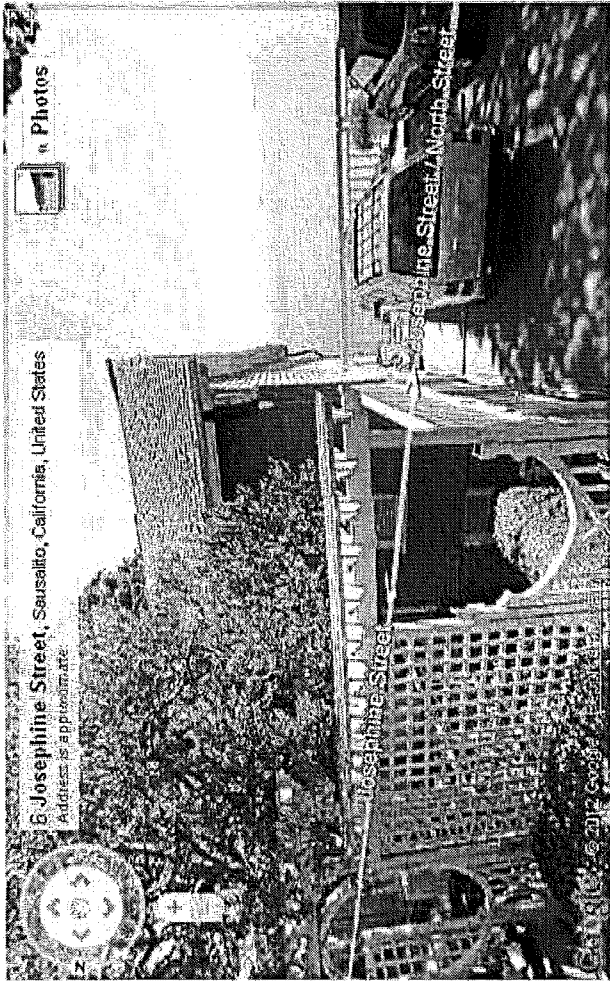
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SAUSALITO PLANNING COMMISSION  
JUNE 26, 2013  
6 JOSEPHINE STREET  
DR/CUP/EA 13-037

ATTACHMENT 3: PROJECT PLANS  
"Woodman Residence" date-stamped received June 19, 2013



Vicinity Map  
6 Josephine Avenue



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Exhibit D  
(1 page)

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ANDREW SKURMAN, ARCHITECT  
3654 SACRAMENTO STREET  
SAN FRANCISCO, CALIFORNIA 94118  
415/440 - 4480  
FAX : 415/440 - 4488

RECEIVED  
JUN 19 2013  
CITY OF SAUSALITO  
PLANNING DEPARTMENT

19 June 2013

Heidi Scoble  
City of Sausalito  
Planning Department  
420 Litho Street  
Sausalito, Ca. 94965

Re: 6 Josephine St  
Sausalito, Ca

Dear Ms. Scoble,

On Saturday 1 June 2013 we had an open house at 6 Josephine Street for the Woodman's neighbors to come and review the plans for the house proposed to replace their current house. After that meeting the Woodmans were notified by Lonner Ralston the owner of the multi-unit residence to the north of the Woodmans about a possible issue with one of his tenants view. They have met to review the issue and we have revised the plans in a manner agreeable to both the neighbors and the Woodmans. These revised plans dated 19 June 2013 have been submitted to your office. The changes made were as follows:

- The eastern most wall of the first and second floors along with the eastern edge of the deck at the third floor were angled back similar to a bay window reducing the length of the north wall and opening up the view to the northern neighbors.
- We are also proposing to plant a Pittosporum tenuifolium 'Silver Sheen' tree along the north property line which will block the side wall of 6 Josephine St from the neighbors. This tree will also be grown to a height of 6' above the third floor deck which will provide privacy to the neighbors.

Additional we are proposing a painted wood lattice with Boston ivy around the underside of the parking garage and deck. We are proposing this as way to give the garage a base and also to screen the underside of the deck from view.

Thank you in advance.

Best Regards,

Ed Watkins  
Andrew Skurman, Architect

Exhibit C  
(1 page)

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RECEIVED

JUN 19 2013

CITY OF SACRAMENTO  
COMMUNITY DEVELOPMENT

WOODMAN RESIDENCE

4 Josephine Street  
Sacramento, Ca. 95865



Andrew Skarstjan Architects  
3654 Sacramento Street  
San Francisco, CA 94118  
(415)440-4488 FAX: (415)440-4488

PLANNING RE-SUBMITTAL  
NOT FOR CONSTRUCTION

12 November 2012  
Planning Comments 25 April 2013  
Planning Re-Submittal 23 May 2013  
Revision 19 June 2013

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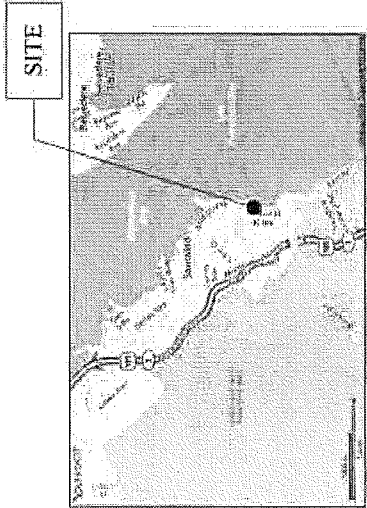
Exhibit D  
(26 pages)

6 Josephine Street

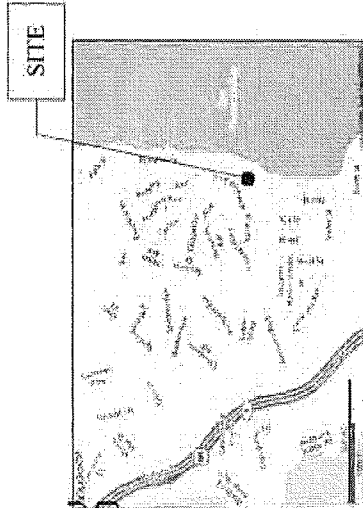


SAUSALITO, CALIFORNIA 94965

**MAPS**



**VICINITY MAP**



**CITY MAP**



**PROJECT DATA**

Address: 6 Josephine Street  
Sausalito, CA 94965  
A.P.N. 05-211-07  
Lot Area: 8,851.35 Sq. Ft.  
Zoning District: R-3 Multiple Family Residential  
Occupancy: Multi-Family Residence  
Height Limit: 32' Above Average Natural Grade  
Sprinkled: Yes (Deferred Submittal)  
Type of Construction: V  
FAR: 57%  
ELECTRICAL: 8517 SQ FT  
ALUMINUM: 8517 SQ FT  
876 SQ FT

**EXISTING**  
708 SQ FT IS TYPICAL  
1,008 SQ FT IS TYPICAL  
1,008 SQ FT IS TYPICAL  
899 SQ FT IS TYPICAL  
899 SQ FT IS TYPICAL  
899 SQ FT IS TYPICAL  
899 SQ FT IS TYPICAL  
899 SQ FT IS TYPICAL

**PROPOSED** 4812 SQ FT IS TYPICAL  
2,012 SQ FT IS TYPICAL  
1,012 SQ FT IS TYPICAL  
1,012 SQ FT IS TYPICAL  
1,012 SQ FT IS TYPICAL  
1,012 SQ FT IS TYPICAL  
1,012 SQ FT IS TYPICAL  
1,012 SQ FT IS TYPICAL

**NOTE:** QUANTITIES LISTED IN THIS DRAWING ARE APPROXIMATE AND SHOULD BE USED FOR GENERAL INFORMATION ONLY. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE QUANTITIES.

**BUILDING COVERABLE AREAS**  
ALLOWED: 50% OF SITE AREA  
8517 SQ FT X 2 = 17,034 SQ FT

**EXISTING** 1,008 SQ FT IS TYPICAL  
1,008 SQ FT IS TYPICAL  
1,008 SQ FT IS TYPICAL  
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**PROPOSED** 1,008 SQ FT IS TYPICAL  
1,008 SQ FT IS TYPICAL  
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1,008 SQ FT IS TYPICAL

**REPRODUCTION SURFACES**  
ALLOWED: 75% OF SITE AREA  
8517 SQ FT X .75 = 6,388 SQ FT

**EXISTING** 1,008 SQ FT IS TYPICAL  
1,008 SQ FT IS TYPICAL  
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**PROPOSED** 1,008 SQ FT IS TYPICAL  
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**PROJECT TEAM**

**ARCHITECT:**  
ANDREW SKURMAN ARCHITECTS  
1654 SACRAMENTO STREET  
SAN FRANCISCO, CA 94118  
415 440 4400 PHONE  
415 440 4488 FAX

**SCOPE OF WORK**

PROVIDE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR THE CONSTRUCTION OF A 10-UNIT MULTIFAMILY RESIDENTIAL BUILDING. THE PROJECT IS LOCATED AT 6 JOSEPHINE STREET, SAUSALITO, CALIFORNIA 94965.

**DRAWING INDEX**

- 1.0 SITE PLAN
- 1.1 EXISTING SITE PLAN
- 1.2 PROPOSED SITE PLAN
- 1.3 EXISTING AND PROPOSED SITE PLAN
- 1.4 EXISTING AND PROPOSED SITE PLAN
- 1.5 EXISTING AND PROPOSED SITE PLAN
- 1.6 EXISTING AND PROPOSED SITE PLAN
- 1.7 EXISTING AND PROPOSED SITE PLAN
- 1.8 EXISTING AND PROPOSED SITE PLAN
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- 1.98 EXISTING AND PROPOSED SITE PLAN
- 1.99 EXISTING AND PROPOSED SITE PLAN
- 2.00 EXISTING AND PROPOSED SITE PLAN

**Andrew Skurman,  
Architect**

3654 Sacramento Street  
San Francisco, CA 94118  
415 440 4400  
415 440 4488

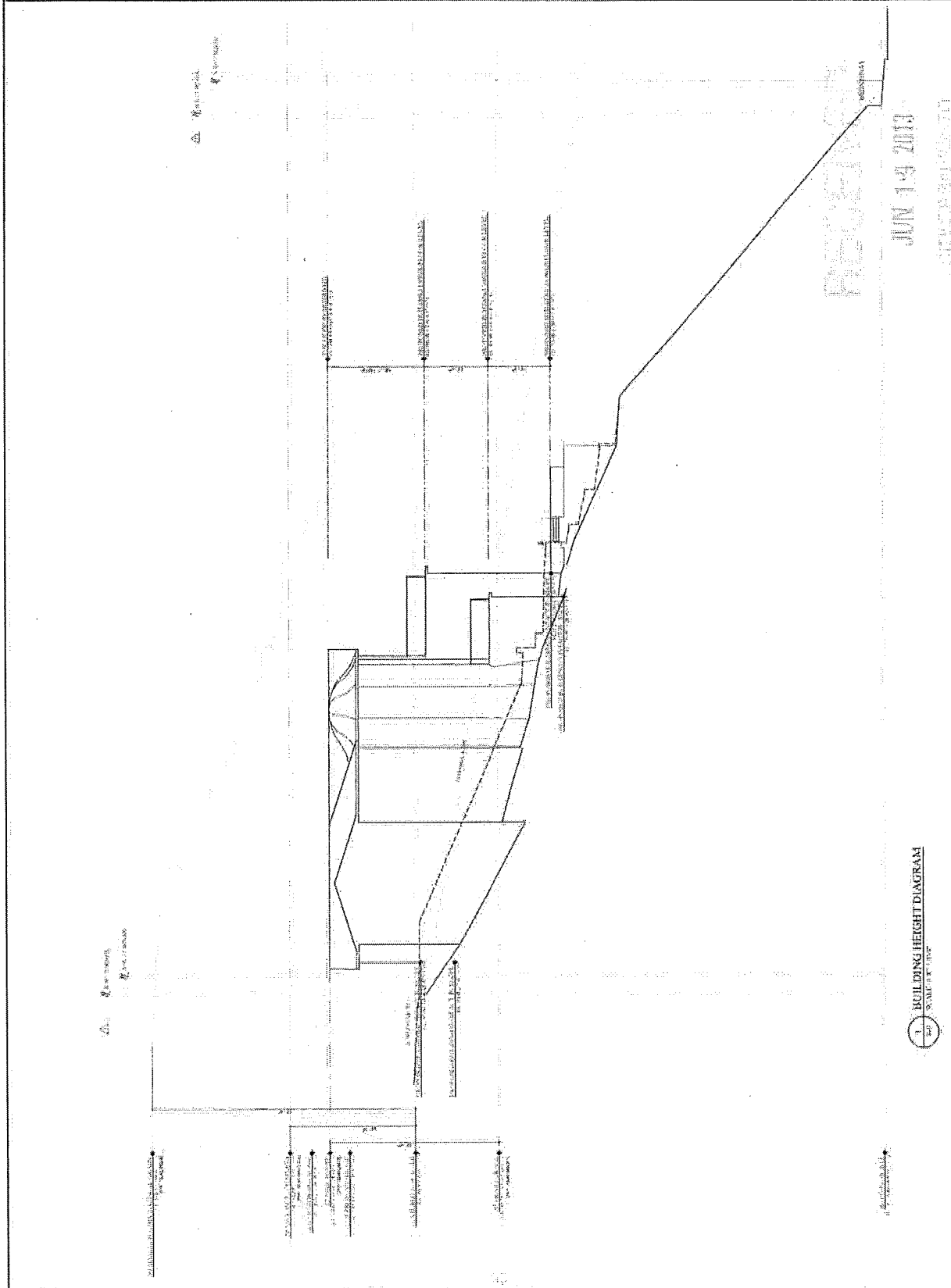
**WOODMAN RESIDENCE**  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN 05-211-07

**PROJ. DATA**  
SCOPE, MAPS  
& DWG INDEX

Project No. 0012  
LVS 4/2012  
DATE  
T-1

RECEIVED  
JUN 11 2012  
OFFICE

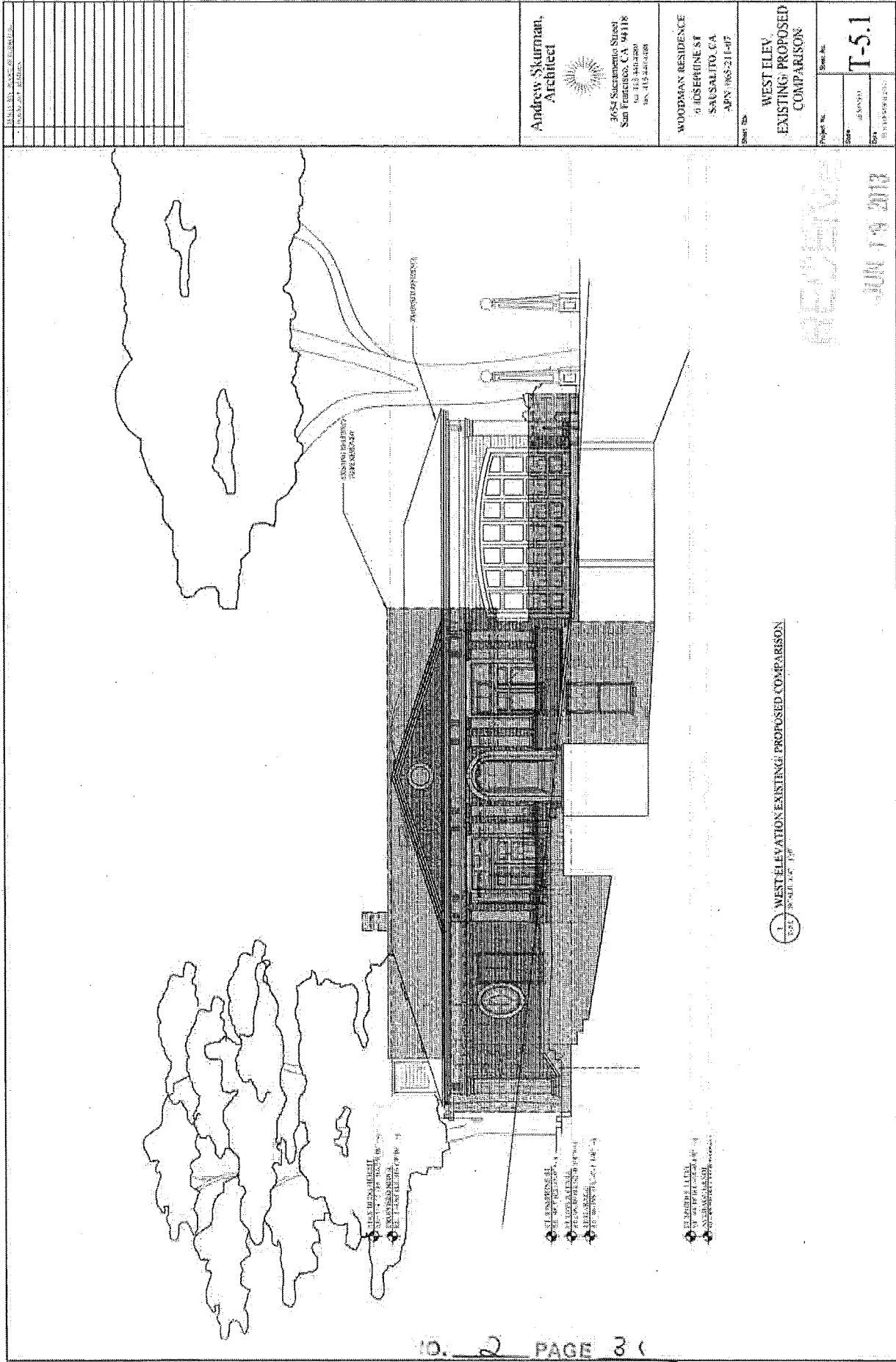
<p>1. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SACRAMENTO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.</p> <p>2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SACRAMENTO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.</p> <p>3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SACRAMENTO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.</p>	<p><b>Andrew Skurman, Architect</b></p> <p>3652 Sacramento Street San Francisco, CA 94118 Tel: 415-440-4480 Fax: 415-440-4481</p>	<p><b>WOODMAN RESIDENCE</b></p> <p>9 JOSEPHINE ST SACRAMENTO, CA APN: 065-211-007</p>	<p>Sheet Title: <b>BUILDING HEIGHT DIAGRAM</b></p>	<p>Project No.: _____</p> <p>Scale: _____</p> <p>Date: _____</p>	<p>Sheet No.: <b>T-3</b></p>
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ITEM NO. 2 PAGE 29








Andrew Skurman,  
Architect

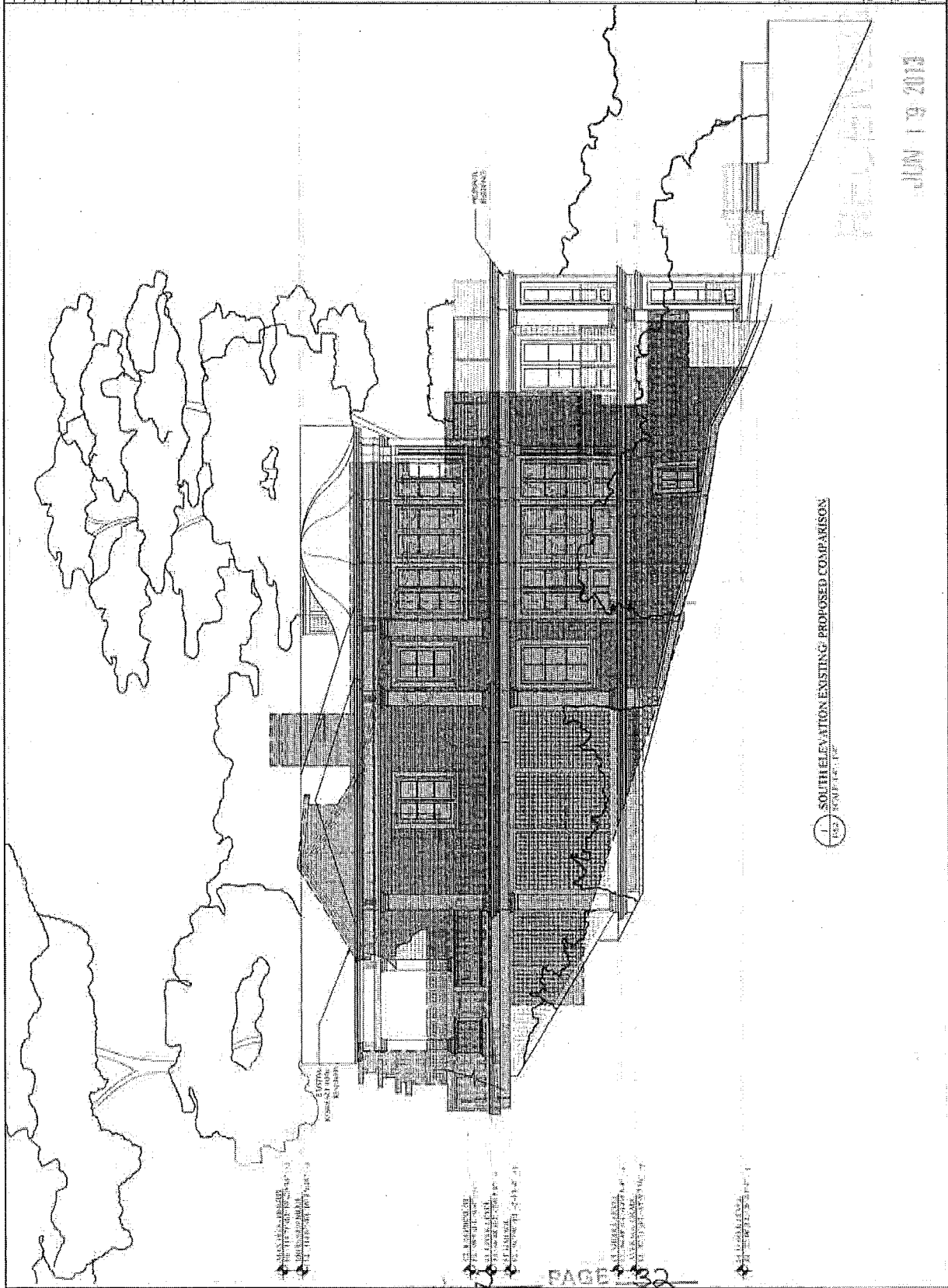


3054 Stranberry Street,  
San Francisco, CA 94118  
Tel: 415-241-4400  
Fax: 415-241-4400

WOODMAN RESIDENCE  
6 JOSEPHINE ST  
SAUSALITO, CA  
APN: 065-211-07


Sheet No.  
**SOUTH ELEV.  
EXISTING PROPOSED  
COMPARISON**

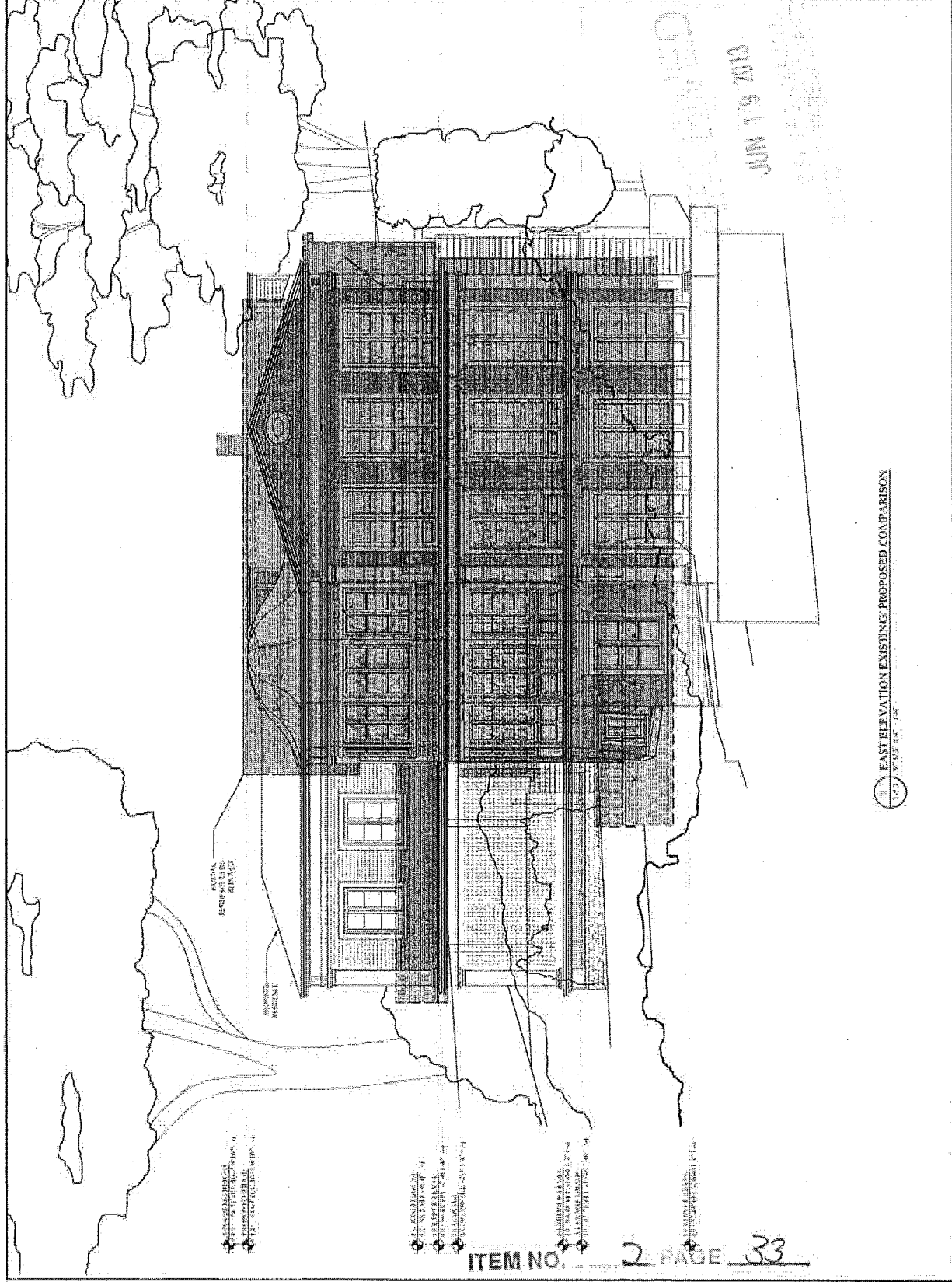
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Date  
Project No.  
**T-5.2**  
T-5.2 (1) (6) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32)




1 SOUTH ELEVATION EXISTING PROPOSED COMPARISON  
COURTESY: JACOB LANGRISH ARCHITECTS

JUN 19 2013

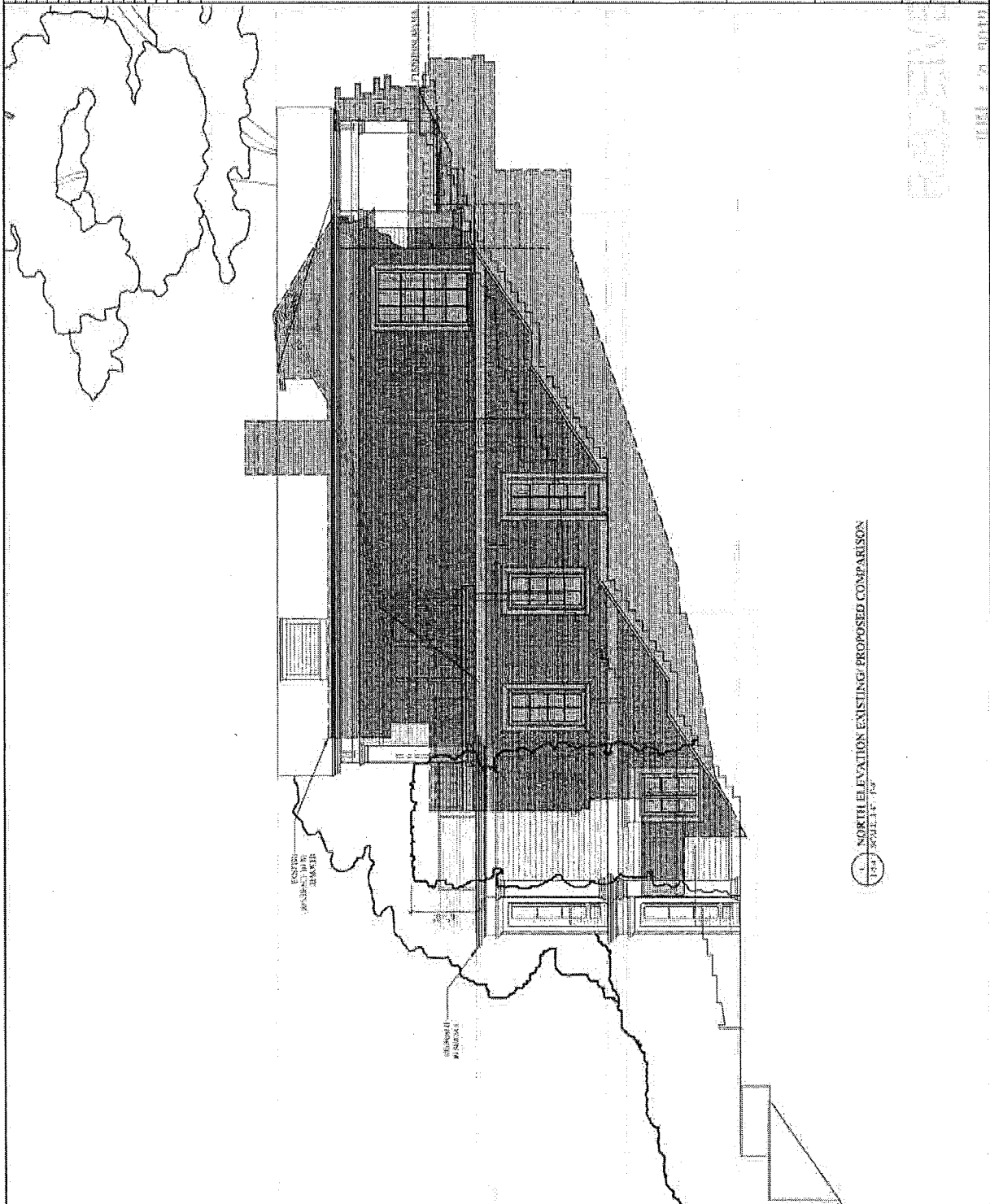
Project No. Client No. Scale Date	Project No. Client No. Scale Date	<p>WOODMAN RESIDENCE 6 JOSEPHINE ST SALSALITO, CA APN: 065-210-017</p> <p>WOODMAN RESIDENCE 6 JOSEPHINE ST SALSALITO, CA APN: 065-210-017</p>	<p>Andrew Skurman, Architect</p>  <p>1654 Sacramento Street San Francisco, CA 94116 Tel: 415-441-4388</p>
<p>EAST ELEV. EXISTING PROPOSED COMPARISON</p>			<p>Sheet No.   T-5.3</p>



<p style="font-size: small;">SHEET NO. 123456789</p> <p style="font-size: small;">DATE: 12/15/2010</p>	<p><b>Andrew Skurman,</b> Architect</p>  <p style="font-size: x-small;">3654 Sacramento Street San Francisco, CA 94118 Tel: 415.441.1234</p>	<p><b>WOODMAN RESIDENCE</b></p> <p style="font-size: x-small;">6 JOSEPHINE ST SAUSALITO, CA APN: 1065-211-007</p>	<p><b>NORTH ELEV. EXISTING, PROPOSED COMPARISON</b></p>	<p>Sheet No. <b>T-5.4</b></p>
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EXISTING  
PROPOSED  
COMPARISON



1 NORTH ELEVATION EXISTING/PROPOSED COMPARISON  
SCALE: 1/8" = 1'-0"

1. EXISTING HOUSE

2. PROPOSED HOUSE

3. COMPARISON HOUSE

**ITEM N 3**

**PAGE 34**

1. EXISTING HOUSE

2. PROPOSED HOUSE

3. COMPARISON HOUSE