

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2021-08**

**DENIAL OF THE APPEAL AND UPHOLDING OF THE COMMUNITY DEVELOPMENT
DEPARTMENT'S DETERMINATION OF THE APPROVAL OF THE ACCESSORY DWELLING
UNIT PERMIT AT 88 GEORGE LANE WITH CONDITIONS
(PROJECT ID 2021-00045)**

WHEREAS, on September 11, 2019 the Community Development Department received an ADU Permit application (Project ID 2019-00246) for 88 George Lane from Applicant Benjamin Farrell on behalf of property owner Seamus Canning; and

WHEREAS, the Community Development Department reviewed the application and determined that it met the Accessory Dwelling Unit Permit Standards listed in Sausalito Municipal Code (SMC) Section 10.44.080.E; and

WHEREAS, on February 11, 2021, the Community Development Department approved the ADU Permit, pursuant to SMC Section 10.44.080.D.1 which states: "Any application for an accessory dwelling unit that meets the accessory dwelling unit permit standards contained in subsection E of this section shall be approved administratively without discretionary review or public hearing within 60 days of receiving a complete application."; and

WHEREAS, the Community Development Department's decision was subject to a 10-day appeal period ending on February 22, 2021; and

WHEREAS, on February 18, 2021 the Community Development Department received an appeal of administrative decision of the ADU Permit pursuant to SMC section 10.84.020; and

WHEREAS, the Planning Commission conducted a duly-noticed public hearing to consider the appeal on April 7, 2021 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the April 7, 2021 Staff Report for the project; and

WHEREAS, the Planning Commission finds that the Community Development Department's determination of the approval of the ADU Permit at 88 George Lane complies with the Sausalito Municipal Code; and

WHEREAS, the determination of approval of an ADU Permit is Statutorily Exempt from further environmental review under Section 15268 (Ministerial Projects) of the California Environmental Quality Act (CEQA) guidelines and Section 21080(b)(1) of the Public Resources Code.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The project is Categorically Exempt under §15268 the CEQA Guidelines.
2. The Planning Commission denies the appeal and upholds the Community Development Department's determination of approval of the ADU Permit at 88 George Lane (Attachment 2) on the basis that the Community Development's approval of the ADU Permit was consistent with the standards listed in Sausalito Municipal Code (SMC) Section 10.44.080.E and subject to the Conditions in Attachment 1.

RESOLUTION PASSED AND ADOPTED, at the adjourned regular meeting of the Sausalito Planning Commission on the 7th day of April, 2021, by the following vote:

AYES: Commissioner: Pierce, Graef, Saad, Luxenberg, Chair Feller
NOES: Commissioner: None
ABSENT: Commissioner: None
ABSTAIN: Commissioner: None

Lilly Whalen

Lilly Whalen, Secretary to the Planning Commission

ATTACHMENTS

1. Conditions of Approval
2. Community Development Departments Notice of Decision regarding approval of an Accessory Dwelling Unit at 88 George Lane (Project ID 2019-00246), dated February 11, 2021

PLANNING COMMISSION RESOLUTION 2021-08

APRIL 7, 2021

PROJECT ID 2021-00045

88 GEORGE LANE

ATTACHMENT 1: CONDITIONS OF APPROVAL

These conditions apply to Accessory Dwelling Unit Permit (ADU 2019-00246) submitted on September 11, 2019.

1. The location of the northeast property line shall be confirmed by BKF Engineers. In the event that the existing survey is incorrect, the applicant shall submit revised plans demonstrating the location of the ADU on the subject property for ministerial review by the Community Development Department
2. Upon building permit submittal, Sheet A1.1 shall be modified in the following manner:
 - a. The survey conducted by BKF Engineers shall be used as the coordinates for the property boundaries
 - b. The distance from the Accessory Dwelling Unit to the northeast property line shall be indicated.
 - c. There shall be four feet or greater distance from the Accessory Dwelling Unit to the northeast property side lot line.
3. Prior to issuance of a Certificate of Occupancy, a permanent six-foot tall privacy fence shall be installed at the northeast property line. The length of the privacy fence shall equal the full length of the Accessory Dwelling Unit structure along the northeast property line. Upon building permit submittal, the applicant shall submit appropriate permits, plans and details for the privacy fence for review and approval.



CITY OF SAUSALITO

Community Development Department
420 Litho Street • Sausalito, CA 94965
Telephone: (415) 289-4128
Fax: (415) 339-2256
www.sausalito.gov

DECISION DATE: February 11, 2021
APPEAL PERIOD: February 11, 2021 to February 22, 2021
LAST DAY TO FILE APPEAL: **February 22, 2021**
EFFECTIVE DATE: February 23, 2021*

TO: Seamus Canning
88 George Lane
Sausalito, CA, 94965

RE: Notice of Decision regarding approval of an Accessory Dwelling Unit at 88 George Lane (Project ID 2019-00246)

DECISION

Following review by the Community Development Department, the Community Development Director has approved an Accessory Dwelling Unit (ADU) Permit at 88 George Lane (APN 065-254-30). This approval will become final ten (10) days from the date of this Notice unless a timely appeal is filed with the Community Development Department (see additional information below). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) under Section 15303(e) and 15301 of the CEQA Guidelines. The project is subject to the ministerial standards in Sausalito Municipal Code Section 10.44.080.E, as last amended by the City Council in October of 2020, and the project meets all ministerial standards. The project is approved based upon compliance with the Accessory Dwelling Unit Development Standards and Requirements in Attachment 1 and subject to the Implementation Requirements in Attachment 2. The approved project plans are provided in Attachment 3.

PROJECT DESCRIPTION

The subject property, APN 064-254-30 is a 9,572 square foot (SF) parcel within the R-1-6 Single-Family zoning district. A new detached Accessory Dwelling Unit (780 sq. ft.) is proposed above and to the rear of the existing carport of 88 George Lane. The project will convert existing carport/garage retaining wall to foundation for new ADU, convert carport/garage roof to floor for new ADU, add stairs from existing entry porch to separate ADU entry stairs, add subterranean mechanical room and excavate hillside. The project will also remodel the kitchen, add new sliding doors to existing deck and replace windows at kitchen of the primary dwelling unit.



Lilly Whalen
Community Development Director

February 11, 2021

Date

* All actions of the Community Development Director are subject to appeal to the Planning Commission in accordance with Chapter 10.84 of the Zoning Ordinance. Any appeal must be made in writing [on an Appeal Form](#) to the Community Development Department via email at cdd@sausalito.gov and the Project Planner Larissa Alchin at LAlchin@sausalito.gov, with written verification that the email was received by staff, by the appeal deadline noted above and accompanied by an appeal fee of \$1,070 in addition to noticing fee of \$585 (this can be paid over the phone to Maria Hernandez, Administrative Aide- 415-289-4132 or by mail to 420 Litho Street, Sausalito 94965, with attention to Maria Hernandez in the Community Development Department with checks made out to "City of Sausalito" and the notes referencing an appeal of the project ID above). The permit's findings, conditions of approval, project plans, and associated materials are available for public review only at <https://saus-trk.aspgov.com/eTRAKIT/>. You can search using the project address, project ID, or APN listed above.

ATTACHMENTS: 1: Accessory Dwelling Unit Development Standards and Requirements | 2: Implementation Requirements | 3: Approved Project Plans

ATTACHMENT 1
ACCESSORY DWELLING UNIT DEVELOPMENT STANDARDS AND REQUIREMENTS
88 GEORGE LANE
PROJECT ID 2019-00246

Sausalito Municipal Code (SMC) Section 10.44.080 contains Accessory Dwelling Unit (ADU) regulations. SMC Section 10.44.080.E requires the Community Development Director to issue an ADU Permit upon compliance with the development standards and requirements identified below.

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>1. One Accessory Dwelling Unit per Parcel. No more than one accessory dwelling unit shall be located on a single primary dwelling unit parcel. The parcel must contain at least one existing or proposed dwelling.</p>	<p>Compliance. The proposed ADU will be the only ADU located on the R-1-6 zoned parcel. The proposed ADU will accompany the existing primary dwelling unit. This standard is met.</p>
<p>2. Access. An accessory dwelling unit shall have a separate entrance. An entrance leading to a foyer with entrances leading from the foyer to the primary dwelling unit and the accessory dwelling unit is permitted and constitutes a separate entrance.</p>	<p>Compliance. The ADU has two separate entrances one at the south west elevation and double doors located at its southern elevation (building front) leading to the deck. This standard is met.</p>
<p>3. Kitchen and Bathroom Facilities. An accessory dwelling unit shall contain its own kitchen facility and bathroom facility separate from the primary dwelling unit. The kitchen facility must include the following features: (a) a sink; (b) a refrigerator of more than five cubic feet capacity; and (c) a range or fixed cooktop.</p>	<p>Compliance. The ADU will contain its own kitchen facility and bathroom facility separate from the primary dwelling unit. The kitchen facilities incorporate all required features. This standard is met.</p>
<p>4. Building Permits. An accessory dwelling unit shall comply with the California Building Code, including local amendments adopted by the City.</p>	<p>Compliance. The proposed detached ADU will be subject to a Building Permit application process to ensure compliance with the California Building Code and any local amendments adopted by the City. This standard is met.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>5. Setbacks.</p> <p>a. Unless otherwise provided for in this section, a new detached or attached accessory dwelling unit shall have side and rear setbacks of at least four feet and otherwise shall conform with the setback regulations applicable to the primary dwelling unit parcel upon which the accessory dwelling unit is located.</p> <p>b. No additional setbacks are required to convert an existing primary dwelling unit structure or existing accessory structure to an accessory dwelling unit or to reconstruct an existing living area or accessory structure as an accessory dwelling unit in the same location and to the same dimensions as the existing structure.</p>	<p>Compliance. The proposed ADU would be located above and to the rear of the existing carport and conforms to the setback regulations applicable to the primary dwelling unit on the subject property located in the Single-Family Residential (R-1-6) Zoning District. The proposed ADU would maintain a 5-foot rear and side setback. This standard is met and exceeded.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION																		
<p>6. Floor Area, Building Coverage, Impervious Surfaces and Density.</p> <p>a. Construction of a new attached or detached accessory dwelling unit shall conform with the floor area, coverage, and impervious surfaces regulations applicable to the primary dwelling unit parcel upon which the unit is located, unless in conflict with other provisions of this section.</p> <p>b. For the purposes of complying with the development standards for dwelling units in two-family and multiple-family residential zoning districts (SMC 10.44.330), an accessory dwelling unit shall be treated as a separate unit and shall not be calculated as part of the primary dwelling unit on the lot.</p> <p>c. Pursuant to State law, a lawfully created accessory dwelling unit shall not be deemed to be an accessory use or an accessory building, shall not be considered when calculating the allowable density for the lot upon which it is located, and is deemed to be a residential use that is consistent with the general plan and zoning designations for the lot.</p> <p>d. Limits on lot coverage, floor area ratio, open space, and size shall be waived if necessary to allow an 800 square foot detached or attached accessory dwelling unit 16 feet high with four-foot side and rear yard setbacks, provided that the proposed accessory dwelling unit is in compliance with all other development standards, including but not limited to front yard setbacks.</p>	<p>Compliance.</p> <p>a. The detached ADU would be located above and to the rear of the existing carport. The ADU conforms to all floor area, coverage, and impervious surfaces regulations applicable to the 9,572 SF parcel located in the Single-Family Residential (R-1-6) Zoning District, including SMC Section 10.22.040 (Site Development Requirements). This standard is met.</p> <p>Floor Area SF – 4,307 SF/45% max</p> <table border="1" data-bbox="894 695 1429 800"> <thead> <tr> <th>Existing Home</th> <th>Proposed ADU</th> <th>Resulting Total</th> </tr> </thead> <tbody> <tr> <td>1,737</td> <td>780</td> <td>2,517 / 26%</td> </tr> </tbody> </table> <p>Coverage – 3,350 SF/35% max</p> <table border="1" data-bbox="894 867 1429 972"> <thead> <tr> <th>Existing Home</th> <th>Proposed ADU</th> <th>Resulting Total</th> </tr> </thead> <tbody> <tr> <td>2,018</td> <td>808</td> <td>2,826 / 30%</td> </tr> </tbody> </table> <p>Impervious surfaces – 6,289 SF/67.5% max</p> <table border="1" data-bbox="894 1073 1429 1178"> <thead> <tr> <th>Existing Home</th> <th>Proposed ADU</th> <th>Resulting Total</th> </tr> </thead> <tbody> <tr> <td>4,042</td> <td>659</td> <td>4,701 / 49%</td> </tr> </tbody> </table> <p>b. This standard is noted c. This standard is noted d. This standard is not applicable even though the ADU is less than 800 square feet as the ADU conforms with all development standards and does not require any waivers of development standards.</p>	Existing Home	Proposed ADU	Resulting Total	1,737	780	2,517 / 26%	Existing Home	Proposed ADU	Resulting Total	2,018	808	2,826 / 30%	Existing Home	Proposed ADU	Resulting Total	4,042	659	4,701 / 49%
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DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>7. Maximum and Minimum Unit Size. a. The floor area for an accessory dwelling unit shall be no less than an efficiency unit defined in California Health and Safety Code Section 17958.1 and no greater than 50 percent of the floor area of the primary dwelling, or 850 square feet for a studio or one bedroom unit and 1,000 square feet for a unit that contains more than one bedroom, except that the limitation based on size of the primary dwelling shall not apply if the accessory dwelling unit is 800 square feet or less. b. Interior Accessory Dwelling Units in Multifamily Buildings. Notwithstanding subsection (a) above, the floor area for all interior accessory dwelling units on parcels that do not contain single-family dwellings shall be no less than an efficiency unit defined in California Health and Safety Code Section 17958.1 and no greater than 40 percent of the primary dwelling unit up to a 1,000-square-foot maximum.</p>	<p>Compliance. The proposed ADU is 780 SF.</p> <p>a. The proposed ADU size is more than 150 SF (an efficiency unit), less than 50% of primary dwelling and less than 850 SF. Nevertheless, the ADU is exempt from the primary dwelling unit limitation as it is less than 800 SF. b. Not applicable, the proposed ADU is a detached ADU</p> <p>This standard is met.</p>
<p>8. Height. a. Attached Units. The height of a new attached accessory dwelling unit shall comply with the requirements of Chapter 10.40 SMC regarding the height applicable to the primary dwelling unit. b. Detached Units</p> <p>1. Standalone. The height of a new detached accessory dwelling unit, not including accessory dwelling units above or below an existing or proposed accessory structure, including a garage, shall be no greater than 16 feet as measured from the elevation of the lowest finished floor of the accessory dwelling unit to the elevation of the highest point of the roof, including the top of any parapet. 2. The height of an accessory dwelling unit constructed above or below an existing or proposed accessory structure, including a garage, shall be no greater than 14 feet for a sloped roof and shall be no greater than 11 feet for a flat roof, as measured from the finished floor of the accessory dwelling unit and the garage must comply with the height requirements of Chapter 10.44 SMC regarding the height applicable to accessory structures.</p>	<p>Compliance. The proposed detached ADU would be located above and to the rear of the existing detached carport.</p> <p>Approximately 50% of the ADU would be nestled into the sloped terrain. The main residence has a height of approximately 30 feet, with no modifications proposed to it.</p> <p>a. Not applicable, the proposed ADU is a detached ADU b1. Not applicable, the proposed ADU will be built above an existing carport. b2. The proposed detached ADU would have a maximum height 14 feet above finished floor.</p> <p>This standard is met.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>9. Design. An accessory dwelling unit shall have a roof slope, window arrangement, siding materials, colors and architectural style that closely resemble the primary dwelling unit.</p>	<p>Compliance. The proposed ADU exterior would generally be consistent with the primary dwelling unit, utilizing painted stucco, wood trim, aluminum windows and composite shingle roof. This standard is met.</p>
<p>10. Views. An accessory dwelling unit shall not block or obstruct primary views, as defined in Chapter 10.88 SMC, from neighboring properties.</p>	<p>Compliance. The proposed detached ADU would be located above the detached carport with a height below the primary dwelling unit. Due to existing topography and vegetation, The proposed ADU would not impact either public views or primary views from private property. This standard is met.</p>
<p>11. Privacy. An accessory dwelling unit shall be designed so that its exterior windows, decks, and doors are not directly opposite the exterior living areas (e.g., decks or patios) of adjoining properties and do not overlap windows or doors to interior living areas of adjoining properties.</p>	<p>Compliance. Due to the flag configuration of the parcel, the vegetation in the neighborhood adequately screens the subject property from neighboring properties. In addition, exterior windows, doors and decks are not directly opposite the exterior living areas of any adjoining properties. The proposed deck will provide additional privacy screening along the north east property line. This standard is met.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>12. Light and Shadows. An ADU shall be designed such that the incremental light/shadow impact created by the accessory dwelling unit does not impact more than 25 percent of an adjacent parcel more than 30 days per year. If there is potential for adverse light/shadow impacts, as determined by staff, a shadow study may be required to determine that light/shadow impacts do not exceed the above standard.</p>	<p>Compliance. The proposed detached ADU would be located above and to the rear of the detached carport, below the height of the primary residence. The applicant has stated that “There are no impacts to either the subject property or adjacent properties by the proposed structure, this is especially true for access to natural light and shadows that would be newly created. The property is located at the extreme West end of George Lane, with no properties in the morning shadow casting range. The dominant afternoon shadow is created by the mountain separating Sausalito from the Marin Headlands. Overall silhouette height of the building above natural grade is so low that no shadows extend significantly beyond any adjacent property lines, and are themselves obstructed by the tall, dense foliage.” This was verified by a staff site visit. No light and shadows concerns were raised by the public. As such the design and location of the ADU provides adequate light and air for the project site, adjacent properties and the general public. This standard is met.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>13. Parking Requirements.</p> <p>a. One off-street parking space is required per accessory dwelling unit.</p> <p>b. Off-street parking shall be permitted in rear and side yard setback areas in locations determined by the Community Development Director or through tandem parking, unless the Community Development Director makes specific findings that parking in setback areas or tandem parking is not feasible based upon specific site or regional topographical or fire and life safety conditions.</p> <p>c. When parking for the primary dwelling unit is lost because a garage, carport, or covered parking area is either demolished or converted to an accessory dwelling unit in conjunction with the construction of an accessory dwelling unit, said lost parking spaces may be replaced in any location or configuration on the same lot as the accessory dwelling unit, including but not limited to covered spaces, uncovered spaces, or tandem spaces.</p> <p>d. Notwithstanding anything to the contrary in this chapter, with the exception of an interior accessory dwelling unit on all parcels that contain single-family dwellings, one off-street parking space per unit shall be required for all accessory dwelling units within the accessory dwelling unit required off-street parking areas.</p>	<p>Compliance.</p> <p>See Development Standard 14 - no parking is required for this ADU due to the site's location ½ mile from a public transit stop along a prescribed route according to a fixed schedule</p> <p>However, no parking will be lost with construction of the proposed detached ADU, and in fact, the project meets and exceeds parking requirements. The property currently provides four (4) off street parking spaces. Per SMC 10.40.110 the primary dwelling unit requires two (2) off street parking spaces. Although it is waived by development standard 14a, pursuant to this development standard 13a, one (1) parking space is required per ADU, for a total of three (3) off street spaces. The parking requirements are exceeded with the existing four (4) off street parking spaces. This standard is met.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>14. Parking Exemptions. An accessory dwelling unit shall be exempt from the parking requirements of this section if the following apply:</p> <ul style="list-style-type: none"> a. Located within one-half mile of a public transit stop along a prescribed route according to a fixed schedule; b. Located within an architecturally and historically significant historic district; c. Located within one block, or within reasonable walking distance, of a car share vehicle pick-up or drop-off location as defined in the California Vehicle Code; d. The accessory dwelling unit is an interior accessory dwelling unit; or e. When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit. f. Parking exemptions shall not apply to accessory dwelling units within the accessory dwelling unit required off-street parking areas, as defined in this chapter. 	<p>Compliance. The subject property is located within one-half mile of a public transit stop and therefore parking is exempt pursuant to development standard 14a. The site is not located in an off-street parking area, and therefore 14f is not applicable. However, as detailed in the compliance for development standard 13, no exemption is required as the project fulfills the parking requirement (development standard 13).</p>
<p>15. Short-Term Rentals. An accessory dwelling unit may not be rented for fewer than 30 calendar days.</p>	<p>Implementation Requirement. Through this approval the applicant is on notice that an accessory dwelling unit may not be rented for fewer than 30 calendar days. Refer to Implementation Requirement 8.</p>
<p>16. Owner-Occupancy Compliance. For applications received after January 1, 2025, in single-family residential (R-1-20, R-1-8, R-1-6) zoning districts the owner of the property shall occupy either the primary unit or accessory dwelling unit as his or her primary residence. Prior to building permit issuance, a deed restriction shall be recorded, in a form approved by the City Attorney, to ensure that the primary or accessory dwelling unit is owner-occupied. An owner may be absent from the primary or accessory dwelling unit for up to 12 months during any 36-month period. A property owner who will be absent for more than 12 months may obtain an additional 12 months' absence with the approval of a minor use permit by the Zoning Administrator. In consideration of the minor use permit, the Zoning Administrator may consider the neighborhood impacts such as parking, noise, and property maintenance, in addition to the reason for the requested absence.</p>	<p>Compliance. The application was received before January 1, 2025 and is exempt from the Owner-Occupancy requirement. This standard is met.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>17. Effect of Conversion. For an accessory dwelling unit, elimination of any of the required access and/or facilities elements (i.e., the separate entrance, kitchen, bathroom facilities) or noncompliance with any requirements shall require the property owner to demonstrate compliance of the property with all applicable development standards in the zoning ordinance.</p>	<p>Implementation Requirement. Through this approval the applicant is on notice that elimination of any of the required access and/or facilities elements (i.e., the separate entrance, kitchen, bathroom facilities) or noncompliance with any requirements shall require the property owner to demonstrate compliance of the property with all applicable development standards in the zoning ordinance. Refer to Implementation Requirement 9.</p>
<p>18. Fees. Fees as established by City Council resolution shall be paid.</p>	<p>Compliance. All applicable fees have been paid. This standard is met.</p>
<p>19. No Passageway. No passageway is required in conjunction with an accessory dwelling unit.</p>	<p>Compliance. No passageway to the primary dwelling unit is proposed nor is it required. This standard is met.</p>
<p>20. Fire Sprinklers. Accessory dwelling units are not required to have fire sprinklers or other fire safety requirements if they are not required in the primary dwelling unit. Fire sprinklers are required in ADUs if the primary dwelling unit contains fire sprinklers, if fire sprinklers are required for subsequent permitting and approvals of improvements, or if fire sprinklers are required in a new single-family dwelling being constructed with an accessory dwelling unit</p>	<p>Compliance. Not applicable. There are no fire sprinklers in the primary dwelling unit. This standard is met.</p>
<p>21. Solar Panels. Detached accessory dwelling units which are newly constructed and non-manufactured are subject to the Energy Code requirement to provide solar panels. The panels can be installed on the accessory dwelling unit or on the primary dwelling unit. No other accessory dwelling unit types are required to provide solar panels.</p>	<p>Implementation Requirement. Through this approval the applicant is on notice that the ADU is subject to the Energy Code requirement to provide solar panels. The panels can be installed on the accessory dwelling unit or on the primary dwelling unit. Refer to Implementation Requirement 10.</p>
<p>22. Sale. Accessory dwelling units shall not be sold separately from the primary dwelling unit.</p>	<p>Implementation Requirement. Through this approval the applicant is on notice that the ADU shall not be sold separately from the primary dwelling unit. Refer to Implementation Requirement 11.</p>

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
<p>23. Utilities and Impact Fees.</p> <p>a. No accessory dwelling unit shall be permitted if it is determined that there is not adequate water or sewer service to the property.</p> <p>b. Except as provided in subsection 21.c below, an accessory dwelling unit may be required to have a new or separate utility connection, including a separate sewer lateral, between the accessory dwelling unit and the utility. A connection fee or capacity charge may be charged that is proportionate to the size in square feet of the accessory dwelling unit or its drainage fixture unit (DFU) values. Separate electric and water meters shall be required for the second unit.</p> <p>c. Interior accessory dwelling units shall be exempt from any requirement to install a new or separate utility connection and to pay any associated connection or capacity fees or charges unless the unit is constructed within a new single-family home.</p> <p>d. Impact Fees. (i) No impact fees may be imposed on an accessory dwelling unit that is less than 750 sq. ft. in size. For purposes of this section, "impact fees" include the fees specified in Sections 66000 and 66477 of the Government Code and imposed by the City, a county, a special district, or a water corporation, but do not include utility connection fees or capacity charges. (ii) For accessory dwelling units that have a floor area of 750 square feet or more, impact fees shall be charged proportionately in relation to the square footage of the primary dwelling unit.</p>	<p>Implementation Requirement.</p> <p>Through this approval the applicant is on notice that the standards in development standard 23 regulate utilities and impact fees. Refer to Implementation Requirement 12.</p>
<p>23. Development Standards. All development standards contained in the underlying zoning district shall apply to accessory dwelling units unless they are inconsistent with the provisions of this section, in which case the standards of this section shall apply.</p>	<p>Compliance. The proposed detached ADU complies with all development standards of the R-1-6 zoning district. This standard is met.</p>
<p>24. Downtown Historic District. Attached and new construction detached accessory dwelling units in the Downtown Historic District shall not be visible from the public right-of-way, unless this requirement prevents creation of the accessory dwelling unit.</p>	<p>Compliance. The project site is not located in the Historic Overlay District, therefore, this standard is not applicable.</p>

**ATTACHMENT 2
 IMPLEMENTATION REQUIREMENTS
 88 GEORGE LANE
 PROJECT ID 2019-00246**

1.	Applicant shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City) and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project.
2.	No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Department as a modification to this approval.
3.	In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
4.	Construction materials, equipment, vehicles, and debris boxes shall be placed to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris box shall be emptied on a regular basis, else as directed by the City. Material stock piles & debris boxes shall be covered when not being accessed or filled to prevent material from blowing around the neighborhood. Construction materials, equipment, vehicles, and debris boxes placed off-site shall be done only after securing an encroachment permit.
5.	As a part of the Building Permit application, all final Implementation Requirements shall be restated on the construction drawings and applicant shall thoroughly and accurately document compliance with each Implementation Requirement at the time of Building Permit application.
6.	Appropriate Building Permits are required to construct the new Accessory Dwelling Unit. A Building Division inspection will be required prior to the occupancy of the Accessory Dwelling Unit.
7.	A Fire District Inspection shall be required in order to determine final occupancy requirements. The installation of Fire Sprinklers shall be required pursuant to Southern Marin Fire Protection District regulations.
8.	ADUs permitted ministerially, shall be rented for terms longer than 30 days. (Gov. Code, §65852.2, subs. (a)(6) & (e)(4).)
9.	For an accessory dwelling unit, elimination of any of the required access and/or facilities elements (i.e., the separate entrance, kitchen, bathroom facilities) or noncompliance with any requirements shall require the property owner to demonstrate compliance of the property with all applicable development standards in the Zoning Ordinance.
10.	The applicant shall install solar panels on the accessory dwelling unit or on the primary dwelling unit to comply with the Energy Code requirement.
11.	The owner of the property shall record a deed restriction that includes restricting the sale of the ADU from the primary dwelling.
12.	The applicant shall contact the Marin Municipal Water District and the Sausalito Marin City Sanitary District for additional permitting requirements.

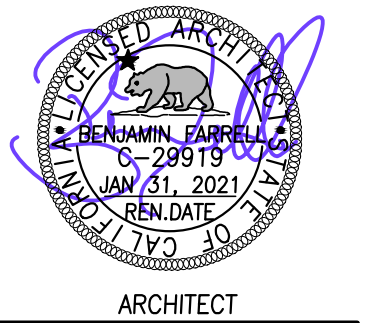
**ATTACHMENT 3
APPROVED PROJECT PLANS
88 GEORGE LANE
PROJECT ID 2019-00246**

ADDITIONAL DETACHED DWELLING UNIT

88 GEORGE LANE, SAUSALITO, CA 94965



610 COLOMA ST.
STUDIO 727
SAUSALITO, CA
94965
415.305.3850 m.
ben@farrellarchitecture.com



ADDITIONAL DWELLING UNIT
88 GEORGE LANE
SAUSALITO, CA
94965

APN:
064-254-30
ACTIVE PERMITS

REVISION / DATE	SHEET
1 PLAN REVIEW COMMENTS	5-30-2019
2 PLANNING REVIEW	8-1-19
3 ADU RESUBMITTAL	9-9-19
4 POST APPROVAL ZONING REVIEW COMMENTS	10-15-20
5 2ND NOTICE COMMENTS	1-20-21

SCALE
DRAWN B. FARRELL
CHECK
DATE

COVER SHEET

SHEET

A0.0

OF

BUILDING CODES

- 1) THE 2016 CALIFORNIA BUILDING CODE
- 2) THE 2016 CALIFORNIA ELECTRICAL CODE
- 3) THE 2016 CALIFORNIA ENERGY CODE
- 4) THE 2016 CALIFORNIA HOUSING CODE
- 5) THE 2016 CALIFORNIA MECHANICAL CODE
- 6) THE 2016 CALIFORNIA PLUMBING CODE
- 7) THE 2016 CALIFORNIA FIRE CODE
- 8) ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS

OFFICIAL USE / STAMPS

2019-00108

PERMIT & ADDENDUM SCHEDULE

WORK UNDER SEPARATE PERMITS
- NONE

INITIAL DESIGN REVIEW APPLICATION
- ARCHITECTURAL AND DOCUMENTATION

BUILDING PERMIT APPLICATION
- ARCHITECTURAL, STRUCTURAL, CIVIL AND ENERGY DOCUMENTATION

DEFERRED SUBMITTALS
- MECHANICAL, ELECTRICAL, PLUMBING (TRADE PERMITS)

SCOPE OF WORK

FIRST FLOOR
- CONVERT EXISTING CARPORT/GARAGE RETAINING WALL TO FOUNDATION FOR NEW ADU
- ADD SUBTERRANEAN MECHANICAL ROOM
- ADD STAIRS FROM EXISTING ENTRY PORCH TO SEPARATE ADU ENTRY STAIRS

MAIN HOUSE:
- KITCHEN REMODEL, ADD NEW SLIDING DOORS TO EXISTING DECK
- REPLACE WINDOWS AT KITCHEN ON WEST ELEVATION

SECOND FLOOR
- CONVERT EXISTING CARPORT/GARAGE ROOF TO FLOOR FOR NEW ADU
- ADD (1) BEDROOM, (1) BATHROOM, (1) KITCHEN DWELLING UNIT
- EXCAVATE HILLSIDE (50% ADU FLOOR AREA REQs EXCAVATION)

ROOF
- NEW ROOF OVER ADU

EXTERIOR CHANGES
REAR ELEVATION:
- NEW DETACHED DWELLING UNIT

SIDE YARD ELEVATIONS:
- NEW DETACHED DWELLING UNIT

FRONT STREET ELEVATION:
- NEW DETACHED DWELLING UNIT

LOT/BUILDING DATA

PROJECT ADDRESS: 88 GEORGE LANE
APN: 064-254-30
LOT ZONING: R-1-6

EXISTING GARAGE

CONST. TYPE
EXISTING: TYPE 5B
PROPOSED: TYPE 5B

No. OF STORIES:
EXISTING: 1
PROPOSED: 2

No. BASEMENTS:
EXISTING: 0
PROPOSED: 0

PRESENT USE:
PROPOSED USE: CARPORT/GARAGE
CARPORT + SINGLE FAMILY DWELLING

OCCUPANCY CLASS:
EXISTING: U
PROPOSED: U + R3
CHANGE IN OCCUP.? NO

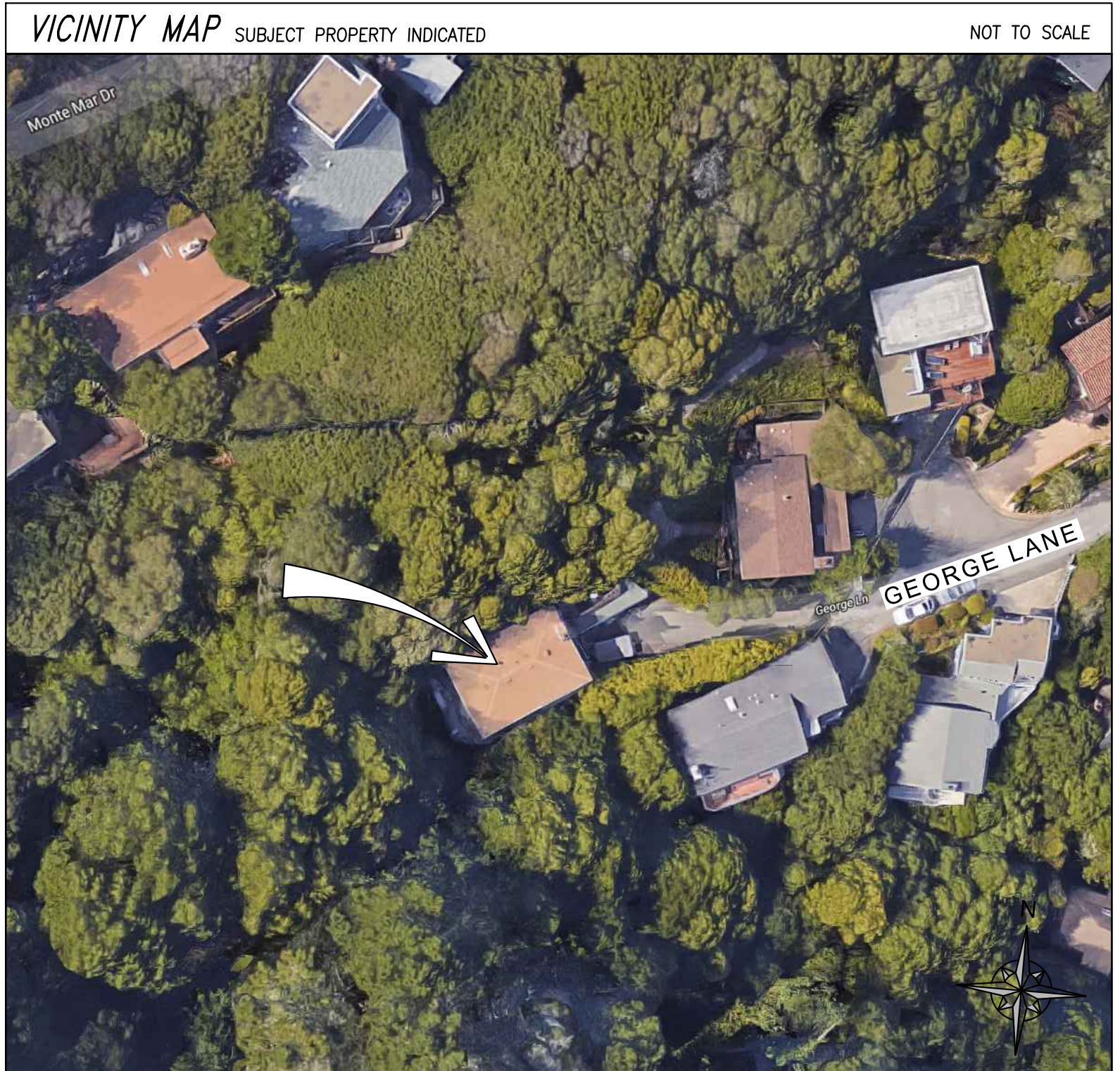
No. OF DWELLING UNITS:
EXISTING: 1 TOTAL FOR LOT
PROPOSED: 2 TOTAL FOR LOT

OVERALL HEIGHT AT ϕ :
EXISTING: ~10 FT (GARAGE ONLY)
PROPOSED: 14FT ABOVE FIN. FLR. (ADU ONLY)

	MAIN HOUSE	ADU/ GARAGE
BASEMENT FLOOR AREA:		
EXISTING:	0 SF	N/A
PROPOSED:	0 SF	N/A
FIRST FLOOR AREA:		
EXISTING:	865 SF	500 SF
PROPOSED:	865 SF	500 SF
SECOND FLOOR AREA:		
EXISTING:	872 SF	780 SF
PROPOSED:	872 SF	780 SF
ROOF ACCESS AREA:		
EXISTING:	NONE	NONE
PROPOSED:	NONE	NONE
TOTAL AREA:		
EXISTING:	1737 SF	0 SF (ADU)
PROPOSED:	1737 SF	780 SF (ADU)
FAR / LOT COVERAGE:		
EXISTING:		18%
PROPOSED:		26%
No. OF BUILDINGS ON LOT:		
EXISTING:	1	
PROPOSED:	2	
SPRINKLERS		
EXISTING:	NONE	NONE
PROPOSED:	NONE	NONE

PROJECT INDEX

OWNER SEAMUS CANNING 1228 FOLSOM STREET, #103 SAN FRANCISCO, CA 94103 415.310.3103 SEAMUS@CANNINGELECTRIC.COM	ARBORIST TREE MANAGEMENT EXPERTS ROY LEGGIT 3109 SACRAMENTO STREET SAN FRANCISCO, CA 94115 415.606.3610	GEOTECHNICAL ENGINEERS MURRAY ENGINEERING 409 4TH STREET SAN RAFAEL, CA 94901 415.888.8952
ARCHITECT FARRELL ARCHITECTURE BENJAMIN FARRELL, ARCHITECT 610 COLOMA STREET, STUDIO 727 SAUSALITO, CA 94965 415-305-3850 M.	ENERGY CONSERVATION CONSULTANT THE ENERGY CONSULTING COMPANY ROBERT MAO, P.E. 6367 SWAINLAND ROAD OAKLAND, CA 510-387-2756	
STRUCTURAL ENGINEER JOHN YADEGAR STRUCTURAL 1 KAISER PLAZA, SUITE 405 OAKLAND, CA 94612 415.516.9513 JYADEGAR@JYASF.COM	BOUNDARY/TOPOGRAPHY SURVEY BKF ENGINEERING 4040 CIVIC CENTER DRIVE, STE 530 SAN RAFAEL, CA 94903 415.930.7960	



SHEET INDEX

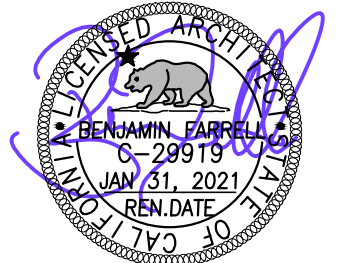
A0.0 COVER SHEET, LOT DATA, BLDG DATA, PROJECT INFO	A3.0 EXIST. EXTERIOR ELEVATIONS (MAIN HOUSE)	CIVIL DRAWINGS
A0.1 STORY POLE AND EGRESS PLAN	A3.1 EXIST. EXTERIOR ELEVATIONS (MAIN HOUSE)	C1.0 PARTIAL TOPOGRAPHIC PLAN AND SITE SURVEY
	A3.2 PROP. EXTERIOR ELEVATIONS (ADU)	
	A3.3 PROP. EXTERIOR ELEVATIONS (ADU)	
	A3.3 PROP. EXTERIOR ELEVATIONS (MAIN HOUSE)	A10.0 SITE PHOTOGRAPHS
	A4.0 PROPOSED CROSS SECTION ADU	MEP DRAWINGS
A1.0 EXISTING SITE PLAN		STRUCTURAL DRAWINGS
A1.1 PROPOSED SITE PLAN		
A1.2 PRIVACY ANALYSIS		
A2.0 EXISTING BASEMENT FLOOR PLAN		
A2.1 PROPOSED BASEMENT FLOOR PLAN		
A2.2 EXISTING FIRST FLOOR PLAN		
A2.3 PROPOSED FIRST FLOOR PLAN		
A2.4 EXISTING SECOND FLOOR PLAN		
A2.5 PROPOSED SECOND FLOOR PLAN		
A2.6 EXISTING ROOF PLAN		
A2.7 PROPOSED ROOF PLAN		

SYMBOLS LEGEND

	1-HOUR FIRE RATED WALL		SECTION MARK -ID NUMBER -SHEET NUMBER
	EXISTING WALL TO REMAIN		DETAIL MARK -ID NUMBER -SHEET LOCATION
	EXISTING WALL TO BE REMOVED		EXTERIOR ELEVATION -ID NUMBER -SHEET LOCATION
	NEW WALL		INTERIOR ELEVATION -ID NUMBER -SHEET LOCATION
	PROPERTY LINE		SHEET NOTE/NUMBER
	PARTITION TYPE, FLOOR TYPE		FLOOR MATERIAL SYMBOL
	REVISIONS		DOOR TYPE MARK
	REFERENCE DATUM		WINDOW TYPE MARK
	SPOT ELEVATION		ARCHITECTURAL PLAN GRID
	NEW DOOR		PHOTOGRAPH LOCATION/DIRECTION
	EXISTING DOOR TO REMAIN		



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STORY POLE,
OCCUPANCY
AND EGRESS
PLANS

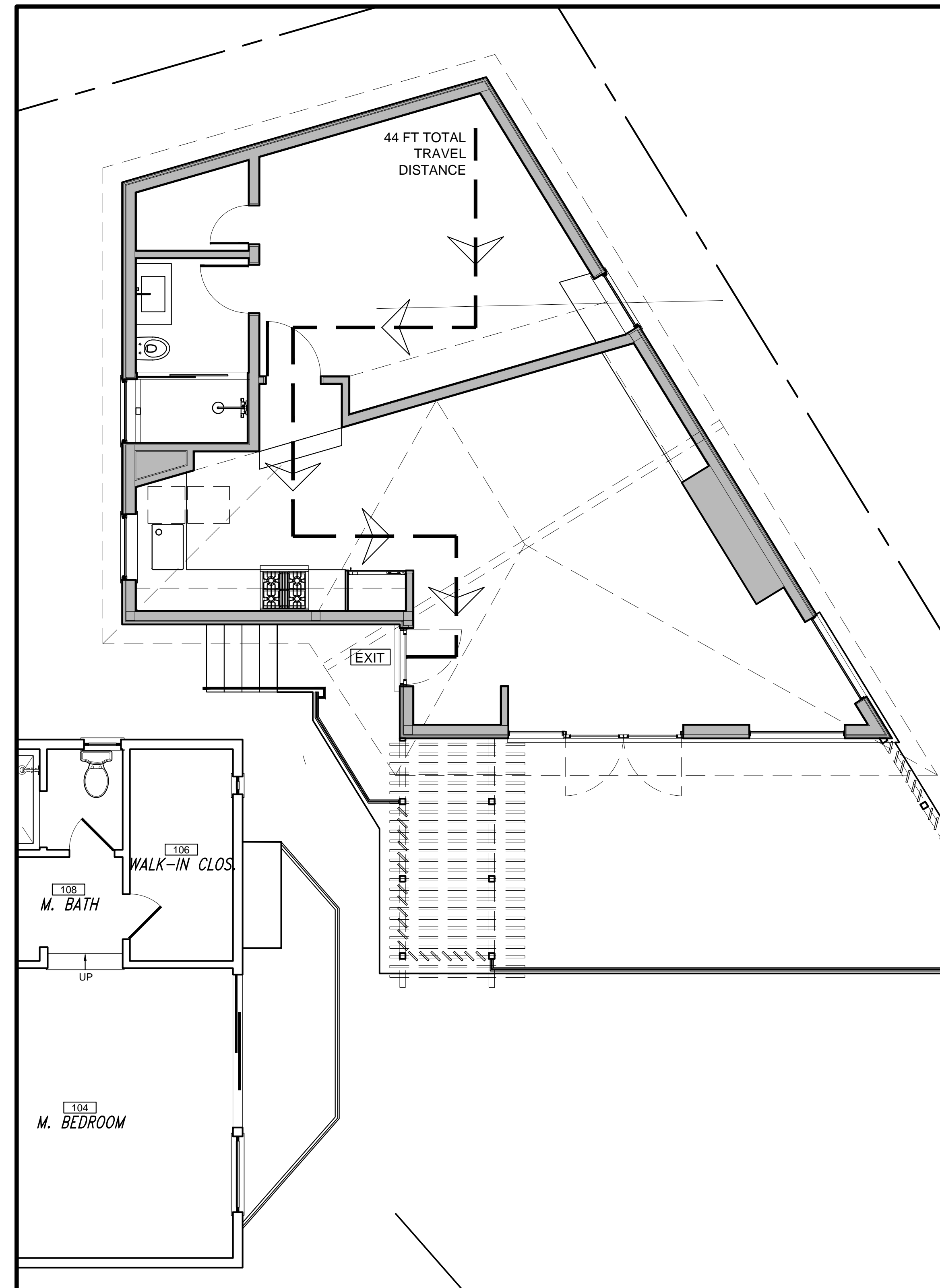
SHEET

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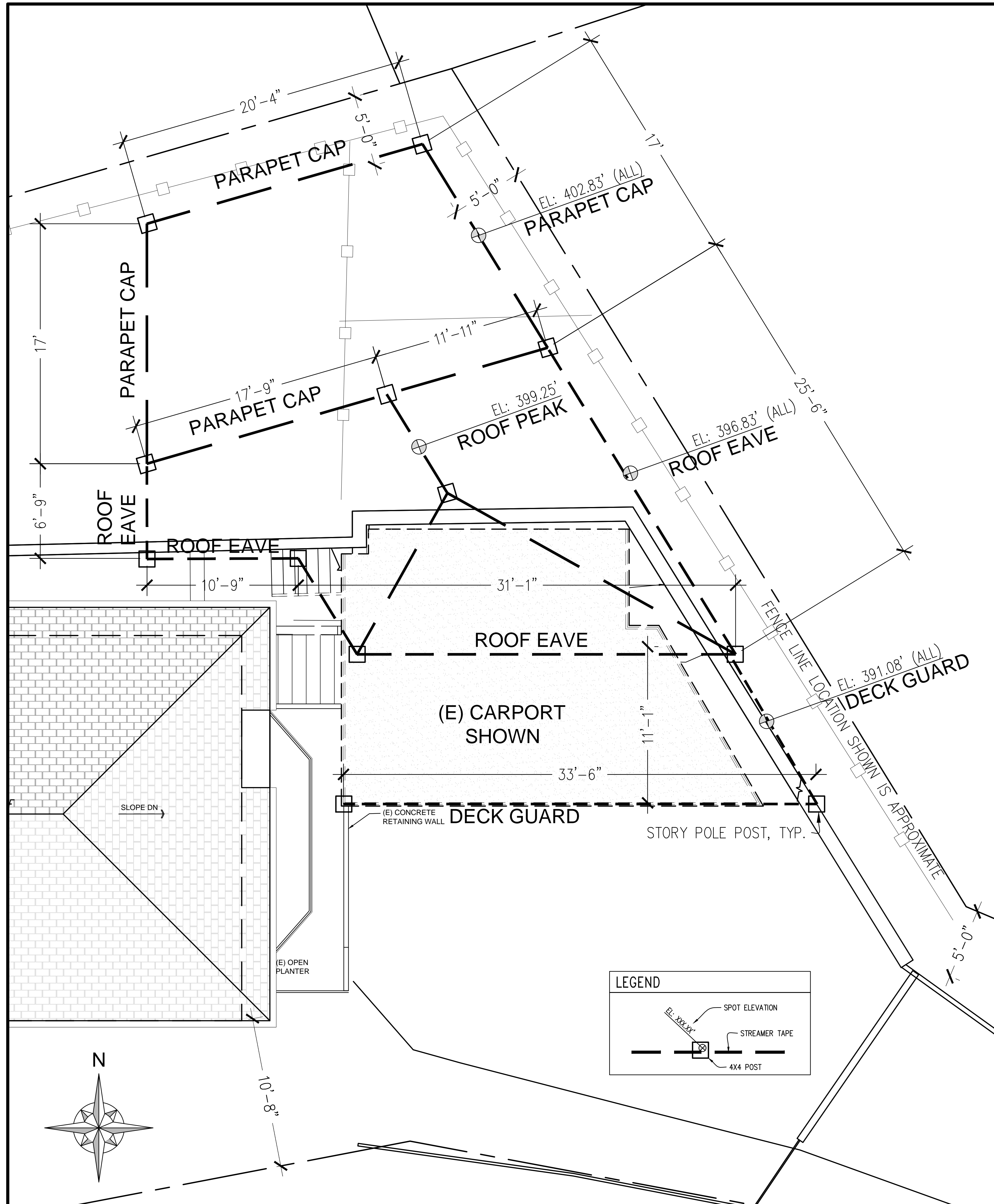
OF

OCCUPANT COUNT - ACCESSORY DWELLING UNIT

OCCUPANCY	OCC. LOAD	AREA	TOTAL
R	200	780	4 PPL



2) ADU EGRESS PLAN
SCALE: 1/4" = 1' - 0"



LEGEND

	SPOT ELEVATION
	STREAMER TAPE
	4X4 POST

1) STORY POLE PLAN (PARTIAL SITE PLAN)
SCALE: 1/4" = 1' - 0"

Jan 21, 2021 - 9:13am / B. Farrell

DEMOLITION NOTES

- 0.01 THE SCOPE OF DEMOLITION WORK IS GENERALLY INDICATED ON THIS DRAWING FOR G.C. INFORMATION. ANY DEMOLITION OR REMOVAL INDICATED BY THESE DRAWINGS IS SHOWN IN GENERAL TO PROVIDE THE FULL EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED A RECORD DRAWING OF EXISTING CONDITIONS. IT IS THE G.C.'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, INTENT NATURE AND MANNER OF DEMOLITION REQUIRED.

GENERAL NOTES

- 1.1 ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE SPECIFICATIONS SHALL BE REFERENTIAL TO ALL LAWS AND CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS, AND ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIFICALLY NOTED IN THE SPECIFICATIONS OR DRAWINGS.

GENERAL NOTES (CONTINUED)

- 1.33 THE CONTRACTORS SHALL PROVIDE REPRODUCIBLE "AS BUILT" DRAWINGS IN A FORMAT ACCEPTABLE TO THE TENANT, SHOWING ALL LIGHTING AND ELECTRICAL CIRCUITRY WORK (INCLUDING NUMBERS) AS ACTUALLY INSTALLED.

NEW CONSTRUCTION

- 2.00 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING BUILDING CODES, LOCAL CODES, AND ALL RULES AND REGULATIONS AS ESTABLISHED BY THE AUTHORITIES HAVING JURISDICTION.

NEW CONSTRUCTION (CONTINUED)

- 2.18 G.C. SHALL VERIFY INTEGRITY OF TENANT PERIMETER DEMISING PARTITIONS AND BASE BUILDING CORE WALLS AND COLUMN ENCLOSURES. REPAIR PATCH, REPAIR AS NECESSARY AND TO MAINTAIN FIRE RATING.



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Table with 3 columns: REVISION, DATE, SHEET. Includes entries for PLAN REVIEW COMMENTS, PLANNING REVIEW, ADD RESUBMITTAL, POST APPROVAL ZONING REVIEW COMMENTS, and 2ND NOTICE COMMENTS.

SCALE
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CHECK
DATE

GENERAL NOTES

SHEET

A0.2

NEW CONSTRUCTION (CONTINUED)

2.52 WHERE A PARTITION IS SHOWN ALIGNED WITH MORE THAN ONE EXISTING COLUMN OR EXISTING (CORE) WALL WHICH ARE NOT ALIGNED, THE CONTRACTOR SHALL ALIGN WITH THE FURTHEST PROJECTION AND ALL OTHER SURFACES ALONG THIS ALIGNMENT SHALL BE FURRED TO THIS LINE.

FINISH NOTES

4.0 SEE DRAWING C-003 FOR SYMBOL LEGEND.
4.1 SEE FINISH SCHEDULE REFER TO ELEVATIONS, PARTIAL DETAIL PLANS, AND DETAIL DRAWINGS FOR ADDITIONAL INFORMATION OR CLARIFICATION ON REQUIRED FINISHES.

FINISH NOTES (CONTINUED)

4.12 ALL EXPOSED STEEL COLUMNS TO BE PAINTED.
4.13 ALL CLOSET INTERIORS TO BE PAINTED AND IN EGG SHELL FINISH.
4.14 CLEAN AND PREPARE ALL PERIMETER RADIATORS TO RECEIVE NEW SCHEDULED PAINT FINISH.

CARPET NOTES

7.01 THE CARPET CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, ETC., NECESSARY OR REQUIRED TO FURNISH AND INSTALL CARPET AS INDICATED ON THE ARCHITECT DRAWINGS, HEREIN SPECIFIED, AND AS REQUIRED BY THE SITE CONDITIONS FOR PROPER PERFORMANCE AND COMPLETION.

CARPET NOTES (CONTINUED)

7.15 THE CARPET CONTRACTOR SHALL PROVIDE SAMPLES OF ALL CUSTOM WOVEN AND/OR CUSTOM DYED CARPETS FOR REVIEW BY THE ARCHITECT. 'STRIKE OFF' CHARGE SHALL BE THE RESPONSIBILITY OF THE CARPET CONTRACTOR.

WOOD FLOORING NOTES

8.1 NEW SOLID WOOD LUMBER PLANKS WHERE SCHEDULED SHALL BE OF MATCHING WIDTH(S); TONGUE AND GROOVE, UNLESS OTHERWISE NOTED.
8.2 COORDINATE WITH PLYWOOD UNDERLAYMENT LEVELING AND SHIMMING OF SUBFLOOR PROVIDED UNDER SECTION 06. 10. 00. ROUGH CARPENTRY.

MILLWORK NOTES

11.1 THE CONTRACTOR SHALL MAKE PROVISIONS AND COORDINATE WITH INSTALLATIONS OF ITEMS PROVIDED BY OTHER TRADES.
11.2 ALL MILLWORK ATTACHED TO PREMISES SHALL COMPLY WITH THE LOCAL BUILDING CODES AS WELL AS ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION.

TILEWORK NOTES

19.0 CERAMIC TILE WITH SATIN STAINLESS STEEL TRIM AS NOTED IN THE DRAWINGS AND SCHEDULES. INSTALLATION METHOD SHALL BE AS RECOMMENDED BY TILE MANUFACTURER AND THE TILE COUNCIL OF AMERICA.



ARCHITECT

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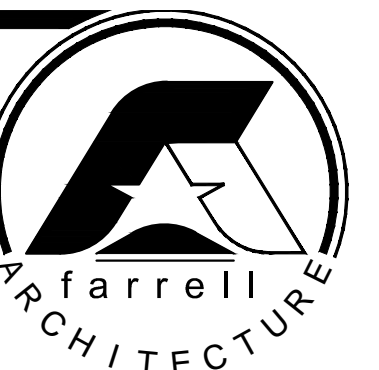
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SCALE
DRAWN BY: B. FARRELL
CHECK
DATE

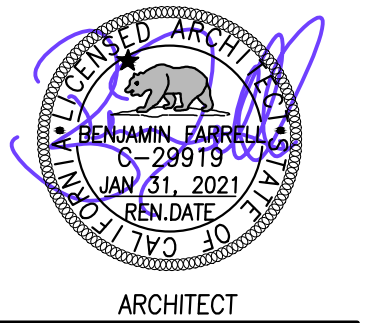
GENERAL NOTES

SHEET

A0.3



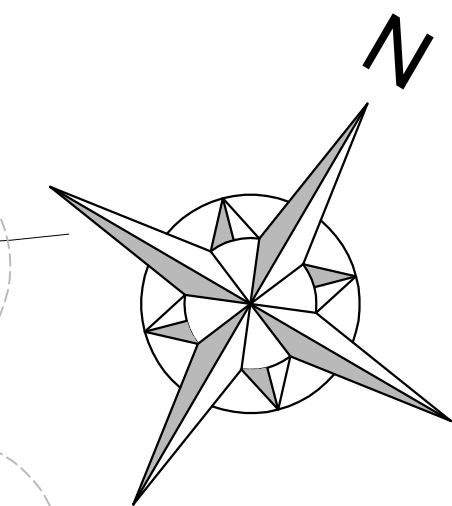
610 COLOMA ST.
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ARCHITECT

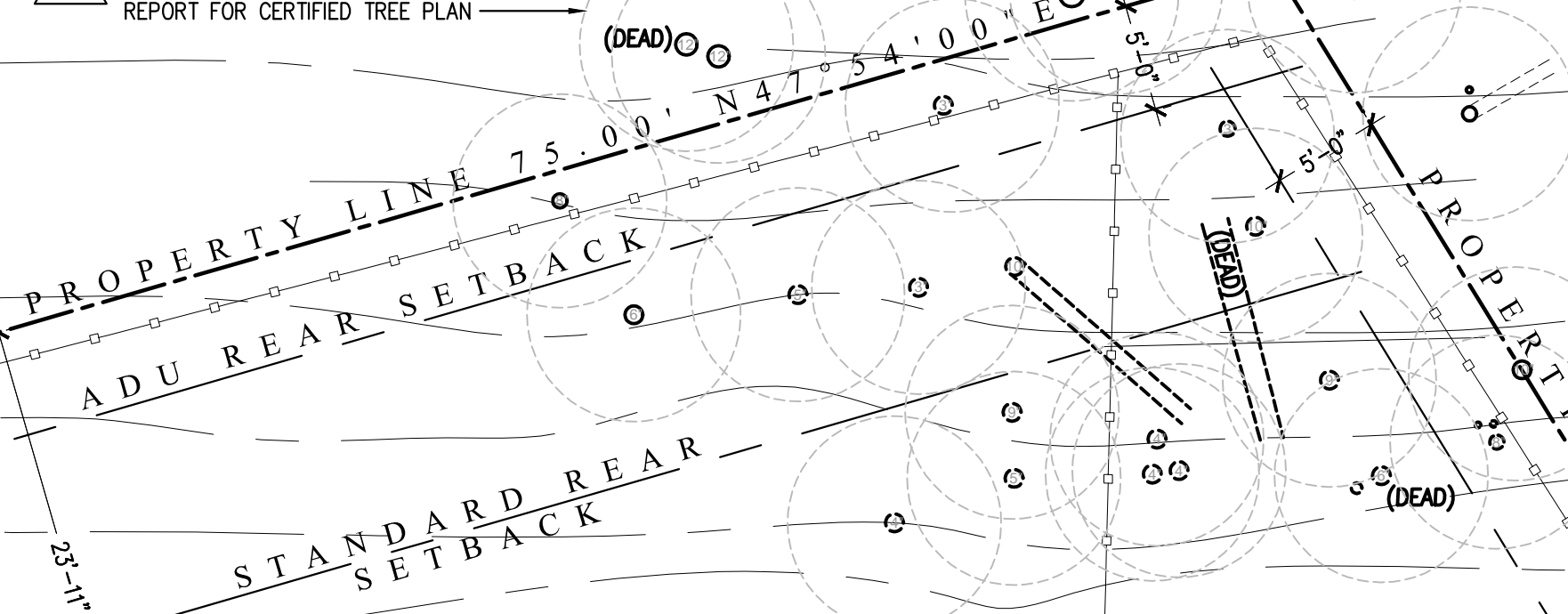
ADJACENT LOT

TREE DRIPLINES ARE APPROXIMATE.
ONLY TREES LARGER THAN 3" DBH
ARE SHOWN. SEE ARBORIST
REPORT FOR CERTIFIED TREE PLAN

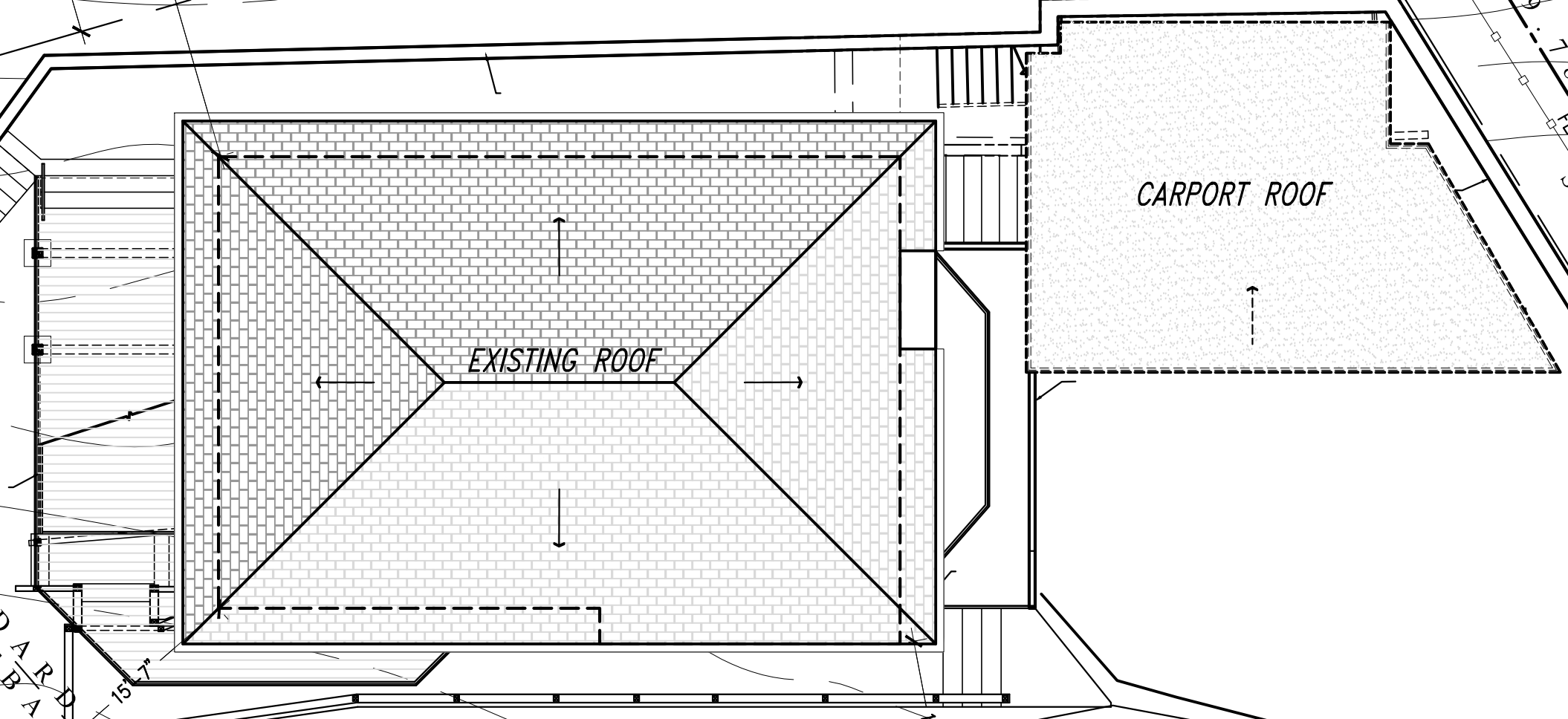


ADJACENT LOT

PROPERTY LINE 89.45'
N 38° 52' 19" E



SUBJECT PROPERTY
88 GEORGE LANE
APN: 064-254-30



ADJACENT PROPERTY

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EXISTING
SITE PLAN

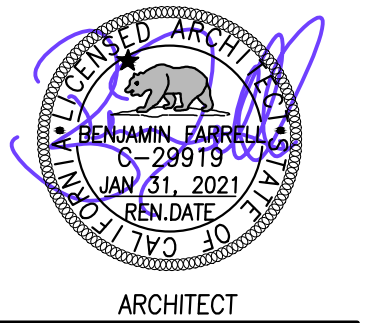
EXISTING SITE PLAN TOPOGRAPHY SHOWN IS AT 2 FT CONTOUR INTERVALS
SCALE: 1/4" = 1' - 0"

SHEET
A1.0
OF

Jan 21, 2021 - 9:12am / B. Farrell



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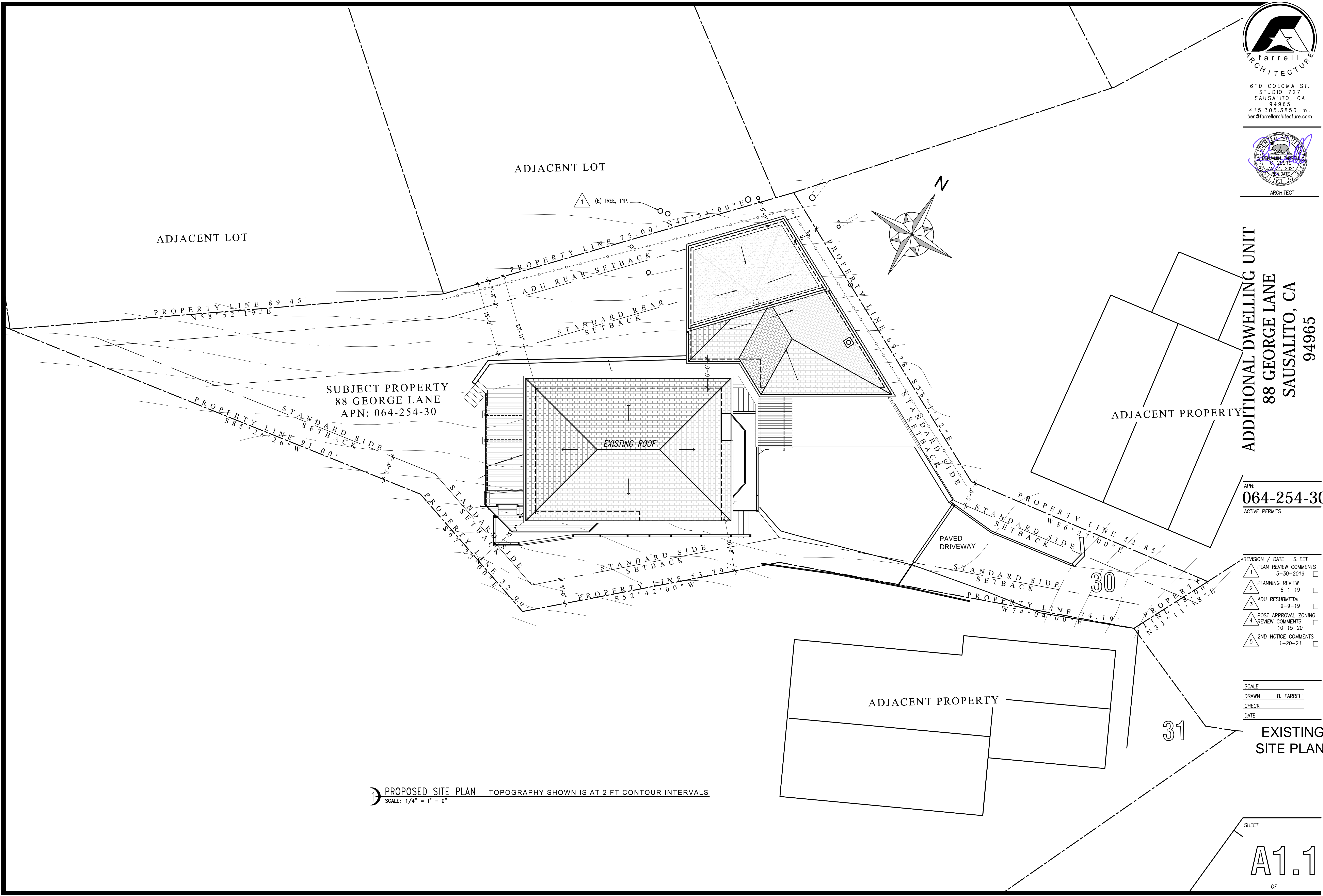
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CHECK _____
DATE _____

**EXISTING
SITE PLAN**

SHEET

A1.1

OF

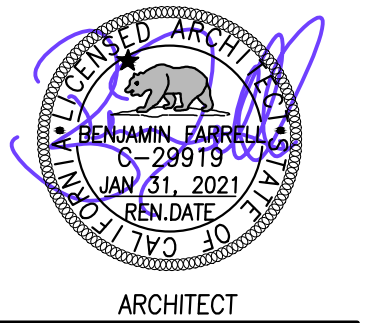


PROPOSED SITE PLAN TOPOGRAPHY SHOWN IS AT 2 FT CONTOUR INTERVALS
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Jan 21, 2021 - 9:12am / B. Farrell



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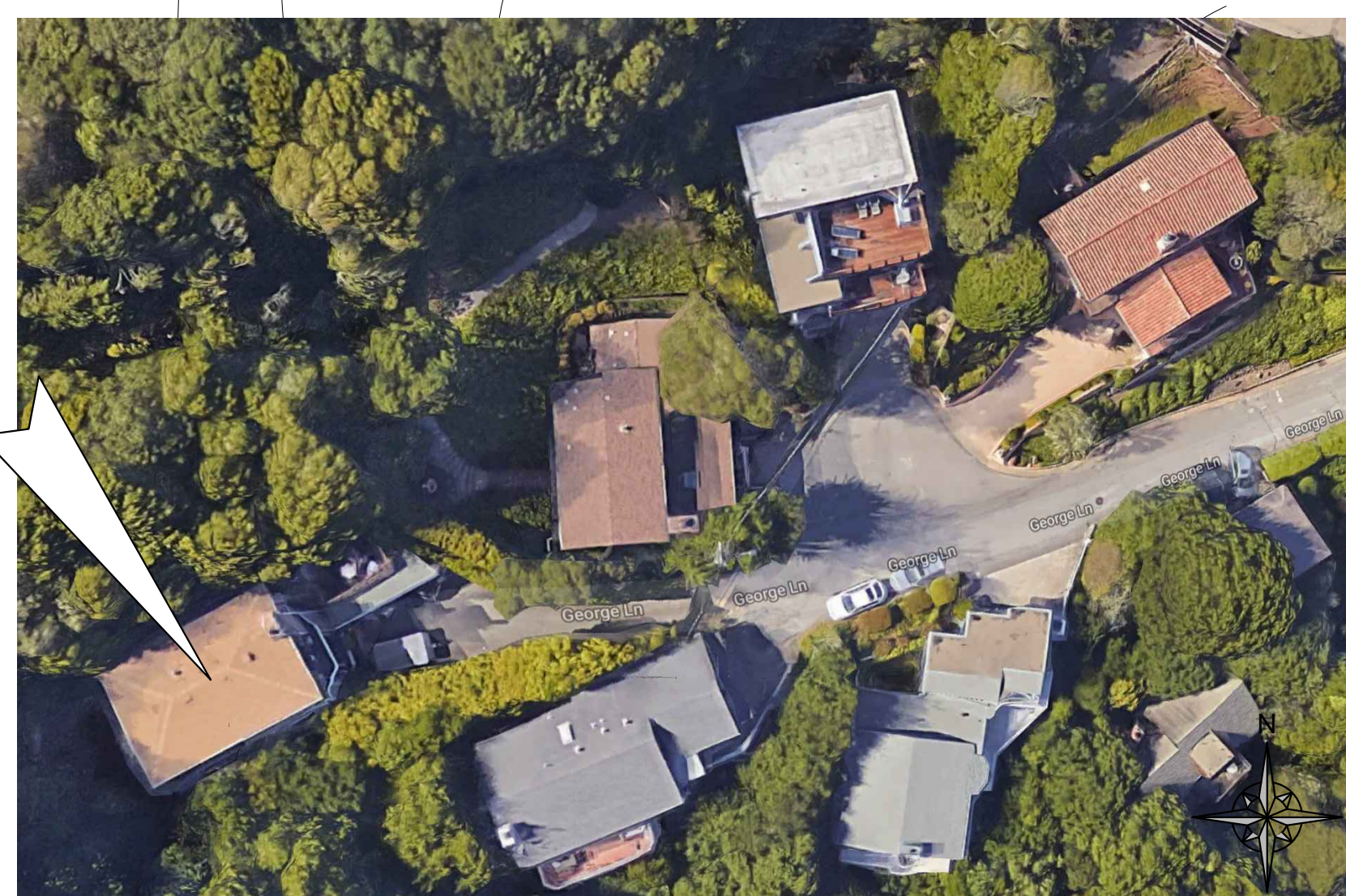
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PRIVACY
ANALYSIS

SHEET

A1.2
OF



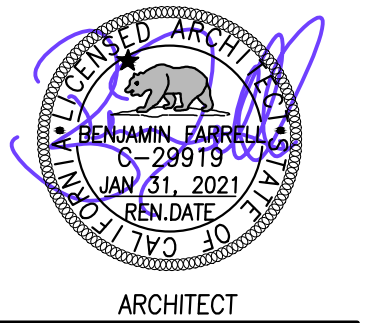
AERIAL PHOTOGRAPH OF IMMEDIATE NEIGHBORS TO THE EAST

* SEE SITE PHOTOGRAPHS ON SHEET A10.0
WINDOWS INDICATED HAVE BEEN VERIFIED TO THE EXTENT POSSIBLE THROUGH DENSE VEGETATION

Jan 25, 2021 - 4:39pm / B. Farrell



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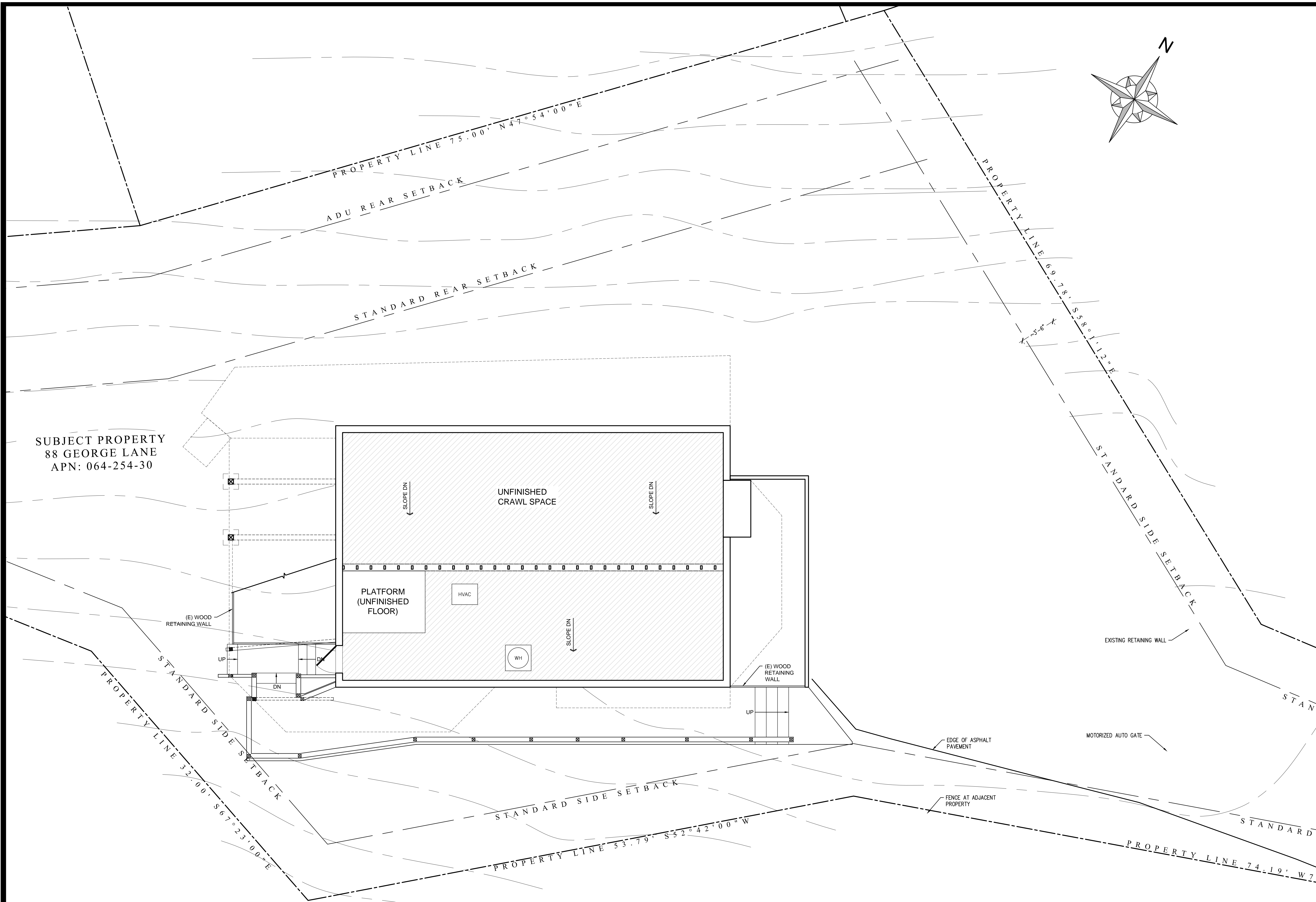
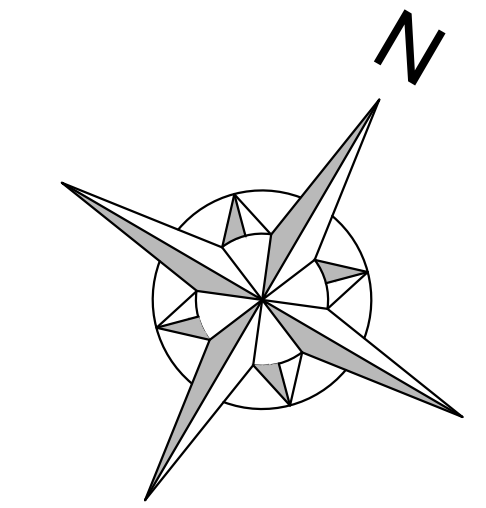
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EXISTING BASEMENT PLAN

A2.0
OF



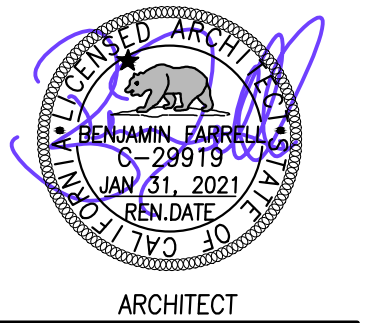
SUBJECT PROPERTY
88 GEORGE LANE
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EXISTING BASEMENT PLAN
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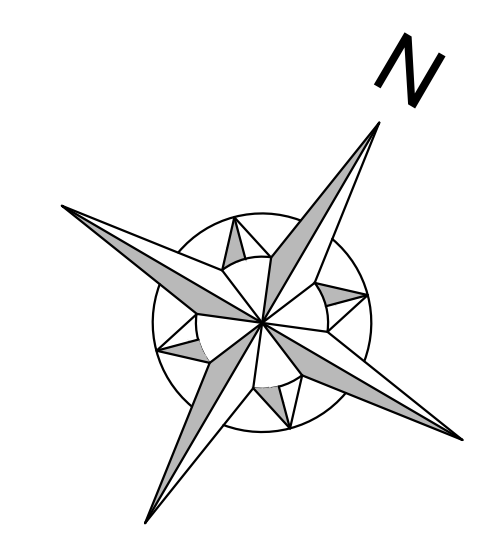
Jan 21, 2021 - 9:20am / B. Farrell



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PROPOSED BASEMENT PLAN

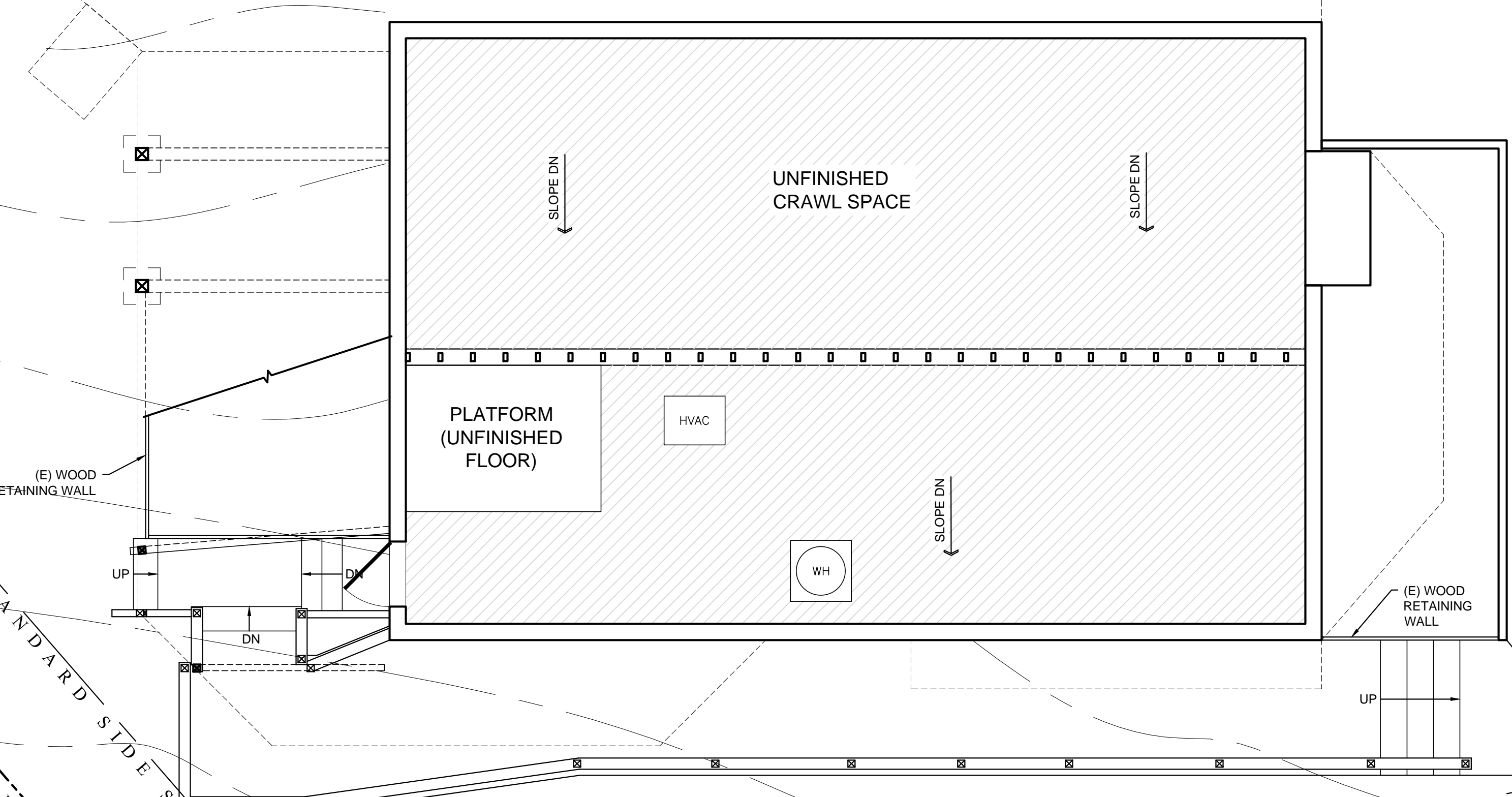
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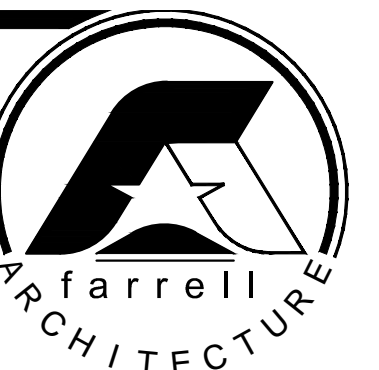
OF

SUBJECT PROPERTY
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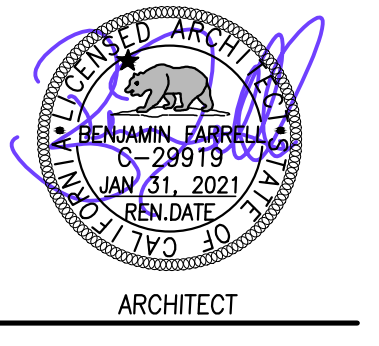


PROPOSED BASEMENT PLAN NO WORK PROPOSED AT BASEMENT
SCALE: 1/4" = 1' - 0"

Jan 21, 2021 - 9:20am / B. Farrell



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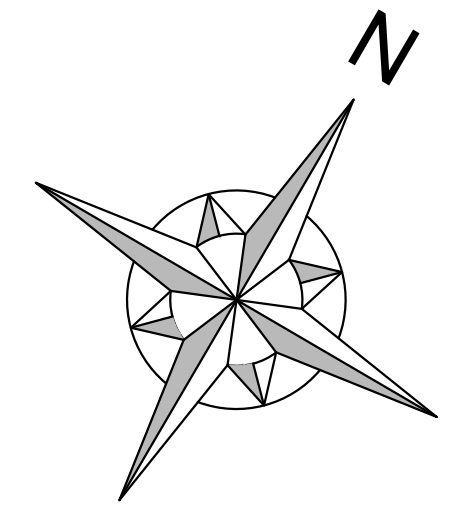
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DATE

EXISTING FIRST FLOOR PLAN

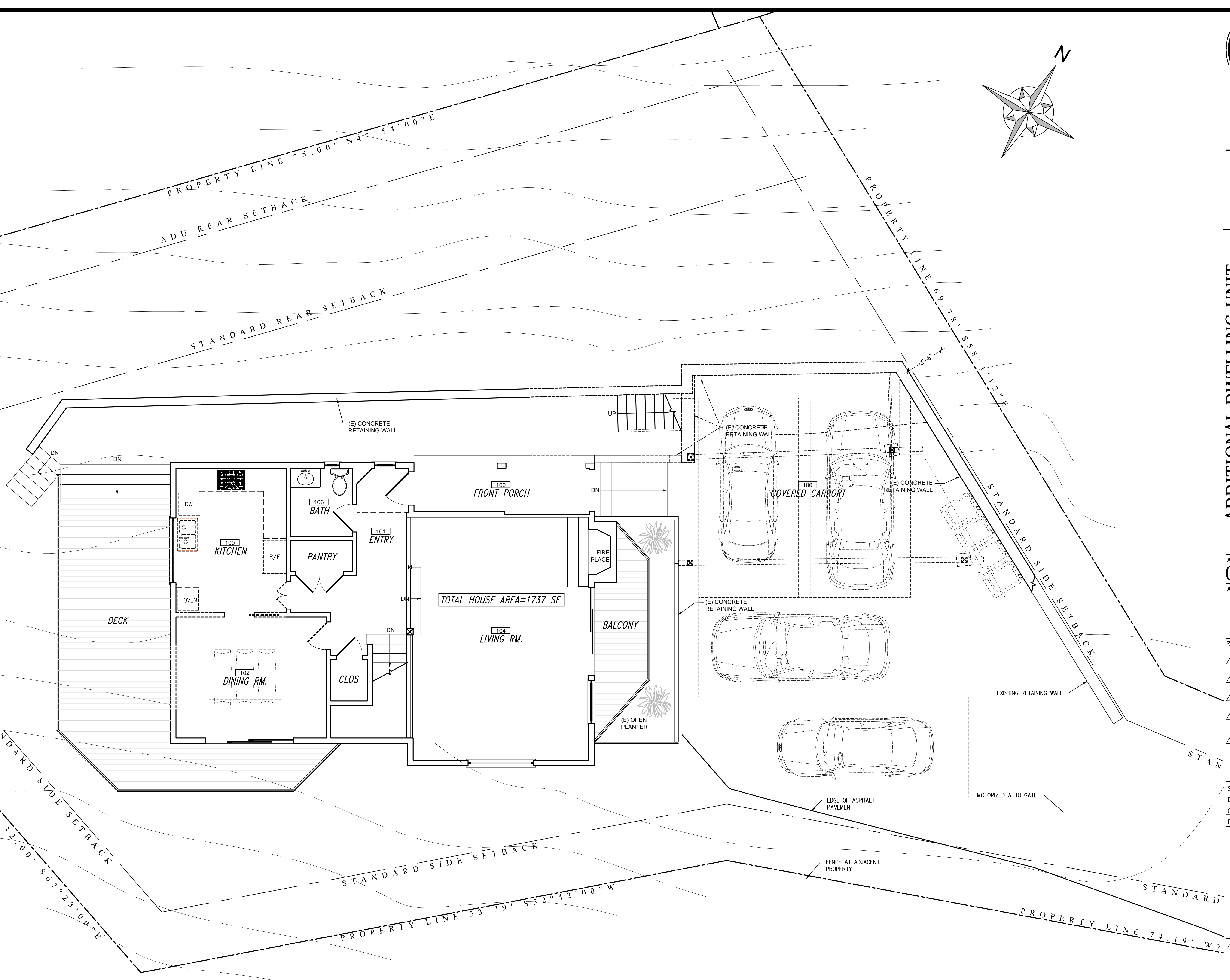
SHEET

A2.2

OF

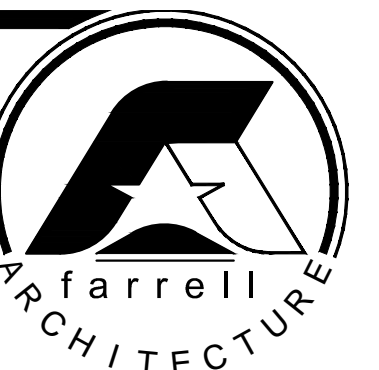


SUBJECT PROPERTY
88 GEORGE LANE
APN: 064-254-30

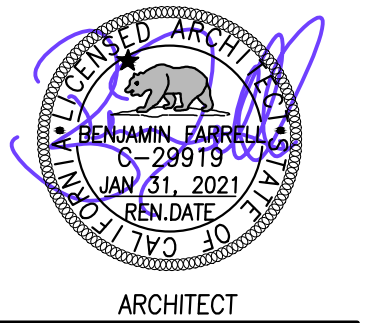


EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

Jan 21, 2021 - 9:20am / B. Farrell



610 COLOMA ST.
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ben@farrellarchitecture.com



ADDITIONAL DWELLING UNIT
88 GEORGE LANE
SAUSALITO, CA
94965

APN:
064-254-30
ACTIVE PERMITS

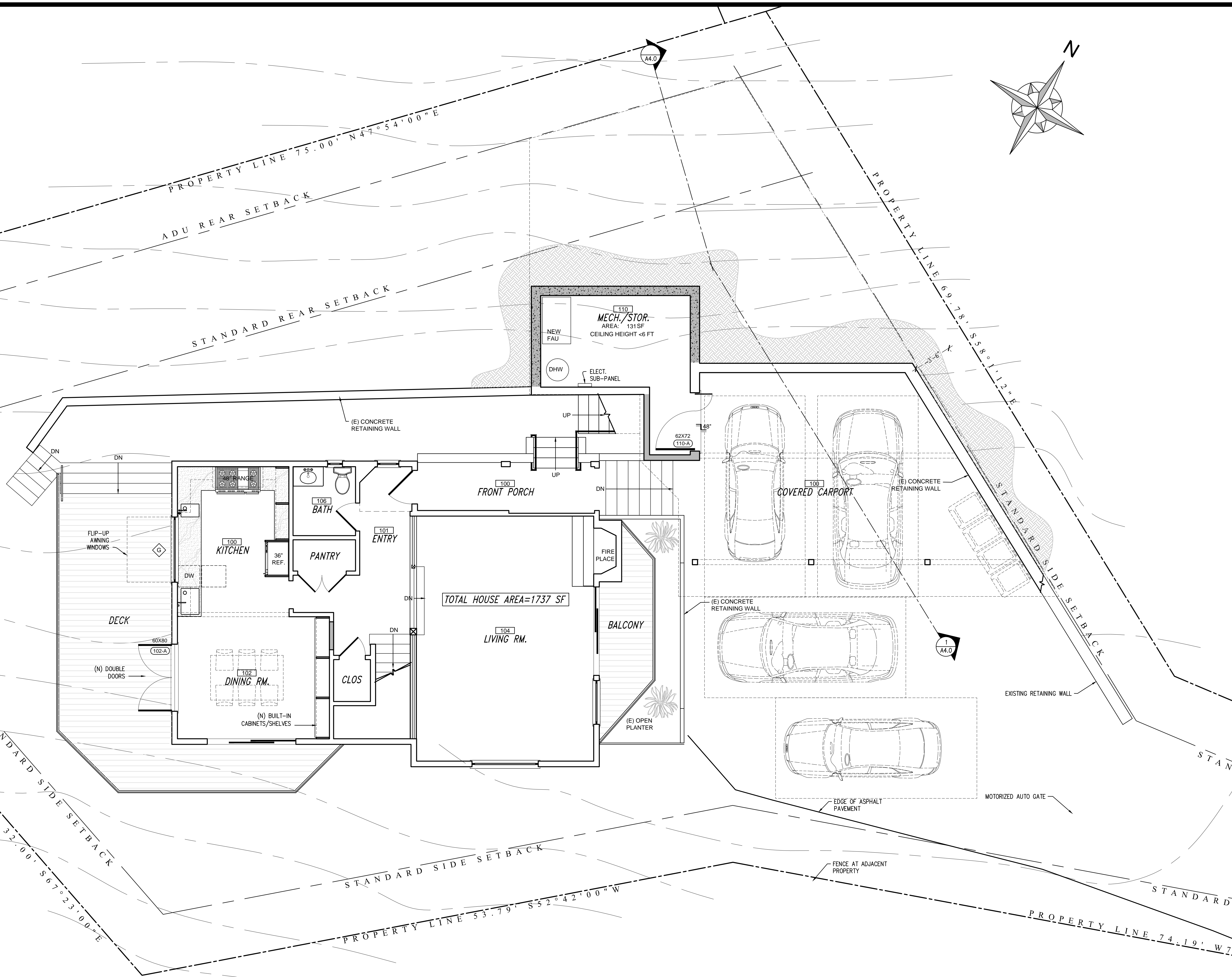
REVISION / DATE	SHEET
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2 PLANNING REVIEW 8-1-19	<input type="checkbox"/>
3 ADU RESUBMITTAL 9-9-19	<input type="checkbox"/>
4 POST APPROVAL ZONING REVIEW COMMENTS 10-15-20	<input type="checkbox"/>
5 2ND NOTICE COMMENTS 1-20-21	<input type="checkbox"/>

SCALE
DRAWN B. FARRELL
CHECK
DATE

PROPOSED FIRST FLOOR PLAN

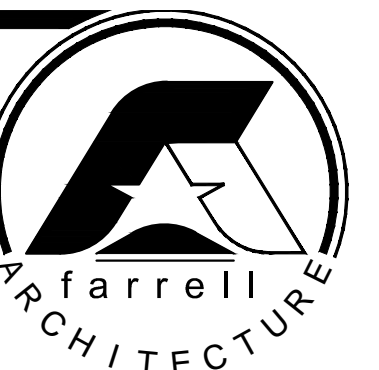
A2.3
OF

SUBJECT PROPERTY
88 GEORGE LANE
APN: 064-254-30

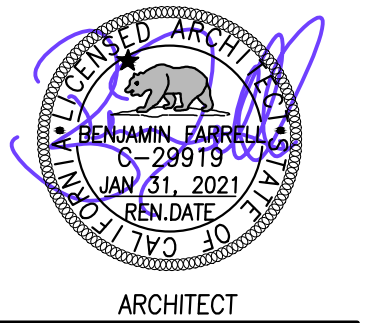


PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

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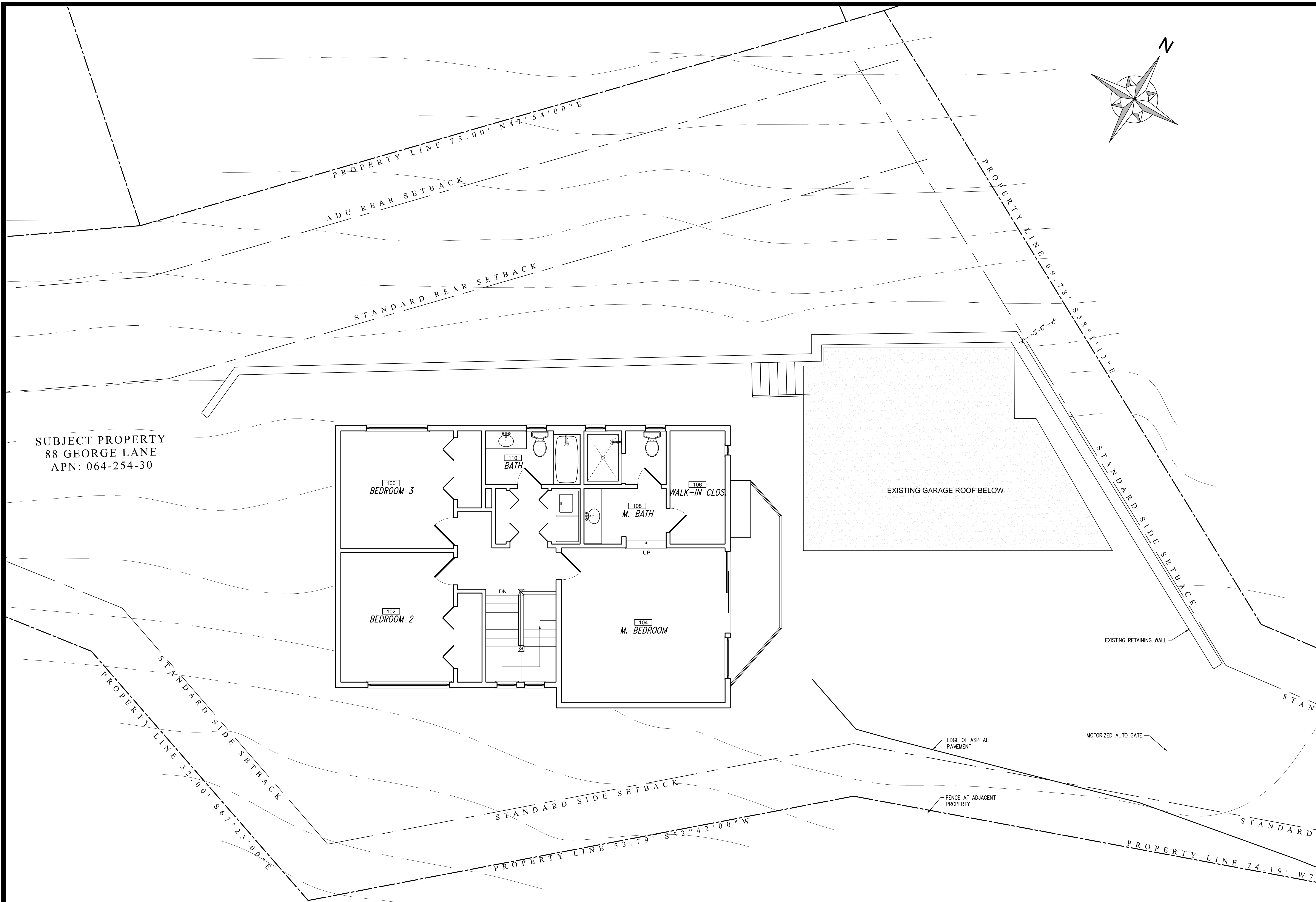
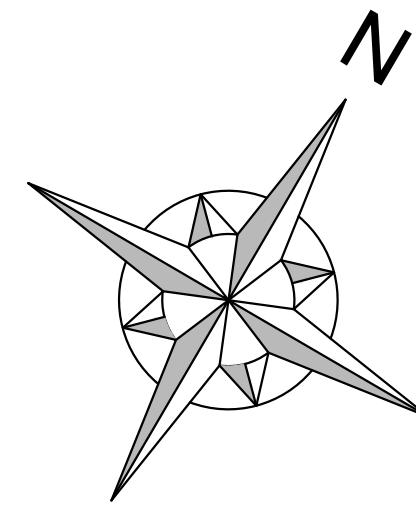
SCALE
DRAWN B. FARRELL
CHECK
DATE

**EXISTING
SECOND
FLOOR
PLAN**

SHEET

A2.4

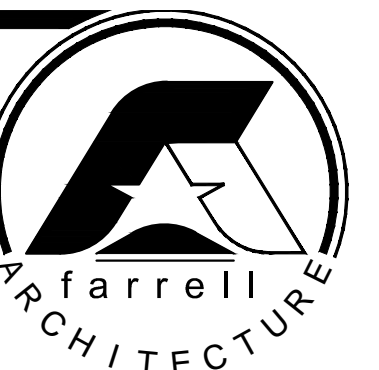
OF



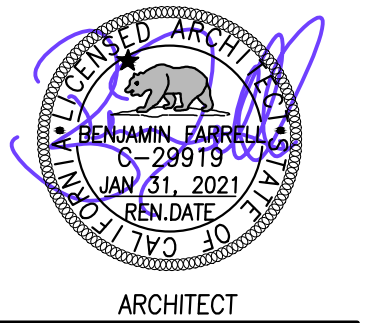
SUBJECT PROPERTY
88 GEORGE LANE
APN: 064-254-30

EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

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REVISION / DATE	SHEET
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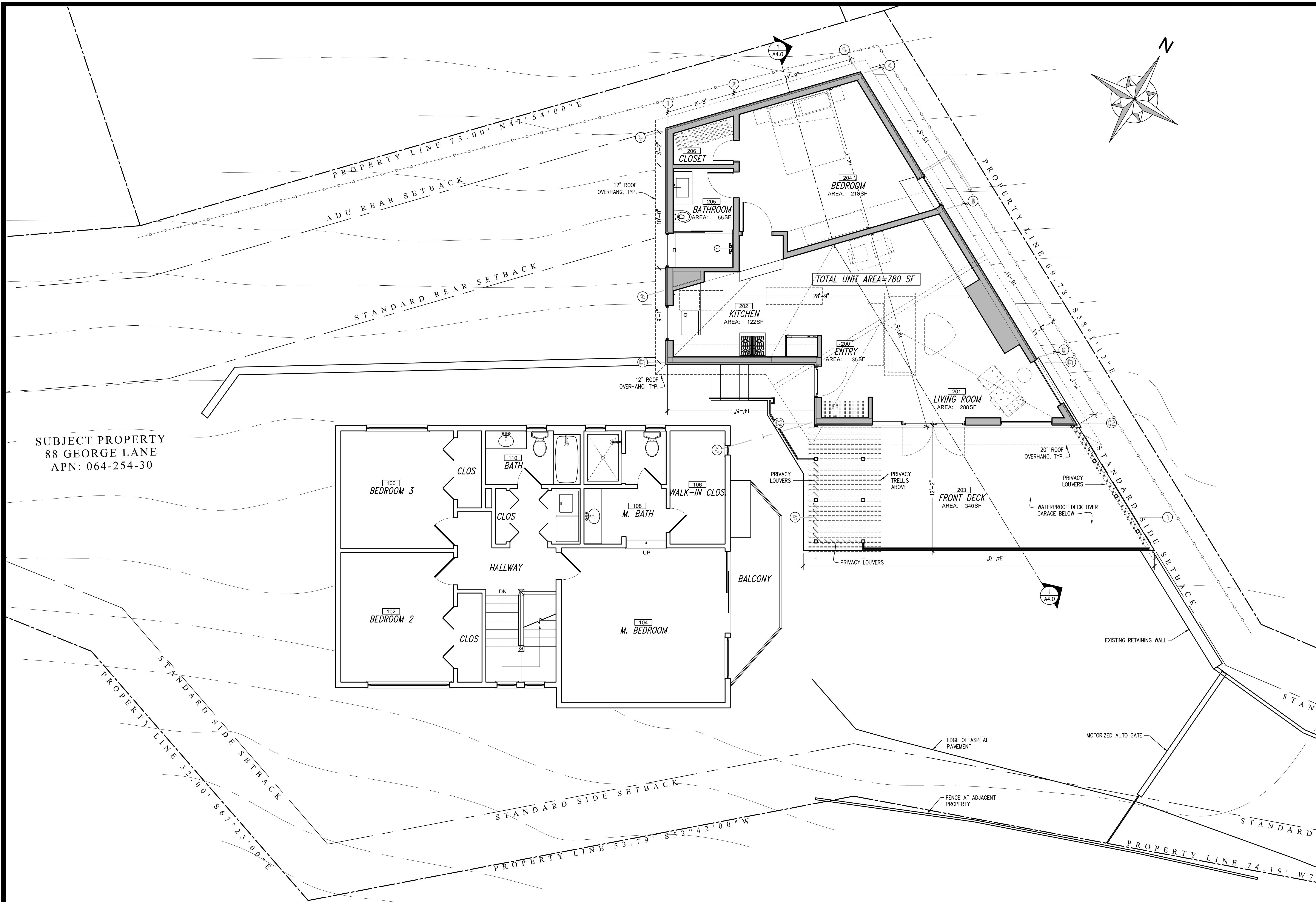
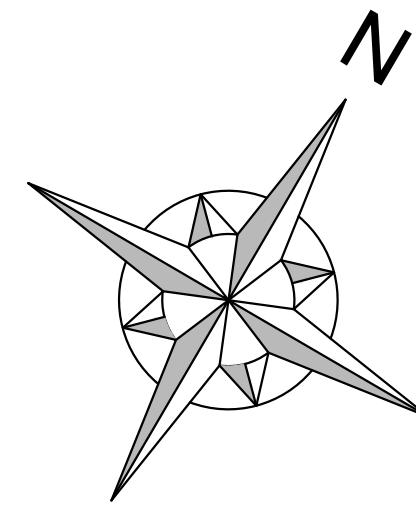
SCALE
DRAWN B. FARRELL
CHECK
DATE

PROPOSED SECOND FLOOR PLAN

SHEET

A2.5

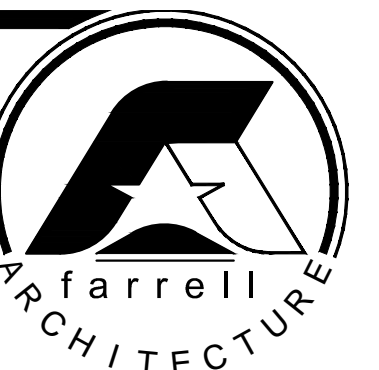
OF



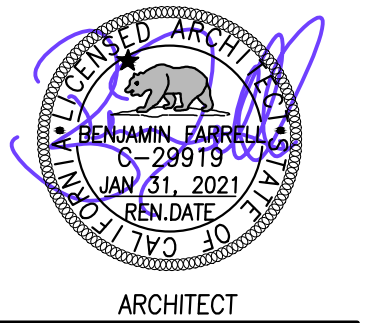
SUBJECT PROPERTY
88 GEORGE LANE
APN: 064-254-30

PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"

Jan 21, 2021 - 9:21am / B. Farrell



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APN:
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ACTIVE PERMITS

REVISION / DATE	SHEET
1 PLAN REVIEW COMMENTS 5-30-2019	<input type="checkbox"/>
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3 ADU RESUBMITTAL 9-9-19	<input type="checkbox"/>
4 POST APPROVAL ZONING REVIEW COMMENTS 10-15-20	<input type="checkbox"/>
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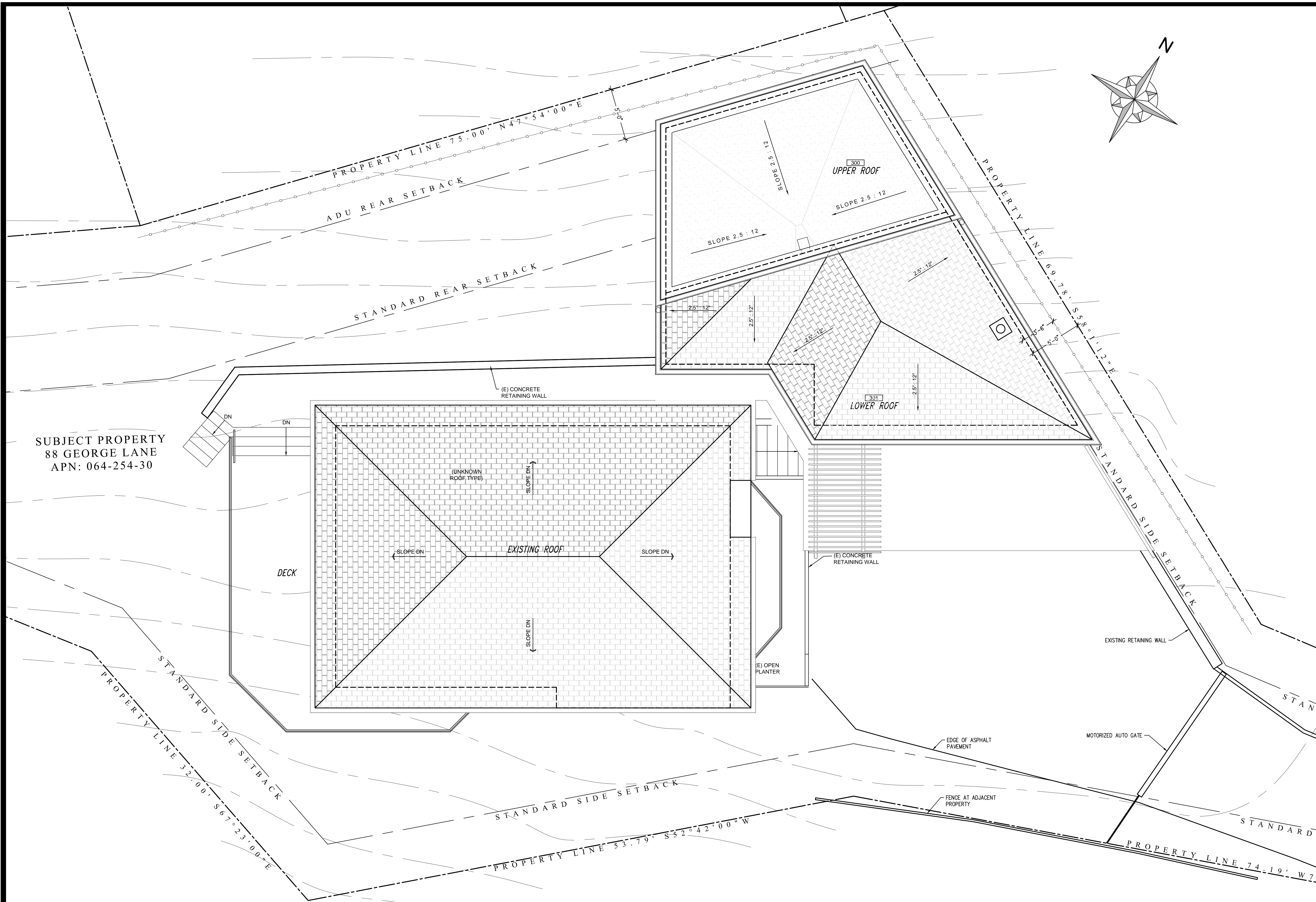
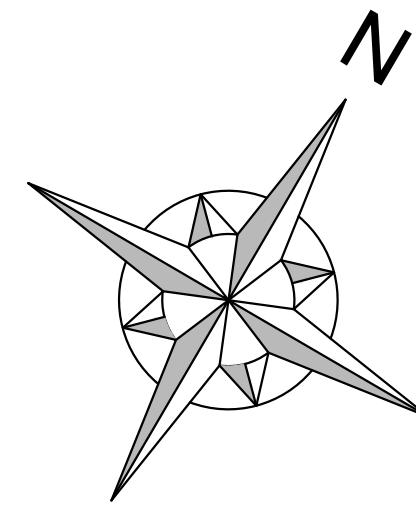
SCALE
DRAWN B. FARRELL
CHECK
DATE

PROPOSED ROOF PLAN

SHEET

A2.7

OF



SUBJECT PROPERTY
88 GEORGE LANE
APN: 064-254-30

PROPOSED ROOF PLAN
SCALE: 1/4" = 1' - 0"

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ADDITIONAL DWELLING UNIT
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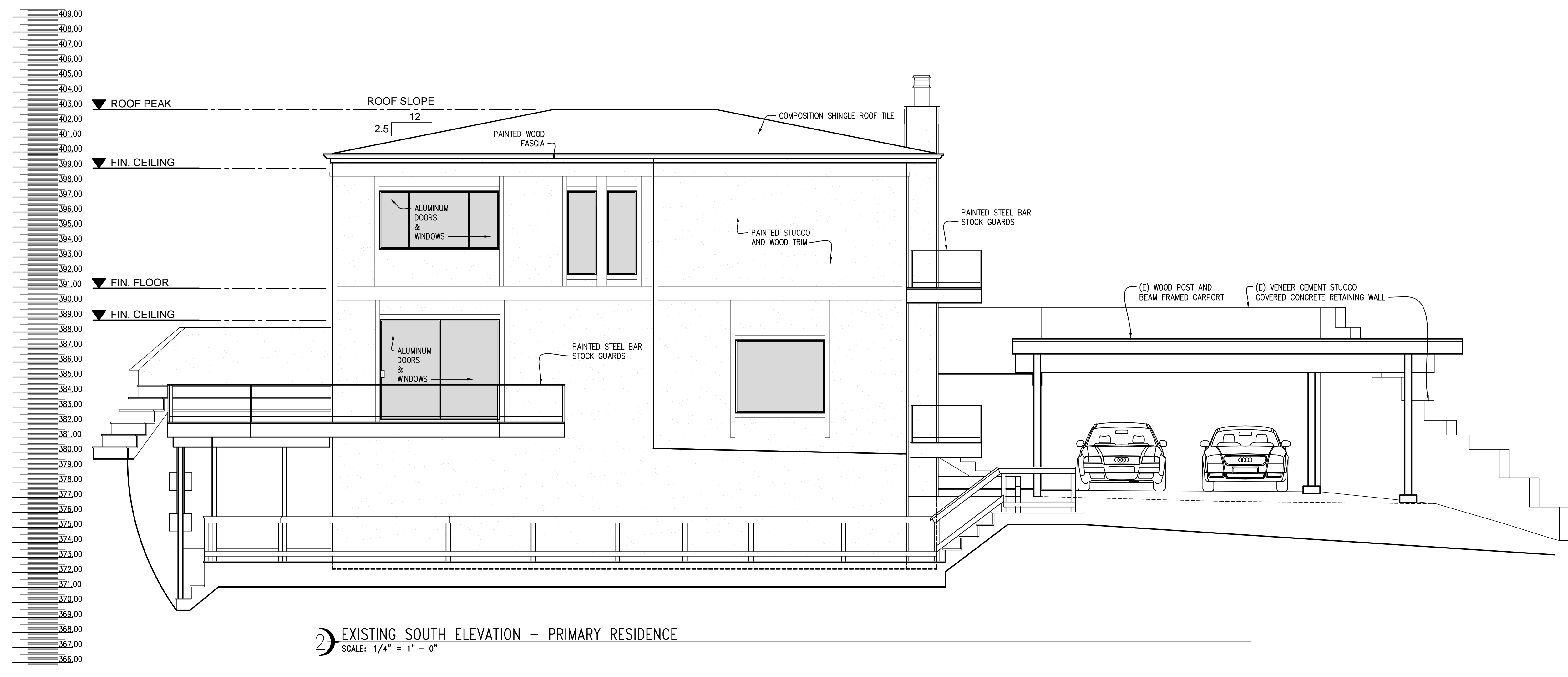
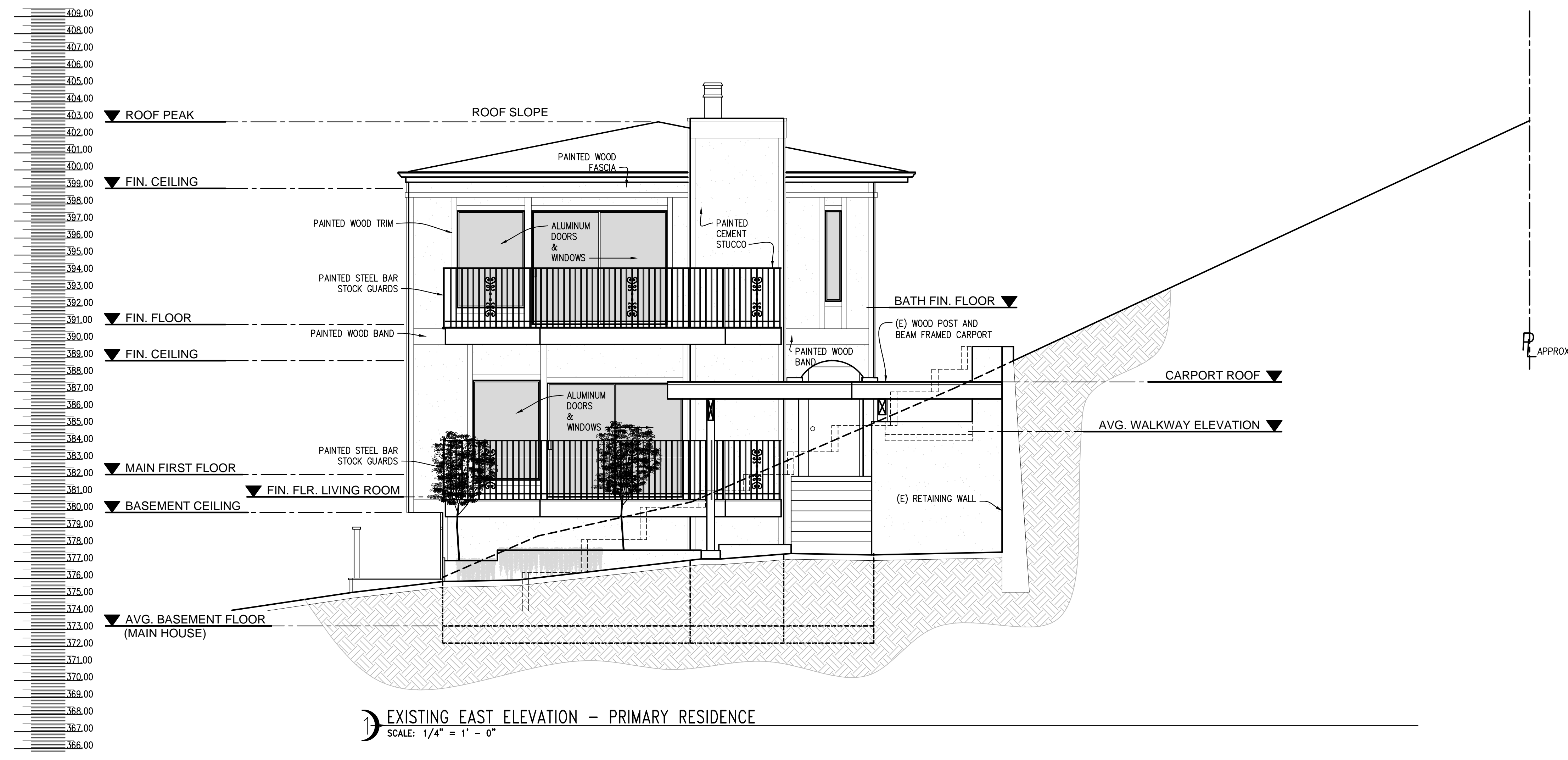
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2 PLANNING REVIEW 8-1-19	<input type="checkbox"/>
3 ADU RESUBMITTAL 9-9-19	<input type="checkbox"/>
4 POST APPROVAL ZONING REVIEW COMMENTS 10-15-20	<input type="checkbox"/>
5 2ND NOTICE COMMENTS 1-20-21	<input type="checkbox"/>

SCALE
DRAWN B. FARRELL
CHECK
DATE

EXTERIOR ELEVATIONS

EXISTING HOUSE

SHEET



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APN:
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ACTIVE PERMITS

REVISION / DATE	SHEET
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SCALE
DRAWN B. FARRELL
CHECK
DATE

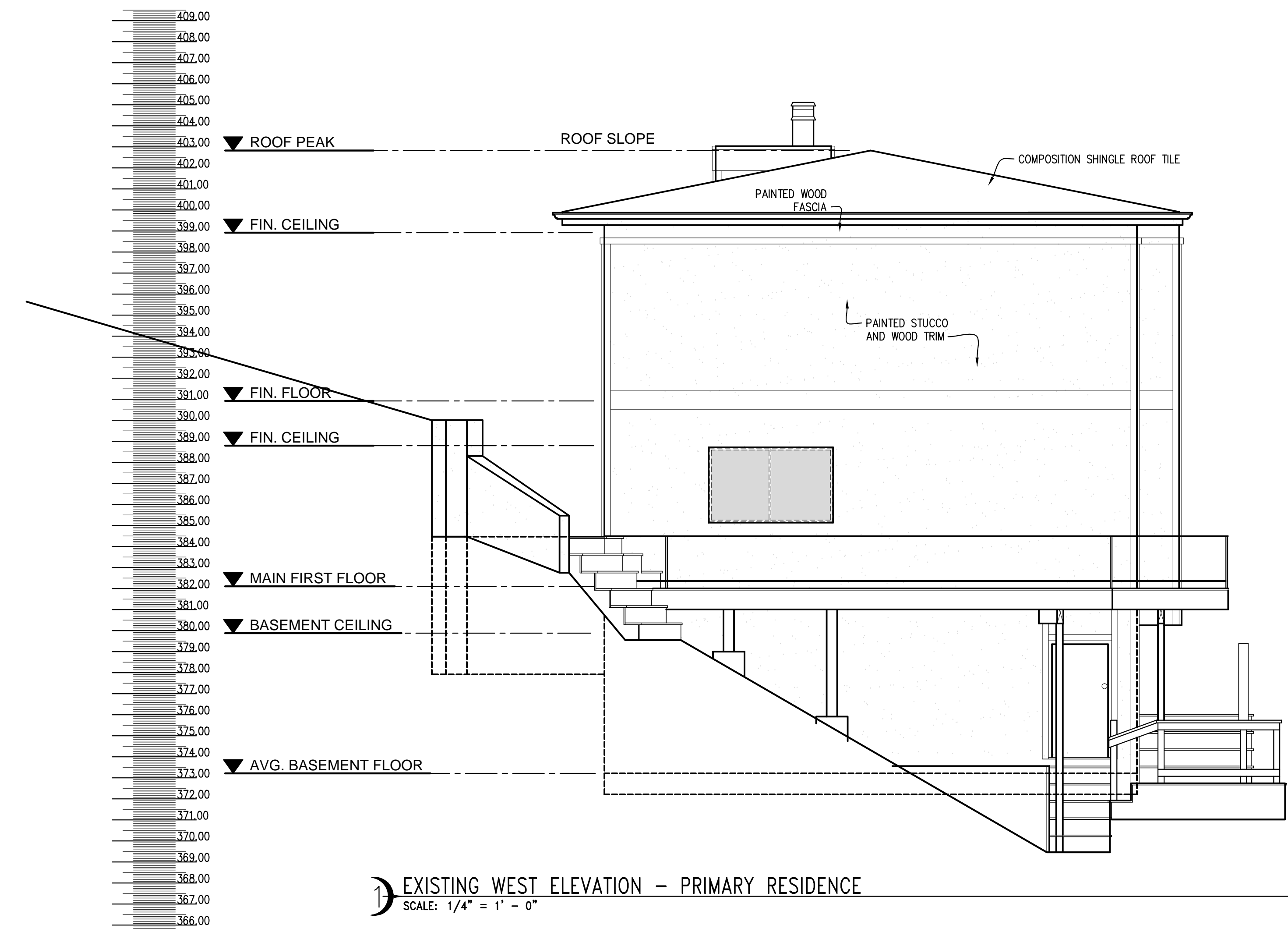
EXTERIOR ELEVATIONS

EXISTING HOUSE

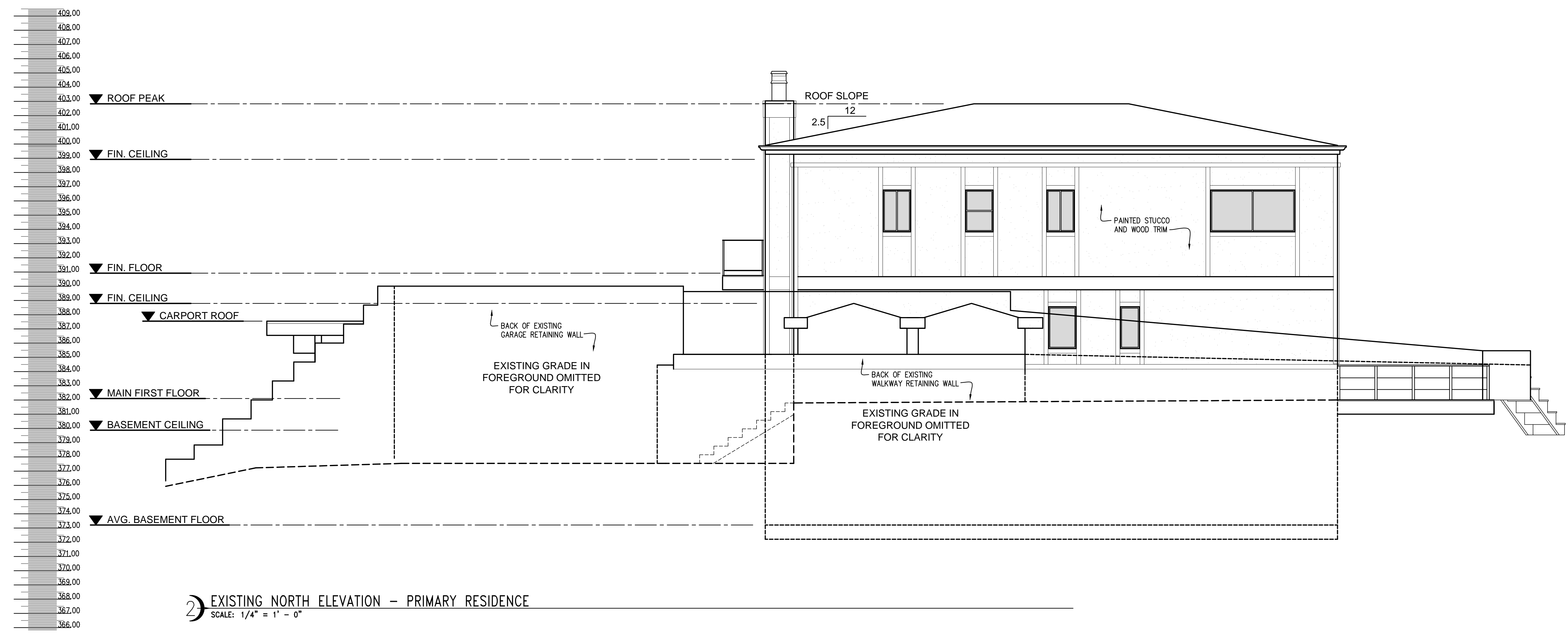
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A3.1

OF



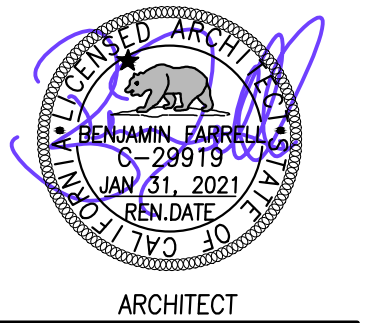
1 EXISTING WEST ELEVATION - PRIMARY RESIDENCE
SCALE: 1/4" = 1' - 0"



2 EXISTING NORTH ELEVATION - PRIMARY RESIDENCE
SCALE: 1/4" = 1' - 0"



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REVISION / DATE	SHEET
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SCALE
DRAWN B. FARRELL
CHECK
DATE

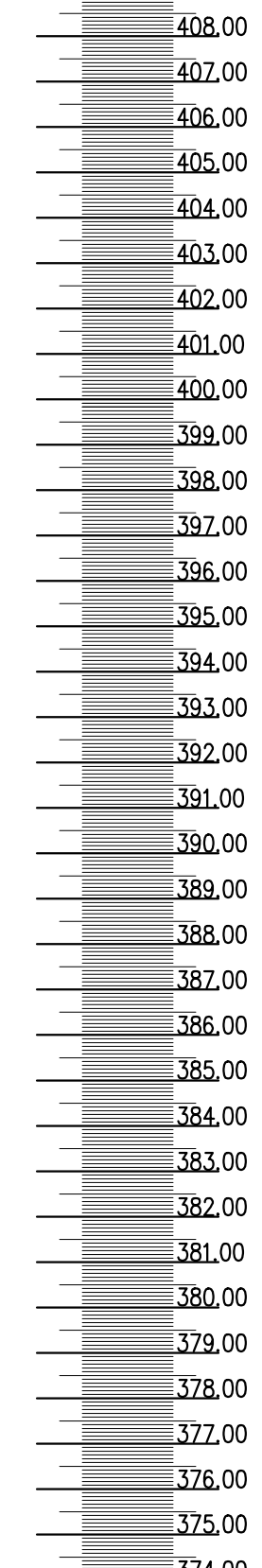
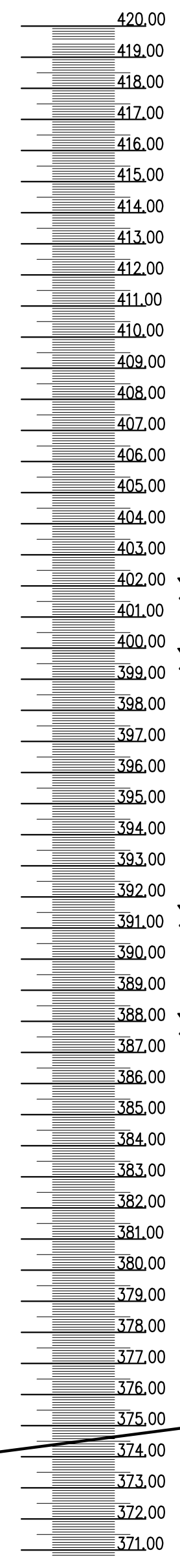
EXTERIOR ELEVATIONS

ADDITIONAL DWELLING UNIT

SHEET

A3.2

OF



32 FT OVERALL HEIGHT LIMIT
(PER FOOTPRINT OF PROPOSED ADU)

32 FT ABOVE AVG. NATURAL GRADE
AT FOOTPRINT OF PROPOSED ADU

ROOF OVER GARAGE HEIGHT LIMIT
EL: 401.58'
ROOF PEAK OVER GARAGE
EL: 399.25'
GUARD HT
EL: 391.08'
ADU FIN. FLOOR
EL: 387.58'

ROOF OVER BEDROOM LIMIT
EL: 402.83'

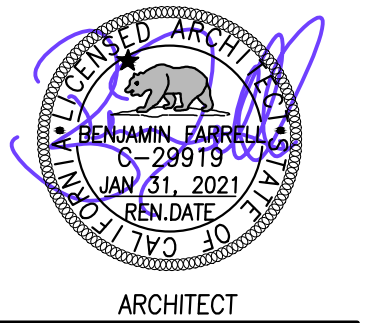
PROPOSED EAST ELEVATION - ADDITIONAL DWELLING UNIT
SCALE: 1/4" = 1' - 0"

PROPOSED SOUTH ELEVATION - ADDITIONAL DWELLING UNIT
SCALE: 1/4" = 1' - 0"

Jan 21, 2021 - 10:57am / B. Farrell



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ADDITIONAL DWELLING UNIT
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APN:
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ACTIVE PERMITS

REVISION / DATE	SHEET
1 PLAN REVIEW COMMENTS 5-30-2019	<input type="checkbox"/>
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SCALE
DRAWN B. FARRELL
CHECK
DATE

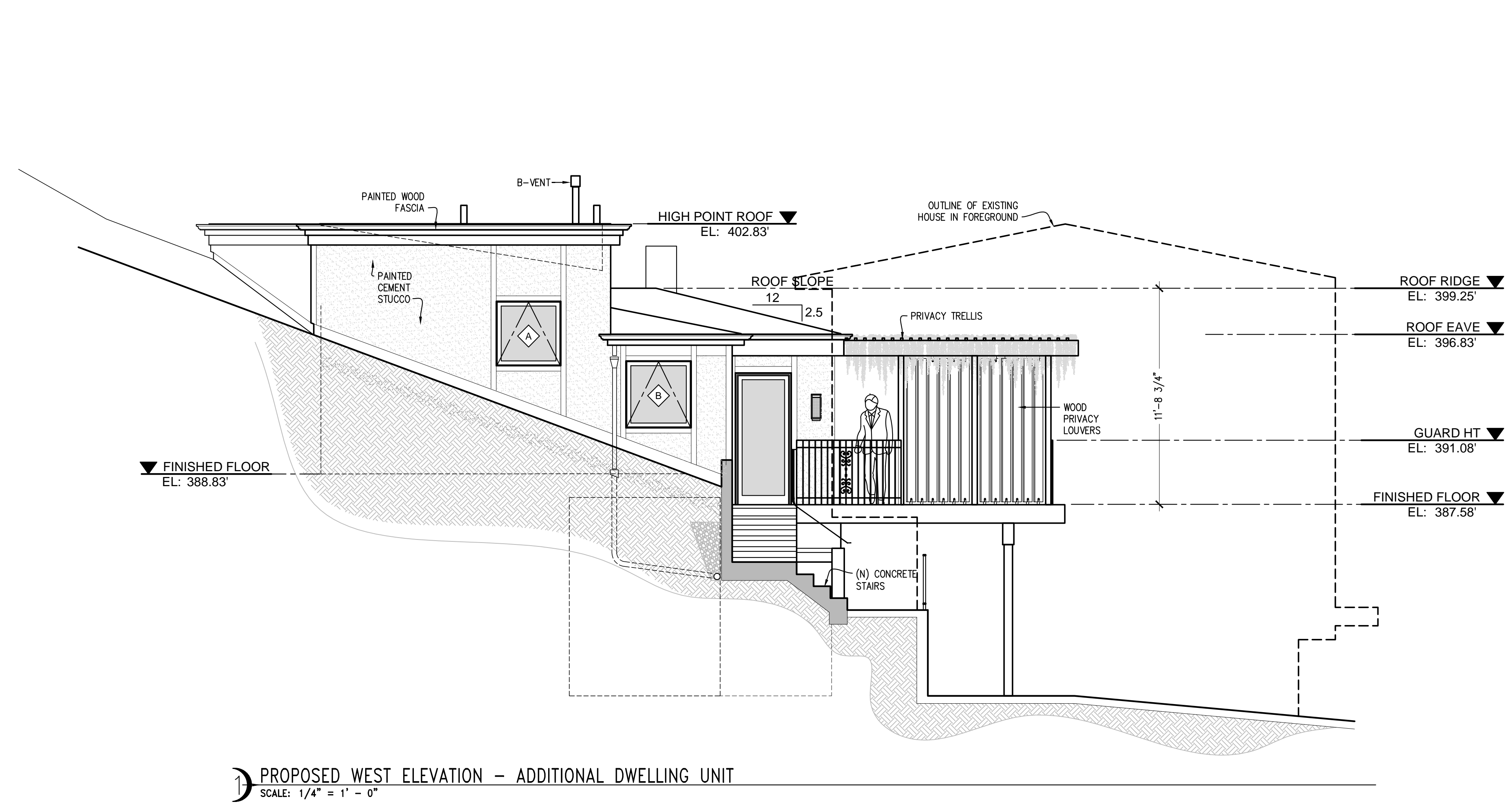
EXTERIOR ELEVATIONS

ADDITIONAL DWELLING UNIT

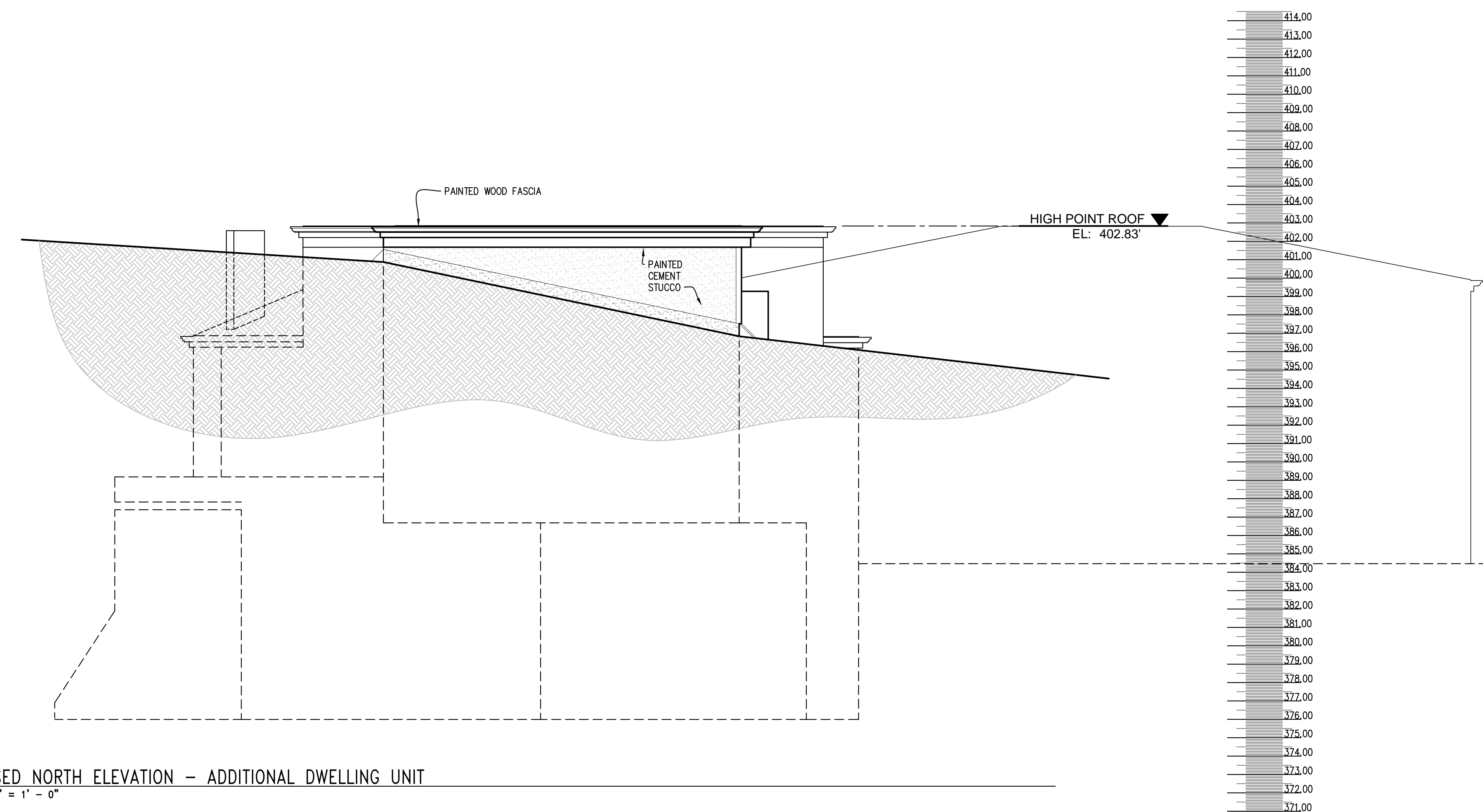
SHEET

A3.3

OF



1) PROPOSED WEST ELEVATION - ADDITIONAL DWELLING UNIT
SCALE: 1/4" = 1' - 0"



2) PROPOSED NORTH ELEVATION - ADDITIONAL DWELLING UNIT
SCALE: 1/4" = 1' - 0"

ADDITIONAL DWELLING UNIT
88 GEORGE LANE
SAUSALITO, CA
94965

APN:
064-254-30
ACTIVE PERMITS

REVISION / DATE	SHEET
1 PLAN REVIEW COMMENTS 5-30-2019	<input type="checkbox"/>
2 PLANNING REVIEW 8-1-19	<input type="checkbox"/>
3 ADU RESUBMITTAL 9-9-19	<input type="checkbox"/>
4 POST APPROVAL ZONING REVIEW COMMENTS 10-15-20	<input type="checkbox"/>
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SCALE
DRAWN B. FARRELL
CHECK
DATE

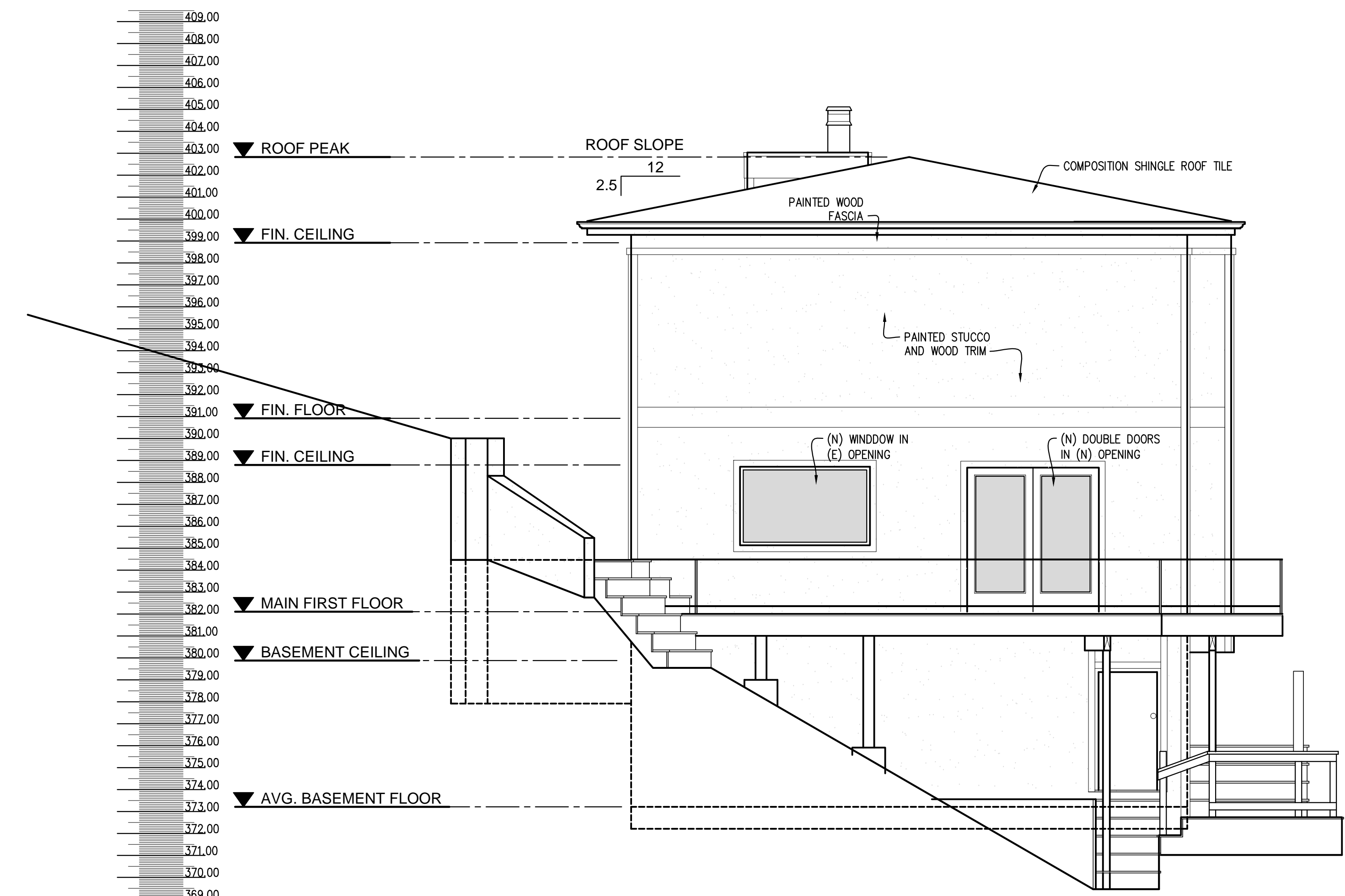
EXTERIOR ELEVATIONS

EXISTING HOUSE

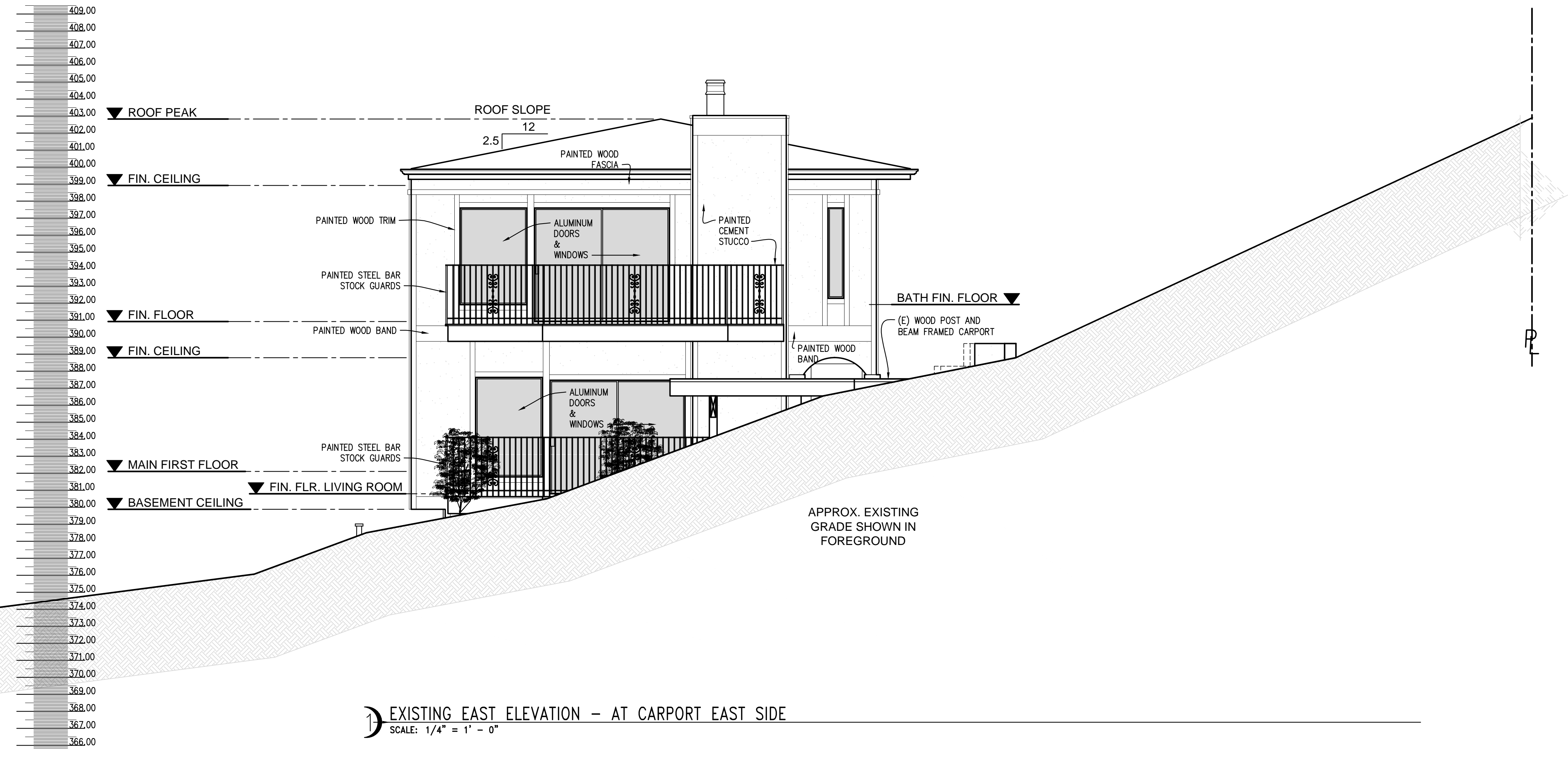
SHEET

A3.4

OF



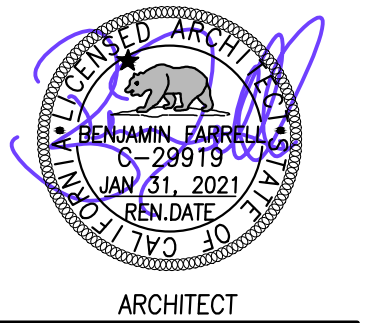
PROPOSED WEST ELEVATION - PRIMARY RESIDENCE
SCALE: 1/4" = 1' - 0"



EXISTING EAST ELEVATION - AT CARPORT EAST SIDE
SCALE: 1/4" = 1' - 0"



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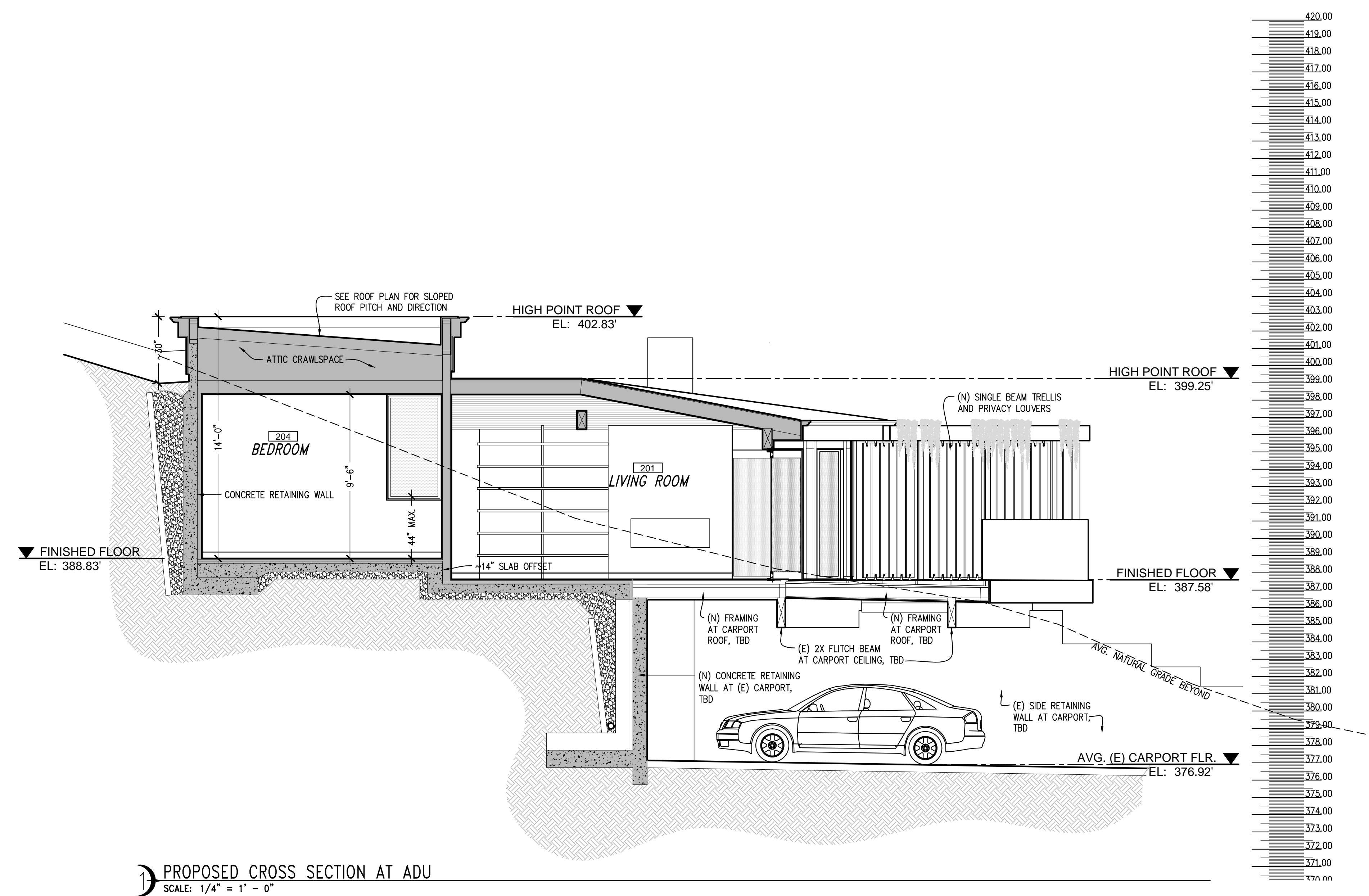
SCALE
DRAWN B. FARRELL
CHECK
DATE

PROPOSED CROSS SECTION

SHEET

A4.0

OF

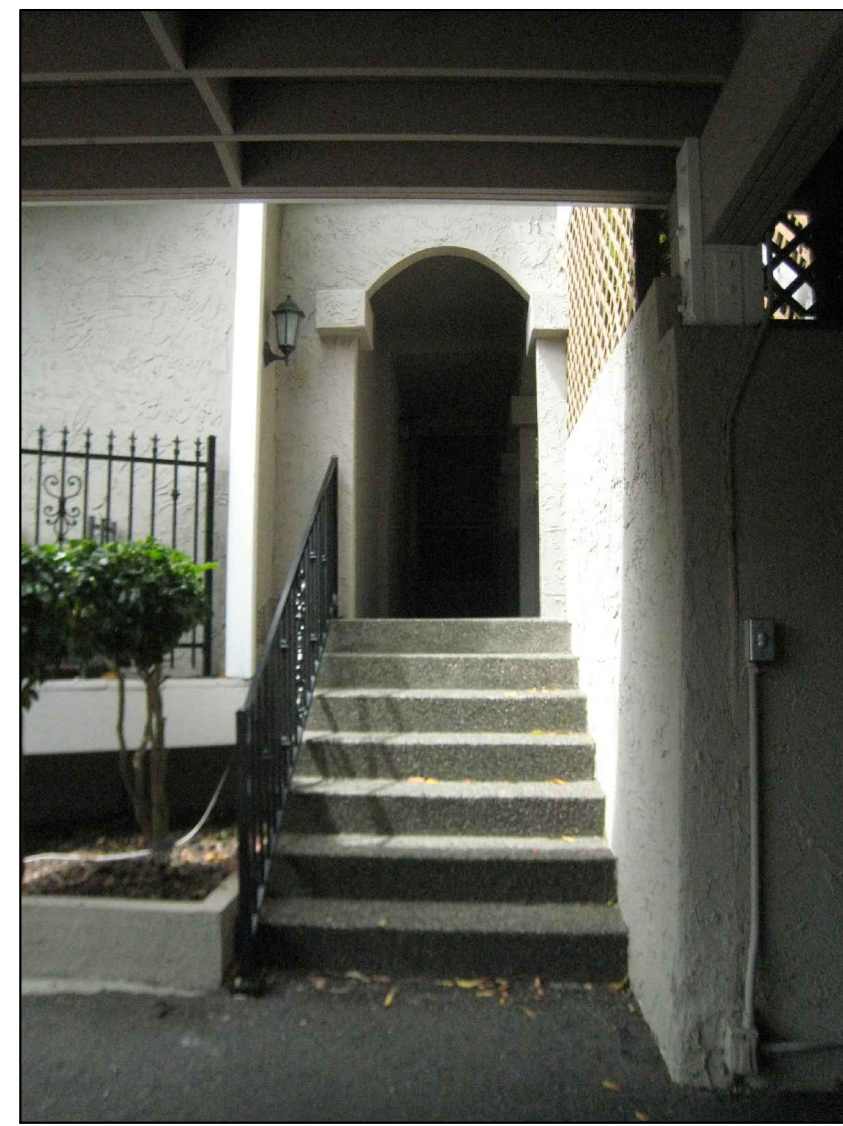


PROPOSED CROSS SECTION AT ADU
SCALE: 1/4" = 1' - 0"

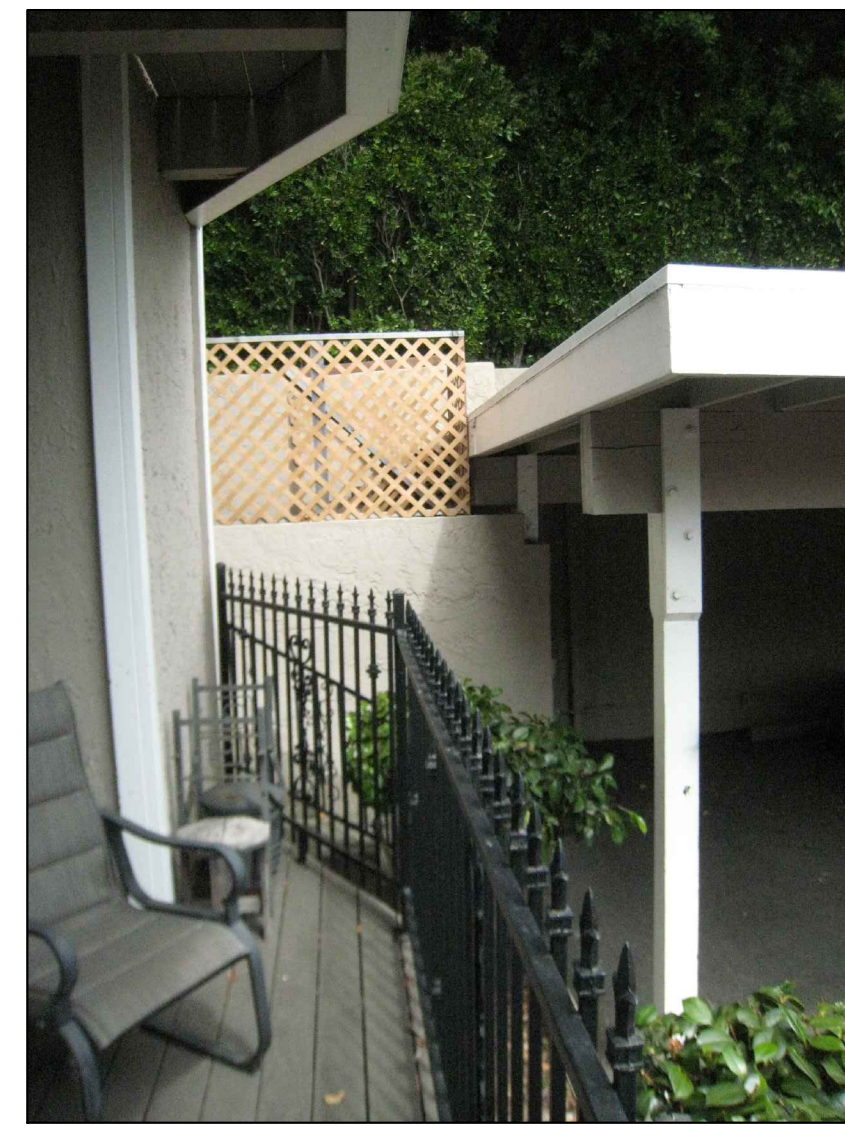
Jan 21, 2021 - 10:59am / B. Farrell



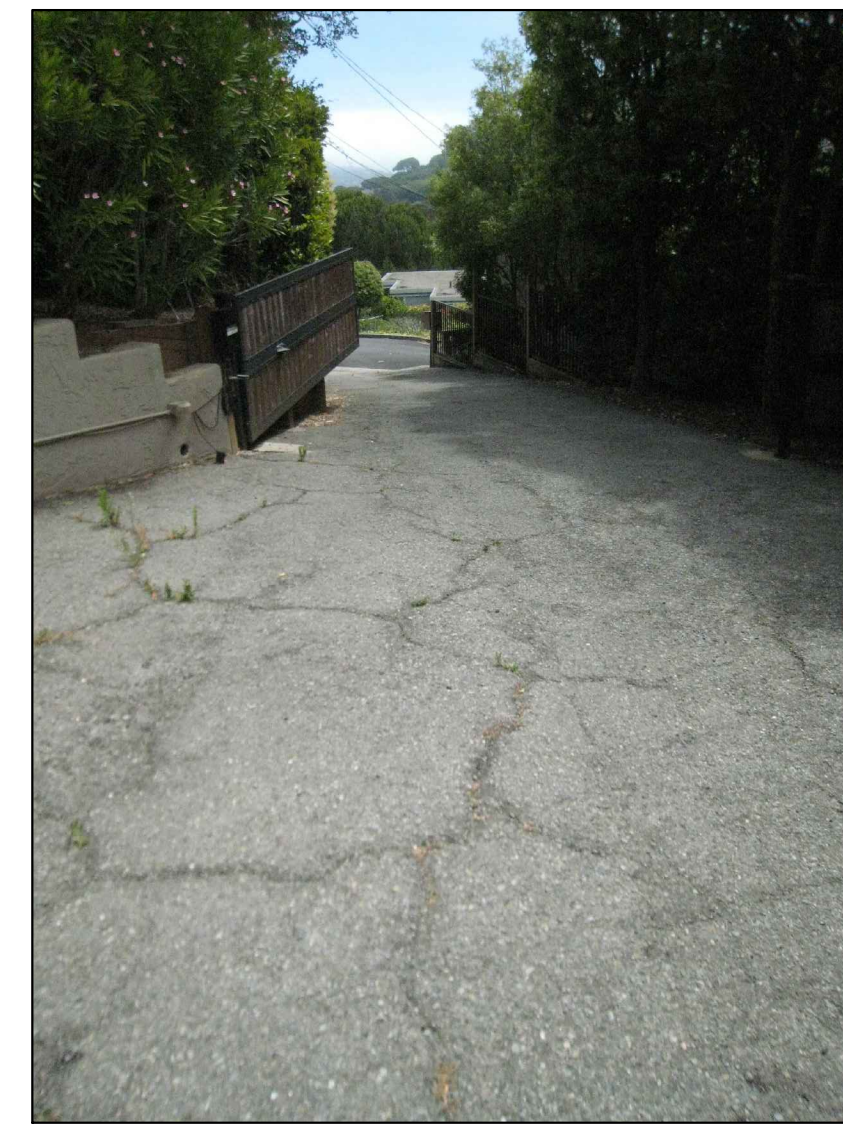
FRONT OF MAIN HOUSE



STAIRS TO ENTRY PORCH AT MAIN HOUSE



DISTANCE OF MAIN HOUSE TO EXISTING GARAGE ROOF



PAVED DRIVEWAY

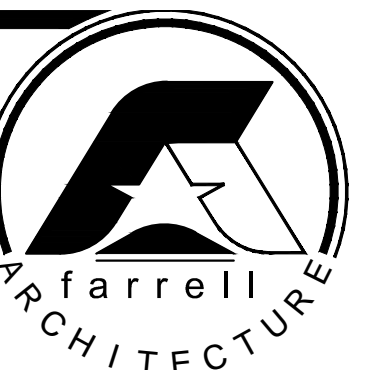


90 GEORGE WINDOW AT DRIVEWAY

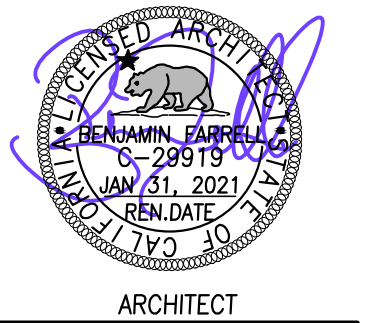


90 GEORGE WINDOWS AT DRIVEWAY

5



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ARCHITECT

ADDITIONAL DWELLING UNIT
88 GEORGE LANE
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EXISTING GARAGE ROOF



REALTIONSHIP EXISTING GARAGE ROOF TO MAIN HOUSE



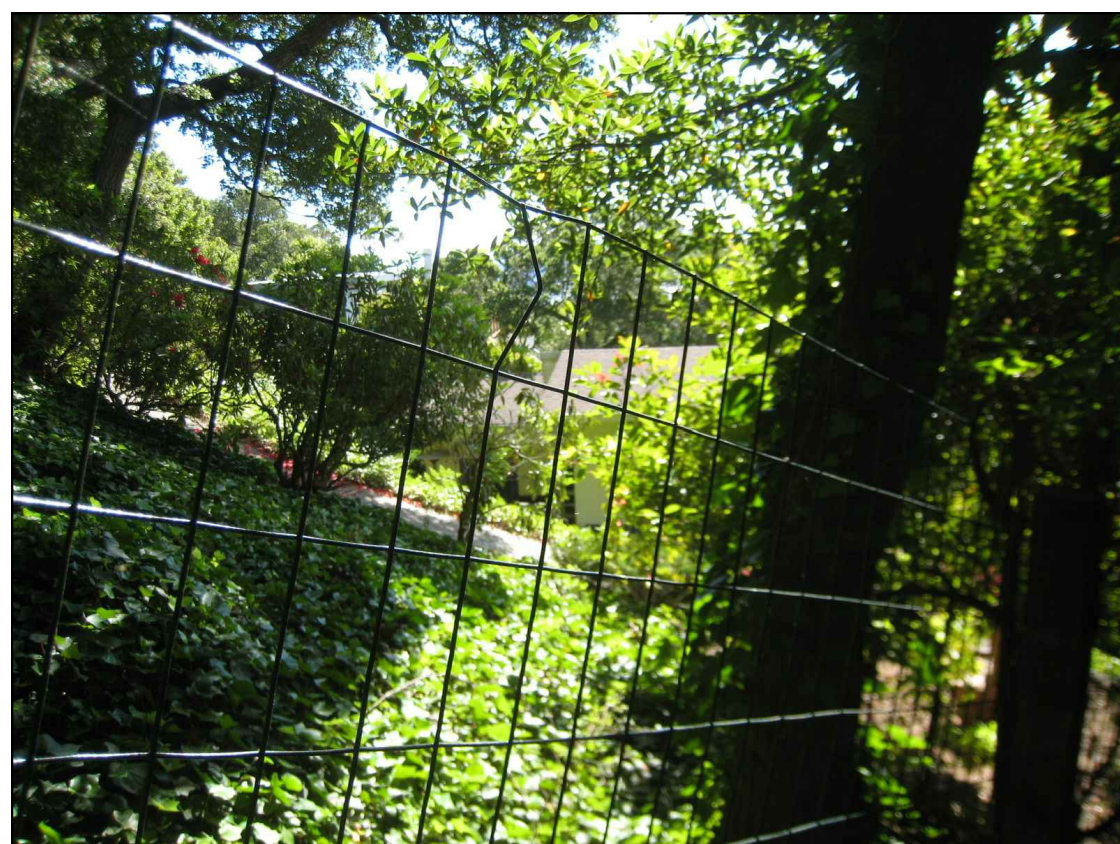
CRAWLSPACE UNDER MAIN HOUSE (~5 FT OPEN EARTH FLOOR)



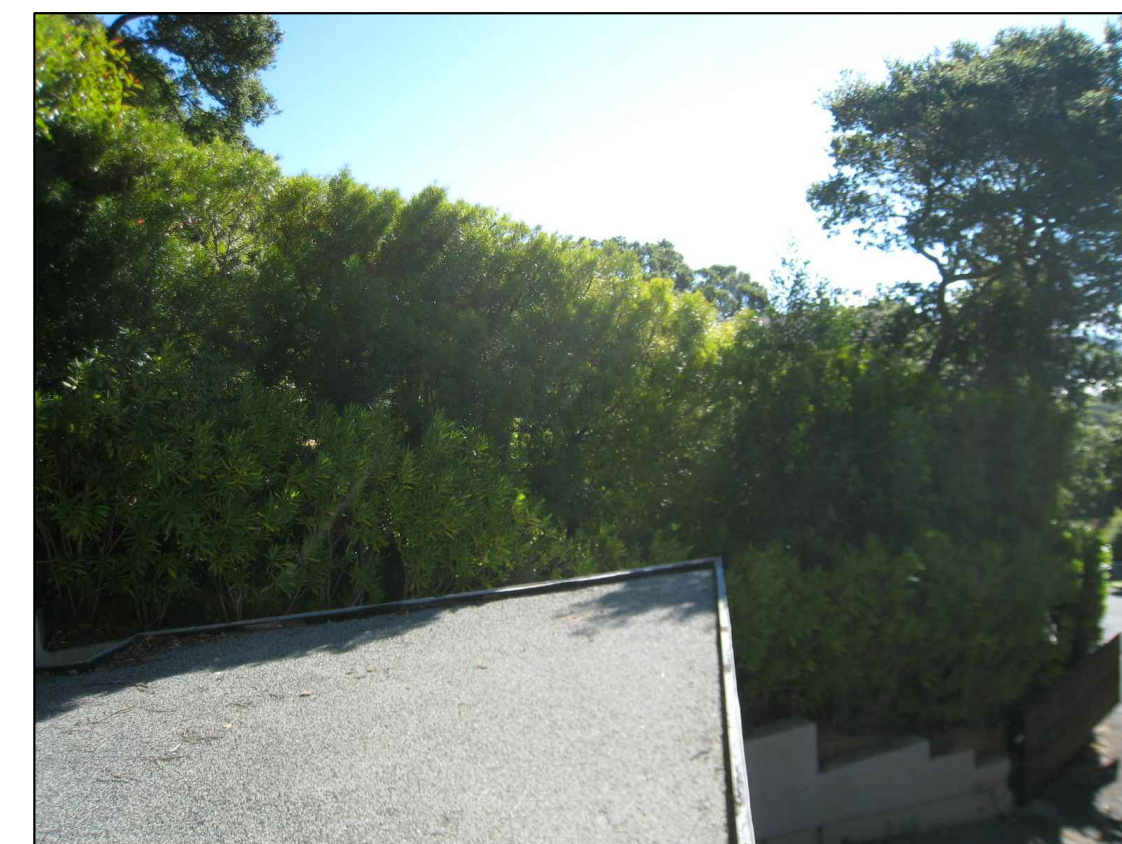
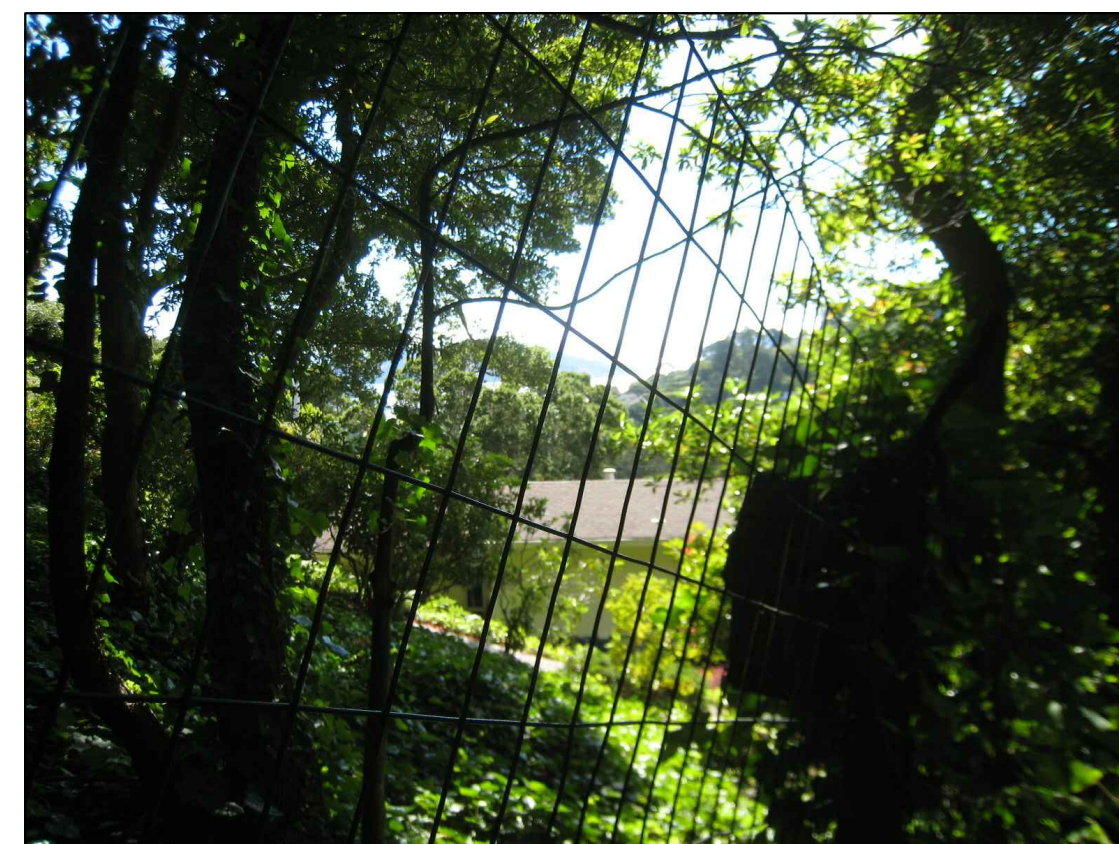
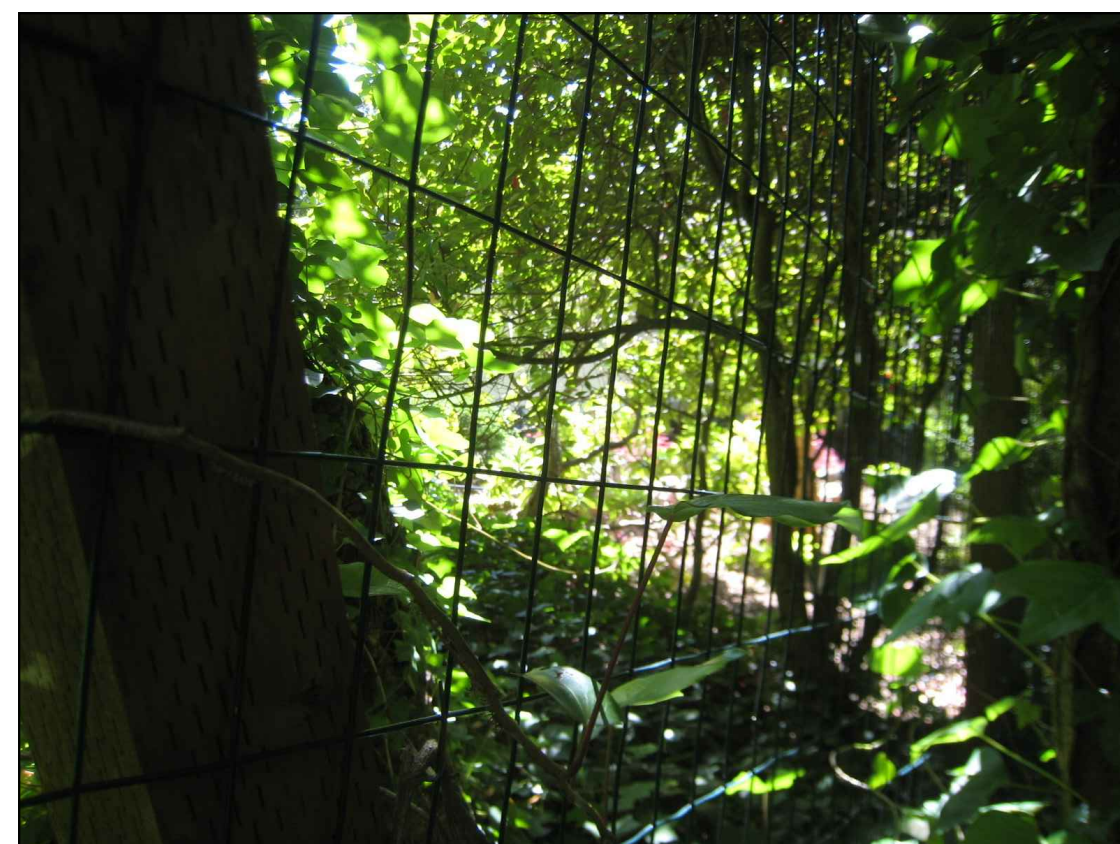
EXISTING REAR DECK AT MAIN HOUSE



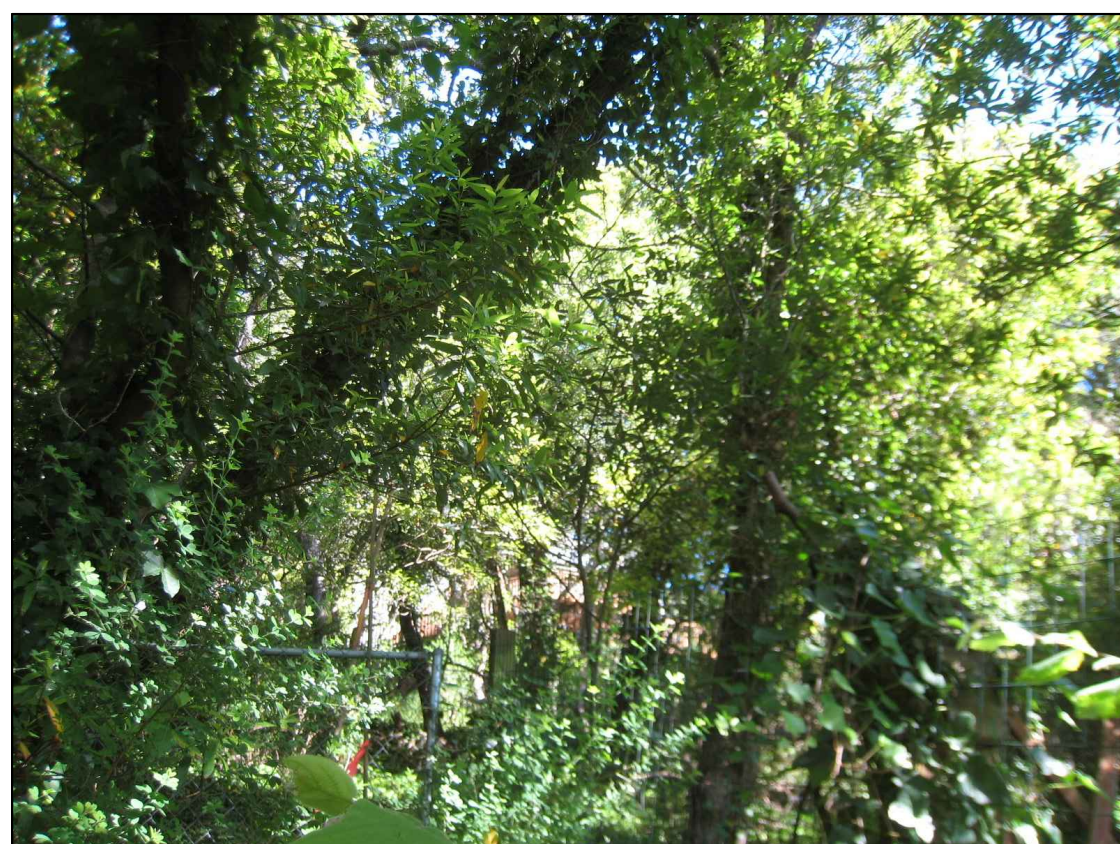
VIEW TOWARDS 90 GEORGE W/ EXISTING SCREENING



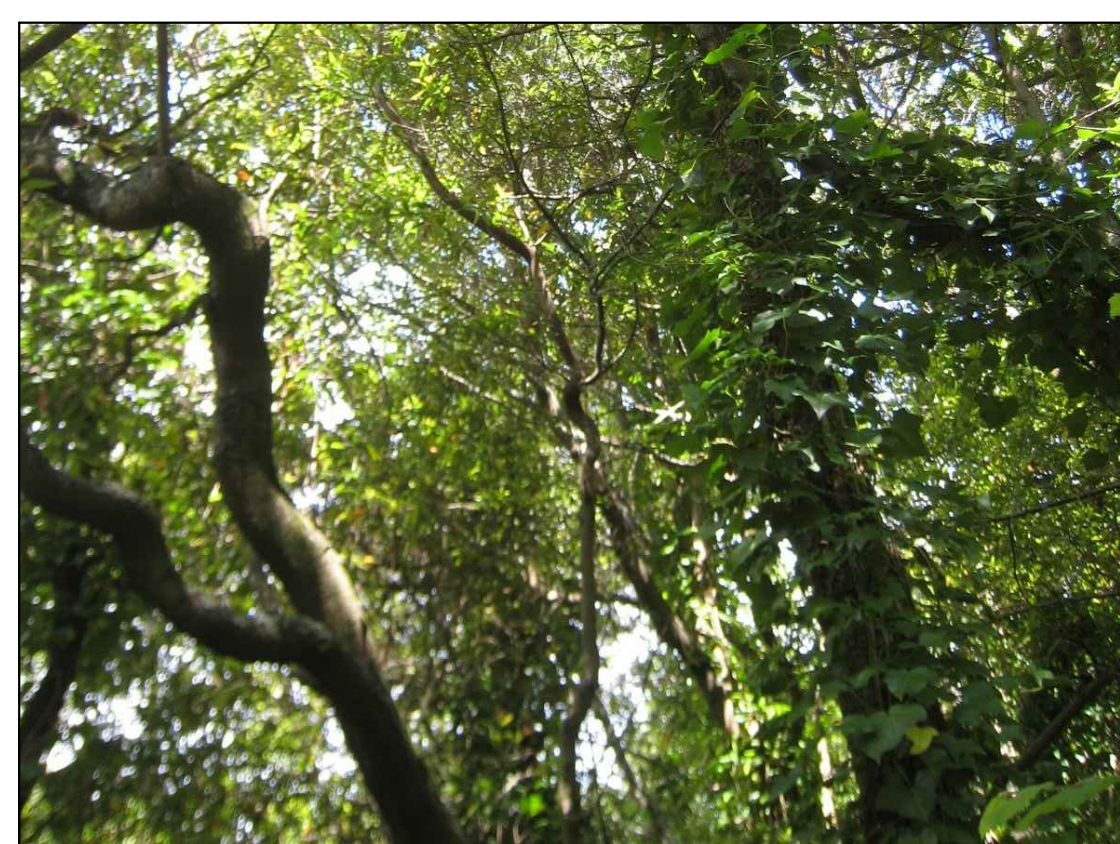
VIEW TOWARDS 84 GEORGE AT PROPERTY LINE FENCE W/ EXISTING LANDSCAPE SCREENING



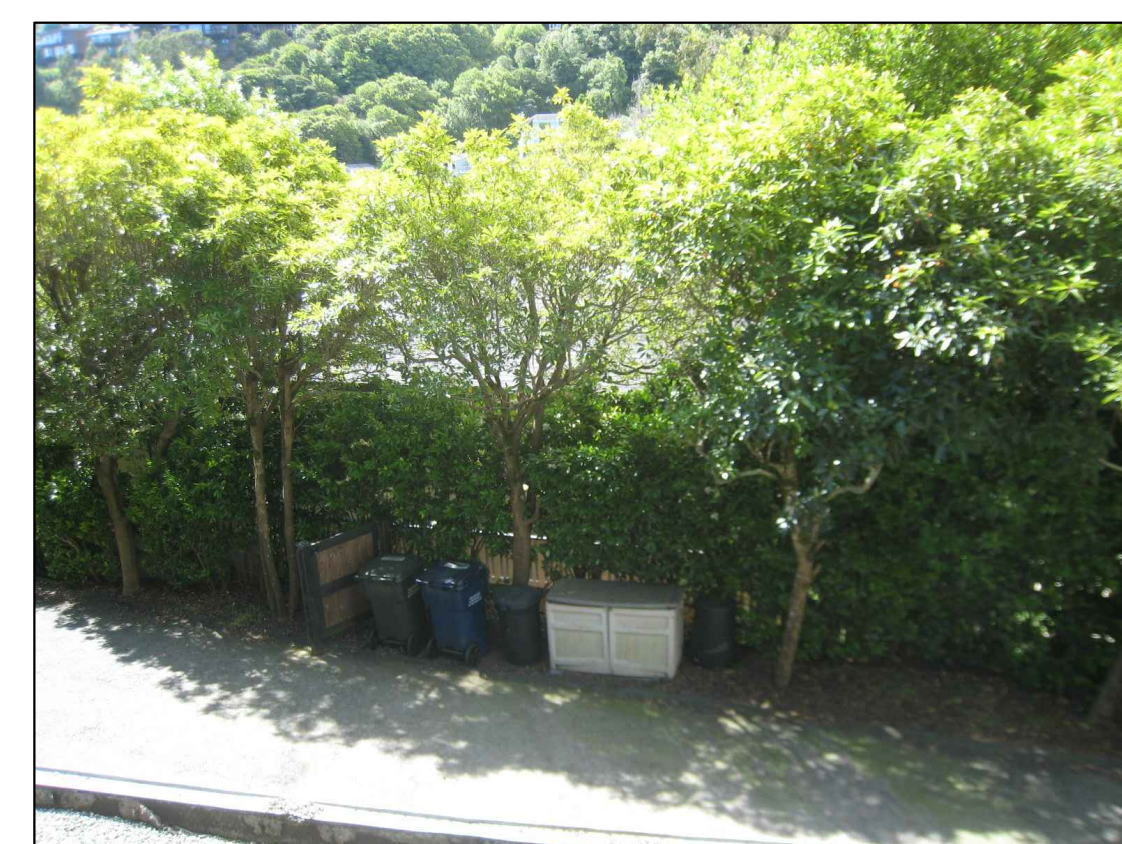
VIEW TOWARDS 84 GEORGE FROM EXISTING GARAGE ROOF



VIEW TOWARDS 83 & 89 MONTE MAR AT PROPERTY LINE W/ EXISTING LANDSCAPE SCREENING



VIEW TOWARDS 90 GEORGE FROM EXISTING GARAGE ROOF



APN:
064-254-30
ACTIVE PERMITS

REVISION / DATE	SHEET
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5 2ND NOTICE COMMENTS 1-20-21	<input type="checkbox"/>

SCALE
DRAWN B. FARRELL
CHECK
DATE

SITE
PHOTOGRAPHS

SHEET

A10.0

OF

Jan 25, 2021 - 4:35pm / B. Farrell

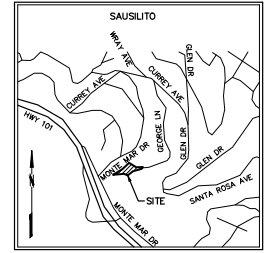
SYMBOLS & LEGEND

EXISTING

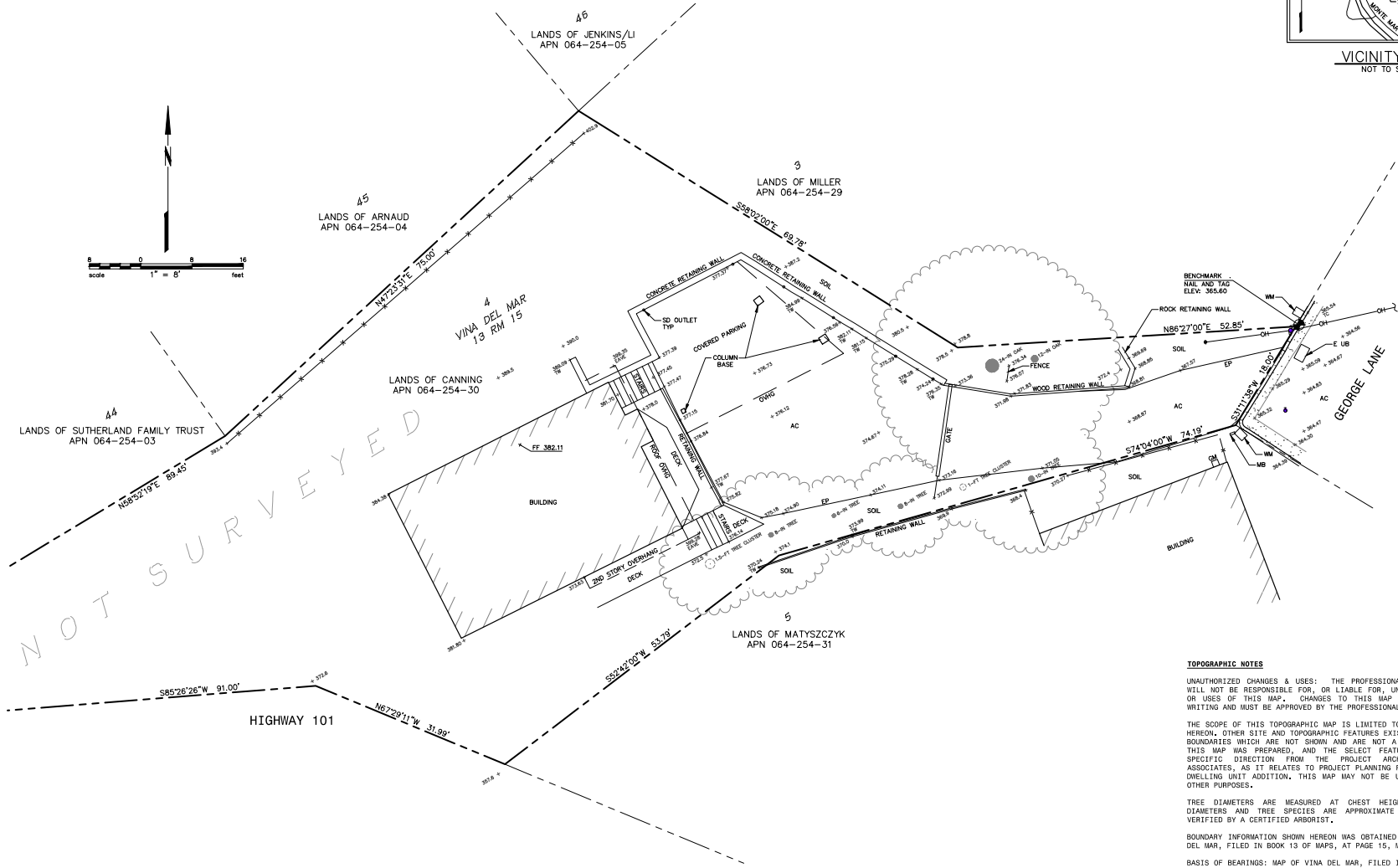
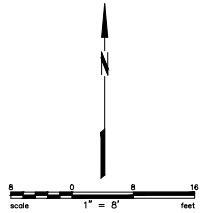
- BENCHMARK
- UTILITY POLE
- GUY ANCHOR
- TREE
- TREE CLUSTER
- PROPERTY LINE
- FENCE
- CONCRETE

ABBREVIATIONS

- () RECORD DATA
- AC ASPHALT CONCRETE
- APN ASSESSOR'S PARCEL NUMBER
- E ELECTRIC
- ELEV ELEVATION
- EP EDGE OF PAVEMENT
- GM GAS METER
- MB MAILBOX
- OVHG OVERHANG
- SD STORM DRAIN
- TC TOP FACE OF CURB
- TW TOP OF WALL
- TYP TYPICAL
- UB UTILITY BOX
- WM WATER METER



VICINITY MAP
NOT TO SCALE



TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE SCOPE OF THIS TOPOGRAPHIC MAP IS LIMITED TO THOSE FEATURES SHOWN HEREON. OTHER SITE AND TOPOGRAPHIC FEATURES EXIST WITHIN THE PROPERTY BOUNDARIES WHICH ARE NOT SHOWN AND ARE NOT A PART OF THIS SURVEY. THIS MAP WAS PREPARED, AND THE SELECT FEATURES SHOWN, BASED ON SPECIFIC INFORMATION FROM THE PROJECT ARCHITECT, FARRELL AND ASSOCIATES, AS IT RELATES TO PROJECT PLANNING FOR A POTENTIAL SECOND DWELLING UNIT ADDITION. THIS MAP MAY NOT BE USED BY OTHERS OR FOR OTHER PURPOSES.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIFLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE MAP OF VINA DEL MAR, FILED IN BOOK 13 OF MAPS, AT PAGE 15, MARIN COUNTY RECORDS.

BASIS OF BEARINGS: MAP OF VINA DEL MAR, FILED IN BOOK 13 OF MAPS, AT PAGE 15, MARIN COUNTY RECORDS.

BENCHMARK: NAIL AND TAG IN TOP OF CURB TAGGED 'LS3971', SHOWN HEREON. ELEV: 365.60 (DATUM NAVD 88 BY GPS OBSERVATION).

FIELD SURVEY DATE: 02/11/19



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PARTIAL TOPOGRAPHIC MAP

Revision	No.	Date	By	Checked By	Approved By	Job No.
		02/11/19	JK	JK	JK	190075_TPOD.dwg