SAUSALITO PLANNING COMMISSION RESOLUTION NO. 2021-08

DENIAL OF THE APPEAL AND UPHOLDING OF THE COMMUNITY DEVELOPMENT DEPARTMENT'S DETERMINATION OF THE APPROVAL OF THE ACCESSORY DWELLING UNIT PERMIT AT 88 GEORGE LANE WITH CONDITIONS (PROJECT ID 2021-00045)

WHEREAS, on September 11, 2019 the Community Development Department received an ADU Permit application (Project ID 2019-00246) for 88 George Lane from Applicant Benjamin Farrell on behalf of property owner Seamus Canning; and

WHEREAS, the Community Development Department reviewed the application and determined that it met the Accessory Dwelling Unit Permit Standards listed in Sausalito Municipal Code (SMC) Section 10.44.080.E; and

WHEREAS, on February 11, 2021, the Community Development Department approved the ADU Permit, pursuant to SMC Section 10.44.080.D.1 which states: "Any application for an accessory dwelling unit that meets the accessory dwelling unit permit standards contained in subsection E of this section shall be approved administratively without discretionary review or public hearing within 60 days of receiving a complete application."; and

WHEREAS, the Community Development Department's decision was subject to a 10-day appeal period ending on February 22, 2021; and

WHEREAS, on February 18, 2021 the Community Development Department received an appeal of administrative decision of the ADU Permit pursuant to SMC section 10.84.020; and

WHEREAS, the Planning Commission conducted a duly-noticed public hearing to consider the appeal on April 7, 2021 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the April 7, 2021 Staff Report for the project; and

WHEREAS, the Planning Commission finds that the Community Development Department's determination of the approval of the ADU Permit at 88 George Lane complies with the Sausalito Municipal Code; and

WHEREAS, the determination of approval of an ADU Permit is Statutorily Exempt from further environmental review under Section 15268 (Ministerial Projects) of the California Environmental Quality Act (CEQA) guidelines and Section 21080(b)(1) of the Public Resources Code.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

- 1. The project is Categorically Exempt under §15268 the CEQA Guidelines.
- 2. The Planning Commission denies the appeal and upholds the Community Development Department's determination of approval of the ADU Permit at 88 George Lane (Attachment 2) on the basis that the Community Development's approval of the ADU Permit was consistent with the standards listed in Sausalito Municipal Code (SMC) Section 10.44.080.E and subject to the Conditions in Attachment 1.

RESOLUTION PASSED AND ADOPTED, at the adjourned regular meeting of the Sausalito Planning Commission on the 7th day of April, 2021, by the following vote:

AYES: Commissioner: Pierce, Graef, Saad, Luxenberg, Chair Feller

NOES: Commissioner: None ABSENT: Commissioner: None Commissioner: None

Lilly Whalen
Lilly Whalen, Secretary to the Planning Commission

ATTACHMENTS

- 1. Conditions of Approval
- 2. Community Development Departments Notice of Decision regarding approval of an Accessory Dwelling Unit at 88 George Lane (Project ID 2019-00246), dated February 11, 2021

PLANNING COMMISSION RESOLUTION 2021-08 APRIL 7, 2021 PROJECT ID 2021-00045 88 GEORGE LANE

ATTACHMENT 1: CONDITIONS OF APPROVAL

These conditions apply to Accessory Dwelling Unit Permit (ADU 2019-00246) submitted on September 11, 2019.

- 1. The location of the northeast property line shall be confirmed by BKF Engineers. In the event that the existing survey is incorrect, the applicant shall submit revised plans demonstrating the location of the ADU on the subject property for ministerial review by the Community Development Department
- 2. Upon building permit submittal, Sheet A1.1 shall be modified in the following manner:
 - The survey conducted by BKF Engineers shall be used as the coordinates for the property boundaries
 - b. The distance from the Accessory Dwelling Unit to the northeast property line shall be indicated.
 - c. There shall be four feet or greater distance from the Accessory Dwelling Unit to the northeast property side lot line.
- 3. Prior to issuance of a Certificate of Occupancy, a permanent six-foot tall privacy fence shall be installed at the northeast property line. The length of the privacy fence shall equal the full length of the Accessory Dwelling Unit structure along the northeast property line. Upon building permit submittal, the applicant shall submit appropriate permits, plans and details for the privacy fence for review and approval.

CITY OF SAUSALITO



Community Development Department 420 Litho Street Sausalito, CA 94965 Telephone: (415) 289-4128 Fax: (415) 339-2256

rax: (415) 339-2256 www.sausalito.gov

DECISION DATE: February 11, 2021

APPEAL PERIOD: February 11, 2021 to February 22, 2021

LAST DAY TO FILE APPEAL: February 22, 2021 February 23, 2021*

TO: Seamus Canning 88 George Lane Sausalito, CA, 94965

RE: Notice of Decision regarding approval of an Accessory Dwelling Unit at 88 George

Lane (Project ID 2019-00246)

DECISION

Following review by the Community Development Department, the Community Development Director has approved an Accessory Dwelling Unit (ADU) Permit at 88 George Lane (APN 065-254-30). This approval will become final ten (10) days from the date of this Notice unless a timely appeal is filed with the Community Development Department (see additional information below). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) under Section 15303(e) and 15301 of the CEQA Guidelines. The project is subject to the ministerial standards in Sausalito Municipal Code Section 10.44.080.E, as last amended by the City Council in October of 2020, and the project meets all ministerial standards. The project is approved based upon compliance with the Accessory Dwelling Unit Development Standards and Requirements in Attachment 1 and subject to the Implementation Requirements in Attachment 2. The approved project plans are provided in Attachment 3.

PROJECT DESCRIPTION

The subject property, APN 064-254-30 is a 9,572 square foot (SF) parcel within the R-1-6 Single-Family zoning district. A new detached Accessory Dwelling Unit (780 sq. ft.) is proposed above and to the rear of the existing carport of 88 George Lane. The project will convert existing carport/garage retaining wall to foundation for new ADU, convert carport/garage roof to floor for new ADU, add stairs from existing entry porch to separate ADU entry stairs, add subterranean mechanical room and excavate hillside. The project will also remodel the kitchen, add new sliding doors to existing deck and replace windows at kitchen of the primary dwelling unit.

Lilly Whalen

Eilly Whalen

Community Development Director

February 11, 2021

Date

* All actions of the Community Development Director are subject to appeal to the Planning Commission in accordance with Chapter 10.84 of the Zoning Ordinance. Any appeal must be made in writing on an Appeal Form to the Community Development Department via email at cdd@sausalito.gov and the Project Planner Larissa Alchin at LAlchin@sausalito.gov, with written verification that the email was received by staff, by the appeal deadline noted above and accompanied by an appeal fee of \$1,070 in addition to noticing fee of \$585 (this can be paid over the phone to Maria Hernandez, Administrative Aide- 415-289-4132 or by mail to 420 Litho Street, Sausalito 94965, with attention to Maria Hernandez in the Community Development Department with checks made out to "City of Sausalito" and the notes referencing an appeal of the project ID above). The permit's findings, conditions of approval, project plans, and associated materials are available for public review only at https://saus-trk.aspgov.com/eTRAKiT/. You can search using the project address, project ID, or APN listed above.

ATTACHMENTS: 1: Accessory Dwelling Unit Development Standards and Requirements | 2: Implementation Requirements | 3: Approved Project Plans

ATTACHMENT 1 ACCESSORY DWELLING UNIT DEVELOPMENT STANDARDS AND REQUIREMENTS 88 GEORGE LANE PROJECT ID 2019-00246

Sausalito Municipal Code (SMC) Section 10.44.080 contains Accessory Dwelling Unit (ADU) regulations. SMC Section 10.44.080.E requires the Community Development Director to issue an ADU Permit upon compliance with the development standards and requirements identified below.

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
1. One Accessory Dwelling Unit per Parcel. No	Compliance. The proposed ADU will
more than one accessory dwelling unit shall be	be the only ADU located on the R-1-6
located on a single primary dwelling unit parcel.	zoned parcel. The proposed ADU will
The parcel must contain at least one existing or	accompany the existing primary
proposed dwelling.	dwelling unit. This standard is met.
2. Access. An accessory dwelling unit shall have a	Compliance. The ADU has two
separate entrance. An entrance leading to a foyer	separate entrances one at the south
with entrances leading from the foyer to the	west elevation and double doors
primary dwelling unit and the accessory dwelling	located at its southern elevation
unit is permitted and constitutes a separate	(building front) leading to the deck. This
entrance.	standard is met.
3. Kitchen and Bathroom Facilities. An accessory dwelling unit shall contain its own kitchen facility and bathroom facility separate from the primary dwelling unit. The kitchen facility must include the following features: (a) a sink; (b) a refrigerator of more than five cubic feet capacity; and (c) a range or fixed cooktop.	Compliance. The ADU will contain its own kitchen facility and bathroom facility separate from the primary dwelling unit. The kitchen facilities incorporate all required features. This standard is met.
4. Building Permits. An accessory dwelling unit shall comply with the California Building Code, including local amendments adopted by the City.	Compliance. The proposed detached ADU will be subject to a Building Permit application process to ensure compliance with the California Building Code and any local amendments adopted by the City. This standard is met.

Notice of Decision (Project ID 2019-00246) 88 George Lane Page 3 of 13

DEVELOPMENT STANDARD/REQUIREMENT

5. Setbacks.

- a. Unless otherwise provided for in this section, a new detached or attached accessory dwelling unit shall have side and rear setbacks of at least four feet and otherwise shall conform with the setback regulations applicable to the primary dwelling unit parcel upon which the accessory dwelling unit is located.
- b. No additional setbacks are required to convert an existing primary dwelling unit structure or existing accessory structure to an accessory dwelling unit or to reconstruct an existing living area or accessory structure as an accessory dwelling unit in the same location and to the same dimensions as the existing structure.

CITY STAFF DETERMINATION

Compliance. The proposed ADU would be located above and to the rear of the existing carport and conforms to the setback regulations applicable to the primary dwelling unit on the subject property located in the Single-Family Residential (R-1-6) Zoning District. The proposed ADU would maintain a 5-foot rear and side setback. This standard is met and exceeded.

DEVELOPMENT STANDARD/REQUIREMENT

- **6.** Floor Area, Building Coverage, Impervious Surfaces and Density.
- a. Construction of a new attached or detached accessory dwelling unit shall conform with the floor area, coverage, and impervious surfaces regulations applicable to the primary dwelling unit parcel upon which the unit is located, unless in conflict with other provisions of this section.
- b. For the purposes of complying with the development standards for dwelling units in two-family and multiple-family residential zoning districts (SMC 10.44.330), an accessory dwelling unit shall be treated as a separate unit and shall not be calculated as part of the primary dwelling unit on the lot.
- c. Pursuant to State law, a lawfully created accessory dwelling unit shall not be deemed to be an accessory use or an accessory building, shall not be considered when calculating the allowable density for the lot upon which it is located, and is deemed to be a residential use that is consistent with the general plan and zoning designations for the lot.
- d. Limits on lot coverage, floor area ratio, open space, and size shall be waived if necessary to allow an 800 square foot detached or attached accessory dwelling unit 16 feet high with four-foot side and rear yard setbacks, provided that the proposed accessory dwelling unit is in compliance with all other development standards, including but not limited to front yard setbacks.

CITY STAFF DETERMINATION Compliance.

a. The detached ADU would be located above and to the rear of the existing carport. The ADU conforms to all floor area, coverage, and impervious surfaces regulations applicable to the 9,572 SF parcel located in the Single-Family Residential (R-1-6) Zoning District, including SMC Section 10.22.040 (Site Development Requirements). This standard is met.

Floor Area SF – 4,307 SF/45% max

Existing	Proposed	Resulting
Home	ADU	Total
1,737	780	2,517 / 26%

Coverage - 3,350 SF/35% max

Existing	Proposed	Resulting
Home	ADU	Total
2,018	808	2,826 / 30%

Impervious surfaces – 6,289 SF/67.5% max

Existing	Proposed	Resulting
Home	ADÚ	Total
4,042	659	4,701 / 49%

- b. This standard is noted
- c. This standard is noted
- d. This standard is not applicable even though the ADU is less than 800 square feet as the ADU conforms with all development standards and does not require any waivers of development standards.

DEVELOPMENT STANDARD/REQUIREMENT

- 7. Maximum and Minimum Unit Size.
- a. The floor area for an accessory dwelling unit shall be no less than an efficiency unit defined in California Health and Safety Code Section 17958.1 and no greater than 50 percent of the floor area of the primary dwelling, or 850 square feet for a studio or one bedroom unit and 1,000 square feet for a unit that contains more than one bedroom, except that the limitation based on size of the primary dwelling shall not apply if the accessory dwelling unit is 800 square feet or less.
- b. Interior Accessory Dwelling Units in Multifamily Buildings. Notwithstanding subsection (a) above, the floor area for all interior accessory dwelling units on parcels that do not contain single-family dwellings shall be no less than an efficiency unit defined in California Health and Safety Code Section 17958.1 and no greater than 40 percent of the primary dwelling unit up to a 1,000-square-foot maximum.

CITY STAFF DETERMINATION

Compliance. The proposed ADU is 780 SF.

a. The proposed ADU size is more than 150 SF (an efficiency unit), less than 50% of primary dwelling and less than 850 SF. Nevertheless, the ADU is exempt from the primary dwelling unit limitation as it is less than 800 SF. b. Not applicable, the proposed ADU is a detached ADU

This standard is met.

8. Height.

- a. Attached Units. The height of a new attached accessory dwelling unit shall comply with the requirements of Chapter 10.40 SMC regarding the height applicable to the primary dwelling unit.
- b. Detached Units
 - 1. Standalone. The height of a new detached accessory dwelling unit, not including accessory dwelling units above or below an existing or proposed accessory structure, including a garage, shall be no greater than 16 feet as measured from the elevation of the lowest finished floor of the accessory dwelling unit to the elevation of the highest point of the roof, including the top of any parapet. 2. The height of an accessory dwelling unit constructed above or below an existing or proposed accessory structure, including a garage, shall be no greater than 14 feet for a sloped roof and shall be no greater than 11 feet for a flat roof, as measured from the finished floor of the accessory dwelling unit and the garage must comply with the height requirements of Chapter 10.44 SMC regarding the height applicable to accessory structures.

Compliance. The proposed detached ADU would be located above and to the rear of the existing detached carport.

Approximately 50% of the ADU would be nestled into the sloped terrain. The main residence has a height of approximately 30 feet, with no modifications proposed to it.

- a. Not applicable, the proposed ADU is a detached ADU
- b1. Not applicable, the proposed ADU will be built above an existing carport. b2. The proposed detached ADU would have a maximum height 14 feet above finished floor.

This standard is met.

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
9. Design. An accessory dwelling unit shall have a roof slope, window arrangement, siding materials, colors and architectural style that closely resemble the primary dwelling unit.	exterior would generally be consistent with the primary dwelling unit, utilizing painted stucco, wood trim, aluminum windows and composite shingle roof. This standard is met.
10. Views. An accessory dwelling unit shall not block or obstruct primary views, as defined in Chapter 10.88 SMC, from neighboring properties.	ADU would be located above the detached carport with a height below the primary dwelling unit. Due to existing topography and vegetation, The proposed ADU would not impact either public views or primary views from private property. This standard is met.
11. Privacy. An accessory dwelling unit shall be designed so that its exterior windows, decks, and doors are not directly opposite the exterior living areas (e.g., decks or patios) of adjoining properties and do not overlap windows or doors to interior living areas of adjoining properties.	Compliance. Due to the flag configuration of the parcel, the vegetation in the neighborhood adequately screens the subject property from neighboring properties. In addition, exterior windows, doors and decks are not directly opposite the exterior living areas of any adjoining properties. The proposed deck will provide additional privacy screening along the north east property line. This standard is met.

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DEVELOPMENT STANDARD/REQUIREMENT

12. Light and Shadows. An ADU shall be designed such that the incremental light/shadow impact created by the accessory dwelling unit does not impact more than 25 percent of an adjacent parcel more than 30 days per year. If there is potential for adverse light/shadow impacts, as determined by staff, a shadow study may be required to determine that light/shadow impacts do not exceed the above standard.

CITY STAFF DETERMINATION

Compliance. The proposed detached ADU would be located above and to the rear of the detached carport, below the height of the primary residence. The applicant has stated that "There are no impacts to either the subject property or adjacent properties by the proposed structure, this is especially true for access to natural light and shadows that would be newly created. The property is located at the extreme West end of George Lane, with no properties in the morning shadow casting range. The dominant afternoon shadow is created by the mountain separating Sausalito from the Marin Headlands. Overall silhouette height of the building above natural grade is so low that no shadows extend significantly beyond any adjacent property lines, and are themselves obstructed by the tall, dense foliage." This was verified by a staff site visit. No light and shadows concerns were raised by the public. As such the design and location of the ADU provides adequate light and air for the project site, adjacent properties and the general public. This standard is met.

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DEVELOPMENT STANDARD/REQUIREMENT

13. Parking Requirements.

off-street parking areas.

- a. One off-street parking space is required per accessory dwelling unit.
- b. Off-street parking shall be permitted in rear and side yard setback areas in locations determined by the Community Development Director or through tandem parking, unless the Community Development Director makes specific findings that parking in setback areas or tandem parking is not feasible based upon specific site or regional topographical or fire and life safety conditions. c. When parking for the primary dwelling unit is lost because a garage, carport, or covered parking area is either demolished or converted to an accessory dwelling unit in conjunction with the construction of an accessory dwelling unit, said lost parking spaces may be replaced in any location or configuration on the same lot as the accessory dwelling unit, including but not limited to covered spaces, uncovered spaces, or tandem spaces. d. Notwithstanding anything to the contrary in this chapter, with the exception of an interior accessory dwelling unit on all parcels that contain singlefamily dwellings, one off-street parking space per unit shall be required for all accessory dwelling units within the accessory dwelling unit required

CITY STAFF DETERMINATION

Compliance.

See Development Standard 14 - no parking is required for this ADU due to the site's location ½ mile from a public transit stop along a prescribed route according to a fixed schedule

However, no parking will be lost with construction of the proposed detached ADU, and in fact, the project meets and exceeds parking requirements. The property currently provides four (4) off street parking spaces. Per SMC 10.40.110 the primary dwelling unit requires two (2) off street parking spaces. Although it is waived by development standard 14a, pursuant to this development standard 13a,one (1) parking space is required per ADU, for a total of three (3) off street spaces. The parking requirement are exceeded with the existing four (4) off street parking spaces. This standard is met.

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
14. Parking Exemptions. An accessory dwelling unit shall be exempt from the parking requirements of this section if the following apply: a. Located within one-half mile of a public transit stop along a prescribed route according to a fixed schedule; b. Located within an architecturally and historically significant historic district; c. Located within one block, or within reasonable walking distance, of a car share vehicle pick-up or drop-off location as defined in the California Vehicle Code; d. The accessory dwelling unit is an interior accessory dwelling unit; or e. When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit. f. Parking exemptions shall not apply to accessory dwelling units within the accessory dwelling unit required off-street parking areas, as defined in this chapter.	Compliance. The subject property is located within one-half mile of a public transit stop and therefore parking is exempt pursuant to development standard 14a. The site is not located in an off-street parking area, and therefore 14f is not applicable. However, as detailed in the compliance for development standard 13, no exemption is required as the project fulfills the parking requirement (development standard 13).
15. Short-Term Rentals. An accessory dwelling unit may not be rented for fewer than 30 calendar days.	Implementation Requirement. Through this approval the applicant is on notice that an accessory dwelling unit may not be rented for fewer than 30 calendar days. Refer to Implementation Requirement 8.
applications received after January 1, 2025, in single-family residential (R-1-20, R-1-8, R-1-6) zoning districts the owner of the property shall occupy either the primary unit or accessory dwelling unit as his or her primary residence. Prior to building permit issuance, a deed restriction shall be recorded, in a form approved by the City Attorney, to ensure that the primary or accessory dwelling unit is owner-occupied. An owner may be absent from the primary or accessory dwelling unit for up to 12 months during any 36-month period. A property owner who will be absent for more than 12 months may obtain an additional 12 months' absence with the approval of a minor use permit by the Zoning Administrator. In consideration of the minor use permit, the Zoning Administrator may consider the neighborhood impacts such as parking, noise, and property maintenance, in addition to the reason for the requested absence.	Compliance. The application was received before January 1, 2025 and is exempt from the Owner-Occupancy requirement. This standard is met.

DEVELOPMENT STANDARD/REQUIREMENT	CITY STAFF DETERMINATION
dwelling unit, elimination of any of the required access and/or facilities elements (i.e., the separate entrance, kitchen, bathroom facilities) or noncompliance with any requirements shall require the property owner to demonstrate compliance of the property with all applicable development standards in the zoning ordinance.	Implementation Requirement. Through this approval the applicant is on notice that elimination of any of the required access and/or facilities elements (i.e., the separate entrance, kitchen, bathroom facilities) or noncompliance with any requirements shall require the property owner to demonstrate compliance of the property with all applicable development standards in the zoning ordinance. Refer to Implementation Requirement 9.
18. Fees. Fees as established by City Council resolution shall be paid.	Compliance. All applicable fees have been paid. This standard is met.
19. No Passageway. No passageway is required in conjunction with an accessory dwelling unit.	Compliance. No passageway to the primary dwelling unit is proposed nor is it required. This standard is met.
20. Fire Sprinklers. Accessory dwelling units are not required to have fire sprinklers or other fire safety requirements if they are not required in the primary dwelling unit. Fire sprinklers are required in ADUs if the primary dwelling unit contains fire sprinklers, if fire sprinklers are required for subsequent permitting and approvals of improvements, or if fire sprinklers are required in a new single-family dwelling being constructed with an accessory dwelling unit	Compliance. Not applicable. There are no fire sprinklers in the primary dwelling unit. This standard is met.
21. Solar Panels. Detached accessory dwelling units which are newly constructed and non-manufactured are subject to the Energy Code requirement to provide solar panels. The panels can be installed on the accessory dwelling unit or on the primary dwelling unit. No other accessory dwelling unit types are required to provide solar panels.	Implementation Requirement. Through this approval the applicant is on notice that the ADU is subject to the Energy Code requirement to provide solar panels. The panels can be installed on the accessory dwelling unit or on the primary dwelling unit. Refer to Implementation Requirement 10.
22. Sale. Accessory dwelling units shall not be sold separately from the primary dwelling unit.	Implementation Requirement. Through this approval the applicant is on notice that the ADU shall not be sold separately from the primary dwelling unit. Refer to Implementation Requirement 11.

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s approval the applicant is
at the standards in
nt standard 23 regulate
impact fees. Refer to
ition Requirement 12.
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e. The proposed detached
ies with all development
of the R-1-6 zoning district.
rd is met.
e. The project site is not
ne Historic Overlay District,
nis standard is not
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ATTACHMENT 2 IMLEMENTATION REQUIREMENTS 88 GEORGE LANE PROJECT ID 2019-00246

1.	Applicant shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City) and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project.
2.	No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Department as a modification to this approval.
3.	In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
4.	Construction materials, equipment, vehicles, and debris boxes shall be placed to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris box shall be emptied on a regular basis, else as directed by the City. Material stock piles & debris boxes shall be covered when not being accessed or filled to prevent material from blowing around the neighborhood. Construction materials, equipment, vehicles, and debris boxes placed off-site shall be done only after securing an encroachment permit.
5.	As a part of the Building Permit application, all final Implementation Requirements shall be restated on the construction drawings and applicant shall thoroughly and accurately document compliance with each Implementation Requirement at the time of Building Permit application.
6.	Appropriate Building Permits are required to construct the new Accessory Dwelling Unit. A Building Division inspection will be required prior to the occupancy of the Accessory Dwelling Unit.
7.	A Fire District Inspection shall be required in order to determine final occupancy requirements. The installation of Fire Sprinklers shall be required pursuant to Southern Marin Fire Protection District regulations.
8.	ADUs permitted ministerially, shall be rented for terms longer than 30 days. (Gov. Code, §65852.2, subds. (a)(6) & (e)(4).)
9.	For an accessory dwelling unit, elimination of any of the required access and/or facilities elements (i.e., the separate entrance, kitchen, bathroom facilities) or noncompliance with any requirements shall require the property owner to demonstrate compliance of the property with all applicable development standards in the Zoning Ordinance.
10.	The applicant shall install solar panels on the accessory dwelling unit or on the primary dwelling unit to comply with the Energy Code requirement.
11.	The owner of the property shall record a deed restriction that includes restricting the sale of the ADU from the primary dwelling.
12.	The applicant shall contact the Marin Municipal Water District and the Sausalito Marin City Sanitary District for additional permitting requirements.
	Canitary District for additional permitting requirements.

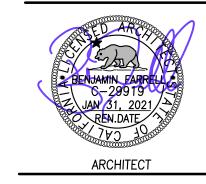
Notice of Decision (Project ID 2019-00246) 88 George Lane Page 13 of 13

ATTACHMENT 3
APPROVED PROJECT PLANS
88 GEORGE LANE
PROJECT ID 2019-00246

ADDITIONAL DETACHED DWELLING UNIT 88 GEORGE LANE, SAUSALITO, CA 94965



SAUSALITO, CA 94965 415.305.3850 m. ben@farrellarchitecture.com



ACTIVE PERMITS

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REVISION / DATE SHEET ↑ PLAN REVIEW COMMENTS **/** 1 \ 5−30−2019 □ ↑ PLANNING REVIEW 8-1-19 ∧ ADU RESUBMITTAL $\sqrt{3}$ 9-9-19 ↑ POST APPROVAL ZONING / 4 \REVIEW COMMENTS ☐ 10-15-20 ∠ 2ND NOTICE COMMENTS

/ 5 \ 1-20-21 □

SCALE DRAWN B. FARRELL

COVER

SHEET

SHEET

PROJECT INDEX SEAMUS CANNING 1228 FOLSOM STREET, #103 SAN FRANCISCO, CA 94103

415.310.3103 SEAMUS@CANNINGELECTRICINC.COM FARRELL ARCHITECTURE BENJAMIN FARRELL, ARCHITECT

610 COLOMA STREET, STUDIO 727

SAUSALITO, CA 94965 415-305-3850 M. STRUCTURAL ENGINEER JOHN YADEGAR STRUCTURAL 1 KAISER PLAZA, SUITE 405 OAKLAND, CA 94612 415.516.9513

VICINITY MAP SUBJECT PROPERTY INDICATED

JYADEGAR@JYASF.COM

ARBORIST
TREE MANAGEMENT EXPERTS ROY LEGGIT 3109 SACRAMENTO STREET SAN FRANCISCO, CA 94115

ENERGY CONSERVATION CONSULTANT THE ENERGY CONSULTING COMPANY ROBERT MAO, P.E. 6367 SWAINLAND ROAD OAKLAND, CA 510-387-2756

BOUNDARY/TOPOGRAPHY SURVEY 4040 CIVIC CENTER DRIVE, STE 530 SAN RAFAEL, CA 94903

GEOTECHNICAL ENGINEERS MURRAY ENGINEERING 409 4TH STREET SAN RAFAEL, CA 94901

NOT TO SCALE

CONST. TYPE **EXISTING:** PROPOSED: No. OF STORIES: **EXISTING:**

LOT/BUILDING DATA

PROJECT ADDRESS:

LOT ZONING:

PROPOSED: No. BASEMENTS: EXISTING: PROPOSED: PRESENT USE: PROPOSED USE:

CARPORT/GARAGE CARPORT + SINGLE FAMILY DWELLING

~10 FT (GARAGE ONLY)

88 GEORGE LANE

EXISTING GARAGE

064-254-30 R-1-6

TYPE 5B

OCCUPANCY CLASS: EXISTING: PROPOSED: CHANGE IN OCCUP.? NO

No. OF DWELLING UNITS: 1 TOTAL FOR LOT EXISITNG: PROPOSED: 2 TOTAL FOR LOT

OVERALL HEIGHT AT Q: EXISTING: PROPOSED:

14FT ABOVE FIN. FLR. (ADU ONLY) MAIN HOUSE ADU/ GARAGE

BASEMENT FLOOR AREA: 0 SF N/A EXISTING: PROPOSED: 0 SF FIRST FLOOR AREA: EXISTING: PROPOSED: 865 SF 500 SF SECOND FLOOR AREA 872 SF EXISTING: PROPOSED: 872 SF 780 SF ROOF ACCESS AREA: NONE EXISTING: NONE NONE PROPOSED: TOTAL AREA:

1737 SF 0 SF (ADU) EXISTING: 1737 SF 780 SF`(ADÚ) PROPOSED: FAR / LOT COVERAGE: 18% EXISITNG: 26% PROPOSED: No. OF BUILDINGS ON LOT: PROPOSED: SPRINKLERS

EXISTING PROPOSED PERMIT & ADDENDUM SCHEDULE **WORK UNDER SEPARATE PERMITS** INITIAL DESIGN REVIEW APPLICATION BUILDING PERMIT APPLICATION - ARCHITECTURAL, STRUCUTRAL, CIVIL AND ENERGY DOCUMENTATION DEFERRED SUBMITTALS - MECHANICAL, ELECTRICAL, PLUMBING (TRADE PERMITS)

SCOPE OF WORK FIRST FLOOR - CONVERT EXISTING CARPORT/GARAGE RETAINING WALL TO FOUNDATION FOR NEW ADU ADD SUBTERRANEAN MECHANICAL ROOM - ADD STAIRS FROM EXISTING ENTRY PORCH TO SEPARATE ADU ENTRY STAIRS - KITCHEN REMODEL, ADD NEW SLIDING DOORS TO EXISTING DECK - REPLACE WINDOWS AT KITCHEN ON WEST ELEVATION SECOND FLOOR - CONVERT EXISTING CARPORT/GARAGE ROOF TO FLOOR FOR NEW ADU - ADD (1) BEDROOM, (1) BATHROOM, (1) KITCHEN DWELLING UNIT - EXCAVATE HILLSIDE (50% ADU FLOOR AREA REQs EXCAVATION) - NEW ROOF OVER ADU EXTERIOR CHANGES **REAR ELEVATION:** NEW DETACHED DWELLING UNIT SIDE YARD ELEVATIONS: - NEW DETACHED DWELLING UNIT FRONT STREET ELEVATION: - NEW DETACHED DWELLING UNIT

 ∞ OFFICIAL USE / STAMPS 0

BUILDING CODES

1) THE 2016 CALIFORNIA BUILDING CODE

2) THE 2016 CALIFORNIA ELECTRICAL CODE

3) THE 2016 CALIFORNIA ENERGY CODE

4) THE 2016 CALIFORNIA HOUSING CODE

5) THE 2016 CALIFORNIA MECHANICAL CODE

6) THE 2016 CALIFORNIA PLUMBING CODE

8) ALL APPLICABALE LOCAL AND STATE CODES AND REGULATIONS

7) THE 2016 CALIFORNIA FIRE CODE

SHEET INDEX A0.0 COVER SHEET, LOT DATA, EXIST. EXTERIOR ELEVATIONS (MAIN HOUSE) BLDG DATA, PROJECT INFO EXIST. EXTERIOR ELEVATIONS (MAIN HOUSE) STORY POLE AND EGRESS PLAN PROP. EXTERIOR ELEVATIONS (ADU) PROP. EXTERIOR ELEVATIONS (ADU)

PROP. EXTERIOR ELEVATIONS (MAIN HOUSE)

PRIVACY ANALYSIS EXISTING BASEMENT FLOOR PLAN PROPOSED BASEMENT FLOOR PLAN EXISTING FIRST FLOOR PLAN

PROPOSED FIRST FLOOR PLAN EXISTING SECOND FLOOR PLAN

EXISTING SITE PLAN

EXISTING ROOF PLAN PROPOSED ROOF PLAN PROPOSED CROSS SECTION ADU

MEP DRAWINGS

STRUCTURAL DRAWINGS

A10.0 SITE PHOTOGRAPHS

NONE

NONE

CIVIL DRAWINGS

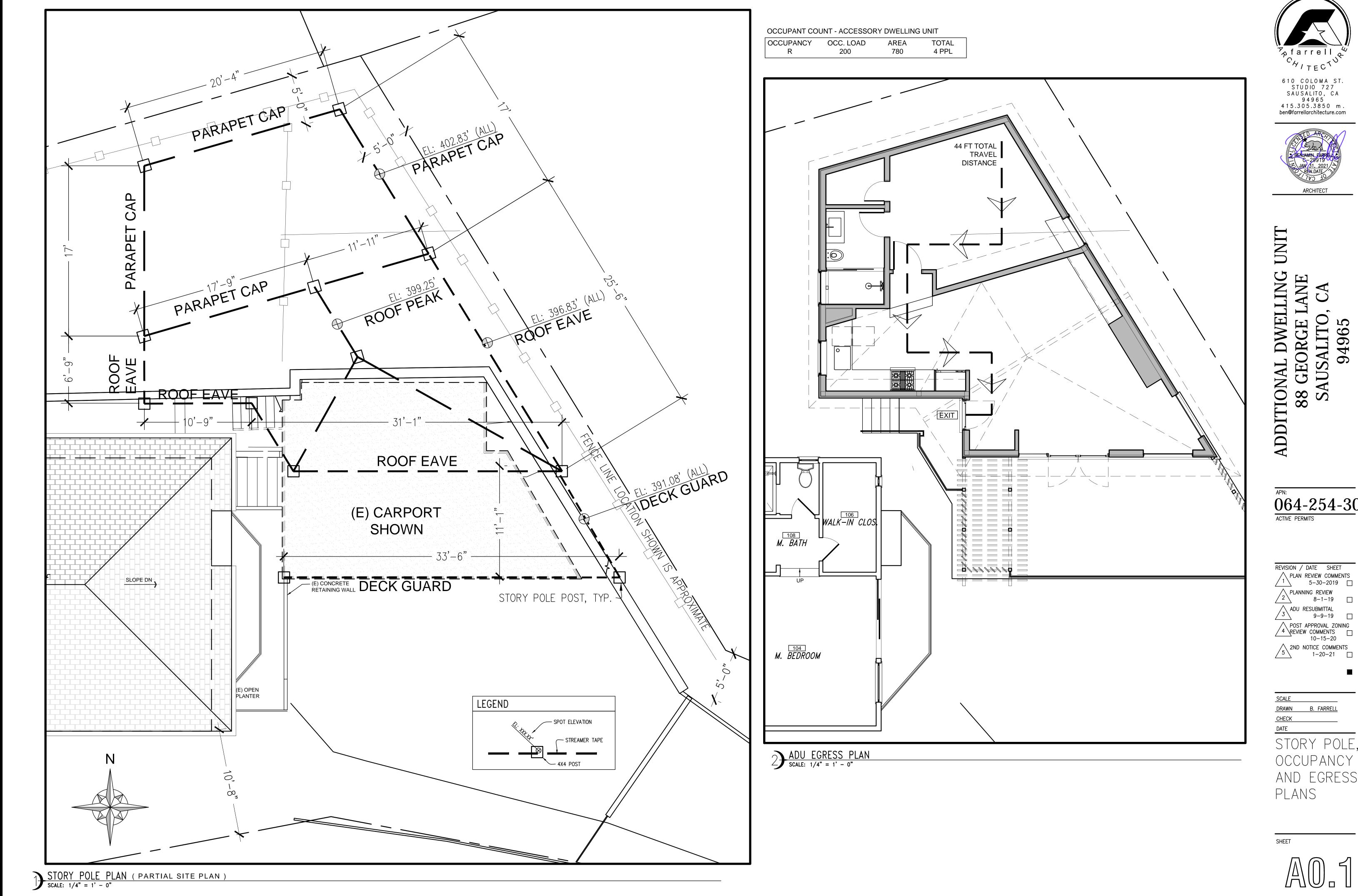
C1.0 PARTIAL TOPOGRAPHIC PLAN AND SITE SURVEY

SYMBOLS LEGEND SECTION MARK 1-HOUR FIRE RATED WALL -ID NUMBER -SHEET NUMBER EXISTING WALL TO REMAIN DETAIL MARK EXISTING WALL TO BE REMOVED -ID NUMBER -SHEET LOCATION NEW WALL EXTERIOR ELEVATION PROPERTY LINE -ID NUMBER -SHEET LOCATION PARTITION TYPE, FLOOR TYPE INTERIOR ELEVATION -ID NUMBER REVISIONS SPECIFIC WALL -SHEET LOCATION __(REFERENCE SHEET NOTE/NUMBER SPOT ELEVATION FLOOR MATERIAL SYMBOL 100-X DOOR TYPE MARK □ NEW DOOR WINDOW TYPE MARK ARCHITECTURAL PLAN GRID EXISTING DOOR TO REMAIN LOCATION/DIRECTION

PROPOSED SITE PLAN A1.2 A2.1

A2.2

PROPOSED SECOND FLOOR PLAN



064-254-30

STORY POLE, OCCUPANCY AND EGRESS

DEMOLITION NOTES

- 0.01 THE SCOPE OF DEMOLITION WORK IS GENERALLY INDICATED ON THIS DRAWING FOR G.C. INFORMATION. ANY DEMOLITION OR REMOVAL INDICATED OR IMPLIED BY THESE DRAWINGS IS SHOWN IN GENERAL TO PROVIDE THE FULL EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED A RECORD DRAWING OF EXISTING CONDITIONS. IT IS THE G.C.'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, INTENT NATURE AND MANNER OF DEMOLITION REQUIRED.
- 0.02 ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING OWNER'S RULES AND REGULATIONS. PRIOR TO SUBMITTING A PROPOSAL, IT IS THE RESPONSIBILITY OF THE G.C. TO CONTACT THE BUILDING OWNER TO ACKNOWLEDGE THE REQUIREMENTS GOVERNING ALL WORK, INCLUDING, BUT NOT LIMITED TO, HOURS OF OPERATIONS, PROCEDURES, VERTICAL TRANSPORTATION, FACILITY/LOADING DOCK USE, ELEVATOR CAPACITY, ETC. ALL EXPENSES, FEES, PERMITS, AND ANY PREMIUM TIME CHARGES, RELATED TO OR AS A RESULT OF BUILDING OWNER REQUIREMENTS AND FACILITY CONDITIONS SHALL BE BORNE BY THE G.C. UPON AWARD OF CONTRACT, G.C. SHALL COORDINATE ALL WORK WITH BUILDING OWNER.
- 0.03 ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING BUILDING CODES, LOCAL CODES, AND ALL RULES AND REGULATIONS AS ESTABLISHED BY THE AUTHORITIES HAVING JURISDICTION.
- 0.04 G.C. SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS SPECIFIED OR REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. PROVIDE TEMPORARY PROTECTION TO ALL LOCATIONS OUTSIDE OF THE AREA-OF-WORK, INCLUDING, BUT NOT LIMITED TO, OTHER TENANT SPACES AND FLOORS, ELEVATORS, COMMON CORRIDORS AND LOBBIES, BASE BUILDING ROOMS, STAIRS, FREIGHT ELEVATOR LOBBIES, THAT ARE DIRECTLY, INDIRECTLY, OR TEMPORARILY AFFECTED BY THIS NEW WORK. IF IN THE COURSE OF DEMOLITION, THE G.C. DESTROY, DAMAGE, SOIL OR DISTURB ANY WORK INCLUDING FURNITURE AND FIXTURES, WHICH ARE TO REMAIN, THEN HE SHALL, AT HIS OWN EXPENSE REPAIR OR REPLACE SUCH WORK
- 0.05 G.C. IS RESPONSIBLE TO DETERMINE AND INCLUDE COSTS FOR PREMIUM TIME, CHARGES AND ALL FEES NECESSARY FOR WORK AFTER NORMAL BUSINESS HOURS, WORK BEYOND THE AREA-OF-WORK, WORK AFFECTING OTHER TENANTS, MODIFICATION OF REMAINING ITEMS & SERVICES, SHUT-DOWN OF BUILDING SERVICES, BUILDING OWNER REQUIREMENTS, FACILITY CONDITIONS, ETC.
- 0.06 G.C. SHALL PROVIDE TEMPORARY PROTECTION AGAINST DUST, DEBRIS AND DAMAGE TO ALL EXISTING OR OCCUPIED AREAS, INCLUDING FURNITURE, DIRECTLY OR INDIRECTLY AFFECTED BY THIS NEW WORK.
- 0.07 ALL BUILDING SERVICE SHUT-DOWNS NECESSARY FOR THIS WORK SHALL BE REQUIRED IN WRITING BY THE G.C., AT LEAST 72 HOURS, IN ADVANCE OF THE SHUT-DOWN. THE G.C. SHALL, PRIOR TO SHUT-DOWN, OBTAIN APPROVAL FROM BUILDING OWNER AND ALL AUTHORITIES HAVING JURISDICTION. ANY SHUT-DOWN AFFECTING NORMAL SERVICE TO OTHER BUILDING TENANTS AND OCCUPANTS SHALL BE SUPERVISED BY THE BUILDING OWNER. G.C. TO COORDINATE.
- 0.08 ALL EXISTING FIRE & LIFE SAFETY DEVICES AND SYSTEMS TO REMAIN AND SHALL BE FULLY OPERATIONAL AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. WHERE SERVICE MUST BE INTERRUPTED, G.C. SHALL PROVIDE APPROVED PERSONNEL OR SYSTEMS TO SERVE AS TEMPORARY FIRE WATCH. ALL FIRE-WATCH PERSONNEL AND PROCEDURES SHALL COMPLY WITH BUILDING OWNER REQUIREMENTS AND ALL AUTHORITIES HAVING JURISDICTION.
- 0.09 G.C. TO DETERMINE REMOVAL WORK OF MECHANICAL, ELECTRICAL AND PLUMBING ITEMS DO NOT AFFECT OTHER TENANTS, BUILDING SERVICES, EQUIPMENT OR REMAINING SPACES. G.C. TO ADVISE ARCHITECT AND ENGINEER(S) OF SUCH CONFLICTS.
- 0.10 ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE TO ADJACENT REMAINING
- 0.11 PROVIDE TEMPORARY LIGHTING THROUGHOUT SPACE AS REQUIRED BY BUILDING OWNER AND LOCAL AUTHORITIES HAVING JURISDICTION.
- 0.12 G.C. TO VERIFY THE EXTENT OF ANY DEMOLITION PERFORMED BY THE LANDLORD AND SHALL PERFORM ANY FURTHER DEMOLITION NECESSARY TO CONFORM WITH BASE BUILDING CONDITIONS OR FOR NEW WORK.
- 0.13 G.C. SHALL PROVIDE TEMPORARY PROTECTION TO EXISTING FREIGHT ELEVATOR LOBBY FOR THIS NEW WORK.
 G.C. SHALL REPAIR AND/OR REPLACE DAMAGED ITEMS OR FIXTURES.
- 0.14 G.C. TO INSPECT SURFACE CONDITION OF EXISTING FLOOR SLAB. REMOVE ANY REMAINING FLOOR FINISHES, CEMENT TOPPINGS, ADHESIVE, SUBSTRATES, FASTENERS, ETC. WHICH WILL INTERFERE WITH NEW SCHEDULED FINISHES
- 0.15 REMOVE ALL ABANDONED PIPING BACK TO SOURCE AND CAP, WHERE NOT AFFECTING OTHER TENANTS. FILL AND PATCH ALL OPENINGS TO MATCH EXISTING. SEE ENGINEERING DRAWINGS FOR EXTENT OF WORK.
- 0.16 REMOVE ALL ABANDONED DUCTWORK, UNLESS OTHERWISE NOTED. PATCH ALL OPENINGS TO MATCH EXISTING, UNLESS OTHERWISE NOTED. SEE ENGINEERING DRAWINGS. FOR EXTENT OF WORK.
- 0.17 REMOVE PLUMBING FIXTURES AS INDICATED, INCLUDING FIXTURE CARRIERS AND ALL MOUNTING HARDWARE. REMOVE PIPING AND CAP. REMOVE ALL TOILET PARTITIONS, ACCESSORIES, MIRRORS, MOUNTING HARDWARE, ETC. FILL AND PATCH ALL OPENINGS TO MATCH EXISTING, UNLESS OTHERWISE NOTED. SEE ENGINEERING DRAWINGS FOR EXTENT OF WORK.
- 0.18 REMOVE ALL ELECTRICAL AND DATA OUTLETS, INCLUDING ALL FLOOR MOUNTED AND CEILING MOUNTED OUTLETS. REMOVE DEVICES, CONDUITS, CABLES, BACK TO SOURCE PANELS, INCLUDING J-BOXES, PANELS, DISTRIBUTION BOXES, FASTENERS, HANGERS, PLYWOOD MOUNTING BOARDS, ETC. FILL AND PATCH ALL OPENINGS TO MATCH EXISTING. SEE ENGINEERING DRAWINGS FOR EXTENT OF WORK.
- 0.19 REMOVE ALL PARTITIONS AS INDICATED. REMOVE METAL STUDS, CHANNELS, FASTENERS, ETC. FROM FLOOR SLAB INCLUDING ALL SUPPORTS AND BRACING EXTENDING TO UNDERSIDE OF SLAB ABOVE. REMOVE STUDS, CHANNELS, HARDWARE, ADHESIVES, ETC. FROM PERIMETER WINDOW MULLIONS.
- 0.20 REMOVE DOORS AS INDICATED, INCLUDING DOOR FRAMES, HARDWARE AND ALL RELATED COMPONENTS. FILL FLOOR OPENINGS TO MATCH EXISTING.
- 0.21 REMOVE ALL CEILINGS, SOFFITS, HEADERS, FASCIA, LIGHT FIXTURES, CEILING FIXTURES, ETC. REMOVE UN-USED CEILING AND FIXTURE HANGERS, SUPPORTS, STUD BRACINGS, AND ALL RELATED COMPONENTS, TO UNDERSIDE OF SLAB ABOVE. REMOVE MISCELLANEOUS NON-STRUCTURAL STEEL SUPPORTS. SEE ENGINEERING DRAWINGS FOR EXTENT OF WORK IN CEILING.
- 0.22 REMOVE EXISTING PERIMETER WINDOW/SHADE POCKET AND ALL ASSOCIATED COMPONENTS.
- $0.23\, \text{REMOVE ALL MILLWORK AND ASSOCIATED SUPPORTS, FASTENERS, ETC.}\\$
- 0.24 REMOVE ALL WALL FINISHES, WALL COVERINGS, DECORATIVE WALL TEXTURES, ADHESIVES, FASTENERS, ETC. UNLESS OTHERWISE NOTED. PREPARE SURFACES TO RECEIVE NEW FINISHES.
- 0.25 REMOVE ALL FLOOR FINISHES, UNDERLAYMENT, AND ASSOCIATED ADHESIVES, SUBSTRATES, TOPPINGS, GROUTS, FASTENERS, METAL ANGLES, ETC. REMOVE WALL BASE.
- 0.26 WHERE FIREPROOFING HAS BEEN REMOVED AS A RESULT OF DEMOLITION, OR MISSING DUE TO REMOVED ITEMS, REPLACE WITH NEW FIREPROOFING TO MATCH EXISTING.
- 0.27 ALL EXISTING FLOOR CELL ACCESS PANELS THROUGHOUT ENTIRE FLOOR TO REMAIN. REMOVE EXISTING FLOOR FINISHES FROM SURFACE OF ACCESS PANELS. G.C. TO SCRAPE CLEAN AND PREPARE SURFACE TO RECEIVE NEW FINISHES. ACCESS PANELS NOT SHOWN THROUGHOUT FLOORS.
- 0.28 PROVIDE NEW MATCHING COVER PLATES TO MISSING OR DAMAGED COVER PLATES AT EXISTING FLOOR CELL SYSTEM. FILL WITH CONCRETE ANY ABANDONED FLOOR OUTLETS AND FLOOR OPENINGS.
- -0.29 EXISTING PERIMETER INDUCTION UNIT/RADIATOR ENCLOSURES TO REMAIN. REMOVE UN-USED FASTENERS,
 -CHANNELS, ETC. PATCH AND PREPARE SURFACES TO RECEIVE NEW SCHEDULED FINISHES.
- -0.30 EXISTING PERIMETER WINDOW/SHADE POCKET TO REMAIN.
- 0.31 REMOVE ANY REMAINING RAISED ACCESS FLOOR COMPONENTS, FASTENERS AND ADHESIVES WHICH WILL—INTERFERE WITH THE NEW WORK, PREPARE SURFACES TO RECEIVE NEW FINISHES.—

GENERAL NOTES

- 1.1 ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE SPECIFICATIONS SHALL BE SUPPLEMENTAL TO ALL LAWS AND CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS, AND ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIFICALLY NOTED IN THE SPECIFICATIONS OR DRAWINGS. THIS SHALL NOT HOWEVER, BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH IN THE SPECIFICATIONS CAN BE MODIFIED BECAUSE THEY ARE NOT SPECIFICALLY NOTED BY SUCH CODES OR LAWS.
- 1.2 THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, CURRENT EDITION, SHALL APPLY TO ALL WORK IN THIS CONTRACT, EXCEPT AS SPECIFICALLY MODIFIED UNDER SUPPLEMENTARY CONDITIONS AND/OR AGREEMENT.
- 1.3 ALL THE ARCHITECT DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL.
- 1.4 GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL NOTES CALLED FOR ON THIS SHEET AND ON ALL OTHER DRAWINGS.
- 1.5 THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS BEFORE SUBMITTING A PROPOSAL OR COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- 1.6 ALL APPROVALS SHALL BE FOR DESIGN APPEARANCE ONLY. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR QUANTITIES, DIMENSIONS, COMPLIANCE WITH CONTRACT DOCUMENTS, FOR INFORMATION PERTAINING TO FABRICATION PROCESS OR TECHNIQUES OF FIRST CLASS CONSTRUCTION AND FOR COORDINATION WITH OTHER TRADES
- 1.7 THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
- 1.8 THE GENERAL CONTRACTOR, UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIAL AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND HE WILL BE EXPECTED TO COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
- 1.9 LANDLORD / BUILDING OWNER REQUIREMENTS FOR ALL ALTERATIONS SHALL APPLY TO ALL WORK AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FAMILIARIZE HIMSELF WITH THEM.
- 1.10 ALL CONTRACTORS SHALL CONTACT THE BUILDING MANAGEMENT TO ACKNOWLEDGE THE RULES OF CONSTRUCTION OF THE BUILDING OWNER, TO DETERMINE WHEN AND HOW DELIVERIES CAN BE MADE (SEE BELOW), WHAT PHASES OF CONSTRUCTION CAN BE DONE ON REGULAR TIME OR AFTER HOURS, AND IN GENERAL, ANY SPECIAL BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK. IF OVERTIME WORK IS REQUIRED BY ANY TRADE, APPROVAL MUST BE OBTAINED PRIOR TO EXECUTION OF ANY WORK, INCLUDING REVIEW AND APPROVAL OF COSTS. THE GENERAL INTENT IS THAT MOST CONSTRUCTION SHALL BE DONE ON REGULAR TIME.
- 1.11 EACH CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE RULES AND REGULATIONS GOVERNING WORK ON THE PREMISES, INCLUDING THE FOLLOWING:
- 1.12 DATE AND TIME OF DELIVERY SHALL BE ESTABLISHED IN CONJUNCTION WITH THE PERSON HAVING JURISDICTION OVER PREMISES (OVERTIME CHARGES AND/OR ANY NECESSARY EXPENSES SHALL BE PAID BY CONTRACTOR REQUIRING SERVICES).
- 1.13 BUILDING CONDITIONS INCLUDING SIZE AND LOADING CAPACITY OF ELEVATORS, SIZE OF DOORWAYS, CORRIDORS, WINDOW OPENINGS, ETC. SHALL BE CHECKED FOR ITEMS BEING DELIVERED BY THE CONTRACTOR REQUESTING DELIVERY.
- 1.14 ALL CHARGES INVOLVING THE INSTALLATION AND/OR OPERATION OF A HOIST SYSTEM, IF REQUIRED, SHALL BE BORNE BY THE CONTRACTOR USING THE SYSTEM. CHARGES INVOLVING THE TEMPORARY REMOVAL AND REINSTALLATION OF WINDOW SASH AND/OR FIXED PANELS REQUIRED FOR DELIVERY SHALL BE BORNE BY THE CONTRACTOR.
- 1.15 ALL SPECIAL "BUILDING STANDARD" METHODS OF CONSTRUCTION SHALL BE CONFIRMED BY THE CONTRACTOR.
- I.16 BEFORE SUBMITTING A PROPOSAL, ALL CONTRACTORS SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK AND THE DIFFICULTIES THAT ATTEND ITS EXECUTION.
- 1.17 THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT, MATERIAL OR FOR DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.
- 1.18 ALL CORRESPONDENCE TO THE TENANT OR TO THE ARCHITECT SHALL BE FORWARDED IN COPY TO THE OTHER PARTIES.
- 1.19 THE GENERAL CONTRACTOR, HIS SUB-CONTRACTOR, AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSE BY DEFECTIVE OR ILL-TIMED WORK, AS A RESULT OF, BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFORE.
- 1.20 THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIAL, BOTH FROM HIS OWN AND ALL OTHER SUB-CONTRACTOR'S EMPLOYEES, INCLUDING THAT RUBBISH WHICH IS A BY-PRODUCT OF OTHER
- 1.21 THE USE OF THE TERM "APPROVED EQUAL" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, THAT SHALL BE OF EQUAL QUALITY, FINISH AND MATERIAL. THE SUBSTITUTIONS SHALL BE SUBMITTED, IN WRITTEN FORM, TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- 1.22 THE TERMS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, THAT SUCH SHALL BE FURNISHED, INSTALLED AND CONNECTED WHERE SO REQUIRED.
- 1.23 THE GENERAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL, SAMPLES AND/OR CUT SHEETS OF ALL MATERIALS, FIXTURES, EQUIPMENT, HARDWARE, FINISHES, LIGHT FIXTURES, ETC. CALLED FOR ON THE ARCHITECT DRAWINGS
- 1.24 THE GENERAL CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. ALL SHOP DRAWINGS AND CUTS SIGNED "NO EXCEPTIONS NOTED" SHALL SUPERSEDE ORIGINAL DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES IN THEIR DRAWINGS.
- 1.25 GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY PROTECTION TO FLOORS, WALLS, FIXTURES, ETC., AND ANY EXISTING ITEMS TO REMAIN. THE GENERAL CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE INCURRED TO THE SAME BY THE TRADES AND WILL BE OBLIGATED TO REPLACE OR RESTORE TO ITS ORIGINAL CONDITION AS DETERMINED BY THE ARCHITECT.
- 1.26 THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AND SECURITY FOR HIS WORK UNTIL TURNED OVER TO THE CLIENT.
- 1.27 THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS ESTIMATE ALL COSTS (INCLUDING PREMIUM TIME WORK) FOR REMOVAL, NEW INSTALLATION AND REINSTALLATION WORK FOR ANY PLUMBING, CEILING (TAKE-DOWN AND REINSTALLATION), ELECTRICAL, TELEPHONE COMMUNICATION EQUIPMENT OR HVAC WORK ON FLOOR, ABOVE AND BELOW TENANT SPACE TO COMPLETE WORK ON FLOOR BEING RENOVATED.
- 1.28 PRIOR TO COMMENCING ANY WORK, THE GENERAL CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF HIS WORK AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIME, LENGTH OF TIME FOR EACH PHASE, IT'S START AND COMPLETION, WITH A PROJECTED COMPLETION DATE.
- 1.29 THE GENERAL CONTRACTOR SHALL FURNISH FIELD PROGRESS REPORTS TO THE ARCHITECT FOR ALL PHASES OF CONSTRUCTION.
- 1.30 ALL REQUIRED EXITS, WAY OF APPROACH THERETO, AND WAY OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN THE EVENT OF FIRE OR OTHER EMERGENCY. FIRE EXTINGUISHERS MUST BE AVAILABLE ON THE SITE DURING CONSTRUCTION
- 1.31 DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS SHALL BE CONSPICUOUSLY POSTED.
- 1.32 DURING THE ENTIRE PERIOD OF CONSTRUCTION, THE TELEPHONE NUMBERS OF THE CLOSEST AVAILABLE PHYSICIANS, HOSPITALS, OR AMBULANCES SHALL BE CONSPICUOUSLY POSTED.

GENERAL NOTES (CONTINUED)

- 1.33 THE CONTRACTORS SHALL PROVIDE REPRODUCIBLE "AS BUILT" DRAWINGS IN A FORMAT ACCEPTABLE TO THE TENANT, SHOWING ALL LIGHTING AND ELECTRICAL CIRCUITRY WORK (INCLUDING NUMBERS) AS ACTUALLY INSTALLED.
 - .34 THE GENERAL CONTRACTOR AGREES TO PAY ALL VERTICAL AND HORIZONTAL TRANSPORTATION CHARGES ON ALL HIS MATERIAL OR EQUIPMENT TO THE POINT OF USE, AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING AND STORING OF SAME IN CONNECTION WITH THIS CONTRACT.
- 1.35 THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE TENANT'S CONTRACTOR(S).
- 1.36 UNLESS OTHERWISE NOTED, ALL MATERIAL, EQUIPMENT, ETC. SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.
- 1.37 THE GENERAL CONTRACTOR SHALL, AT THE TENANT'S DISCRETION, UTILIZE THE AIA STANDARD FORM FOR REQUESTS FOR PAYMENT AND FOLLOW ALL GUIDELINES ASSOCIATED THEREWITH.
- 1.38 THE GENERAL CONTRACTOR SHALL, AT THE TENANT'S DISCRETION, ENTER INTO AN AGREEMENT WITH THE TENANT UTILIZING THE APPROPRIATE AIA FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.
- 1.39 ONE TOILET SHALL BE UTILIZED FOR CONSTRUCTION PERSONNEL AND ALL OTHERS LOCKED FOR THE PERIOD OF CONSTRUCTION. GENERAL CONTRACTOR TO PROVIDE A THOROUGH CLEANING OF ALL TOILET FACILITIES PRIOR TO RELEASING PREMISES TO THE TENANT.
- 1.40 DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF FRAMING OR UNDISTURBED EXISTING CONDITION UNLESS NOTED OTHERWISE AS SUCH: FACE OF STUD (F.O.S.), FACE OF CONCRETE (F.O.C.), CENTERLINE (CL), AND SURFACES OF FINISH MATERIALS WHERE INDICATED AS "CLR" OR "CLEAR".

NEW CONSTRUCTION

- 2.00 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING BUILDING CODES, LOCAL CODES, AND ALL RULES AND REGULATIONS AS ESTABLISHED BY THE AUTHORITIES HAVING JURISDICTION.
- 2.01 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING OWNER'S RULES AND REGULATIONS. PRIOR TO SUBMITTING A PROPOSAL, IT IS THE RESPONSIBILITY OF THE G.C. TO CONTACT THE BUILDING OWNER TO ACKNOWLEDGE THE REQUIREMENTS GOVERNING ALL WORK, INCLUDING, BUT NOT LIMITED TO, HOURS OF OPERATIONS, PROCEDURES, VERTICAL TRANSPORTATION, FACILITY/LOADING DOCK USE, ELEVATOR CAPACITY, ETC. ALL EXPENSES, FEES, PERMITS, AND ANY PREMIUM TIME CHARGES, RELATED TO OR AS A RESULT OF BUILDING OWNER REQUIREMENTS AND FACILITY CONDITIONS SHALL BE BORNE BY THE G.C. UPON AWARD OF CONTRACT, G.C. SHALL COORDINATE ALL WORK WITH BUILDING OWNER.
- 2.02 ALL BUILDING SERVICE SHUT-DOWNS NECESSARY FOR THIS WORK SHALL BE REQUIRED IN WRITING BY THE G.C., AT LEAST 72 HOURS, IN ADVANCE OF THE SHUT-DOWN. THE G.C. SHALL, PRIOR TO SHUT-DOWN, OBTAIN APPROVAL FROM BUILDING OWNER AND ALL AUTHORITIES HAVING JURISDICTION. ANY SHUT-DOWN AFFECTING NORMAL SERVICE TO OTHER BUILDING TENANTS AND OCCUPANTS SHALL BE SUPERVISED BY THE BUILDING OWNER. G.C. TO SCHEDULE AND COORDINATE.
- 2.03 G.C. IS RESPONSIBLE TO DETERMINE AND INCLUDE COSTS FOR PREMIUM TIME AND FEES NECESSARY FOR WORK AFTER NORMAL BUSINESS HOURS, WORK BEYOND THE AREA-OF-WORK, WORK AFFECTING OTHER TENANTS, MODIFICATION OF REMAINING ITEMS & SERVICES, SHUT-DOWN OF BUILDING SERVICES, BUILDING OWNER REQUIREMENTS, FACILITY CONDITIONS, ETC.
- 2.04 THE G.C. SHALL CONTACT THE BUILDING OWNER TO ACKNOWLEDGE CONSTRUCTION REQUIREMENT AND CONFORM TO THOSE REQUIREMENTS AND SHALL ADVISE THE PROJECT TEAM OF ANY CONFLICTS OR COST IMPACT.
- 2.05 PRIOR TO SUBMITTING A PROPOSAL, ALL CONTRACTORS AND TRADES SHALL EXAMINE AND SURVEY THE PREMISES, FLOORS BELOW (OR ABOVE) WHICH MAY BE AFFECTED, SITE AND INFRASTRUCTURE CONDITIONS, AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK AND THE REQUIREMENTS THAT ATTEND TO ITS EXECUTION.
- 2.06 ANY CUTS, PENETRATIONS, OR MODIFICATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE TO ADJACENT REMAINING WORK. PROVIDE TEMPORARY PROTECTION AS NECESSARY. IF IN THE COURSE OF CONSTRUCTION, THE G.C. DESTROY, DAMAGE, SOIL OR DISTURB ANY WORK, INCLUDING FURNITURE AND FIXTURES, WHICH ARE TO REMAIN, THEN HE SHALL, AT HIS OWN EXPENSE CLEAN, REPAIR OR REPLACE SUCH
- 2.07 G.C. SHALL PROVIDE TEMPORARY PROTECTION TO ALL LOCATIONS OUTSIDE OF THE AREA-OF-WORK, INCLUDING, BUT NOT LIMITED TO, OTHER TENANT SPACES AND FLOORS, ELEVATORS, COMMON CORRIDORS AND LOBBIES, BASE BUILDING ROOMS, STAIRS, FREIGHT ELEVATOR LOBBIES, THAT ARE DIRECTLY, INDIRECTLY, OR TEMPORARILY AFFECTED BY THIS NEW WORK. THE G.C. SHALL, AT HIS OWN EXPENSE, CLEAN, REPAIR OR REPLACE THE SPACES, FURNITURE, FIXTURES OR WORK TO ITS ORIGINAL INTENDED CONDITIONS.
- 2.08 ALL EXISTING FIRE & LIFE SAFETY DEVICES AND SYSTEMS SCHEDULED TO REMAIN SHALL BE FULLY OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. WHERE SERVICE MUST BE INTERRUPTED, G.C. SHALL PROVIDE APPROVED PERSONNEL OR SYSTEMS TO SERVE AS TEMPORARY FIRE WATCH. ALL FIRE-WATCH PERSONNEL AND PROCEDURES SHALL COMPLY WITH BUILDING OWNER REQUIREMENTS AND ALL AUTHORITIES HAVING
- 2.09 PROVIDE TEMPORARY LIGHTING THROUGHOUT SPACE WITH NECESSARY MODIFICATIONS, EQUIPMENT, AND CONNECTIONS TO ELECTRICAL SERVICE POINT(S) AS REQUIRED BY BUILDING OWNER AND LOCAL AUTHORITIES HAVING JURISDICTION.
- 2.10 PROVIDE TEMPORARY POWER WITH NECESSARY MODIFICATIONS, EQUIPMENT AND CONNECTIONS TO ELECTRICAL SERVICE POINT(S) AS REQUIRED TO PERFORM THIS NEW WORK, AS REQUIRED BY BUILDING OWNER OR LOCAL AUTHORITIES HAVING JURISDICTION.
- 2.11 PROVIDE CONCEALED IN-WALL GROUNDS, BLOCKING AND REINFORCEMENT AT GWB PARTITIONS TO RECEIVE WALL MOUNTED MILLWORK, FIXTURES, FURNITURE AND A/V EQUIPMENT. ALL WOOD BLOCKING SHALL BE CLASS-A FIRE RETARDANT RATED. WHERE METAL SHEET BLOCKING IS UTILIZED, PROVIDE 16 GAUGE MINIMUM OR HEAVIER TO SUIT ITEM BEING SUPPORTED.
- 2.12 ALL EXISTING PARTITIONS, COLUMNS, PERIMETER COLUMNS, ETC. AFFECTED BY CONSTRUCTION SHALL BE SKIM COATED, PREPARED AND LEVELED TO A SMOOTH SURFACE TO RECEIVE NEW SCHEDULED FINISHES. PATCH AND REPAIR CRACKS, HOLES, DAMAGES, ETC.
- 2.13 PREPARE AND PATCH FLOORS AS REQUIRED TO ACCEPT NEW SCHEDULED FLOOR FINISHES. FILL OPENINGS, HOLES, VOIDS, CRACKS, ETC. WITH CONCRETE AND LEVEL TO MATCH ADJOINING SURFACES.
- 2.14 ALL NEW PARTITION CONSTRUCTION THAT ADJOINS EXISTING PARTITIONS IN THE SAME PLANE SHALL ALIGN AND MATCH THE EXISTING PARTITION IN THICKNESS, HEIGHT, FIRE RATING, ETC.
- 2.15 WHERE BASE BUILDING CORE WALLS, COLUMN ENCLOSURES, FLOOR AND CEILING STRUCTURES ARE AFFECTED BY NEW WORK OR MADE INCOMPLETE DUE TO DEMOLITION/REMOVAL WORK, PATCH WITH MATCHING MATERIAL AND CONSTRUCTION. PROVIDE MASONRY, SHAFT WALL AND FIRE-RATED CONSTRUCTION TO MATCH. PROVIDE FIREPROOFING AS REQUIRED.
- 2.16 ALL PENETRATIONS THROUGH FIRE-RATED PARTITIONS, FLOOR AND CEILING STRUCTURES, AND BUILDING PERIMETER STRUCTURES SHALL BE FIRE STOPPED AND FIRE SEALED. PROVIDE FIREPROOFING/FIRE SEALANT PRODUCTS AND CONSTRUCTION TO MATCH FIRE-RATING OF PARTITION OR STRUCTURE.
- 2.17 WHERE NEW DEVICES ARE INDICATED OR REQUIRED AT EXISTING PARTITIONS, COLUMNS, BUILDING CORE AREAS, ETC., G.C. TO DETERMINE FEASIBILITY OF INSTALLATION IN EXISTING CONDITIONS. WHERE DETERMINED TO BE NOT FEASIBLE, G.C./C.M SHALL FUR-OUT WITH NEW GWB PARTITION(S) AS NECESSARY TO PROVIDE CHASE FOR NEW OUTLETS, WIRING, PIPES, PLUMBING, BLOCKING, ETC. DEPTH OF FURRED-OUT PARTITION SHALL BE AS MINIMAL AS FEASIBLE. PROVIDE METAL FURRING CHANNELS AND/OR MINIMUM SIZED STUDS TO ACHIEVE MINIMUM DEPTH. PROVIDE STUDS AND BLOCKING, WHERE FIXTURES, EQUIPMENT, MILLWORK OR FURNITURE ARE TO BE MOUNTED TO FURRED-OUT PARTITION.

NEW CONSTRUCTION (CONTINUED)

- 2.18 G.C. SHALL VERIFY INTEGRITY OF TENANT PERIMETER DEMISING PARTITIONS AND BASE BUILDING CORE WALLS AND COLUMN ENCLOSURES. REPAIR, PATCH, REPLACE AS NECESSARY AND TO MAINTAIN FIRE RATING. PENETRATIONS SHALL BE FIRE STOPPED AND FIRE SEALED SO AS TO MAINTAIN FIRE RATING.
- 2.19 WHERE EXISTING HVAC, PIPING, CONDUITS, ETC. HAVE BEEN REMOVED FROM EXISTING PARTITIONS, G.C. TO FILL AND PATCH ALL OPENINGS TO MATCH EXISTING.
- 2.20 PROVIDE MOISTURE-RESISTANT GWB FOR PARTITIONS AT ALL WET LOCATIONS INCLUDING PANTRIES, KITCHEN,
- LAUNDRY ROOMS, TOILETS, ETC., TYP.
- 2.21 PREPARE FLOOR AND PROVIDE MEMBRANE WATERPROOFING TO TOILET ROOMS.

2.22 PREPARE, PATCH AND LEVEL FLOOR AS NECESSARY TO RECEIVE NEW FLOOR.

- 2.23 G.C. TO PROVIDE NEW FRAMING AND GWB TO EXTEND EXISTING PARTITIONS AND COLUMN ENCLOSURES TO UNDERSIDE OF FLOOR SLAB ABOVE.
- 2.24 PROVIDE NEW MATCHING FIREPROOFING AT ALL AREAS AFFECTED BY NEW WORK, OR MADE INCOMPLETE DUE TO DEMOLITION/REMOVAL WORK.
- 2.25 PROVIDE STEEL LINTELS IN NEW OPENINGS OF MASONRY PARTITIONS; IN BOTH NEW WORK OR EXISTING BASE BUILDING CORE AREAS.
- 2.26 WHERE NEW PARTITIONS INTERSECT WITH PERIMETER INDUCTION /RADIATOR ENCLOSURES, PROVIDE SELF-CONTAINED ACOUSTICAL INSULATION OR BAFFLE INSIDE ENCLOSURE TO SEAL SEPARATION BETWEEN ROOMS.
- 2.27 WHERE NEW PARTITIONS, SOFFITS, DRAPERY POCKETS, ETC. INTERSECT WITH PERIMETER WINDOWS, SCREWS AND FASTENERS SHALL NOT BE ATTACHED TO WINDOW MULLIONS AND FRAMES. G.C. SHALL VERIFY AND COMPLY WITH BUILDING OWNER FOR BUILDING STANDARD METHODS OF CONSTRUCTION, INCLUDING CONDITIONS AND CLEARANCES AT OPERABLE WINDOWS.
- 2.28 WHERE IT IS NECESSARY TO SEPARATE THE WORK AREA FROM AN OCCUPIED AREA, BUILD FULL LENGTH PARTITIONS SPANNING FROM SUBFLOOR TO UNDERSIDE OF SLAB ABOVE USING MIN. ½ " C-FACE PLYWOOD. PAINT PLYWOOD TO MATCH ROOM COLOR TO OCCUPIED SIDE.
- 2.29 WHERE PENETRATIONS THROUGH FLOOR SLABS ARE REQUIRED, G.C. TO X_RAY FLOOR SLABS AT DEVICE LOCATIONS FOR REVIEW AND APPROVAL BY BUILDING OWNER PRIOR TO THE PENETRATION WORK.
- 2.30 G.C. TO INSPECT SURFACE CONDITION OF EXISTING FLOOR SLAB. REMOVE ANY REMAINING FLOOR FINISHES, CEMENT TOPPINGS, ADHESIVE, SUBSTRATES, FASTENERS, ETC. WHICH CAN INTERFERE WITH NEW SCHEDULED FINISHES
- 2.31 ALL GLAZING SHALL BE TEMPERED AND/OR LAMINATED SAFETY TYPE, NO ANNEALED, FLOAT, PLEXI OR ACRYLIC GLAZING SHALL BE USED. REVIEW FINISH SCHEDULE, DETAIL DRAWINGS, AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 2.32 ALL GYPSUM BOARD CONSTRUCTION, BOTH PARTITIONS AND CEILINGS, SHALL BE LEVEL-5 QUALITY FINISH. NO EXCEPTIONS.
- 2.33 G.C. TO VERIFY THE EXTENT OF ANY DEMOLITION PERFORMED BY THE LANDLORD AND SHALL PERFORM ANY FURTHER DEMOLITION NECESSARY TO CONFORM WITH BASE BUILDING CONDITIONS OR FOR NEW WORK.
- 2.34 FLASH PATCH AND LEVEL FLOOR FOR PROPER SETTING AND ALIGNMENT OF ALL OFFICE FRONT ASSEMBLIES AND SCHEDULED WOOD OR STONE FLOORING. LEVEL CONCRETE FLOORS USING A POURABLE, SELF-LEVELING COMPOUND SUITABLE FOR THE CONDITIONS PRESENT.
- 2.36 WHERE NEW WORK ENCOMPASSES ENTIRE FLOOR(S), G.C. TO INSPECT AND VERIFY CONDITION OF ALL EXISTING DOORS, FRAME AND HARDWARE SCHEDULED TO REMAIN. G.C. SHALL REPAIR, REPLACE AND/OR CLEAN DAMAGED ITEMS FOR PROPER FUNCTION AND OCCUPANCY.
- 2.37 WHERE REQUIRED BY THE OWNER OR PROPERTY OWNER, G.C. TO SUBMIT MSDS DOCUMENTATION FOR ALL MATERIALS AND PRODUCTS UTILIZED IN THE CONSTRUCTION OF THIS PROJECT.
- 2.38 PROVIDE WALL ACCESS PANELS WHERE REQUIRED. FLUSH MOUNT WITH FLANGES TAPED AND SPACKLED, NOT SURFACE TYPE. LOCKING MECHANISM TO BE FLUSH WITH SCREW. MILCOR, KARP OR APPROVED EQUAL. SIZES SHALL BE AS REQUIRED BY THE FUNCTION OR PURPOSE AT EACH LOCATION. PROVIDE FIRE RATED TYPE WHEN
- LOCATED IN FIRE RATED PARTITIONS.

 2.39 THE GENERAL CONTRACTOR WILL DO ALL CUTTING, FITTING AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY AND TO RECEIVE OR BE RECEIVED BY WORK OF OTHER
- 2.40 THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUT-OUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK.

CONTRACTORS SHOWN ON OR REASONABLY IMPLIED BY THE DRAWINGS OR NOTES.

RECEIVE FINISHED WALL TREATMENT AS SCHEDULED.

- 2.41 ALL GYPSUM BOARD PARTITIONS SHALL BE ERECTED AS SHOWN ON THE PLANS, DETAILS, OR AS CALLED FOR IN THE SPECIFICATIONS AND NOTES. ALL GYPSUM BOARD PARTITION JOINTS SHALL BE LOCATED SO THAT PANEL EDGES FALL ON THE ALTERNATE STUDS. ALL JOINTS SHALL BE TAPED, SPACKLED AND FINISHED SMOOTH TO
- 2.42 THE CONTRACTOR SHALL PROVIDE LINE AND GRADING ON THE FINISHED SLAB FOR ALL PARTITIONS, TO BE APPROVED BY THE ARCHITECT. LINE AND GRADING SHALL BE SHOWN BY PAINTING PARTITION LOCATIONS OR BY INSTALLING METAL STUD FLOOR CHANNEL.
- 2.43 FIXING OF ALL METAL TRACKS TO FLOOR AND CONCRETE CEILINGS SHALL BE DONE DURING REGULAR HOURS, UNLESS OTHER REQUIREMENTS PREVAIL. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM WITH BUILDING MANAGEMENT THE APPROVED OPERATIONAL HOURS FOR SUCH WORK. THE ADDITIONAL EXPENSE FOR AFTER-HOURS WORK, WHERE REQUIRED, SHALL THEREFORE BE INCLUDED AND IDENTIFIED IN THE BASE COST.
- 2.44 ALL PARTITIONS SHALL BE ANCHORED FIRMLY AS PER MANUFACTURER'S SPECIFICATIONS AND AS REQUIRED BY LOCAL BUILDING CODES. CEILING RUNNERS ARE TO BE SECURELY ATTACHED TO STRUCTURE, NOT TO
- 2.45 ALL LAYERS OF GYPSUM BOARD IN MULTI-LAYER APPLICATIONS SHALL BE APPLIED WITH SCREWS.
- 2.46 THERE SHALL BE NO HORIZONTAL JOINTS ON EXPOSED SURFACES OF GYPSUM BOARD WALLS.
- 2.47 METAL CORNER BEADS SHALL BE USED AT ALL EXPOSED GYPSUM BOARD CORNERS AND ENDS.

 -2.48 ALL WALLS ABUTTING WINDOW MULLIONS SHALL CONFORM TO BUILDING REQUIREMENTS. "DOG-LEG" OFFSETS—
 -SHALL BE OF AN APPROVED DIMENSION TO ALLOW ACCESS TO PERIMETER ENCLOSURE.
- -2.49 WHERE PARTITIONS ABUT THE PERIPHERAL CONVECTION ENCLOSURE, A BUILDING STANDARD SOUND BARRIER
 -SHALL BE INSTALLED (IN THE ENCLOSURE) TO ELIMINATE PASSAGE OF SOUND BETWEEN DIVIDED AREAS.
- 2.50 WHERE NEW AND EXISTING BUILDING PARTITIONS ARE SHOWN TO ALIGN, THE JUNCTURE SHALL BE TAPED, SPACKLED AND FINISHED SMOOTH.
- 2.51-CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL OPENINGS FOR DUCTWORK AND RETURN AIR-GRILLE OPENINGS ABOVE AND BELOW SUSPENDED CEILINGS. THESE ARE TO COORDINATE WITH THE AIR CONDITIONING ENGINEER'S AND MECHANICAL CONTRACTOR'S SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND VIBRATION CONTROL.

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REVISION / DATE SHEET

PLAN REVIEW COMMENTS

5-30-2019

PLANNING REVIEW

8-1-19

ADU RESUBMITTAL

9-9-19

POST APPROVAL ZONING

REVIEW COMMENTS

10-15-20

↑ 2ND NOTICE COMMENTS

1-20-21

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GENERAL NOTES

A0.2

- 2.54 ALL DOORS SHALL HAVE A 1/4" UNDERCUT MEASURED FROM FINISHED FLOOR, UNLESS OTHERWISE NOTED.
- -2.55 ALL NEW METAL DOORS SHALL BE FLUSH PANELS REINFORCED WITH CHANNELS AT 6" CENTERS, INSULATED AND—WITH NO VISIBLE SEAMS.—
- 2.56 ALL DOOR FRAMES SHALL HAVE CONCEALED REINFORCEMENT FOR DOOR HINGES AND STRIKE, AND SHALL BE PUNCHED FOR SILENCERS. DOORS AND DOOR FRAMES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DOOR FRAMES SHALL BE WELDED UNLESS OTHERWISE NOTED.
- 2.57 UNLESS OTHERWISE NOTED, THE GENERAL CONTRACTOR SHALL SUPPLY ALL HARDWARE.

DRAWINGS, OR CALLED FOR ON THE CONSTRUCTION DETAILS, EXCEPT AS NOTED.

- 2.58 ALL LOCK SETS SHALL BE CODED AND/OR KEYED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO THE TENANT PROPERLY TESTED AND TAGGED. PROVIDE (3) MASTER KEYS AND (3) PASSKEYS FOR EACH LOCK.
- 2.59 DETAILED HOLLOW METAL AND HARDWARE SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.

 FABRICATION OF MATERIAL SHALL NOT COMMENCE UNTIL SUCH REVIEW (NO EXCEPTIONS NOTED) HAS BEEN RECEIVED. THIS REVIEW SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO SATISFY CONSTRUCTION DRAWING INTENT.
- 2.60 ALL WOOD DOORS AND FRAMES SHALL CONFORM TO THE GOVERNING DEPARTMENT OF BUILDINGS STANDARDS AND/OR GOVERNING AGENCIES HAVING JURISDICTION FOR FIRE-RATED DOORS.
- 2.61 ALL "EXISTING TO REMAIN", "EXISTING", "RELOCATED" OR "NEW" ITEMS, INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF THE ARCHITECT PRIOR TO BEING TURNED OVER TO THE TENANT.
- 2.62 THE GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN COVE BASE AND STRAIGHT BASE, VIEWABLE WINDOW METAL WORK, ALL BUILDING MAIL CHUTES, ALL DOORS AND PERIMETER CONVECTION ENCLOSURES, ETC. AT THE COMPLETION OF CONSTRUCTION.
- 2.63 THE GENERAL CONTRACTOR SHALL THOROUGHLY REMOVE ALL DEBRIS AND VACUUM CLEAN THE CARPETING.
 LIGHT FIXTURES ARE TO BE CLEANED OF DUST AND FINGERPRINTS AT THE COMPLETION OF CONSTRUCTION.
- 2.64 THE WORDING "SHEATHE OVER TO ALIGN" DENOTES GYPSUM BOARD SHEATHING OVER FACE OF BASE BUILDING COLUMNS OR WALL SURFACE AT JUNCTIONS WITH NEW CONSTRUCTION TO ALIGN TWO DISSIMILAR PARTS AND PROVIDE A SMOOTH CRACK FREE SURFACE.
- 2.65 ALL GYPSUM BOARD USED IN DRY WALL PARTITIONS MARKED FOR 1-HOUR FIRE RESISTIVE WALL SHALL BE FIRE CODE TYPE-X.
- 2.66 ALL DRYWALL PARTITIONS FOR PANTRY AREAS AND ALL OTHER DAMP AREAS SHALL BE WATER RESISTANT TYPE GYPSUM BOARD ("GREEN BOARD")
- 2.67 WHERE FIRE RATED WALLS INTERSECT PERIMETER CONVECTION ENCLOSURES; INSTALL WITHIN THE ENCLOSURES A FIRE RATED FIRE STOP EQUAL TO THE FIRE RATING OF THE PARTITION.
- 2.68 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD SUPERVISION OF ALL HVAC WORK DURING INSTALLATION AND SHALL INSPECT AND TEST ALL SYSTEMS FOR PROPER OPERATION AT COMPLETION OF THE CONSTRUCTION.
- 2.69 SHOP DRAWINGS OF DUCTWORK AND REGISTERS INCLUDING ACCESS PANELS WHERE REQUIRED, SHALL BE SUBMITTED TO THE ARCHITECT AND THE MECHANICAL ENGINEER FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION AND INSTALLATION (AND RELOCATION WHERE REQUIRED).
- 2.70 INSTALLATION SHALL BE COORDINATED WITH ALL TRADES AS REQUIRED FOR PROPER ASSEMBLY. WHERE REQUIRED, CEILING DIFFUSERS SHALL BE RELOCATED TO MAINTAIN NEW FIXTURE PATTERNS.
- 2.71 ALL PERIPHERAL SHUT-OFF VALVES SHALL BE ACCESSIBLE AT ALL TIMES.
- 2.72-UPON COMPLETION OF ALL HVAC WORK, THE CONTRACTOR SHALL BALANCE ALL SYSTEMS AND SUBMIT DESIGN BALANCING FIGURES TO THE ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL THEN SUBMIT COPIES OF THE APPROVED SUBMITTAL(S) TO THE BUILDING MANAGEMENT.
- 2.73 THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLUMBING ROUGHING, FIXTURES AND ACCESSORIES SHOWN ON ALL PLANS AND DETAIL DRAWINGS. WORK TO BE COORDINATED WITH ALL TRADES.
- 2.74 THE CONTRACTOR SHALL COORDINATE HIS WORK WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.
- 2.75 ALL PIPE HANGERS AND SUPPORTS SHALL BE CONNECTED TO THE BUILDING STRUCTURE. NO CHAIN STRAPS, PERFORATED BARS, WIRE HANGERS OR EXPANSION SHIELDS PERMITTED. HANGING FROM WORK OF OTHER
- 2.76 PRIOR TO ENCLOSURE, ALL PIPING SHALL BE TESTED AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
- -2.77 FOR CLASS PARTITION / STOREFRONT SEE DETAIL SHEETS NOTED ON PLANS.

FINISH NOTES

TRADES IS NOT PERMITTED.

- -4.0 SEE DRAWING G-003 FOR SYMBOL LEGEND.
- -4.1 SEE FINISH SCHEDULE. REFER TO ELEVATIONS, PARTIAL DETAIL PLANS, AND DETAIL DRAWINGS FOR ADDITIONAL INFORMATION OR CLARIFICATION ON REQUIRED FINISHES.
- 4.2 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING OWNER'S RULES AND REGULATIONS. IT IS THE RESPONSIBILITY OF THE G.C. TO CONTACT THE BUILDING OWNER TO FULLY ACKNOWLEDGE THE REQUIREMENTS
- 4.3 ALL FLOOR, WALL AND CEILING SURFACES SHALL BE PROPERLY PREPARED TO RECEIVE NEW SCHEDULED FINISHES. PATCH AND SKIM COAT EXISTING PARTITIONS, COLUMNS, PERIMETER COLUMNS, CEILNGS, ETC. TO A SMOOTH AND LEVEL SURFACE FOR NEW FINISHES.
- 4.4 PREPARE AND FLASH PATCH FLOORS AS REQUIRED TO ACCEPT NEW SCHEDULED FLOOR FINISHES. FILL HOLES, VOIDS, CRACKS, ETC. AND LEVEL TO MATCH ADJOINING SURFACES.
- 4.5 PROVIDE VINYL REDUCER STRIP AT ALL CARPET TO VINYL FLOOR TRANSITIONS. PROVIDE METAL REDUCER AT CARPET TO CONCRETE FLOOR TRANSITIONS.
- 4.6 PROVIDE ALL ACCESSORIES APPROPRIATE TO THE TYPE OF TRANSITION: CARPET TO CERAMIC/STONE TILE
- TRANSITIONS, AND STONE TO STONE TRANSITIONS.
- 4.7 ALL FLOOR FINISHES TO FULLY EXTEND INTO CLOSETS, NICHES, ETC. UNLESS OTHERWISE NOTED.
- 4.8 ALL FLOOR FINISHES TO CONTINUE BENEATH MILLWORK AND FULLY EXTEND TO ADJACENT PARTITION, UNLESS OTHERWISE NOTED.
- 4.9 SCHEDULED FLOOR FINISH, WALL BASE, AND WALL FINISH SHALL FULLY EXTEND BELOW AND AROUND PERIMETER RADIATORS, UNLESS OTHERWISE NOTED.
- 4.10 GENERAL PAINT FINISHES: PROVIDE EGGSHELL FINISH AT ALL PARTITIONS, FLAT FINISH AT CEILINGS, SEMI-GLOSS FINISH AT METALS AND AT PAINTED WOOD.
- 4.11 ALL PAINTED DOORS AND FRAMES SHALL BE PAINTED TO MATCH ADJOINING PARTITION, IN SEMI-GLOSS FINISH, UNLESS OTHERWISE NOTED.

FINISH NOTES (CONTINUED)

- 4.12 ALL EXPOSED STEEL COLUMNS TO BE PAINTED.
- 4.13 ALL CLOSET INTERIORS TO BE PAINTED AND IN EGGSHELL FINISH.
- 4.14 CLEAN AND PREPARE ALL PERIMETER RADIATORS TO RECEIVE NEW SCHEDULED PAINT FINISH. REMOVE ALL UNNECESSARY FASTENERS AND FILL HOLES
- 4.15 ALL PERIMETER WINDOW POCKETS & GWB SOFFITS TO BE PAINTED TO MATCH PERIMETER WINDOW WALLS.
- 4.16 ALL AREAS SCHEDULED FOR NEW FINISHES INCLUDING AREAS TO REMAIN AND/OR BASE BUILDING CORE AREAS, SHALL BE PROPERLY PREPARED TO RECEIVE NEW FINISHES.
- 4.17 WHERE NEW CONSTRUCTION AFFECTS EXISTING SPACES, THE NEW WALL FINISHES SHALL EXTEND TO AND TERMINATE AT THE NEAREST INSIDE OR OUTSIDE CORNER, OR FULL HEIGHT ELEMENT IN THE PARTITION, FOR A COMPLETE BREAK BETWEEN NEW AND EXISTING FINISHES. WALL FINISHES SHALL MEAN PAINTS, TEXTURED COATINGS, SPECIALTY COATINGS, WALL COVERINGS, AND WALL BASES. SEE FINISH PLAN FOR FURTHER NOTATIONS OR FULL EXTENT OF FINISHES IN EXISTING AREAS, WHICH MAY EXCEED THIS MINIMUM REQUIREMENT.
- 4.18 WALLS SHALL INCLUDE SURFACES FROM FLOOR TO CEILING, INCLUDING COLUMN PILASTERS, FASCIAE, JAMBS, FRAMES, REVEALS, RETURNS AND ALL VERTICAL SURFACES NOT INCLUDED IN THE CEILING.
- 4.19 CEILINGS SCHEDULED FOR PAINT SHALL INCLUDE THE GENERAL SURFACE OF THE CEILING, BREAKS, DRAPERY POCKETS, BUILDING PERIMETER WINDOW/DRAPERY POCKETS, ETC.
- 4.20 ALL HARDWARE AND DEVICE COVERS SHALL BE REMOVED PRIOR TO PAINTING AND SHALL BE REINSTALLED UPON COMPLETION OF PAINTING WORK. WHERE COVERS ARE NOT REMOVABLE, THE ITEM SHALL BE FULLY MASKED AND PROTECTED FROM PAINT.
- 4.21 ACCESS PANELS AND ACCESS DOORS SET INTO WALLS AND COLUMNS TO BE PAINTED SAME COLOR AND FINISH AS WALLS THEY ARE SET IN.
- 4.22 UPON COMPLETION, THE CONTRACTORS SHALL REMOVE ALL PAINT FROM WHERE IT WAS NOT INTENDED.
- 4.23 THE CONTRACTOR SHALL USE LATEX BASED PAINT IN COLORS AS SCHEDULED, UNLESS OTHERWISE NOTED. HE SHALL PROPERLY PREPARE ALL SURFACES TO RECEIVE (1) PRIMER COAT AND (2) FINISH COATS OF PAINT IN THE COLOR(S) AS SCHEDULED.
- 4.24 PROVIDE 5-PERCENT ATTIC STOCK OF FINISH MATERIALS. G.C. SHALL CONFIRM WITH OWNER IF ADDITIONAL QUANTITY IS REQUIRED OF SELECT ITEMS OR ALL ITEMS.
- 4.25 THE CONTRACTOR SHALL INSTALL WALL COVERING WHERE DESIGNATED. WALL COVERINGS SHALL BE SMOOTH, WITH NO WRINKLES, BUBBLES OR LOOSE EDGES. ALL ADHESIVE AND BRUSH MARKS SHALL BE THOROUGHLY REMOVED. WALL COVERING SHALL BE ADHERED TO THE WALL SURFACE WITH SEAMS HUNG VERTICALLY, AND ALL SEAMS BUTTED TOGETHER. HORIZONTAL SEAMS WILL NOT BE ACCEPTED. WALL COVERING ADJOINING WOOD OR METAL TRIM SHALL BE CUT STRAIGHT AND SQUARE. ALL WORKMANSHIP WHICH IS JUDGED NOT TO BE FIRST QUALITY WILL NOT BE ACCEPTED BY THE ARCHITECT.
- 4.26 WHERE WALL COVERINGS TERMINATE AT AN OUTSIDE CORNER OF A PARTITION AND MEET DISSIMILAR WALL COVERING OR A PAINTED SURFACE, A METAL STOP BEAD SHALL BE INSTALLED TO INSURE A PLUMB AND CLEAN INSTALLATION.
- 4.27 ALL EXISTING LOOSE PAINT SHALL BE REMOVED AND SPACKLED OR PLASTER PATCHED.
- 4.28 EXISTING UNEVENNESS IN ALL PARTITIONS SHALL BE SANDED OR CHIPPED AWAY AND SURFACES PLASTER-PATCHED OR SPACKLED TO INSURE A PERFECTLY EVEN SURFACE.
- 4.29 PROVIDE SHOP DRAWINGS AND MATERIAL SUBMITTALS FOR REVIEW AND APPROVAL. PROVIDE SEAMING DIAGRAM AND/OR FLOOR PATTERN SHOP DRAWINGS. PROVIDE THREE (3) EACH OF MATERIAL SUBMITTALS.

CARPET NOTES

- 7.01 THE CARPET CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, ETC. NECESSARY OR REQUIRED TO FURNISH AND INSTALL CARPET AS INDICATED ON THE ARCHITECT DRAWINGS, HEREIN SPECIFIED, AND AS REQUIRED BY THE SITE CONDITIONS FOR PROPER PERFORMANCE AND COMPLETION. ITEMS OF WORK SHALL CONSIST OF, BUT NOT LIMITED TO THE FOLLOWING:
 - A. BROADLOOM CARPET
 - 3. CARPET TILES
 C. UNDERLAY CUSHION
 - D. SEAMING
 - E. INSTALLATIONF. REDUCING STRIPS
 - G. ACCESSORIES
 - H. MANUFACTURER'S RECOMMENDED ADHESIVESI. FLASH PATCHING (DUE TO FLOORING LEVEL DIFFERENCE)
 - J. TRANSITION FLASH PATCHING
- 7.02 THE CARPET CONTRACTOR SHALL CHECK ALL FIELD CONDITIONS AND BE TOTALLY RESPONSIBLE FOR TOTAL YARDAGE REQUIREMENTS.
- 7.03 THE CARPET CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND RECEIVING FROM THE MANUFACTURER AND PLACEMENT (INCLUDING HOISTING) OF GOODS TO THE AREA OF THE BUILDING WHERE THE INSTALLATION IS SCHEDULED. IT SHALL BE HIS RESPONSIBILITY TO CONFIRM THE RULES AND REGULATIONS COVERING WORK ON THE PREMISES INCLUDING THE FOLLOWING:
- A. DATES AND TIMES OF DELIVERY INCLUDING ANY OVERTIME CHARGES IF REQUIRED.
- B. VERIFICATION OF SITE CONDITIONS, DIMENSIONS, CLEARANCES OF DOORWAYS, CORRIDORS, WINDOW OPENINGS, ETC., AND LOADING CAPACITY OF ELEVATORS.
- 7.04 THE CARPET CONTRACTOR SHALL PROVIDE SUITABLE PROTECTION FOR ANY VERTICAL SURFACE THAT MAY BE DAMAGED IN ANY WAY BY CARPET INSTALLATION.
- 7.05 IN AREAS WHERE CARPET MEETS RESILIENT FLOOR TILE, THE CARPET CONTRACTOR SHALL PROVIDE AND INSTALL A REDUCING STRIP IN COLOR AND FINISH AS SPECIFIED BY THE ARCHITECT.
- 7.06 INSTALLATION CARPET TILE
- A. CARPET TILE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND IN A MONOLITHIC CORNER-TO-CORNER METHOD WITH ALL DIRECTION ARROWS RUNNING IN A NORTH SOUTH DIRECTION.
- ADHESIVE AND ITS APPLICATION SHALL BE AS PER MANUFACTURERS RECOMMENDATIONS.
- C. CARPET TILE SHALL BE LAID SO AS TO HAVE A TIGHT AND FLUSH JOINT, NOT COMPRESSED TO CAUSE BUCKLING.
- D. CARPET TILE LAYOUT SHALL USE A MAXIMUM NUMBER OF FULL SIZE TILES.

 E. DIRECT GLUE DOWN INSTALLATION SHALL NOT RECEIVE FURNITURE OR HEAVY TRAFFIC FOR 48 HOURS
- 7.07 ALL CLOSETS SHALL HAVE THE SAME FLOOR COVERING AS ADJACENT AREAS, UNLESS OTHERWISE NOTED.
- 7.08 THE CARPET CONTRACTOR SHALL INSTALL CARPET TILE WITH PILE INCLINATION (NAP) IN ONE DIRECTION, OR AS RECOMMENDED BY THE MANUFACTURER.
- 7.09 THE CARPET CONTRACTOR SHALL INSTALL ONLY EITHER "TOPS" OR "BOTTOMS" OF CARPET TILE PER FLOOR. FOR ANY FLOOR WHERE "TOPS" OR "BOTTOMS" OF CARPET TILE ARE BOTH INSTALLED, THE CARPET CONTRACTOR MUST SUBMIT DRAWING TO THE ARCHITECT INDICATING ARCHITECTURAL BREAKS WHERE "TOPS "WOULD MEET "BOTTOMS". THE ARCHITECT MUST APPROVE SUCH RECOMMENDATIONS PRIOR TO INSTALLATION.
- 7.10 CARPET TILE COVERAGE MUST BE MARKED ON BOXES AS EITHER "TOPS" OR "BOTTOMS". THE CARPET CONTRACTOR SHALL ALSO MARK PLANS FOR CLIENT CLEARLY INDICATING WHERE "TOPS" AND "BOTTOMS" WERE INSTALLED FOR CORRECT FUTURE REPLACEMENT OF CARPET TILES WHERE REQUIRED.
- 7.11 IN THE EVENT THAT THE SPECIFIED MANUFACTURER SHOULD CHANGE ANY ITEM OF THEIR SPECIFICATION AFTER THE CARPET CONTRACTOR HAS BEEN AWARDED THE BID, THE CARPET CONTRACTOR IS TO NOTIFY THE ARCHITECT IN WRITING.
- 7.12 CUT AND FIT CARPET MODULES NEATLY INTO BREAKS AND RECESSES AGAINST WALL BASES, PERMANENT CABINETS AND EQUIPMENT.
- 7.13 THE CARPET CONTRACTOR SHALL SUBMIT A LAYOUT TO THE ARCHITECT OF EACH AREA TO BE COVERED SHOWING DIRECTION OF PATTERN (IF ANY) AND LOCATIONS OF SEAMS FOR APPROVAL. IN ADDITION, IN SUCH INSTANCES WHERE CARPET APPEARS UNIFORM IN COLOR BUT HAS A DEFINITE WOVEN DIRECTION, THE CARPET CONTRACTOR SHALL SUBMIT A LAYOUT TO THE ARCHITECT FOR APPROVAL SHOWING DIRECTION IN WHICH CARPETING SHALL BE INSTALLED.
- 7.14 SAMPLES OF EACH CARPET SELECTED SHOWING COLOR AND PATTERN, TOGETHER WITH MANUFACTURER'S SPECIFICATIONS, SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDER PLACEMENT.

CARPET NOTES (CONTINUED)

- 7.15 THE CARPET CONTRACTOR SHALL PROVIDE SAMPLES OF ALL CUSTOM WOVEN AND/OR CUSTOM DYED CARPETS FOR REVIEW BY THE ARCHITECT. "STRIKE OFF" CHARGE SHALL BE THE RESPONSIBILITY OF THE CARPET CONTRACTOR.
 - 7.16 ALL WORK SHALL BE PERFORMED DURING REGULAR WORKING HOURS. IN THE EVENT THAT PREMIUM TIME IS REQUIRED IN ORDER TO MAINTAIN THE INSTALLATION SCHEDULE AND MEET THE COMPLETION DATE, THE CONTRACTOR SHALL BE REQUIRED TO SECURE THE APPROVAL OF THE CLIENT AND THE ARCHITECT BEFORE COMMENCING.
- 7.17 THE CARPET CONTRACTOR SHALL COORDINATE THE CARPET WORK WITH THE WORK OF OTHER TRADES WHEREVER THEIR INSTALLATIONS COME TOGETHER.
- 7.18 THE CARPET CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER STORAGE AND SAFEKEEPING OF ALL MATERIALS AND EQUIPMENT DURING THE INSTALLATION.
- 7.19 THE CARPET CONTRACTOR SHALL GUARANTEE THAT ALL WORKMANSHIP BE OF THE QUALITY AND STANDARDS PRESCRIBED BY "THE CARPET SPECIFIER'S HANDBOOK" FREE FROM DEFECTS. ANY DEFECTS DUE TO IMPROPER WORKMANSHIP SHALL BE CORRECTED TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL EXPENSE. THE CARPET CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING ALL CARPET AND UNDERLAYMENT PRIOR TO INSTALLMENT. ANY MANUFACTURING DEFECTS SHALL BE REPORTED TO THE ARCHITECT.
- 7.20 CARPET CONTRACTOR TO REMOVE SPOTS AND SMEARS OF ADHESIVE FROM CARPET SURFACE WITH MANUFACTURER APPROVED CLEANING AGENT.
- 7.21 UPON COMPLETION, THE CARPET CONTRACTOR SHALL VACUUM WITH AN UPRIGHT PROFESSIONAL VACUUM
- 7.22 SUITABLE PROTECTION SHALL BE PROVIDED FOR ALL AREAS WHERE COMPLETED FLOORING (CARPETING) MAY BE DAMAGED BY MATERIAL DELIVERY OR "TACKING" OF ADHESIVE.
- 7.23 ALL CARPET, PADDING, GLUE, ASSEMBLIES, ETC. SHALL COMPLY WITH LOCAL CODES OR ANY GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- 7.24 EDGE SEALER AND HOT MELT TAPE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 7.25 MAKE JOINTS BETWEEN CARPET ROLLS IN SUCH A WAY SO AS TO PROVIDE FOR EXACT ALIGNMENT OF FIBER ROWS, TEXTURE AND PATTERN FROM ROLL TO ROLL.
- 7.26 NO SEAMS TO OCCUR AT DOORWAYS OR ENTRIES WHERE THE SAME CARPET OCCURS. SEAMS OCCURRING AT THE DOORWAYS DUE TO FLOORCOVERING CHANGE PARALLEL TO DOORS, SHALL BE ENTERED DIRECTLY UNDER
- 7.27 SEAMS OCCURRING AT CHANGE OF DIRECTION IN CORRIDORS SHALL FOLLOW THE WALL LINE TO THE CARPET
- 7.28 PROVIDE TO OWNER 5% ATTIC STOCK. ATTIC STOCK SHALL BE FROM THE SAME PRODUCTION RUNS AS INSTALLED MATERIALS IN THE PROJECT.

WOOD FLOORING NOTES

- 8.1 NEW SOLID WOOD LUMBER PLANKS WHERE SCHEDULED SHALL BE OF MATCHING WIDTH(S); TONGUE AND GROOVE, UNLESS OTHERWISE NOTED.
- 8.2 COORDINATE WITH PLYWOOD UNDERLAYMENT LEVELING AND SHIMMING OF SUBFLOOR PROVIDED UNDER SECTION 06. 10. 00, ROUGH CARPENTRY.
- 8.3 TESTING OF NEW MATERIALS WITH EXISTING SUBSTRATES TO DETERMINE COMPATIBILITY AND ENSURE SUCCESSFUL INSTALLATION OF THE WORK OF THIS CONTRACT.
- 8.4 WORK SHALL BE FREE OF IMPERFECTIONS
- 8.5 CONTRACTOR SHALL ORDER REFINISHING MATERIALS IN A TIMELY FASHION.
- 8.6 FINISH COATS: FORMULATED FOR MULTI-COAT APPLICATION ON WOOD FLOORING TO MATCH APPROVED.
- 8.7 WORK SHALL BE EXAMINED IN AREAS AND CONDITIONS WHERE WORK IS TO BE PERFORMED AND ARCHITECT OR OWNER/TENANT SHALL BE NOTIFIED OF CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF WORK. COMPATIBILITY WITH SUBSTRATE, CONTIGUOUS SURFACES, AND WITH NEW AND/OR EXISTING MATERIALS SHALL BE DETERMINED.
- 8.8 DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED AND SPACES ARE AT HUMIDITY CONDITIONS EQUIVALENT FOR OCCUPANCY.
- 8.9 FOLLOW ALL NWFA AND NOFMA RECOMMENDATIONS FOR SANDING WOOD FLOORS.
- 8.10 PRIOR TO INSTALLATION, TEST WOOD FOR MOISTURE CONTENT AND ALLOW ADEQUATE TIME FOR WOOD TO ACCLIMATE TO LOCAL CONDITIONS IN A STRAIGHT AND LEVEL STORAGE POSITION AS CLOSE AS POSSIBLE TO THE AREA OF INSTALLATION.
- 8.11 APPLY FLOOR FINISH TO MANUFACTURER'S WRITTEN INSTRUCTIONS. APPLY NUMBER OF COATS RECOMMENDED BY FINISH MANUFACTURER FOR APPLICATION INDICATED, BUT NOT LESS THAN THREE.
- 8.12 COVER INSTALLED WOOD FLOORING WITH MINIMUM 1/8" RIGID BOARD TO PROTECT IT FROM DAMAGE OR DETERIORATION DURING REMAINDER OF CONSTRUCTION PERIOD. BROOM SWEEP AND VACUUM AREA TO BE PROTECTED PRIOR TO LAYING PROTECTION BOARD. TAPE ALL EDGES TO PREVENT DUST MIGRATION UNDER PROTECTION BOARDS.
- 8.13 DO NOT MOVE HEAVY AND SHARP OBJECTS DIRECTLY OVER COVERED WOOD
- 8.14 PROTECT FLOORING WITH PLYWOOD OR HARDBOARD PANELS TO PREVENT DAMAGE FROM STORING OR MOVING OBJECTS OVER FLOORING. PROTECT ENTIRE FLOOR DURING REMAINDER OF CONSTRUCTION PERIOD SO THAT FLOORING AND FINISH WILL BE WITHOUT DAMAGE OR DETERIORATION AT TIME OF ACCEPTANCE.
- 8.15 ENGINEERED WOOD FLOORING WHERE SCHEDULED SHALL BE IN PATTERNS AND DIRECTIONS INDICATED, UNLESS OTHERWISE NOTED.
- 8.16 ENGINEERED WOOD FLOORING WHERE SCHEDULED SHALL BE STAINED TO MATCH CONTROL SAMPLES.
- 8.17 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENGINEER SUBSTRUCTURE INCLUSIVE OF WOOD PLATFORM, UNDERLAYMENT, AND/OR MOISTURE PROTECTION IN BELOW-GRADE INSTALLATIONS.
- 8.18 ENGINEERED WOOD FLOORING SHALL COMPLY WITH RECOMMENDATIONS OF THE AMERICAN HARDWOOD ASSOCIATION.
- 8.19 UNIFORMITY OF COLOR THROUGHOUT IS A REQUIREMENT OF THIS CONTRACT, UNLESS OTHERWISE NOTED.

8.20 FLAKING OF WOOD, OR A PERCENTAGE OF FLAKING OF WOOD IS UNACCEPTABLE.

OWNER/TENANT.

- 8.21 PROTECT WOOD FLOORING FROM EXCESSIVE MOISTURE DURING DELIVERY, STORAGE AND HANDLING. PROTECT MATERIALS AND WORK FROM DAMAGE, FROM TIME OF SHIPMENT TO FINAL ACCEPTANCE.
- 8.22 DAMAGED OR DEFECTIVE WORK IS SUBJECT TO REJECTION AND REPLACEMENT, AT NO COST TO THE TENANT.

 8.23 VERIFY DIMENSIONS IN THE FIELD PRIOR TO FABRICATION TO ASSURE PROPER FIT. BEFORE PROCEEDING, OBTAIN
- MEASUREMENTS AND VERIFY DIMENSIONS OF SHOP DRAWING DETAILS AS REQUIRED FOR ACCURATE FIT.

 8.24 SUBMIT 5 YEAR WARRANTY SIGNED BY MANUFACTURER AND CONTRACTOR AGREEING TO REPAIR OR REPLACE WORK DUE TO FAILURES OF MATERIALS INCLUSIVE OF CHECKING, CRACKING, PEELING, CHALKING,

ALLIGATORING, DISCOLORATION OR OTHER DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP, OR TO

- THE APPLICATION OF FINISHES TO SURFACES IMPROPERLY PREPARED FOR COATING OR FINISHING.

 8.25 AT THE DISCRETION OF THE ARCHITECT, UNSATISFACTORY WORK SHALL BE REFINISHED TO THE ARCHITECT'S SATISFACTION TO MATCH THE APPROVED CONTROL SAMPLE, AT NO ADDITIONAL COST TO THE
- 8.26 INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND FINAL SHOP DRAWINGS; AND SUBJECT TO EXISTING CONDITIONS AT SITE. ALLOW FOR EXPANSION AT PERIMETER. LAY FLOORING IN THE DIRECTION(S) AND/OR PATTERN(S) AS SHOWN ON FINAL SHOP DRAWINGS.

MILLWORK NOTES

OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION.

11.1 THE CONTRACTOR SHALL MAKE PROVISIONS AND COORDINATE WITH INSTALLATIONS OF ITEMS PROVIDED BY OTHER TRADES.

11.2 ALL MILLWORK ATTACHED TO PREMISES SHALL COMPLY WITH THE LOCAL BUILDING CODES AS WELL AS ANY

- 11.3 ALL FINISHED MILLWORK AND FINISHES SHALL BE AS NOTED ON THE ARCHITECT DRAWINGS.
- 11.4 MACHINE AND SAND WOODWORK TO COMPLY WITH REQUIREMENTS OF STANDARDS FOR SPECIFIED GRADE.
 WOODWORK TO BE PAINTED SHALL BE PRIMED AND SANDED IN SHOP.
- 11.5 UNLESS OTHERWISE NOTED, ALL NATURAL FINISHED WOOD SHELVES TO BE VENEERED IN THE SPECIES SPECIFIED, 3/4" THICK, WITH HARDWOOD EDGE BANDING TO MATCH THE VENEERS USED.
- 11.6 GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WALL OR CEILING BLOCKING REQUIRED. UNDER NO CIRCUMSTANCES WILL ADDITIONAL EXPENSE BE AUTHORIZED FOR BLOCKING WORK.
- 11.7 THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INCLUDING WOOD SAMPLES, STAINED AND FINISHED, TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- 11.8 THE CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL THE DIMENSIONS AND CONDITIONS AT THE JOB SITE.
- 11.9 WHERE COMPONENTS ARE MITERED OR BUTTED, THEY SHALL BE JOINED AND SECURED IN A MANNER TO INSURE AGAINST THE JOINT OPENING.

THE CABINET TRADE. SURFACES SHALL BE TRUE, STRAIGHT AND FREE FROM ALL MACHINE AND TOOL MARKINGS,

BRUISES, INDENTATIONS, CHIPS, ABRASIONS, FINISH DISCOLORATION OR ABNORMALITIES. THE ARCHITECT, AT HIS

- 11.10 ALL FINISHED WORK SHALL, AS FAR AS PRACTICAL, BE ASSEMBLED AND FINISHED IN THE SHOP AND DELIVERED TO THE LOCATION READY TO BE INSTALLED.11.11 ALL MILLWORK SHALL BE FABRICATED, ASSEMBLED, FINISHED AND INSTALLED IN THE BEST METHOD KNOWN TO
- SOLE DISCRETION, RESERVES THE RIGHT TO REJECT WORK IF DEEMED UNACCEPTABLE.

 11.12 WHERE FILE CABINETS PROVIDED BY OTHERS ARE SHOWN AS BEING SET INTO MILLWORK, THE CONTRACTOR

SHALL SET AND BOLT ALL FILES TOGETHER, UNLESS OTHERWISE NOTED.

- 11.13 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EXAMINED THE JOB SITE IN CONJUNCTION WITH THE PROJECT DOCUMENTS SO AS TO BE SATISFIED AS TO THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. THIS INCLUDES SUCH MATTERS AS UNLOADING FACILITIES, LOCATIONS AND SIZES OF ELEVATORS, EQUIPMENT OR FACILITIES NEEDED PRELIMINARY TO AND DURING THE WORK, AND OTHER CONDITIONS WHICH MAY AFFECT THE WORK.
- 11.14 THE CONTRACTOR SHALL MAINTAIN REASONABLE PROTECTION TO SAFE GUARD HIS WORK FROM DAMAGE AND TO PROTECT TENANT'S PROPERTY FROM INJURY OR LOSS ARISING IN CONNECTION WITH ALL PROJECT
- 11.15 THE CONTRACTOR SHALL GUARANTEE THAT ALL MATERIALS AND WORKMANSHIP BE OF THE QUALITY SPECIFIED AND SHOWN, AND THAT ANY DEFECT DUE TO IMPROPER WORKMANSHIP OR MATERIALS, DISCOVERED AND MADE KNOWN WITHIN ONE YEAR FROM THAT DATE OF SUBSTANTIAL COMPLETION OF THE INSTALLATION, SHALL BE REPAIRED OR REPLACED WITH REASONABLE PROMPTNESS WITHOUT ADDITIONAL COST TO TENANT. THE TENANT WILL GIVE NOTICE OF SUCH OBSERVED DEFECTS WITH REASONABLE PROMPTNESS.
- 11.16 ALL MILLWORK SHALL COMPLY WITH "PREMIUM GRADE" REQUIREMENTS SPECIFIED IN LATEST EDITION OF THE ARCHITECTURAL WOODWORK QUALITY STANDARDS AND GUIDE SPECIFICATIONS AS PREPARED BY THE ARCHITECTURAL WOODWORK INSTITUTE.
- 11.17 MATERIALS NOT COVERED BY SPECIFICATIONS SHALL BE THE BEST OBTAINABLE FOR THE PURPOSE INTENDED.
- 11.18 ALL WOODWORK ATTACHED TO PREMISES AND ALL WOOD DOORS SHALL BE FIREPROOFED AND COMPLY WITH THE APPLICABLE ADMINISTRATIVE CODE.
- 11.19 CONTRACTOR SHALL FILL AND PREPARE ALL NAIL HOLES IN PAINT FINISHED MOLDINGS AND TRIM. APPLY A HIGH-GRADE FLEXIBLE CAULK AT ALL SEAMS AND JOINTS BETWEEN WALL SURFACES AND MOLDINGS, TO FILL GAPS AND VOIDS, PRIOR TO PAINT FINISH.
- 11.20 PROVIDE GLAZED ENTRANCE DOORS COMPLYING WITH AAMA, NAAMA AND AWS MANUALS AND CODES.

11.23 THE CONTRACTOR SHALL COORDINATE WITH BUILDING MANAGEMENT FOR ALL ENTRANCE DOORS

11.21 PROVIDE DOORS DESIGNED AND INSTALLED TO WITHSTAND AN INWARD AND OUTWARD PRESSURE OF 5 PSF

- NORMAL TO THE PLANE OF THE WALL, AND ANY ANTICIPATED OPERATIONAL LOADS.
- 11.22 GLASS THICKNESS AND HEAT TREATMENT (FULLY TEMPERED) SPECIFIED ARE MINIMUM REQUIREMENTS.

TILEWORK NOTES

- 19.0 CERAMIC TILE WITH SATIN STAINLESS STEEL TRIM AS NOTED IN THE DRAWINGS AND SCHEDULES. INSTALLATION
- METHOD SHALL BE AS RECOMMENDED BY TILE MANUFACTURER AND THE TILE COUNCIL OF AMERICA.

 19.1 LATEX-GROUT TYPES SUBJECT TO CONDITIONS VERIFIED IN FIELD. SIZE: 1/16"UNLESS APPROVED BY ARCHITECT ON
- FINAL SHOP DRAWINGS. COLORS AS NOTED IN DRAWINGS AND SCHEDULES.

 19.2 PROVIDE WOOD BLOCKING/GROUND IN PARTITIONS WHERE NECESSARY TO ANCHOR STEEL ANGLE TRIM.
- 19.3 DELIVER AND STORE PACKAGED MATERIALS IN ORIGINAL CONTAINERS WITH SEALS UNBROKEN AND LABELS INTACT UNTIL TIME OF USE. PREVENT DAMAGE OR CONTAMINATION TO MATERIALS BY WATER, FREEZING, FOREIGN MATTER OR OTHER CAUSES.
- 19.4 MAINTAIN ENVIRONMENTAL CONDITIONS AND PROTECT WORK DURING AND AFTER INSTALLATION TO COMPLY WITH REFERENCED STANDARDS AND MANUFACTURER'S PRINTED RECOMMENDATIONS.
- 19.5 SETTING MATERIAL(S) SHALL BE RECOMMENDED BY THE CONTRACTOR IN CONSULTATION WITH THE TILE MANUFACTURERS.

19.6 EXAMINE THE SUBSTRATES, ADJOINING CONSTRUCTION AND THE CONDITIONS UNDER WHICH NEW TILE IS TO BE

INSTALLED. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

19.7 ALLOWABLE VARIATIONS IN SUBSTRATE LEVELS; SAME AS ALLOWABLE VARIATION IN FINISHED WORK.

- 19.8 CLEAN ALL OTHER SUBSTRATES AS REQUIRED. REMOVE DELETERIOUS SUBSTANCES THAT MIGHT IMPAIR THE WORK
- 19.9 LAY OUT TILES IN CONSIDERATION OF OPENINGS, ACCESSORIES, BAYS AND OVERALL SPAN OF SCHEDULED AREAS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS. USE UNIFORM JOINT WIDTHS.
- 19.10 UPON COMPLETION OF PLACEMENT AND GROUTING, CLEAN ALL SURFACES FREE OF FOREIGN MATTER.
- 19.11 WHEN RECOMMENDED BY TILE MANUFACTURER, APPLY A PROTECTIVE COAT OF NEUTRAL PROTECTIVE CLEANER TO COMPLETED TILE WORK. PROTECT INSTALLED TILE WORK WITH KRAFT PAPER OR OTHER HEAVY COVERING DURING CONSTRUCTION PERIOD TO PREVENT DAMAGE AND WEAR.
- 19.12 PROHIBIT FOOT AND WHEEL TRAFFIC FROM USING TILED FLOORS FOR AT LEAST 3 DAYS AFTER GROUTING IS COMPLETED.
- 19.13 INSTALL TILE AND ACCESSORIES IN ACCORDANCE WITH TILE COUNCIL OF NORTH AMERICA RECOMMENDATIONS AT LOCATIONS INDICATED; SUBJECT TO ARCHITECTS REVIEW AND ACCEPTANCE; SUBJECT TO CONDITIONS VERIFIED IN FIELD.
- 19.14 GROUT TILE TO COMPLY WITH REFERENCED INSTALLATION STANDARDS, USING GROUT MATERIALS INDICATED.
- 19.15 APPLY SEALER SYSTEM IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. APPLY IN THIN COATS.

 DO NOT ALLOW EXCESS SEALER TO DRY ON TILE SURFACE. DARKENING OR OTHER CHANGES IN TILE

 APPEARANCE ARE UNACCEPTABLE.
- 19.16 SECURE SADDLES IN POSITION WITH MINIMUM OF TWO STAINLESS STEEL DOWELS.



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REVISION / DATE SHEET

PLAN REVIEW COMMENTS

5-30-2019

PLANNING REVIEW

8-1-19

ADU RESUBMITTAL

9-9-19

POST APPROVAL ZONING

REVIEW COMMENTS

10-15-20

↑ 2ND NOTICE COMMENTS

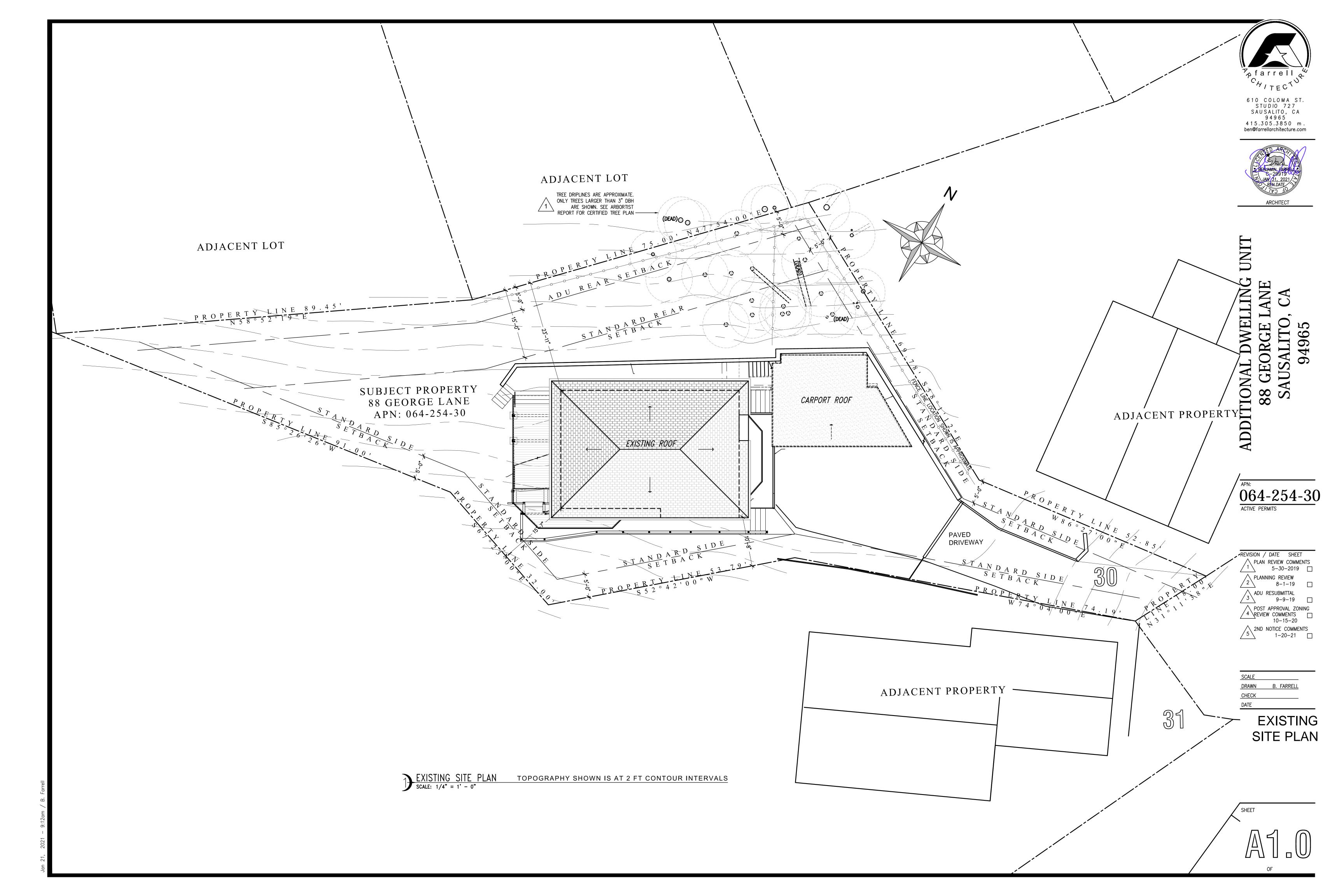
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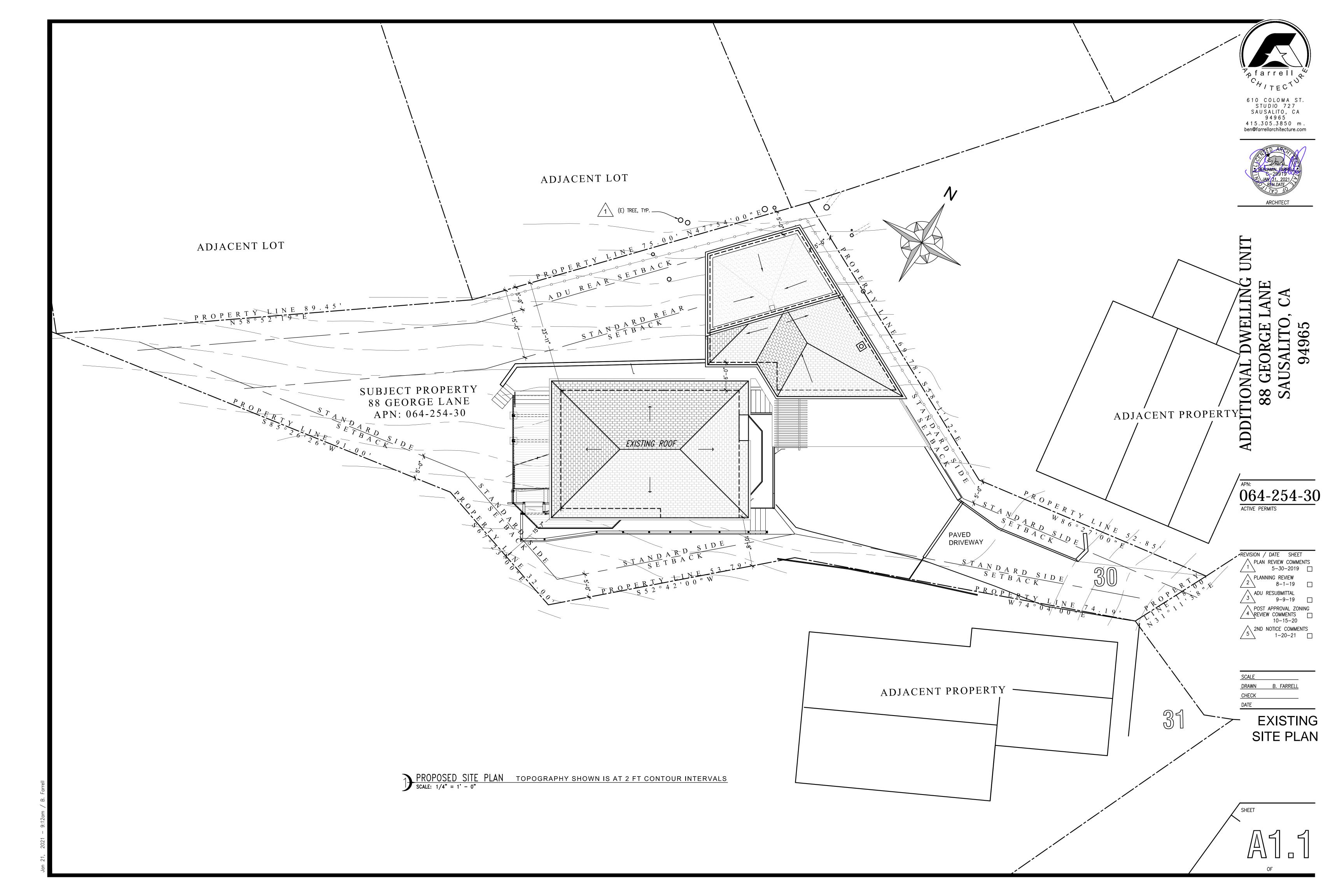
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GENERAL NOTES

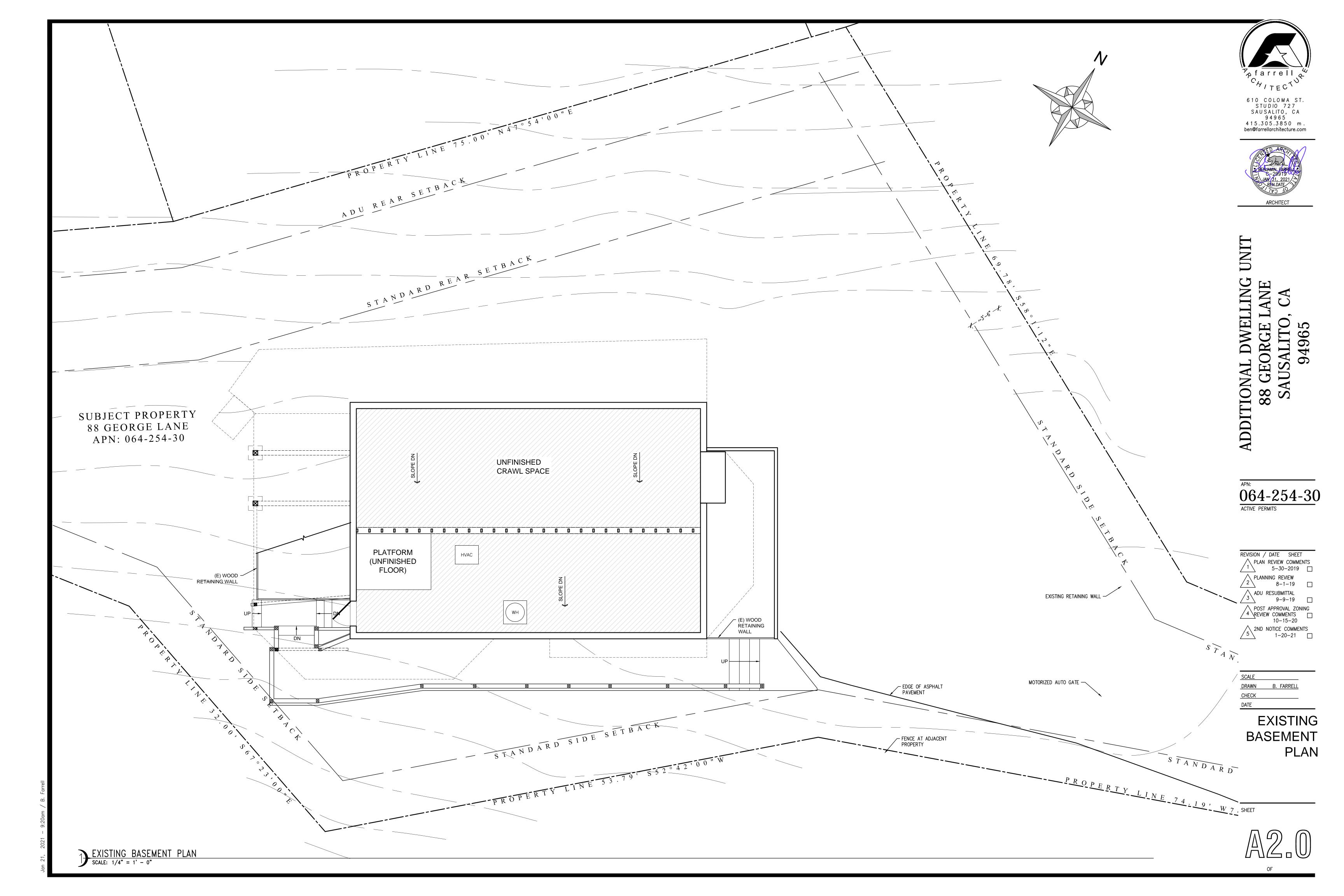
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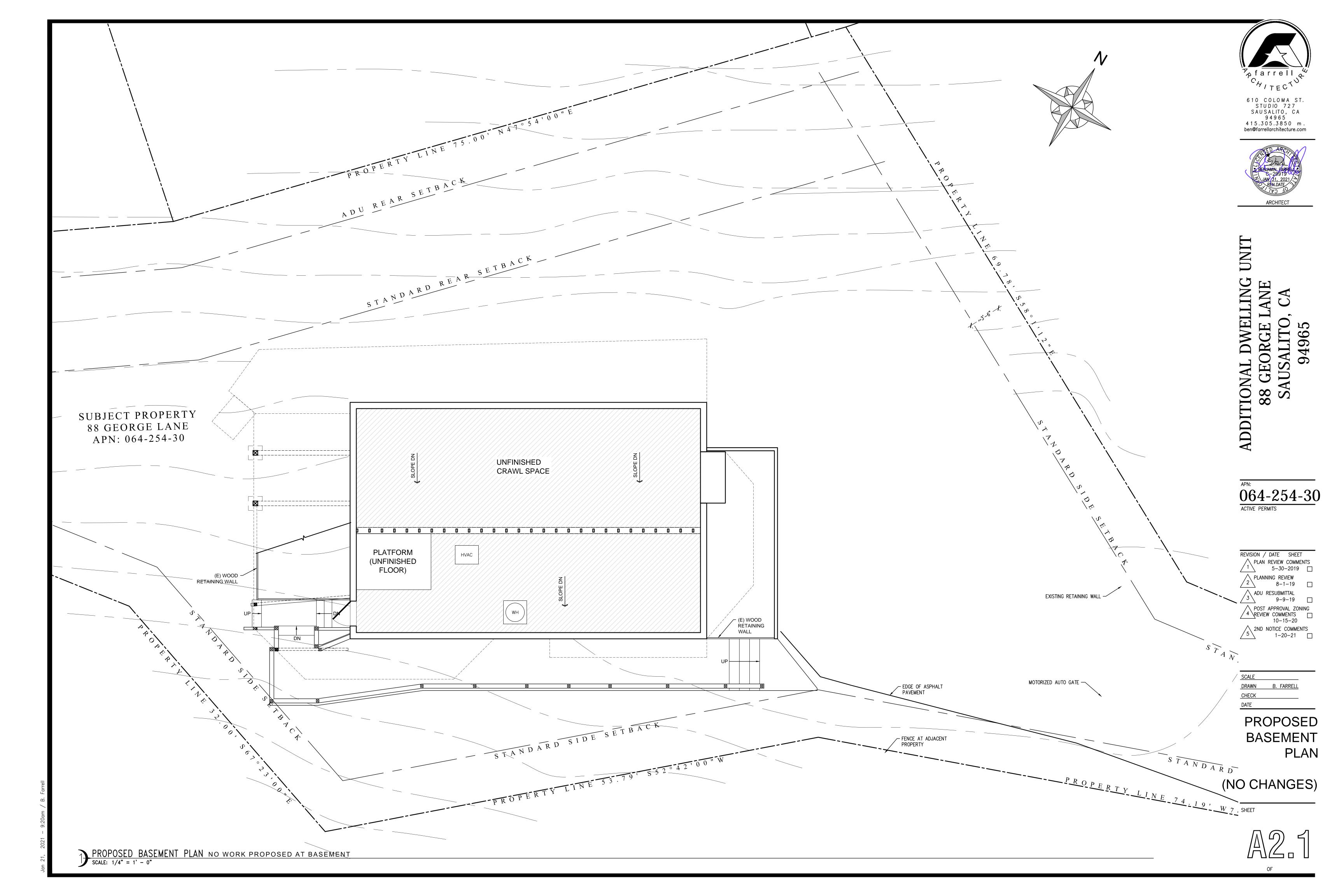
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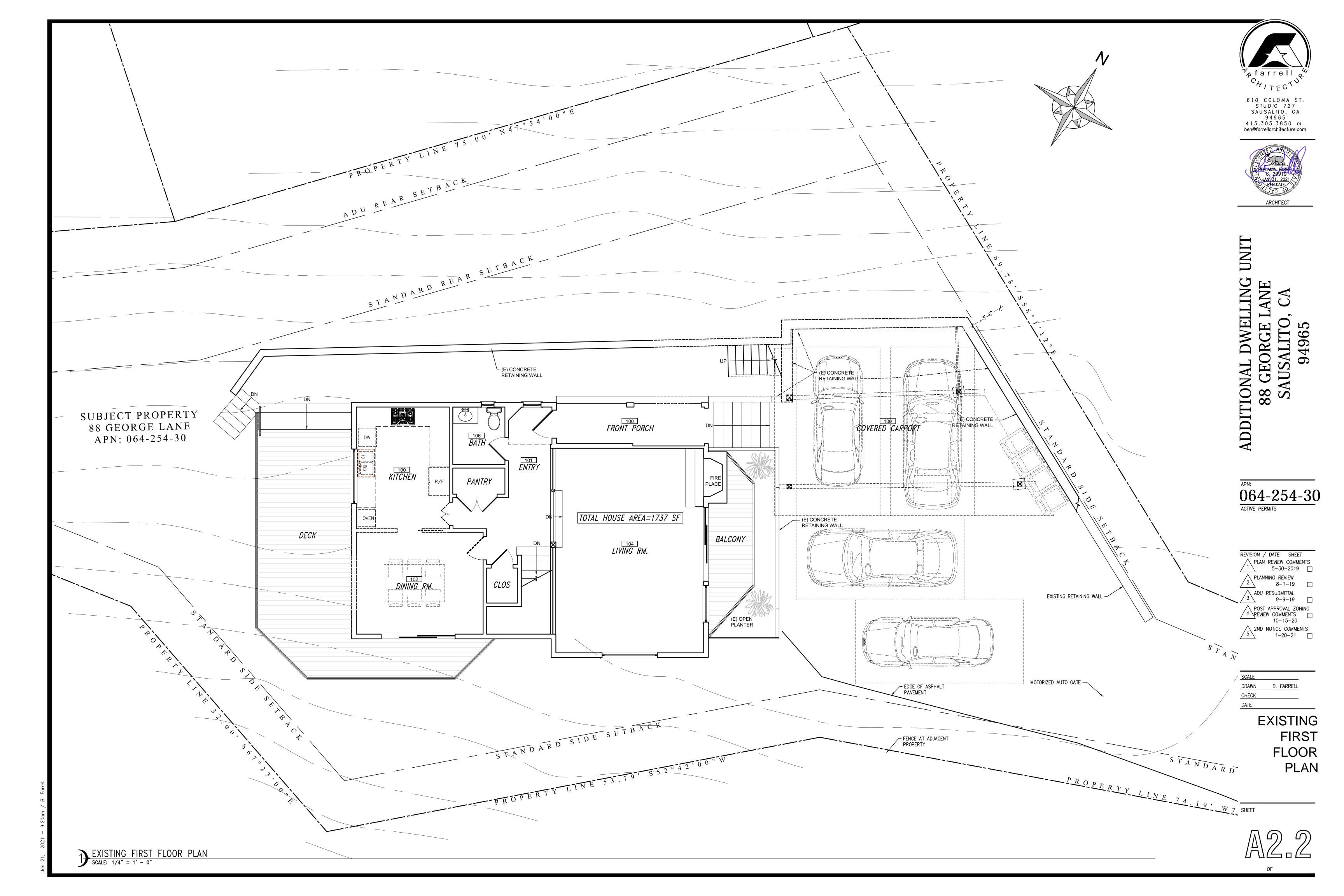


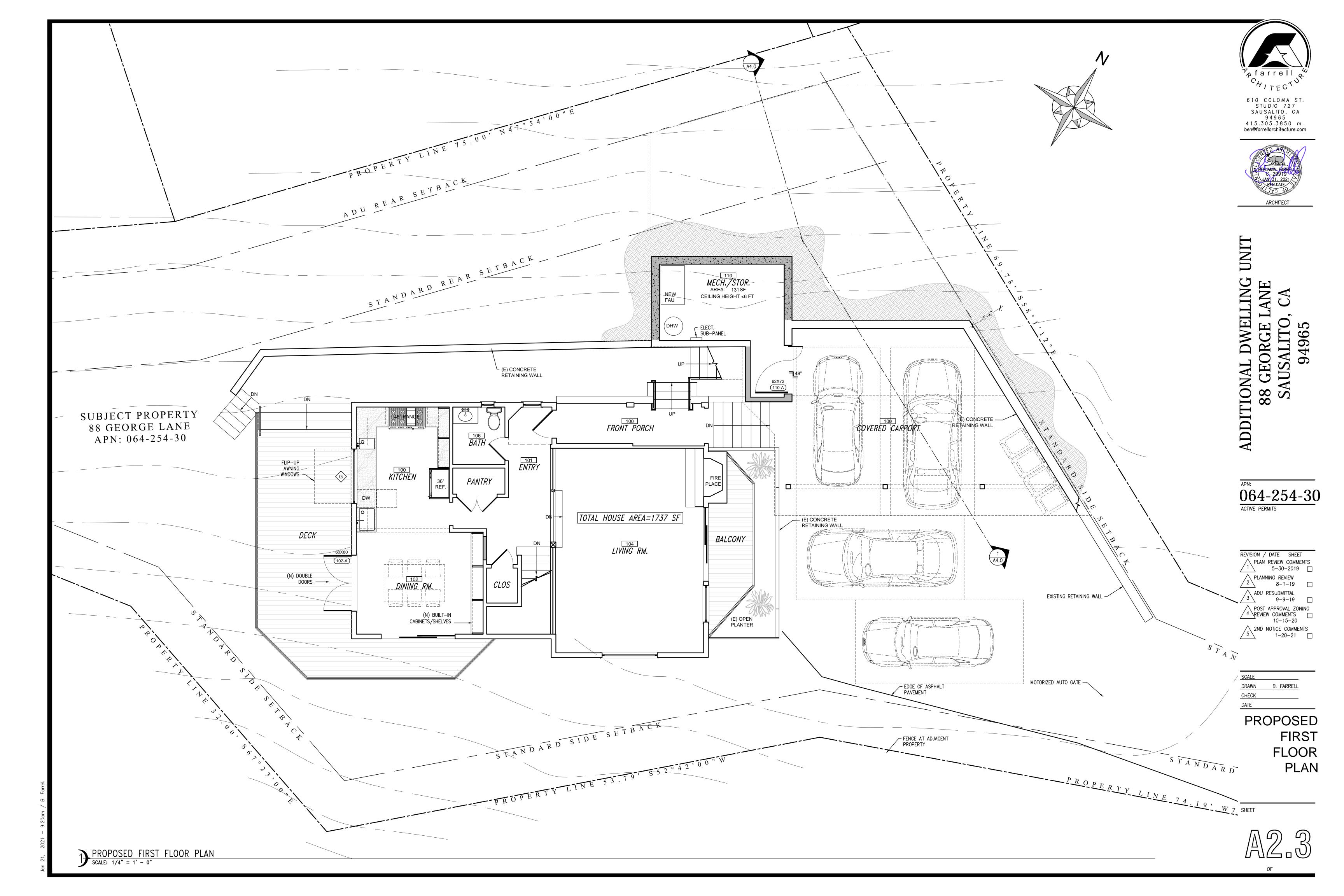


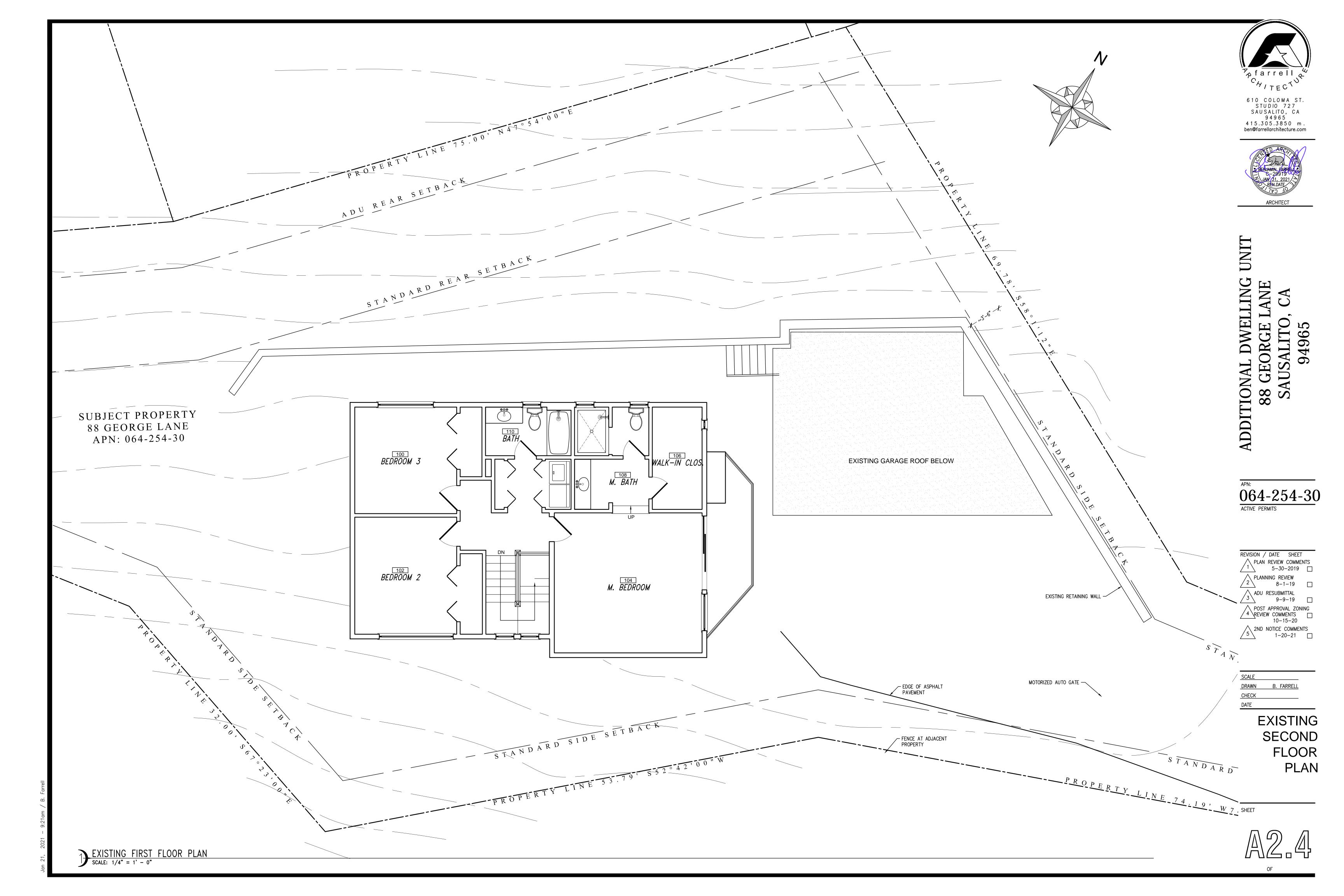


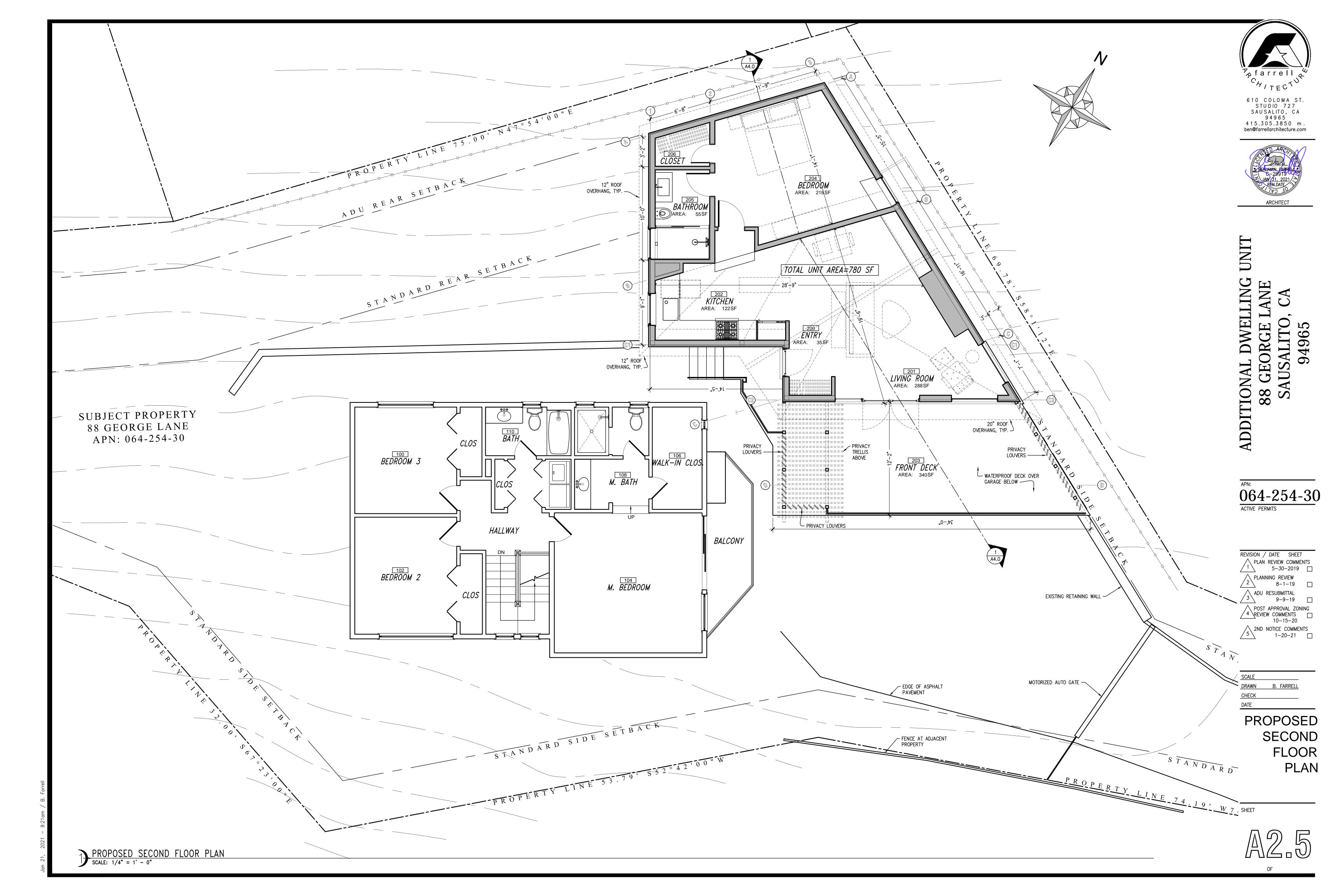


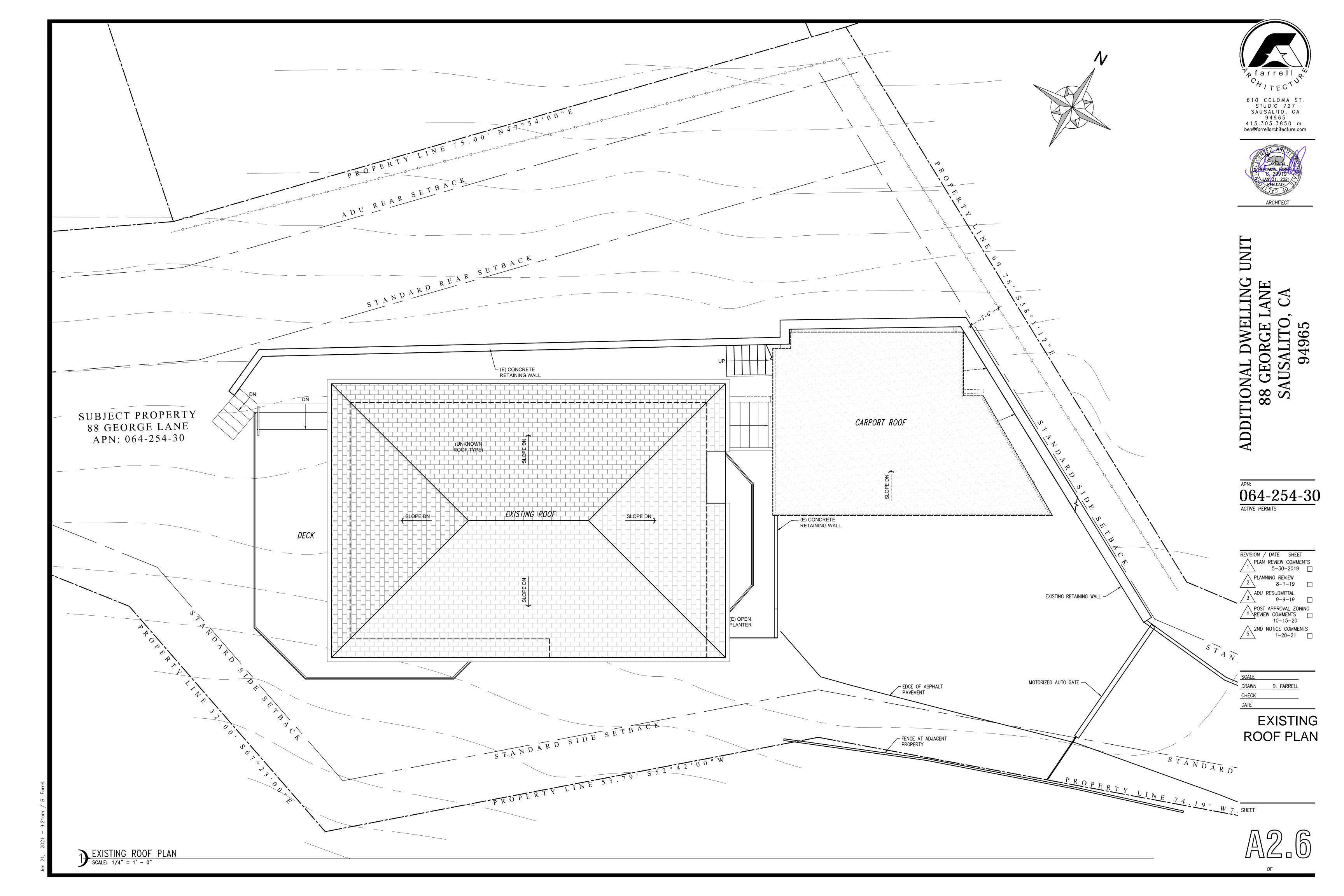


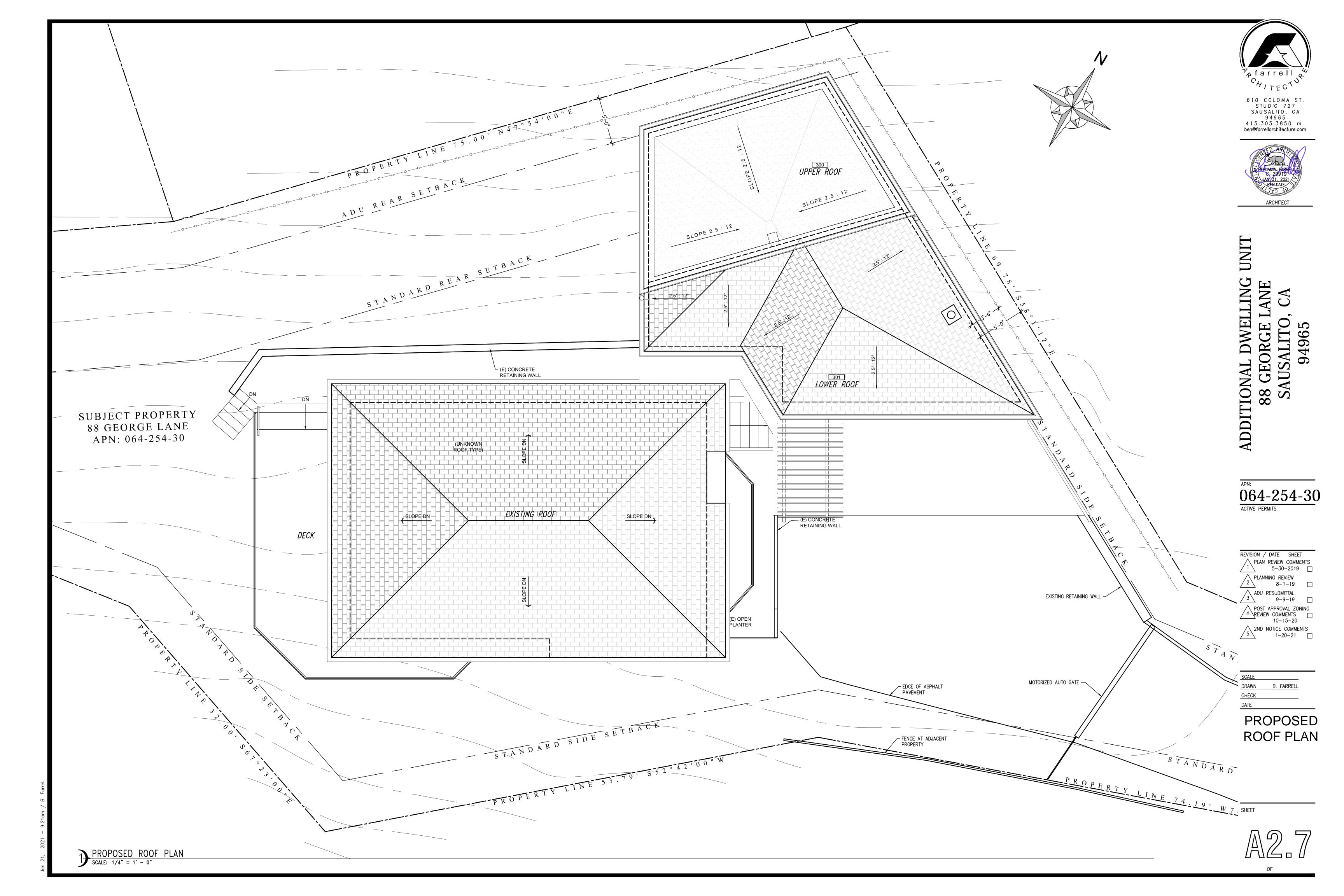


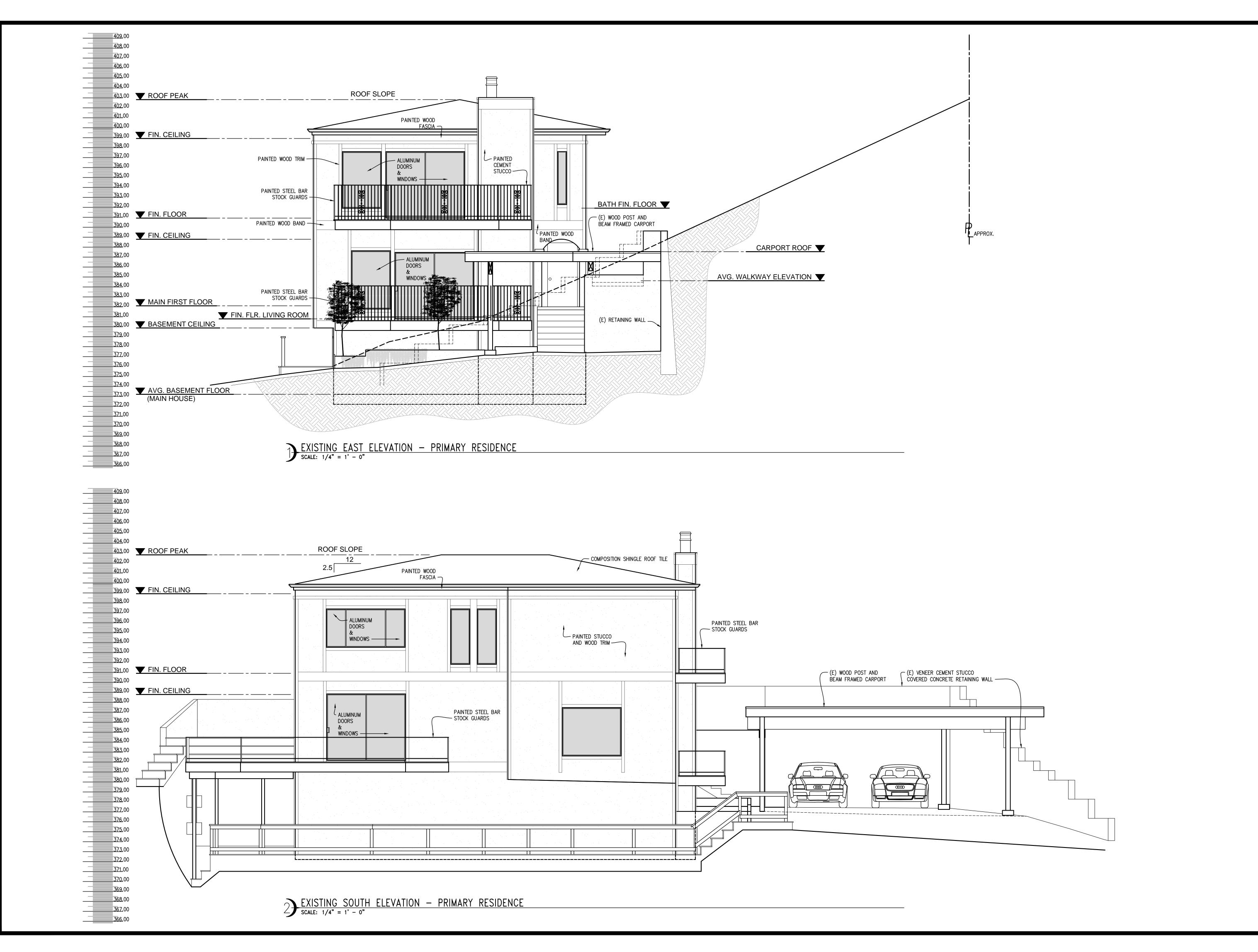




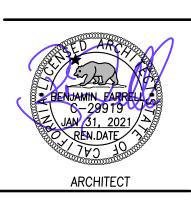








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ACTIVE PERMITS

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8-1-19

ADU RESUBMITTAL

9-9-19

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REVIEW COMMENTS

10-15-20

2ND NOTICE COMMENTS

1-20-21

SCALE

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CHECK

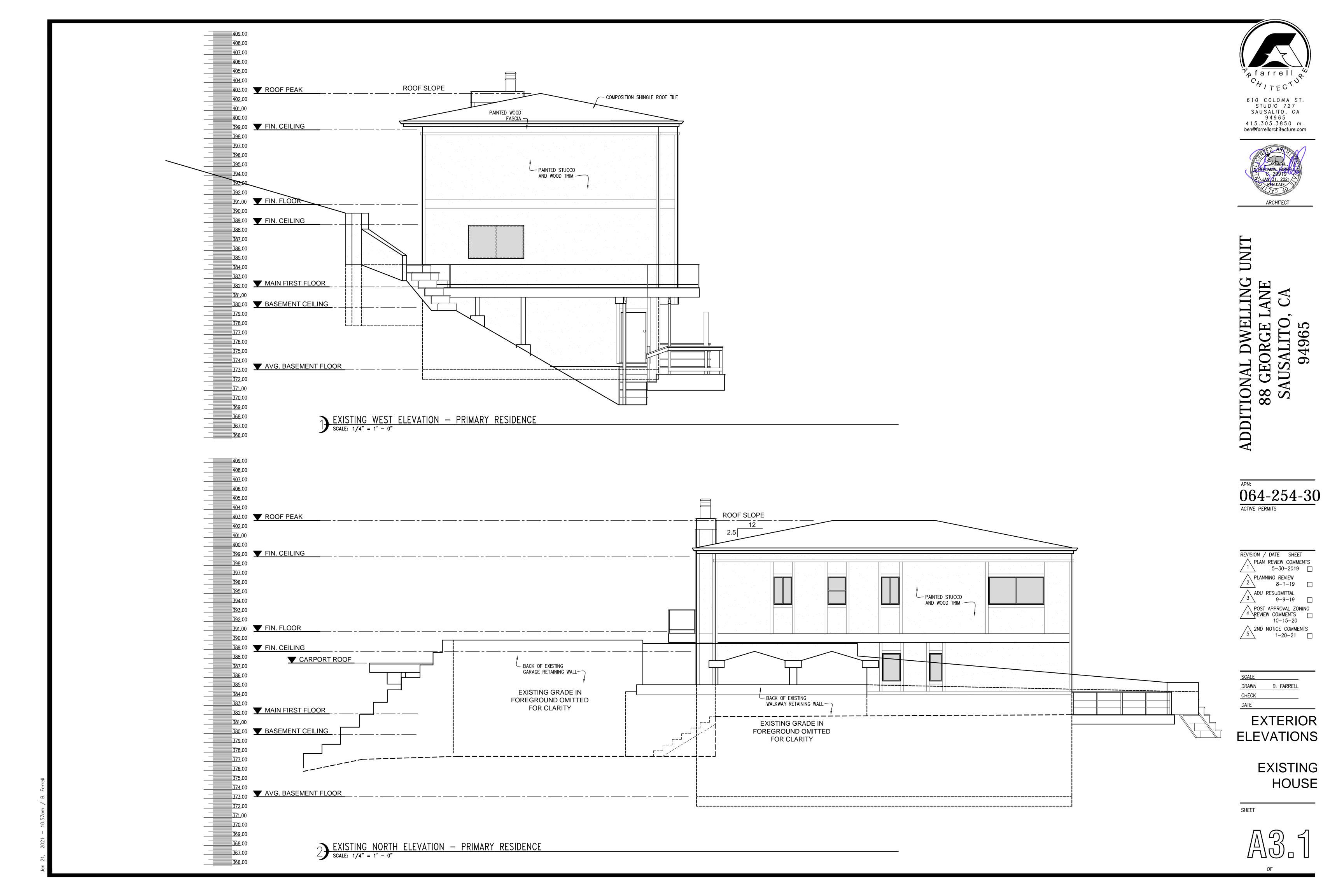
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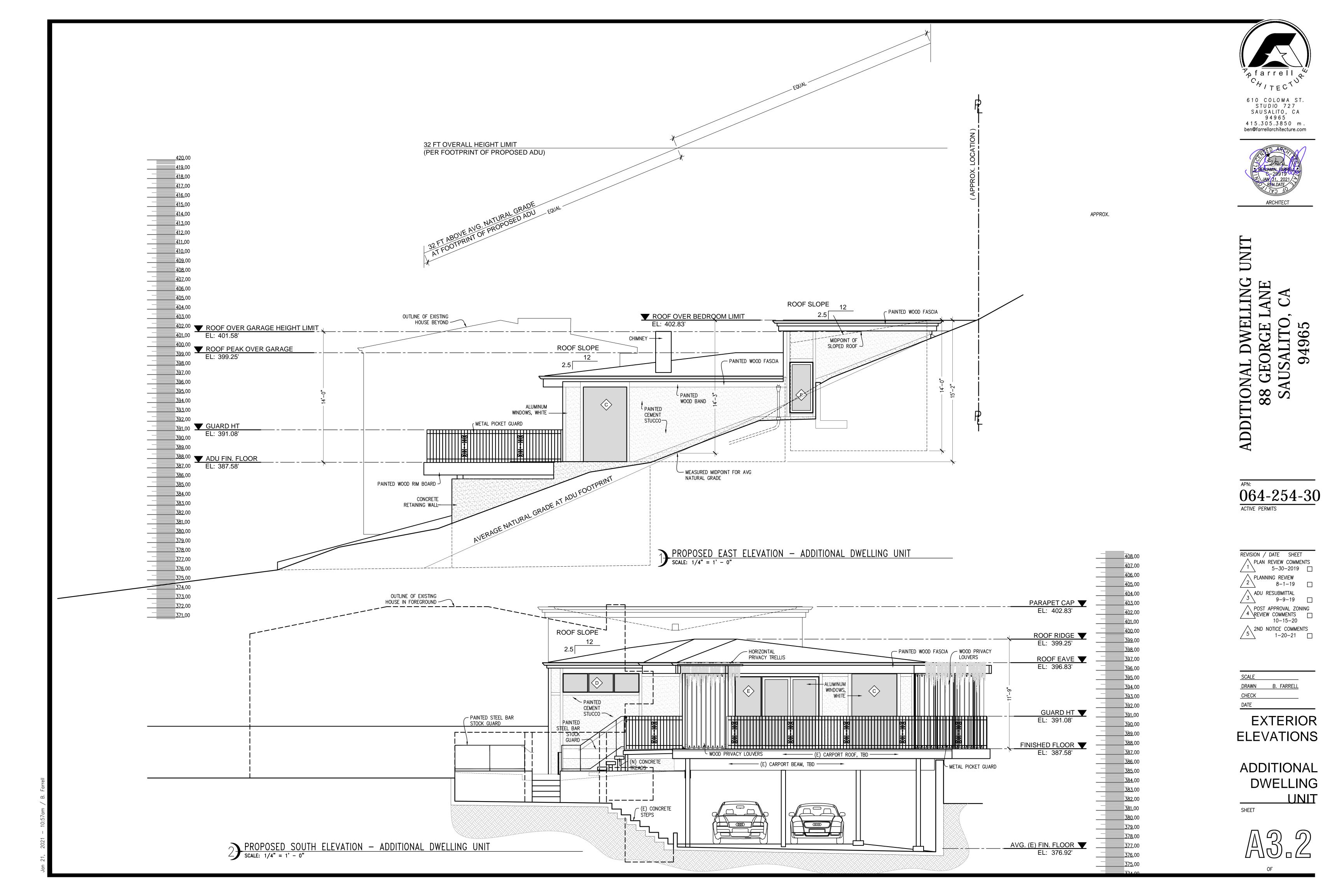
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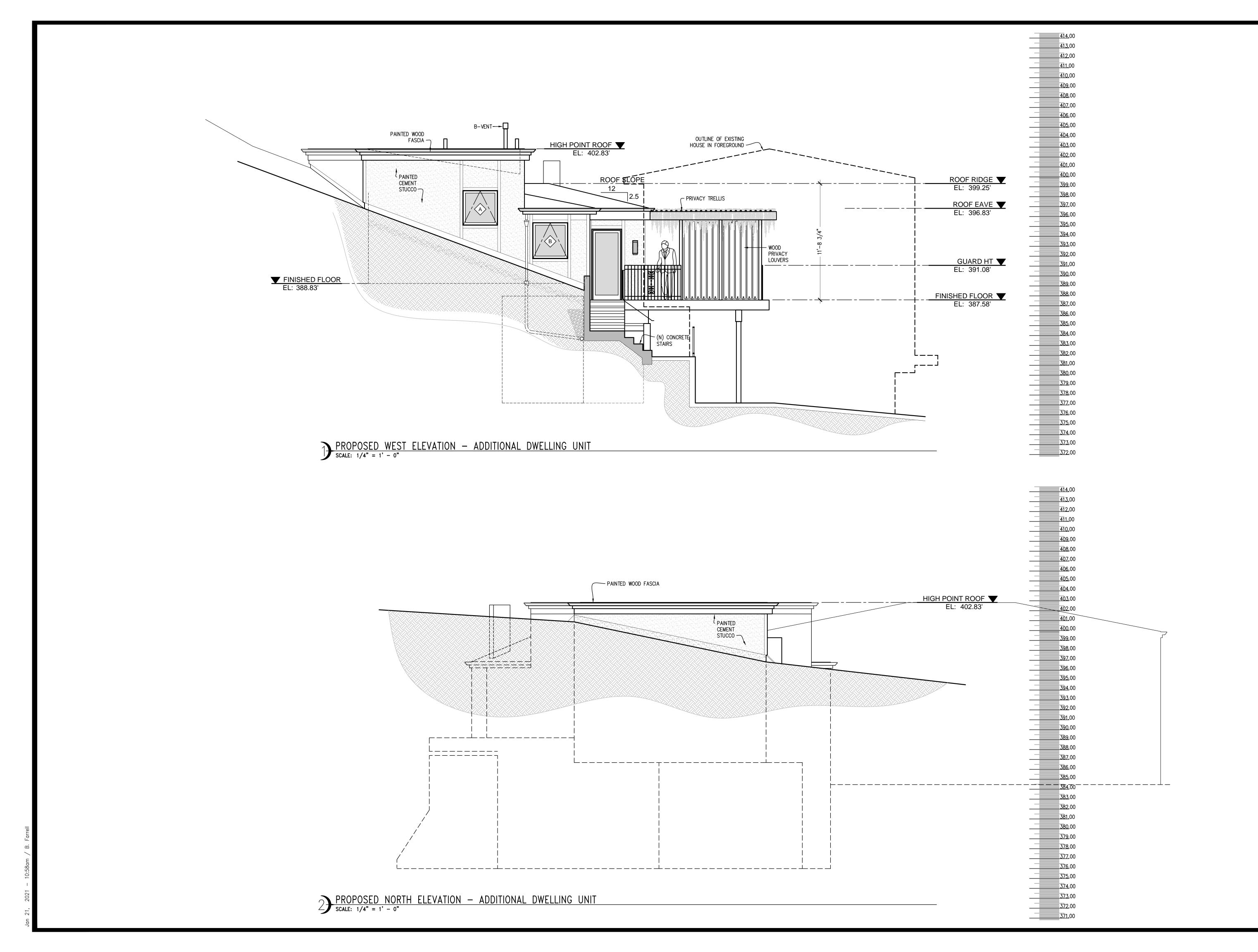
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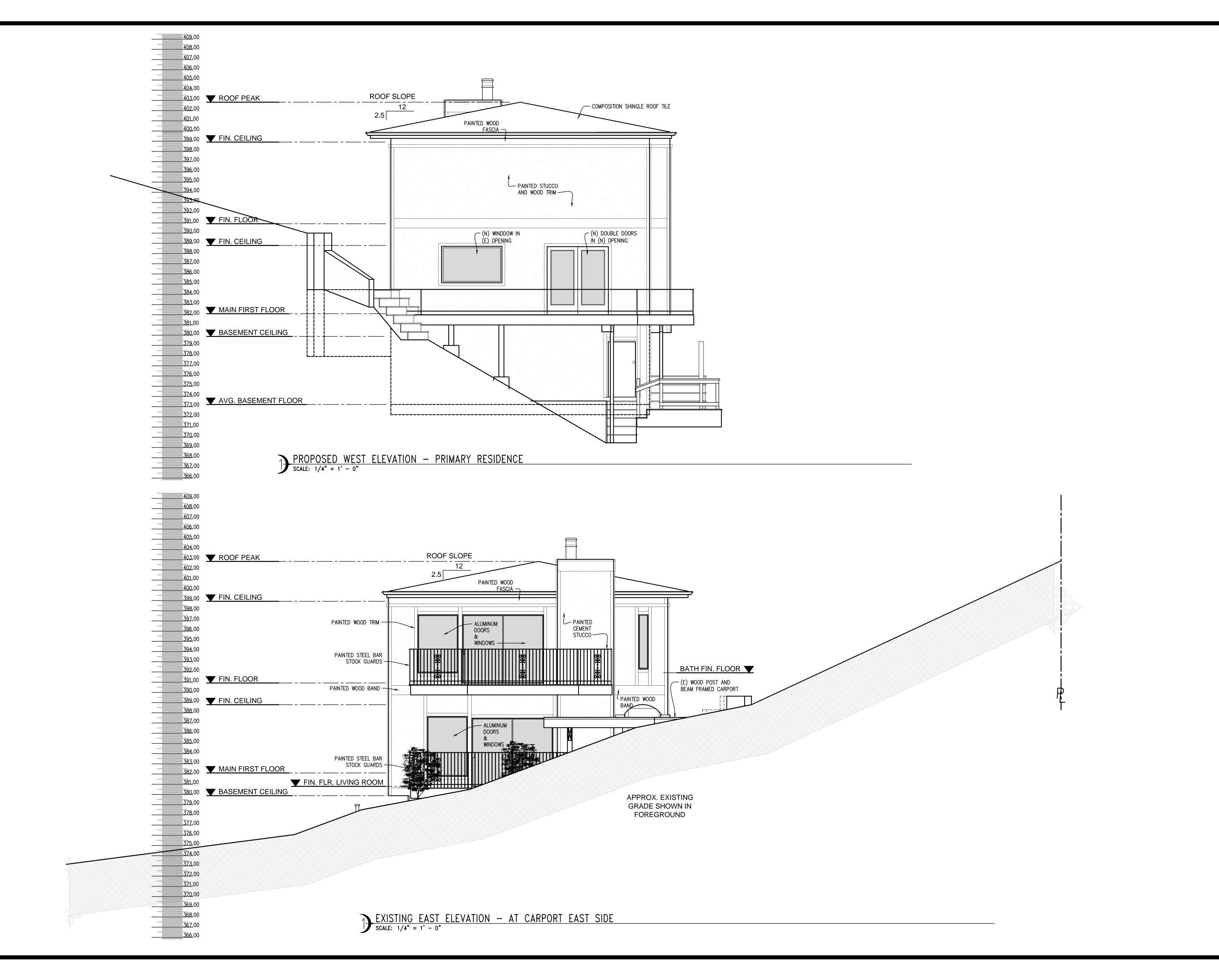
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3 9-9-19

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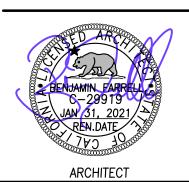
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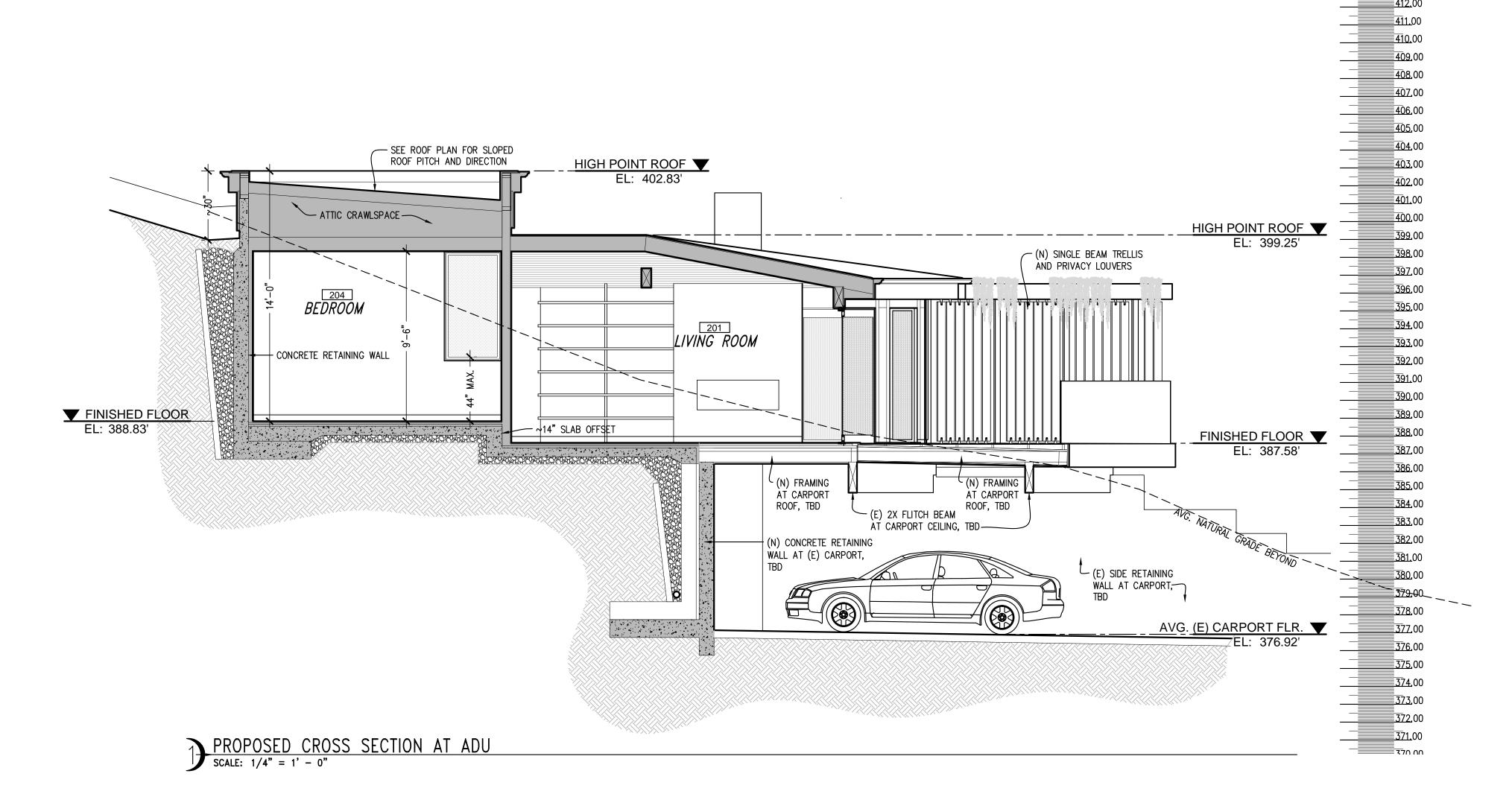
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PROPOSED CROSS SECTION

SHEET





FRONT OF MAIN HOUSE



STAIRS TO ENTRY PORCH AT MAIN HOUSE



DISTANCE OF MAIN HOUSE TO EXISTING GARAGE ROOF



PAVED DRIVEWAY







EXISTING GARAGE ROOF



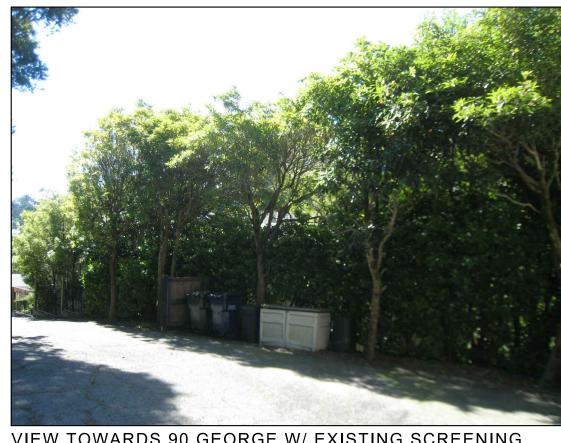
REALTIONSHIP EXISTING GARAGE ROOF TO MAIN HOUSE



CRAWLSPACE UNDER MAIN HOUSE (~5 FT OPEN EARTH FLOOR)



EXISTING REAR DECK AT MAIN HOUSE



VIEW TOWARDS 90 GEORGE W/ EXISTING SCREENING



VIEW TOWARDS 84 GEORGE AT PROPERTY LINE FENCE W/ EXISTING LANDSCAPE SCREENING





VIEW TOWARDS 84 GEORGE FROM EXISTING GARAGE ROOF





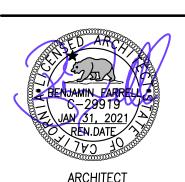




VIEW TOWARDS 90 GEORGE FROM EXISTING GARAGE ROOF



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SITE PHOTOGRAPHS

