

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2021-12**

**A RESOLUTION APPROVING A DESIGN REVIEW PERMIT WITH HEIGHTENED
DESIGN REVIEW AND TREE REMOVAL PERMIT LOCATED AT 3 MARION AVENUE
(DR/TRP 2020-00071)**

WHEREAS, on April 29, 2020 an application was filed by applicant, Sean McArdle on behalf of property owners Dan and Julie Kaufman, requesting Planning Commission approval of a Design Review Permit with Heightened Design Review to remodel and construct additions to convert an existing 2,068 SF single family dwelling originally constructed in 1974 to a 4,215 SF duplex and a Tree Removal Permit to remove seven (7) trees including four (4) undesirable Monterey pine trees and three (3) protected Oak trees located at 3 Marion Avenue (APN 065-311-38);

WHEREAS, the project site is located within the Medium High Density Residential One District land use designation and the Two-Family residential (R-2-2.5) Zoning District; and

WHEREAS, the proposed duplex supports the City's housing goals by providing an additional above-moderate housing unit to the City's total housing supply; and

WHEREAS, the three (3) protected Oak trees proposed for removal are 5 inches, 6.1 inches and 7.6 inches in diameter and will be replaced with five (5) protected 24-inch box Oak trees; and

WHEREAS, no variances or exceptions are requested by the proposed project to the zoning code and development standards of the municipal code; and

WHEREAS, the Planning Commission conducted a duly noticed public meeting on April 21, 2021 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303; and

WHEREAS, the Planning Commission has received and considered oral and written testimony on the subject application; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the staff report dated April 21, 2021 for the proposed project; and

WHEREAS, the Planning Commission finds that, as conditioned herein, and with

the approval of the requested variances, the proposed project complies with the requirements of the Zoning Ordinance as described in the staff report dated April 21, 2021; and

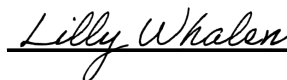
WHEREAS, the Planning Commission finds that, as conditioned herein, the proposed project complies with the General Plan as described in the staff report dated April 21, 2021.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Design Review Permit to remodel and construct additions to convert an existing 2,068 SF single family dwelling in a 4,215 SF duplex with Heightened Review Findings is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans dated April 11, 2021 (Attachment 3).
2. The Tree Removal Permit is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans dated April 11, 2021 (Attachment 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 21st day of April 2021, by the following vote:

AYES: Graef, Luxenberg, Pierce, Saad, Chair Feller
NOES: None
ABSENT: None
ABSTAIN: None



Lilly Whalen
Secretary to the Planning Commission

ATTACHMENTS

- 1- Findings
- 2- Conditions of Approval
- 3- Project Plans

**PLANNING COMMISSION RESOLUTION
APRIL 21, 2021
DR/TRP 2020-00071
3 MARION AVENUE**

**ATTACHMENT 1:
FINDINGS FOR APPROVAL OF A DESIGN REVIEW PERMIT WITH HEIGHTENED
REVIEW AND APPROVAL OF TREE REMOVAL PERMIT**

I. DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The proposed project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance. By converting the existing single family residence to a duplex the project advances the City's goals to provide additional housing units. Furthermore, no variances or exceptions are requested to the zoning code and development standards of the municipal code.

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The proposed modern architectural design contributes to the diversity of architectural styles of the existing residences in the area which consists of single family homes and duplexes of varying ages, sizes and architectural styles and materials.

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

As illustrated by both the certified story poles and photo renderings in the project plans of the South Elevation, the mass, bulk and height of the proposed duplex is compatible and in scale with the existing adjacent homes.

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

Based on analysis conducted during site visits, analysis of the certified story poles and

analysis of the project plans, it can be concluded that primary views from adjacent homes and public views are minimized. Furthermore, no public comments have been received by the City to contradict these conclusions regarding impacts to public and private views.

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The building height of the proposed duplex is increased by less one foot (or 8 1/4 inches to be exact) above the existing height of the single family residence which is 31' 3 3/4". The proposed duplex will be 32' in maximum height. Additionally the building site of the existing single family residence remains unchanged and the footprint of the existing single family residence is expanded to accommodate the additional square footage proposed for the duplex. As a result the proposed project does not result in a prominent building profile above a ridgeline. As stated in the comment letter from GGNRA dated March 16.2021," the activity is situated away from the park and only a fraction of the new roofline is visible from within park boundaries".

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

The proposed landscaping features plants, protected Oak trees and succulents that are appropriate for the site and will soften views of the home from offsite locations and are recommended species by both the GGNRA and Southern Marin Fire Department.

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The neighboring house to the east is located 60 feet from the addition. The neighboring house to the west is located approximately 40 feet from the residence. Both adjacent parcels are separated by vegetation and slope. The proposed project will therefore provide adequate light and air for the project site and adjacent properties. There will not be any impact for the general public as this project is located on a private drive.

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The proposed interior and exterior lighting consists of low lumen LED light fixtures that have cone reflectors to optimize light shielding and aim the lighting source in the desired downward direction to minimize impacts to adjacent properties and the

general public. There will be no major mechanical equipment visible to neighbors or public views. All mechanical equipment has been design to be housed indoor. Water tanks and air conditioning pumps are to be located in the garage. No chimneys are proposed. The new gas fireplaces only have a 5" stainless steel wall exhaust vent on side wall of home (instead of a chimney).

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

The project was designed so that primary views from windows and balconies overlook adjacent vacant GGNRA lands to the south thereby preserving the privacy of adjacent residences which are instead located to the east, west and north.

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

Existing entrances and exits to the garage and duplex remain generally in the same location as the existing residence and garage but are slightly reconfigured to improve vehicle circulation and parking and to accommodate two separate entries for each unit of the duplex. The proposed two-car garage and driveway provide a parking that offers an appropriate level of ease of movement and traffic safety.

- K) The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The proposed project will replace three (3) protected Oak trees proposed for removal along with four (4) undesirable Pine trees with five (5) protected 24-inch box Oak trees. The proposed project also removes existing encroachments of structures and features into the GGNRA lands and will restore those area with vegetation as directed by a GGNRA ecologist.

- L) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened Review Findings).

Heightened Review is required for this project, as discussed below. The project is consistent with all Heightened Review Findings.

II. HEIGHTENED [DESIGN] REVIEW FINDINGS

In accordance with Zoning Ordinance Section 10.54.050(E) (Heightened [Design] Review), the Design Review Permit is approved based on the following findings:

- A) Proposed development of the site maximizes preservation of protected trees.

The proposed project replaces three (3) protected Oak trees that range in size from 5.0-7.6 inches in diameter at breast height with five (5) protected 24-inch box Oak trees. The proposed development improves existing parking and circulation on site; however these improvements necessitate removal of the three protected Oak trees. Due to the slope of the site, the existing building, garage and driveway location options are limited for redesign to achieve the desired results of the owner and neighbors to improve circulation and parking onsite while maintaining the subject protected Oak trees.

- B) The site is configured with adequate width and depth to provide yard spaces and setbacks, proportional to the size of the structure.

The site is configured to provide space for landscaping and hardscape and these improvements maintain a sense of openness around the structure. With setbacks from property line for the proposed structure that range from 8 feet at a minimum to 17 feet at a maximum, the proposed project will maintain a sense of openness around the structure which is residential in size, character and scale at 32 feet in maximum height. As a result the proposed structure is proportional to the setbacks proposed.

- C) The site will be developed in a manner that minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views.

Based on analysis conducted during site visits, analysis of the certified story poles and analysis of the project plans it can be concluded that primary views from adjacent homes and public views are minimized. Furthermore, no public comments have been received by the City to contradict these conclusions regarding impacts to public and private views.

The building height of the proposed duplex is increased by less one foot (or 8 1/4 inches to be exact) above the existing height of the single family residence which is 31' 3 3/4". The proposed duplex will be 32' in maximum height. Additionally the building site of the existing single family residence remains unchanged and the footprint of the existing single family residence is expanded to accommodate the additional square footage proposed for the duplex. As stated in the comment letter from GGNRA dated March 16, 2021, "the activity is situation away from the park and only a fraction of the new roofline is visible from within park boundaries".

The neighboring house to the east is located 60 feet from the addition. The neighboring house to the west is located approximately 40 feet from the residence.

Both adjacent parcels are separated by vegetation and slope.

- D) The proposed development of the site presents no potential hazard to public safety in terms of vehicle traffic, pedestrian circulation, slope and tree stability, run-off, and public utilities.

The proposed project will improve circulation and parking on site with the proposed driveway and garage enhancements. In particular, the existing garage is in accessible due to inadequate turning movements and physical constraints on site. These improvements will not present a hazard to public safety. No new vehicular or pedestrian circulation routes are proposed, and public utilities will not be impacted. As stated in the arborist report the three (3) protected trees proposed for removal will not significantly affect the existing plants, drainage or erosion of the site and they will be replaced with five (5) protected Oak trees.

- E) The slope and topography of the site allows for limited excavation and minimal alteration to the site topography outside the footprint of structures.

The project's design proposes limited excavation/alteration to the site topography in general, particularly outside of the footprint of structures.

- F) The site will provide adequate guest parking either on-site or within the immediate street frontage.

The proposed pavers utilized for the driveway and proposed in the front yard improve vehicle circulation and parking on-site. As a result, the site provides for adequate guest parking on-site and along the driveway.

III. TREE REMOVAL PERMIT FINDINGS

In accordance with Zoning Ordinance Section 11.12.030.B (Tree Removal Permit Findings) the Tree Removal Permit is approved based on the following findings:

1. *In order to grant a tree removal permit it must be determined that removal is necessary in order to accomplish any one of the following objectives:*
 - a. *To insure the public safety as it relates to the health of the tree, potential hazard to life or property, proximity to existing or proposed structures, and interference with utilities or sewers.*
 - b. *To allow reasonable enjoyment of the property, including sunlight, and the right to develop the property.*
 - c. *To take reasonable advantage of views.*
 - d. *To pursue good, professional practices of forestry or landscape design.*

The three (3) Oak trees proposed for removal are in conflict with the construction of additions and remodel of an existing single family residence to a duplex. The condition of the Oak trees proposed for removal varies from fair to good as documented in the Arborist Report. Five (24-inch box) Oak trees are proposed to replace the three (3) protected Oak trees. The proposed development improves existing parking and circulation on site; however, these improvements necessitate removal of the protected Oak trees. Due to the slope of the site, the existing building, garage and driveway location options are limited for redesign to achieve the desired results of the owner and neighbors to improve circulation and parking onsite. Therefore, removal and replacement of the trees would allow the right to develop the property and pursue good practices of forestry satisfying **Criteria b & d** listed above.

2. *In order to grant a tree removal permit, it must be determined that any one of the following conditions is satisfied:*
 - a. *The tree to be removed will be replaced by a desirable tree.*
 - b. *The Planning Commission waives the above requirement based on information provided by the applicant/owner.*

These trees will be replaced with five protected and desirable (24-inch box) Oak trees as recommended in the Arborist Report. Therefore, **Condition a** is satisfied.

3. *A finding of any one of the following is grounds for denial, regardless of the finding in (2)(a) above:*
 - a. *Removal of a healthy tree of a desired species can be avoided by:*
 - i. *Reasonable redesign of the site plan, prior to construction;*
 - ii. *Thinning to reduce density, e.g., open windows;*
 - iii. *Shaping to reduce height or spread, using thinning cuts only (drop crotch);*
 - iv. *Heading or topping – this is the least preferable method, due to the tree's health and appearance and cost of maintenance.*
 - b. *Adequate provisions for drainage, erosion control, land stability, windscreen, visual screening, privacy and for restoration of ground cover and/or other foliage damaged by the tree work have not been made in situations where such problems are anticipated as a result of the removal or alteration.*
 - c. *The tree to be removed is a member of a group of trees in which each tree is dependent upon the others for survival.*
 - d. *The value of the tree to the neighborhood is greater than its inconvenience to the owner. The effects on visual, auditory, and wind screening, privacy and neighboring vegetation must be considered.*
 - e. *The need for protection of privacy for the property on which the tree is located and/or for adjacent properties.*

Pursuant to the arborist report on file, none of the findings can be made for grounds for denial in that removal of a health tree cannot be avoided by thinning, shaping or topping nor a reasonable redesign due to existing slope, the existing building, garage and driveway location, and desired parking and circulation improvements. The removal of the trees will not significantly affect the existing plants, drainage, or erosion of this site with the replacement of five (5) additional Oak trees. The value of the removed trees will be replaced with five "protected" 24-inch box Oak trees; and the subject trees proposed for removal are not providing needed privacy screening.

PLANNING COMMISSION RESOLUTION

April 21, 2021

DR/TRP 2020-00071

3 MARION AVENUE

ATTACHMENT 3: CONDITIONS OF APPROVAL

These conditions apply to the project plans prepared by Sean McArdle for Dan and Julie Kaufman dated April 11, 2021.

COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION CONDITIONS OF APPROVAL:

General Items

1. It shall be the applicant's/property owner's responsibility to diligently proceed to carry out the conditions of approval and implement any approved permit/entitlement. This shall include establishing the approved use within the time limits set forth by the applicable chapter (reference Sausalito Municipal Code (SMC) Section 10.50.120).
2. The Design Review Permit shall expire two years following the effective date of the permit if the project entitlement has not been implemented, provided no extension has been filed prior to the expiration date. The project entitlement pursuant to the Design Review Permit is determined to be implemented if the applicable conditions of approval prerequisite to construction have been satisfied and any required construction permits have been issued.
3. The Tree Removal Permit shall expire two years following the effective date of the permit if the project entitlement has not been implemented, provided no extension has been filed prior to the expiration date. The project entitlement pursuant to the Tree Removal Permit is determined implemented if the applicable conditions of approval prerequisite to construction have been satisfied and any required construction permits have been issued. (SMC Section 11.12.030D)
4. The project shall be designed as shown in the set of plans dated April 11, 2021.
5. The Community Development Director is authorized to approve minor modifications to the project, pursuant to the SMC Section 10.50.180 regarding changes to an approved project. Major project modifications will require review and approval by the Planning Commission.

6. At least 2 weeks prior to construction commencing at the project site the owner or designee shall post signage on the project site in a location clearly visible to and readable by the public which lists the construction hours, contractor's name and cell phone number, and any special conditions of approval.
7. Upon building permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval in this Resolution.
8. Upon building permit submittal the Conditions of Approval shall be shown on all construction drawings.
9. No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Director or the Planning Commission as a modification to this approval.
10. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
11. The Applicant/Property Owners shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City) and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project.
12. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.

13. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees shall be paid as required. All outstanding development fees shall be paid.
14. Any mechanical equipment installed in connection with this project shall be subject to SMC Section 12.16.130 - Machinery, equipment, fans, and air conditioning.
15. At the time of building permit application, the owner or designee shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in SMC Section 10.54.100. The following conditions apply:
 - a) The owner or designee shall submit information reasonably requested by the Community Development Director to support the estimated value of the project such documentation may include without limitation an executed construction contract.
 - b) The time for completion of the construction shall also be indicated on the construction permit.
 - c) For projects exceeding \$500,000 in project valuation, a detailed GANTT chart (or other graphic display acceptable to the Community Development Director) depicting the sequence of steps necessary for completion of the project, including detailed information on the critical path of the project, duration of critical tasks, and predicted inspection dates, shall be submitted prior to the issuance of any construction permit.
 - d) Once approved, the property owner shall provide the City with written quarterly job progress reports consistent with the approved chart.

Conditions Applicable to the Structure:

16. All exterior lighting shall be shielded and downward facing.
17. Prior to install of the roof sheathing, the owner or designee shall provide certification from a licensed surveyor stating that the roof height, design, and location is in conformance with the Planning Commission-approved plans.
18. The garage door material, coating and color shall be reviewed and approved by Community Development Director for compatibility with the surrounding residences prior to installation.

Conditions Applicable to Trees on the Project Site:

19. All recommendations and practices in the Arborist Report submitted by Arbor Logic Consulting Arborists dated April 12, 2021 shall be adhered to including but not limited to planting five 24-inch box Oak trees.

20. If any damage to a protected tree should occur during or as a result of work on the site, the contractor, builder, or owner shall promptly notify the City of such damage. If such a protected tree cannot be preserved in a healthy state, the reviewing agency shall require replacement of any protected tree removed with another tree or trees on the same site deemed adequate to compensate for the loss of the tree that is removed.

Conditions Related to the Golden Gate National Recreation Area

21. Prior to issuance of a Final Occupancy Permit, existing encroachments from the project site into GGNRA lands including a brick patio, walkway and ornamental plantings shall be removed and restored with vegetation as directed by a GGNRA ecologist.
22. The siting and specifications of any future proposed generator shall be reviewed in consultation with the GGNRA and the City prior to installation.

DEPARTMENT OF PUBLIC WORKS CONDITIONS OF APPROVAL:

General Items:

23. A construction staging plan and construction schedule shall be submitted for review and approval of the City Engineer or designee.
24. The construction geotechnical report shall be reviewed and approved by City Engineering staff.
25. The excavation involving more than 50 Cubic Yards of material shall be governed by a grading permit.
26. The project plans shall include a sheet directing the contractor to implement mandatory construction "best management practices" to limit storm water pollution.
27. A video inspection of the sewer lateral to the septic tank shall be prepared, copies of the video inspection and copies of approved septic plans and inspections be submitted to and verified by the City Sewer Systems Coordinator, prior to final approvals.
28. A sewer backflow valve shall be installed if not currently installed at the site, prior to final inspection.

City Engineer may waive or defer improvements construction (specific rationale

for such determinations should be documented).

29. Prior to issuance of a Building Permit the Developer's architect or civil engineer shall submit as applicable sealed site improvement plans, grading and drainage plans, public improvement plans and utility plans for review and approval by the Department of Public Works.

Grading

30. As a part of the building permit submittal package a geotechnical report shall be submitted addressing the retaining wall constraints associated with soil characteristics on the site.
31. As a part of the building permit submittal package the applicant shall show the limits of grading on the plan including the following: Indicate the height of the retaining walls on the plan. Indicate the elevations of the top of the wall and the foundation elevation. The excavation for the retaining walls shall not impact the access to the adjacent residents utilizing the common driveway.
32. Prior to the issuance of a Building Permit, a final grading and drainage plan shall be prepared and stamped by a registered civil engineer and shall be submitted to the City for review and approval.
33. As a part of the building permit submittal package the applicant shall provide a section and profile of the retaining wall system showing the limits of grading required to install each wall.
34. As a part of the building permit submittal package the applicant shall show the proximity of any structures within the zone of influence of any proposed grading. Provide a profile of the retaining wall that abuts the existing foundation and indicate how these may be connected. The existing foundation shall be supported at all times.
35. As a part of the building permit submittal package the applicant shall provide a profile of the driveway that is in compliance with the County Standard. In particular the applicant shall be responsible for preparing and implementing a design for the driveway that assures that vehicles will not bottom out or be damaged due to the driveway grade transitions.
36. Prior to the issuance of a Building Permit a note shall be added to the grading plan stating that the applicant's geotechnical engineer shall inspect and certify in writing that geotechnical aspects of the project were performed in conformance with the approved grading plan and geotechnical report.
37. Construction operations shall be staged to prevent failure or yielding of slopes by providing continuous confinement of superficial deposits as may be recommended by the project geotechnical engineer.
38. If a Grading Permit is required, details of the hauling operation including, but not limited to size of trucks and weight (in tons) that they will haul, haul route, dust and debris control measures and the time and frequency of haul trips shall be

submitted to the City for review prior to issuance of the Building Permit. The truck haul routes shall comply with SMC Section 15.04.150.

39. Prior to issuance of a Certificate of Occupancy, the project geotechnical engineer shall prepare a letter on its letter head, stamped and wet signed, stating that construction was in conformance with the project geotechnical report.
40. Prior to issuance of a Grading Permit applicant shall provide proof that the adjacent property owners have been notified a minimum of 30 days prior to beginning excavation to give them the opportunity to perform underpinning and other work they deem necessary.
41. No grading or excavation operations shall occur between October 15 and April 1 without the written approval of the City Engineer. The project excavation, construction of the main retaining walls and associated appurtenant features shall commence no later than August 1 of the dry season. The project excavation, construction of the main retaining walls and associated appurtenant features shall commence and conclude within a single dry season.

Drainage

42. As a part of the building permit submittal package the applicant shall include sheets for existing and proposed drainage. At a minimum show impervious surfaces, pervious surfaces, surface slopes and direction of slopes, drainage inlets, piped flow routing, surface drainage channels, curbs and gutters, swales, foundation and retaining wall back drains, and all drainage outlets on the property and in the frontage.
43. As a part of the building permit submittal package the applicant shall include drainage facilities on the roof plan.
44. As a part of the building permit submittal package the applicant shall include irrigation and drainage elements in the landscaping plan.
45. Prior to issuance of a Building Permit, drawings shall show low impact development on-site stormwater treatment and complete the Stormwater Control Plan for Small Projects/Single-Family Homes per "Design Guidance for Stormwater Treatment and Control for Projects in Marin, Sonoma, Napa and Solano Counties"
(<http://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/basmaa-postconstruction-manual.pdf?la=en>).
46. Prior to issuance of a Building Permit all existing and proposed drainage facilities serving the property from the residence to the final termination point(s) shall be clearly shown, labeled and detailed on the project grading and drainage plans.

This shall include but not be limited to: downspouts, piping, retention systems, stormwater routing, stormwater treatment facilities, hydraulic structures, energy dissipaters and foundation drainage systems.

47. New drainage facilities shall not increase the quantity or alter the path of storm water discharged from the property from the existing condition.

Stormwater Pollution Prevention

48. Prior to issuance of a Building Permit the developer's civil engineer or contractor shall submit a detailed erosion control plan, including cost estimate, for review and approval by the Department of Public Works. Erosion control plan shall incorporate guidelines and measures from the Marin County Stormwater Pollution Prevention Program's (MCSTOPPP) publication "Minimum Erosion/Sediment Control Measures for Small Construction Projects". [http://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-_2015.pdf?la=en]
49. The applicant's contractor shall be required to implement and maintain erosion control measures per the approved erosion control plan for the duration of the project.
50. The applicant's contractor shall provide adequate dust and debris control measures for the duration of the project.
51. To the maximum extent feasible, drainage from paved surfaces and roofs shall be routed through grassy swales, buffer strips or filters prior to discharge into the storm drainage system in conformance with MCSTOPPP's Guidance for Applicants Stormwater Quality Manual for Development Projects in Marin County¹
52. During construction, the applicant's contractor shall adhere to a water pollution prevention plan that at a minimum follows guidelines in MCSTOPPP's "Pollution Prevention It's Part of the Plan"². The plan shall address construction related site management practices including demolition, general construction, concrete,

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<http://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/basm-aa-postconstruction-manual.pdf?la=en>

2

<http://www.marincounty.org/depts/pw/divisions/mcstoppp/~media/Files/Departments/PW/mcstoppp/business/Pollution%20Prevention%20Part%20of%20the%20PlanOctober%202011.pdf>

paving, dewatering, contaminated soils, masonry, tile work, painting, litter control, motor vehicle washing and maintenance, storage of hazardous materials.

53. Prior to issuance of a Certificate of Occupancy, the applicant shall review and address the issues stated in the January 29, 2020 letter from the City regarding the Sewer system servicing the referenced property to the satisfaction of the Public Works Director.

Utilities

54. When electrical utility meters are relocated and/or upgraded beyond the minimum, utility undergrounding is required. Refer to Sausalito Municipal Code section 18.08. When utility undergrounding is required the applicant shall submit their electrical plans to PG&E for preliminary engineering review. Any structural impacts to the electrical grid, including but not limited to new transformers, new secondary voltage lines, new poles, etc. that will be needed as a result of the work proposed in the application shall be disclosed to the City of Sausalito. These Items may be required to be included in the design review application. All other overhead utilities shall be undergrounded as a condition of the electrical undergrounding.

Sewer

55. The following improvements/modifications, which are of an urgent matter and must be expedited immediately due to the exfiltration of sewage, shall be required prior to issuance of a Certificate of Occupancy.
 - a) Install one (1) access cleanout (ACO) as required on the SSL solely serving 3 Marion Avenue.
 - b) Install one (1) BWPD sewer relief device (SRD) on the ACO as required.
 - c) Replace the PCSL in its entirety located 183-feet downstream from the televising access point (ACO) at 3 Marion Avenue.
 - d) The 4-inch PCSL 4-inch cast iron property access cleanout (ACOP) is located behind the rock retaining wall located on Hi Vista Road across from 65 Edwards Avenue. The PCSL must be replaced from the ACOP to the City mainline with a City approved 6-inch pipe material.

FIRE PREVENTION DIVISION CONDITIONS OF APPROVAL:

General

56. The driveway serving this project shall meet the following standards related to dimensions, surfacing and slope.
 - a. Driveways shall be a minimum of 16 feet in width

- b. The driveway shall not exceed a slope of 18% and be of an all-weather surface (asphalt or concrete or other approved material). Driveways between 18% and 22% may be allowed with the expressed written approval of the fire district. Slope in excess of 18% slope shall be finished with ribbed concrete.
57. A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).
58. Roof Deck Materials: The roof deck shall be a class-A roofing assembly. The material shall either cover the entire surface or have clearance to enable the undersurface to be cleaned of debris. The materials must be specified on the plans.
59. The address shall be posted in accordance with requirements of the California Fire Code and SMFD standard 205 (Premises Identification).
- a. Properties located within the Wildland Urban Interface are required to have an approved address marker visible from across the street in contrasting colors per CA Public Resource Code 4291. An address placard can be ordered by visiting <https://www.southernmarinfire.org/prevention/public-safety-education/address-visibility>.
 - b. Each dwelling unit (primary and ADU) shall have address numbers posted in a conspicuous place, clearly visible from the street. Numbers should be minimum 4" in height, contrasting in color to their background, and either internally or externally illuminated. Show location(s) on plan.
60. Non-combustible roofing is required. Noncombustible roofing shall be provided for:
- a. All new roofs shall be non-combustible.
 - b. Roof Repairs or replacement:
 - i. Less than 25% - no requirement
 - ii. 25% to 50% - Class C minimum
 - iii. 50% or more – Non Combustible
 - iv. In no case shall the roofing material used be less fire resistive than the existing roof.

NOTE: A "noncombustible" roof is a Class A roof (for other than Group R Occupancies, a Class A or Class A assembly) as defined in the California Building Code.

61. This project shall comply with California Fire Code Chapter 33 – Fire Safety During Construction and Demolition. These requirements include but are not limited to: Temporary Heating Equipment, Precautions Against Fire, Flammable and Combustible Liquids, Flammable Gases, Owners Responsibility for Fire Protection, Fire Reporting, Access for Fire Fighting, Means of Egress, Water Supply for Fire Protection, Standpipes, Automatic Fire Sprinkler Systems, Portable Fire

Extinguishers, Motorized Construction Equipment, and Safeguarding Roofing Operations.

62. Fire access to the project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.

Fire Hydrant

63. This project has been approved with an alternative means and methods for the Fire Department access and hydrant water flow rate and subject to the special conditions in the Special Alternative Means and Methods section below (Option 1). If conditions in the Special Alternative Means and Methods section are not complied with, the conditions in the Standard Fire Hydrant section below (Option 1) shall be applicable. Either Option 1 or Option 2 shall be required for the project, at the preference of the applicant regarding with Option to pursue.

a. Option 1: Special Alternative Means and Methods Conditions

- i The proposed dry standpipe shall be removed from the request and the project plans. Dry standpipes are not approved in residential, private properties for alternative means and methods.
 - ii The water tanks and pumps shall be identified on the plans prior to submitting for the building permit. The water tanks shall be able to be accessed by emergency response personnel from the exterior of the building. The existing tanks and pumps will also be required to be reinspected and recertified by a C-16 contractor prior to the final inspection.
 - iii The roadway width is approved to be widened to no less than 11 feet along the easement access road. The approval is granted as an improvement to the current conditions of two (2) feet of additional paved access roads. Please include in the building permit submittal the grade, width, and materials of the access road.
 - iv Since the roadway is not capable of meeting the required width of 16 feet or an addition of a fire department turnaround due to geographical hardships and the nearest hydrant flow rate is below District's minimum requirements, the structure's fire sprinkler system will be required to be upgraded to meet the NFPA 13-R standards.
1. Option 2: Standard Fire Hydrant Conditions
 - i. Prior to framing, a new fire hydrant installation or existing fire hydrant upgrade shall be required. Hydrants to be spaced at 350 foot intervals shall be capable of providing a flow of 1,000 gallons per

minute to the site. Details of hydrant placement (including water main extension) shall be reviewed and approved by the Southern Marin Fire District and the Marin Municipal Water District.

- ii. When additions or modifications to structures are made, the nearest fire hydrant (if a new one is not required) located by the Fire Code Official, shall be upgraded to the minimum standard of one 4 ½ inch outlet 2 ½ inch outlet for single family dwellings and the minimum standard of one 4 ½ inch outlet and two 2 ½ inch outlets for commercial structures.

EXCEPTION: If the cost of upgrading the fire hydrant exceeds 2% of the cost of the project based on the building permit valuation.

WUI Requirements

64. This property is located within the Wildland Urban Interface (WUI) and shall be noted on the title sheet of the plans upon building permit submittal. The materials used in construction on the exterior of the structure shall comply with building standards in Chapter 7A of the California Building Code and/or section 337 of the California Residential Code.
65. Wildland Urban Interface Vegetation Requirements: Any person who owns, leases, controls or maintains any building or structure, vacant lands, open space, and/or lands within specific Wildland Urban Interface areas of the jurisdiction of the Southern Marin Fire Protection District, shall comply with the following:
 - a. Cut and remove all fire prone vegetation within 30 feet of structures, up to 150 feet when topographic or combustible vegetative types necessitate removal as determined by the Fire Code Official.
 - b. Remove accumulated dead vegetation on the property.
 - c. Cut and remove tree limbs that overhang wood decks and roofs.
 - d. Remove that portion of any tree which extends within 10 feet of any chimney or stovepipe, roof surfaces and roof gutters
 - e. Clean any leaves and needles from roof and gutters.
 - f. Cut and remove growth less than 3-inches in diameter, from the ground up to a maximum height of 10 feet, provided that no crown shall be raised to a point so as to remove branches from more than the lower one-third of the tree's total height.
 - g. Vegetation clearance requirements for new construction and substantial remodels in Wildland-Urban Interface Areas shall be in accordance with the 2018 International Wildland-Urban Interface Code, as amended by the Southern Marin Fire Protection District
 - h. Clearance of flammable brush or vegetative growth from fire access road or

driveways. The fire code official is authorized to require, within 10 feet on each side and 15 feet in height of highways, streets, fire apparatus roads and driveways, to be abated of flammable vegetation and other combustible growth.

EXCEPTION 1: When approved by the Fire Code Official, single specimens of trees, ornamental shrubbery or similar plants, or plants used as ground covers, provided they do not form a means of rapidly transmitting fire from the native growth to any structure.

EXCEPTION 2: When approved by the Fire Code Official, grass and other vegetation located more than 30 feet (9144 mm) from buildings or structures less than 18 inches (457 mm) in height above the ground need not be removed where necessary to stabilize soil and prevent erosion.

Vegetation Management Plan

66. Prior to the start of framing, a Vegetation Management Plan (VMP) shall be submitted for review and approval by the Fire District. The Vegetation Management Plan shall be submitted directly to Southern Marin Fire District, along with \$494.00 payment, in order to allow for the rough hydro. inspection to be scheduled. The plan shall comply with the following:
 - a. An electronic copy of the site plan, which includes the house, zone, plant type and spacing, shall be emailed to prevention@smfd.org.
 - b. The entire plan content elements described in narrative form.
 - c. A description of long term maintenance and safety practices
 - d. The list of plants to be existing and/or used and materials consistent with the approval plant list. Existing and proposed plants shall not be any of the species identified by FireSAFE Marin as fire-prone plants³.
 - e. Prepared according to Southern Marin Fire District Standard 220 Vegetation/Fuel Management Plan, which can be found at <https://www.southernmarinfire.org/prevention/ordinances-standards/residential%20standards?limit=100>

67. The property owner shall comply with California Fire Code Section 304.1.2 and Local Ordinance Section 109.3.2 Abatement of Clearance of Flammable Brush or Flammable Vegetative Growth from Structures.
 - a. A minimum clearance of 30 feet from the structure or to the property line, 10 feet from roads and property lines and any tree which extends within 10 feet of any chimney or stovepipe shall be kept clear of flammable brush, tree limbs and grasses.
 - b. A list of flammable (pyrophytic) plans and non-flammable (fire resistive)

³ <https://firesafemarin.org/plants>

plans can be found on the University of California Cooperative Extension: Pyrophytic vs. Fire Resistive Plants list. This is available at firesafemarin.org

- c. Exception: Vegetation Management Plan for the property has been submitted and approved by the Fire Code Official.

The applicant shall comply with California Fire Code and Public Resource Code 4291 requirements relating to the clearance of flammable brush and weeds. A minimum clearance of 30' from structures and 10' from roads and property lines shall be maintained.

Fire Sprinkler Requirements

- 68. The current scope of work appears to be considered a substantial remodel as defined in SMFD Ordinance 2019/2020-01 and shall require the installation of fire sprinklers throughout the structure. However, if further review or change in scope reveals that the project is less than 50% of the existing structure, then the project will be re-evaluated.
- 69. A fire sprinkler system shall be provided for the following:
 - a. If the combination of the addition, alteration or remodeling exceeds 50% of the floor area of the existing structure, the project is considered a "substantial remodel" ** (see end for definition)
 - b. Existing Buildings. In any building with an existing automatic sprinkler system, protection shall be extended to any all of alteration, repair, remodel or addition, regardless of job size so that 100% coverage is maintained.
 - c. In accessory dwelling units when the main structure is equipped with an existing fire sprinkler system, or fire department access and hydrant water supply does not meet the District's requirements.
 - d. In any building found to have OMEGA sprinkler heads identified as part of the U.S. Consumer Products Safety Commission recall and Viking VK457 sprinkler heads, all sprinkler heads subject to this recall shall be replaced with listed and approved heads.
 - e. For any change of occupancy or use, when the proposed new occupancy classification is more hazardous based on a fire and life safety evaluation by the Fire Code Official, including but not limited to conversion of buildings to single family residences, accessory dwelling units, bed and breakfast, inns, lodging houses or congregate residences or other similar uses, an automatic sprinkler system shall be installed throughout.

70. Fire sprinkler coverage shall be provided through the entire structure according to Chapter 9 of the California Fire Code. Fire sprinkler system shall be installed according to NFPA standards and Southern Marin Fire Standard 401.
71. Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District, Fire Prevention Bureau for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District Standard 401 and N.F.P.A. Standard(s) 13, 13D or 13R.

Advisory Notes:

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

GENERAL

1. Permits required by other agencies having jurisdiction within construction area shall be obtained in accordance with their respective agency's regulations.
2. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.
3. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
4. Grading/drainage permit(s) shall be obtained from the Department Public Works for earthwork of 50 cubic yards or more.
5. Grading on hillside lands composed of geologic formations known to slide will be limited to between April 15 and October 15 without written approval of the City Engineer.
6. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
7. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.

Saturdays – Between 9:00 a.m. and 5:00 p.m.

Sundays – Prohibited

City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

8. Pursuant to Municipal Code Section 18.08.020, overhead electrical and communication service drops shall be placed underground when the main electrical service equipment (including the panel) is relocated, replaced, and/or modified. If undergrounding is required, the applicant shall work with affected utility companies to provide plans to the City for undergrounding of the utility services. Project plans shall be designed to avoid additional overhead lines, poles and/or transformers (i.e., potential view impacts) thereon to comply with Sausalito Municipal Code Section 18.08 Underground Electrical Wiring and Facilities. If additional overhead lines, poles and/or transformers are required, visual simulation(s) of the equipment from various viewpoints shall be provided, and may be subject to modifications to the Design Review Permit. PG&E's Underground Project Contact Information: Phone: 1-877-743-7782; Internet: pge.com/newconstruction.
9. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated sewer laterals shall be repaired prior to approval of the Building Permit.

SAUSALITO-MARIN CITY SANITARY DISTRICT

10. A connection fee of \$6,130 is due prior to taking occupancy. They will also require an additional sewer service charge which can be set up by calling the main office 415-332-0244.

MARIN MUNICIPAL WATER DISTRICT

11. Complete a High Pressure Water Service Application.
12. Submit a copy of the building permit.
13. Pay appropriate fees and charges.

14. Comply with the District's rules and regulations in effect at the time service is requested.
15. Comply with all indoor and outdoor requirements of District Code Title 13 – Water Conservation. This may include verification of specific indoor fixture efficiency compliance.
16. If you are pursuing a landscaping project subject to review by your local planning department and/or subject to a city permit, please contact the district water conservation department at 415-945-1497 or email to plancheck@marinwater.org. More information about district water conservation requirements can be found online at www.marinwater.org
17. Comply with the backflow prevention requirements, if upon the District's review backflow protection is warranted, including installation, testing and maintenance. Questions regarding backflow requirements should be directed to the Backflow Prevention Program Coordinator at (415) 945-1558.
18. Comply with Ordinance No. 429 requires the installation of gray water recycling systems when practicable for all projects required to install new water service and existing structures undergoing "substantial remodel" that necessitates an enlarged water service.

**PLANNING COMMISSION RESOLUTION
APRIL 21, 2021
DR/TRP 2020-00071
3 MARION AVENUE**

ATTACHMENT 3: PROJECT PLANS



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 email: www.mcardle.design
 website: #1021642
 CA GC Licence: #02007499
 Sausalito Lic:

PREPARER SIGNATURE:

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 email: DanKaufman@google.com
 Kaufman.JL@gmail.com

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 email: john@pheifengineering.com

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 phone: 415.446.7402
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LAND SURVEY: LAWRENCE P DOYLE
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 phone: (415) 388-9585
 email: doylepd@aol.com

DESIGN REVIEW PLANNING SUBMITTAL

NO:	DATE:	DESCRIPTION:
1	04.20.20	INITIAL PLANNING SUBMISSION
2	06.01.20	PLANNING REVIEW / DUPLEX
3	09.07.20	RESUBMITTAL / DUPLEX
4	12.03.20	RESUBMITTAL / DUPLEX
5	1.27.21	FIRE PREVENTION CLARIFICATIONS
6	2.26.21	GGNRA CLARIFICATIONS
7	3.16.21	CIVIL CLARIFICATIONS
8	4.11.21	NEIGHBORHOOD NOTICE

KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

COVER

A0.0



EXISTING / 3 MARION AVENUE, SAUSALITO / SOUTH FACADE FROM GGNRA



PROPOSED / 3 MARION AVENUE, SAUSALITO / SOUTH FACADE FROM GGNRA

SCOPE OF WORK

CONVERSION AND EXPANSION OF EXISTING SINGLE FAMILY RESIDENCE INTO A 2 UNIT (DUPLEX) PROPERTY. RELOCATED GARAGE AND EXPAND DRIVEWAY.

STATEMENT

The Owners and Project Design Team have been diligent to design the proposed scope of work within existing planning regulations and with careful consideration for an environmentally-friendly and sustainable renovation approach. All construction to conform to these plans, and the requirements of the California Building Code latest edition as adopted by the controlling jurisdiction and all other applicable codes and regulations and other applicable sections of the Local Municipal Code. All materials and workmanship to meet or exceed the best standards of the trade. Protection of the owner's property and all adjacent properties, including GGNRA, as well as the public property shall be maintained at all times.

ZONING DATA

ZONING DATA	EXISTING CONDITIONS	PROPOSED CONDITIONS
PROJECT LOCATION:	3 MARION AVENUE, SAUSALITO, CA 94965	3A & 3B MARION AVENUE, SAUSALITO CA
ASSESSORS PARCEL #:	065-311-38	
ZONING:	R-2 - R-2.5	NO CHANGE IN ZONING
LAND USE::	SINGLE FAMILY	DUPLEX
NUMBER OF DWELLING UNITS	1 UNIT	2 UNITS
PARKING	2 (1 CAR GARAGE AND 1 ON SITE)	4 CARS IN GARAGE / TANDUM STACKER
CONSTRUCTION TYPE:	TYPE-VB (WOOD FRAME)	TYPE-VB (WOOD FRAME)
FIRE SPRINKLERS:	SPRINKLERED	SPRINKLERS SHALL BE UPGRADED
NET AREA OF PARCEL:	6,600 SF	6,600 SF (DEFINED 10.88.040 & CONFIRMED BY SURVEY)
FLOOR AREA:	2,068 SF	4,215 SF (REFER TO DETAILED CALCULATION BELOW)
BUILDING COVERAGE:	1,790 SF	2,716 SF (REFER TO DETAILED CALCULATION BELOW)
IMPERVIOUS SURFACE:	2,488 SF	4,172 SF (REFER TO DETAILED CALCULATION BELOW)
HEIGHT FROM AVG. GRADE	31' - 3 3/4"	32' - 0" (CHANGED WITHIN ALLOWABLE)
NORTH SETBACK	26' - 5"	16'- 2 5/8" (CHANGED WITHIN ALLOWABLE)
SOUTH SETBACK	8' - 0"	8' - 0" (NO CHANGE)
EAST SETBACK	20' - 2"	17' - 2" (CHANGED WITHIN ALLOWABLE)
WEST SETBACK	7' - 7"	7'-7" (AT EXISTING STRUCTURE & 8'-11" (INCREASED SETBACK AT NEW GARAGE)
SEWER:	REPAIR REQUIRED	SHALL BE UPGRADED
WATER	1" AT METER	SHALL BE UPGRADED FROM METER TO DUPLEX
ELECTRIC / GAS	UNDERGROUNDED	SHALL BE SEPERATED FOR DUPLEX

COVERAGE CALCULATIONS

PER CITY OF SAUSALITO ZONING ORDINANCE SECTION 10.40.040
 NET AREA OF PARCEL (DEFINED 10.88.040) = 6,600 SF
 MAXIMUM BUILDING COVERAGE = 50%
 ALLOWABLE BUILDING COVERAGE = 3,300 SF

BUILDING COVERAGE CALCULATION

AREA OF HOUSE COVERAGE = 2,426 SF
 AREA OF DECK 2' ABOVE GRADE = NA
 AREA OF EAVE EXTENDING MORE THAN 2'-6" FROM FACE OF WALL = 290 SF
TOTAL BUILDING COVERAGE = 2,716 SF
PERCENTAGE OF BUILDING COVERAGE = (2,716 SF / 6,600 SF) = 41% < 50% MAX

IMPERVIOUS SURFACE COVERAGE

AREA OF PARCEL = 6,600 SF
 MAXIMUM IMPERVIOUS SURFACE AREA = 75%
 ALLOWABLE IMPERVIOUS AREA = 4,950 SF
 AREA OF DRIVEWAY = 1,456 SF
 AREA OF ADDITIONAL IMPERVIOUS = NA
 STRUCTURES NOT INCLUDED IN BUILDING COVERAGE CALCULATIONS = NA
TOTAL IMPERVIOUS SURFACE COVERAGE = 4,172 SF
PERCENTAGE OF IMPERVIOUS SURFACE = (4,172SF / 6,600 SF) = 63% < 75% MAX

EXISTING CONDITIONS

ZONING DATA	EXISTING CONDITIONS	PROPOSED CONDITIONS
PROJECT LOCATION:	3 MARION AVENUE, SAUSALITO, CA 94965	3A & 3B MARION AVENUE, SAUSALITO CA
ASSESSORS PARCEL #:	065-311-38	
ZONING:	R-2 - R-2.5	NO CHANGE IN ZONING
LAND USE::	SINGLE FAMILY	DUPLEX
NUMBER OF DWELLING UNITS	1 UNIT	2 UNITS
PARKING	2 (1 CAR GARAGE AND 1 ON SITE)	4 CARS IN GARAGE / TANDUM STACKER
CONSTRUCTION TYPE:	TYPE-VB (WOOD FRAME)	TYPE-VB (WOOD FRAME)
FIRE SPRINKLERS:	SPRINKLERED	SPRINKLERS SHALL BE UPGRADED
NET AREA OF PARCEL:	6,600 SF	6,600 SF (DEFINED 10.88.040 & CONFIRMED BY SURVEY)
FLOOR AREA:	2,068 SF	4,215 SF (REFER TO DETAILED CALCULATION BELOW)
BUILDING COVERAGE:	1,790 SF	2,716 SF (REFER TO DETAILED CALCULATION BELOW)
IMPERVIOUS SURFACE:	2,488 SF	4,172 SF (REFER TO DETAILED CALCULATION BELOW)
HEIGHT FROM AVG. GRADE	31' - 3 3/4"	32' - 0" (CHANGED WITHIN ALLOWABLE)
NORTH SETBACK	26' - 5"	16'- 2 5/8" (CHANGED WITHIN ALLOWABLE)
SOUTH SETBACK	8' - 0"	8' - 0" (NO CHANGE)
EAST SETBACK	20' - 2"	17' - 2" (CHANGED WITHIN ALLOWABLE)
WEST SETBACK	7' - 7"	7'-7" (AT EXISTING STRUCTURE & 8'-11" (INCREASED SETBACK AT NEW GARAGE)
SEWER:	REPAIR REQUIRED	SHALL BE UPGRADED
WATER	1" AT METER	SHALL BE UPGRADED FROM METER TO DUPLEX
ELECTRIC / GAS	UNDERGROUNDED	SHALL BE SEPERATED FOR DUPLEX

FLOOR AREA RATIO CALCULATION

PER CITY OF SAUSALITO ZONING ORDINANCE SECTION 10.40.040
 MAXIMUM ALLOWABLE (FAR)= 65%
 NET AREA OF PARCEL (DEFINED 10.88.040) = 6,600 SF
 ALLOWABLE FAR = 4,290 SF

UNIT 3A (UPPER UNIT)

FIRST FLOOR ENTRY VESTIBULE = 120 SF
 SECOND FLOOR = 1,715 SF
 THIRD FLOOR = 720 SF
 THIRD FLOOR OPEN (OPEN LOFT AREA 50%) = 225 SF
UNIT 3A / SUBTOTAL = 2,780 SF

UNIT 3B (LOWER UNIT)

FIRST FLOOR = 1,135 SF
 UTILITIES / WATER TANK = 150 SF
UNIT 3B / SUBTOTAL = 1,285 SF

ELEVATOR SHAFT = 25 SF
 STAIR SHAFT = 125 SF
 GARAGE = 500 SF (ALLOWANCE)

TOTAL FLOOR AREA = 4,215 SF
FLOOR AREA RATIO (FAR) (4,215 / 6,600 SF) = 64% < 65% MAX.

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 Sausalito Lic:

PREPARER SIGNATURE:

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DESIGN REVIEW PLANNING SUBMITTAL

NO:	DATE:	DESCRIPTION:
1	04.20.20	INITIAL PLANNING SUBMISSION
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8	4.11.21	NEIGHBORHOOD NOTICE

KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

PROJECT INFORMATION

A0.1



LOCATION / 3 MARION AVENUE, SAUSALITO, CALIFORNIA / APN 064-192-22



AERIAL / EXISTING



AERIAL / PROPOSED



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 email: www.mcardle.design
 website: #1021642
 CA GC Licence: #02007499
 Sausalito Lic:

PREPARER SIGNATURE:

OWNER: KAUFMAN
 contact: Dan & Julie Kaufman
 address: 3 Marion Avenue
 Sausalito, CA 94965
 818.482.9516
 phone: DanKaufman@google.com
 email: Kaufman.JL@gmail.com

STRUCTURAL: PHEIF ENGINEERING, INC.
 contact: John Pheif
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 Mill Valley, CA 94941
 415.381.8150
 phone: john@pheifengineering.com
 email:

CIVIL ENGINEER: LTD Engineering, Inc
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LAND SURVEY: LAWRENCE P DOYLE
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DESIGN REVIEW PLANNING SUBMITTAL

NO:	DATE:	DESCRIPTION:
1	04.20.20	INITIAL PLANNING SUBMISSION
2	06.01.20	PLANNING REVIEW / DUPLICATION
3	09.07.20	RESUBMITTAL / DUPLICATION
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6	2.26.21	GGNRA CLARIFICATIONS
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8	4.11.21	NEIGHBORHOOD NOTICE

KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

LOCATION / VICINITY

A0.2

CODES

2019 California Building Code
 2019 California Mechanical Code
 2019 California Plumbing Code
 2019 California Electrical Code
 2019 California Existing Buildings Code
 2019 California Fire Code
 2019 California Energy Code
 2019 California Residential Building Code
 2019 California Green Building Standards Code
 City of Sausalito Municipal Code, Planning and Building Codes. All Ordinances Adopted by City of Sausalito

Any revision(s) to the approved plan set shall be submitted to the Sausalito Community Development Department for review. Inspections for revised work shall not be requested until the revision is approved by the Community Development Department. Allow a minimum of two weeks for Community Development Department review.

All Demolition shall be in accordance with Recycling and Demolition (C&D) Material Management outlined by Zero Waste Marin, Marin County California.

Prior to Issuance of Building Permit, Project shall obtain a J# for all demolition work from Bay Area Air Quality Management District (BAAQMD) and all demolition work shall be in accordance with BAAQMD requirements.

Additional details on Sausalito Regulations, Building Codes and CalGreen Residential Checklist shall be provided on future Building Permit Set

PLANNING DOCUMENTS / REQUIRED REPORTS & DOCUMENTS

TITLE REPORT verifying the description and vestees (not required if use is to be conducted in existing structure and no structural changes are proposed).

PHOTOGRAPHS and other graphic material necessary or useful to understand the characteristics and impacts of the project.

NEIGHBORHOOD OUTREACH DESCRIPTION prepared by the applicant. The description shall include how neighborhood outreach was conducted, dates neighbors were contacted, any meetings held, the specific concerns of neighbors and how those concerns were mediated (through changes to the proposal, site visits, etc.)

GEOLOGICAL RECONNAISSANCE or SOILS REPORT prepared by a California registered Civil Engineer or an Engineering Geologist may be required by the City Engineer, which shall include a detailed subsurface investigation of the proposed development site.

ARBORIST REPORT by a certified or consulting arborist is required with a Tree Removal Permit application.

COLORS AND MATERIALS BOARD The Material Sample Board must contain samples of the actual materials (e.g., paint chips, wood or cementitious siding, awning material, sign components) with the exception of masonry paving materials and roofing materials which may be portrayed by photographs.

VICINITY MAP showing the relationship of the project to the uses, structures, parking, etc. of neighborhood (within 100 feet).

TOPOGRAPHIC AND BOUNDARY SURVEY that is sealed/wet stamped and signed by a licensed surveyor or qualified registered civil engineer (a qualified registered civil engineer is someone who was licensed prior to 1982 with a license number no higher than 33965) may be required by City staff.

DEMOLITION PLANS clearly indicating those areas of the following that are to be removed entirely, to be removed and replaced, and that are to remain untouched:

Floors, ceilings and/or roofs, Interior and exterior walls

STATEMENT OR PRELIMINARY PLAN indicating whether or not the proposed utility improvements will require modification to the existing electrical service equipment and trigger Sausalito Municipal Code Section 18.08.020 which requires overhead electrical and communication service drops be placed underground when the main electrical service equipment (including the panel) is relocated, replaced, and/or modified. If undergrounding is required, as part of the application's completeness review, the applicant shall work with affected utility companies to provide plans to the City for undergrounding of the utility services. Project plans shall be designed to avoid additional overhead lines, poles and/or transformers (i.e., potential view impacts) thereon to comply with Sausalito Municipal Code Section 18.08 Underground Electrical Wiring and Facilities. If additional overhead lines, poles and/or transformers are required, visual simulation(s) of the equipment from various viewpoints shall be provided during the application's completeness review. Will there be an increase in the electrical energy of the structure(s) (e.g., amps increased)? Yes No. Will the main electrical service equipment be modified? Yes No. Will there be any new aerial wires and/or related electrical components (e.g., transformers)? Yes No

Note: Any utility improvements that have the potential to impact primary views from surrounding properties will require Planning Commission Design Review. Design Review Permit, Conditional Use Permit and Variance Application Submittal RequirementS.

SITE PLAN indicating the following: Parcel dimensions, including bearings (metes and bounds of all property lines shall be labeled). Existing and proposed plans shall be shown side-by-side. Side-by-side plans may be shown in reduced scale if necessary and shown in larger scale on separate pages if necessary. (For complete list of Site Plan refer to requirements)

ROOF PLAN showing roofing materials to be used, direction of roof slope (indicated by downslope arrows), and roof pitch.

EXISTING ELEVATIONS of all four sides of all structures (including walls and fences) indicating their form and general treatment with the following indicated (Note: Existing and proposed plans should be shown side-by-side). Existing natural grade, Average natural grade (see Section 10.40.060), Maximum allowed height from average natural grade, shown with real elevation numbers and actual height (see Section 10.40.060A-D for regulations on level and sloped parcels). Maximum height of structures, shown with real elevation numbers and actual height. Property line.

PROPOSED ELEVATIONS of all four sides of all structures (including walls and fences) indicating their form and general treatment with the following indicated (Note: Existing and proposed plans should be shown side-by-side): Existing natural grade, Average natural grade (see Section 10.40.060), Maximum allowed height from average natural grade, shown with real elevation numbers and actual height (see Section 10.40.060). Proposed maximum height of structures, shown with real elevation numbers and actual height. Property line.

FLOOR PLANS of all floor levels clearly indicating access, circulation, labeling of proposed uses.

SECTIONAL DRAWINGS through the site showing major natural features and neighboring structures in relation to the proposed development, indicating the heights of the buildings, structures, fill, etc., from the original grade, extent of any excavation, hillside cut, screening, existing and proposed grades, relations of site buildings, parking and landscaping to finish grade, and effects on views of development from neighboring properties.

GRADING PLAN showing existing and proposed grades, and quantity and extent of cut and fill, the slope angle of all banks, and the proposed drainage system. Contour lines of existing grades shall have the following maximum intervals: Ten foot contour interval for ground slope over fifteen percent (15%). Five foot contour interval for ground slope below fifteen percent (15%). All grades and elevations shall be based upon lower low water datum for any property below an elevation of fifteen (15') feet above lower low water.

LANDSCAPE PLANS showing the treatment of all unpaved areas not occupied by structures. Size, height and location of significant existing and all proposed plants. Scientific and common names of plants. Street trees. Method, type and extent of irrigation system. Location of all existing trees and tree clusters with identification of major trees by common name and dripline. Percentage of total lot area to be landscaped.

STORY POLE PLAN indicating the placement of story poles and tape, will be required when there is any change in building footprint, roof elevation or building bulk. NOTE: protected trees must not be altered or removed to erect story poles without a tree removal or alteration permit.

ILLUSTRATIVE PLAN of possible or projected development of any contiguous land in the same ownership may be required to understand the relationship of the plan to possible future development



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 CA GC Licence: #1021642
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PREPARER SIGNATURE:

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 3 MARION AVENUE, SAUSALITO, CA
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CODES / PLANNING
 REQUIREMENTS

A0.3

FIRE PREVENTION REQUIREMENTS

PROJECT SHALL COMPLY WITH ALL BUILDING CODES, SOUTHERN MARIN FIRE PREVISION DISTRICT REQUIREMENTS INCLUDING PROJECT LETTER DATED JANUARY 13, 2021 CONDITIONS OF APPROVAL.



January 13, 2021

Attn: Christy Usher
City of Sausalito | Community Development Department
cusher@sausalito.gov

CC: Sean McArdle
sean@mcardle.com

Re: SMFD Conditions of Approval for Project 2020-00071 and the Alternative Means and Methods Request at 3 Marion Avenue

The proposed plans for the above-listed project have been reviewed. Based on the plans as submitted, the items noted below shall be imposed by the Southern Marin Fire Protection District (SMFD) in accordance with the most current requirements of the California Fire Code and SMFD ordinance and standards at the time of submittal of the building permit.

Please Note: This project is within the Wildland Urban Interface (WUI) Zone as determined by the Southern Marin Fire Protection District.

The following documents were reviewed:

- Drawings by McArdle Designs titled "Kaufman Residence-Resubmittal/Duplex (No.4)," dated 12.03.2020
- Alternative Means and Methods Request submitted by Sean McArdle, dated 01/05/2021
- Proposed Vicinity Map by McArdle Designs dated 12.09.20 "Fire Resubmittal"

Project Description:

Convert single family dwelling to a Duplex

This application was found to be complete and the following conditions should be noted for the project:

PRIOR TO PERMIT SUBMITTAL:

- Redlines required.** Please provide the following to the set of plans prior to submitting for a building permit:
 - The conditions approved for the alternative means and methods shall be addressed in the plans prior to submitting for the building permit.

CONDITIONS OF APPROVAL:

- THIS PROJECT HAS BEEN APPROVED WITH AN ALTERNATIVE MEANS AND METHODS FOR THE FIRE DEPARTMENT ACCESS AND HYDRANT WATER FLOW RATE.** The Fire District will approve the request with the following conditions amending the request:

- The proposed dry standpipe shall be removed from the request and the project plans. Dry standpipes are not approved in residential, private properties for alternative means and methods.
- The water tanks and pumps shall be identified on the plans prior to submitting for the building permit. The water tanks shall be able to be accessed by emergency response personnel from the exterior of the building. The existing tanks and pumps will also be required to be reinspected and recertified by a C-16 contractor prior to the final inspection.
- The roadway width is approved to be widened to no less than 11 feet along the easement access road. The approval is granted as an improvement to the current conditions of two (2) feet of additional paved access roads. Please include in the building permit submittal the grade, width, and materials of the access road.
- Since the roadway is not capable of meeting the required width of 16 feet or an addition of a fire department turnaround due to geographical hardships and the nearest hydrant flow rate is below District's minimum requirements, the structure's fire sprinkler system will be required to be upgraded to meet the NFPA 13-R standards.

- WUI Requirements:** This property is located within the Wildland Urban Interface (WUI) and shall be noted on the title sheet of the plans. The materials used in construction on the exterior of the structure shall comply with building standards in Chapter 7A of the California Building Code and/or section 337 of the California Residential Code.

- A Vegetation Management Plan is required for this project as a deferred submittal.** The Vegetation Management Plan shall be submitted directly to Southern Marin Fire District, along with \$494.00 payment, in order to allow for the rough hydro. inspection to be scheduled. The plan shall comply to the following:

Prior to the start of framing, a Vegetation Management Plan (VMP) shall be submitted for review and approval by the Fire District which includes:

- An electronic copy of the site plan, which includes the house, zone, plant type and spacing, shall be emailed to prevention@smfd.org.
- The entire plan content elements described in narrative form.
- A description of long term maintenance and safety practices
- The list of plants to be existing and/or used and materials consistent with the approval plant list.
 - Existing and proposed plants shall not be any of the species identified by FireSAFE Marin as fire-prone plants. The list can be found at <https://fire-safe-marin.org/plants/>.
- Prepared according to Southern Marin Fire District Standard 220 Vegetation/Fuel Management Plan, which can be found at <https://www.southernmarinfire.org/prevention/ordinance-standards/residential/220standards/Plant%20>

- Fire Hydrant(s).** The following condition has been rendered as approved with alternative means and methods as mentioned in the first condition.

Prior to framing, a new fire hydrant installation or existing fire hydrant upgrade shall be required. Hydrants to be spaced at 350 foot intervals shall be capable of providing a flow of 1,000 gallons per minute to the site. Details of hydrant placement (including water main extension) shall be reviewed and approved by the Southern Marin Fire District and the Marin Municipal Water District.

When additions or modifications to structures are made, the nearest fire hydrant (if a new one is not required) located by the Fire Code Official, shall be upgraded to the minimum standard of one 4 1/2 inch outlet 2 1/2 inch outlet for single family dwellings and the minimum standard of one 4 1/2 inch outlet and two 2 1/2 inch outlets for commercial structures.

- A minimum clearance of 30 feet from the structure or to the property line, 10 feet from roads and property lines and any tree which extends within 10 feet of any chimney or stovepipe shall be kept clear of flammable brush, tree limbs and grasses.
- A list of flammable (pyrophytic) plants and non-flammable (fire resistive) plants can be found on the University of California Cooperative Extension: Pyrophytic vs. Fire Resistive Plants list. This is available at firesafemarin.org
- Exception: Vegetation Management Plan for the property has been submitted and approved by the Fire Code Official.

- The applicant shall comply with California Fire Code and Public Resource Code 4291 requirements relating to the clearance of flammable brush and weeds. A minimum clearance of 30' from structures and 10' from roads and property lines shall be maintained.

- Wildland Urban Interface Vegetation Requirements:** Any person who owns, leases, controls or maintains any building or structure, vacant lands, open space, and/or lands within specific Wildland Urban Interface areas of the jurisdiction of the Southern Marin Fire Protection District, shall comply with the following:

- Cut and remove all fire prone vegetation within 30 feet of structures, up to 150 feet when topographic or combustible vegetative types necessitate removal as determined by the Fire Code Official.
- Remove accumulated dead vegetation on the property.
- Cut and remove tree limbs that overhang wood decks and roofs.
- Remove that portion of any tree which extends within 10 feet of any chimney or stovepipe, roof surfaces and roof gutters.
- Clean any leaves and needles from roof and gutters.
- Cut and remove growth less than 3-inches in diameter, from the ground up to a maximum height of 10 feet, provided that no crown shall be raised to a point so as to remove branches from more than the lower one-third of the tree's total height.
- Vegetation clearance requirements for new construction and substantial remodels in Wildland-Urban Interface Areas shall be in accordance with the 2018 International Wildland-Urban Interface Code, as amended by the Southern Marin Fire Protection District.
- Clearance of flammable brush or vegetative growth from fire access road or driveways. The fire code official is authorized to require, within 10 feet on each side and 15 feet in height of highways, streets, fire apparatus roads and driveways, to be abated of flammable vegetation and other combustible growth.

EXCEPTION 1: When approved by the Fire Code Official, single specimens of trees, ornamental shrubbery or similar plants, or plants used as ground covers, provided they do not form a means of rapidly transmitting fire from the native growth to any structure.

EXCEPTION 2: When approved by the Fire Code Official, grass and other vegetation located more than 30 feet (9144 mm) from buildings or structures less than 18 inches (457 mm) in height above the ground need not be removed where necessary to stabilize soil and prevent erosion.

- Roof Deck Materials:** The roof deck shall be a class-A roofing assembly. The material shall either cover the entire surface or have clearance to enable the undersurface to be cleaned of debris. The materials must be specified on the plans.

- The address shall be posted in accordance with requirements of the California Fire Code and SMFD standard 205 (Premises Identification).
 - Properties located within the Wildland Urban Interface are required to have an approved address marker visible from across the street in contrasting colors per CA Public Resource Code 4291. An address

Exception: If the cost of upgrading the fire hydrant exceeds 2% of the cost of the project based on the building permit valuation.

- Fire Sprinkler Requirements:** The current scope of work appears to be in excess of 50% of the existing structure and is being considered a substantial remodel as defined in SMFD Ordinance 2019/2020-01 and shall require the installation of fire sprinklers throughout the structure. However, if further review or change in scope reveals that the project is less than 50% of the existing structure, then the project will be re-evaluated.

Fire Sprinkler Installation- A fire sprinkler system shall be provided for the following:

- If the combination of the addition, alteration or remodeling exceeds 50% of the floor area of the existing structure, the project is considered a "substantial remodel" ** (see end for definition)
- Existing Buildings.** In any building with an existing automatic sprinkler system, protection shall be extended to any all of alteration, repair, remodel or addition, regardless of job size so that 100% coverage is maintained.
- In accessory dwelling units when the main structure is equipped with an existing fire sprinkler system, or fire department access and hydrant water supply does not meet the District's requirements.
- In any building found to have OMEGA sprinkler heads identified as part of the U.S. Consumer Products Safety Commission recall and Viking VK457 sprinkler heads, all sprinkler heads subject to this recall shall be replaced with listed and approved heads.
- For any change of occupancy or use, when the proposed new occupancy classification is more hazardous based on a fire and life safety evaluation by the Fire Code Official, including but not limited to conversion of buildings to single family residences, accessory dwelling units, bed and breakfast, inns, lodging houses or congregate residences or other similar uses, an automatic sprinkler system shall be installed throughout.

Fire sprinkler coverage shall be provided through the entire structure according to Chapter 9 of the California Fire Code. Fire sprinkler system shall be installed according to NFPA standards and Southern Marin Fire Standard 401.

Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District, Fire Prevention Bureau for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District Standard 401 and N.F.P.A. Standard(s) 13, 13D or 13R.

- The driveway serving this project shall meet the following standards related to dimensions, surfacing and slope.
 - Driveways shall be a minimum of 16 feet in width
 - The driveway shall not exceed a slope of 18% and be of an all-weather surface (asphalt or concrete or other approved material). Driveways between 18% and 22% may be allowed with the expressed written approval of the fire district. Slope in excess of 18% slope shall be finished with ribbed concrete.

- A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).

- The property owner shall comply with California Fire Code Section 304.1.2 and Local Ordinance Section 109.3.2 Abatement of Clearance of Flammable Brush or Flammable Vegetative Growth from Structures.

placard can be ordered by visiting <https://www.southernmarinfire.org/prevention/public-safety-education/address-visibility>.

- Each dwelling unit (primary and ADU) shall have address number(s) posted in a conspicuous place, clearly visible from the street. Numbers should be minimum 4" in height, contrasting in color to their background, and either internally or externally illuminated. Show location(s) on plan.

- Non-combustible roofing is required. Noncombustible roofing shall be provided for:**
 - All new roofs shall be non-combustible.
 - Roof Repairs or replacement:
 - Less than 25% - no requirement
 - 25% to 50% - Class C minimum
 - 50% or more - Non Combustible
 - In no case shall the roofing material used be less fire resistive than the existing roof.

NOTE: A "noncombustible" roof is a Class A roof (for other than Group R Occupancies, a Class A or Class A assembly) as defined in the California Building Code.

- This project shall comply with California Fire Code Chapter 33 - Fire Safety During Construction and Demolition. These requirements include but are not limited to: Temporary Heating Equipment, Precautions Against Fire, Flammable and Combustible Liquids, Flammable Gases, Owners Responsibility for Fire Protection, Fire Reporting, Access for Fire Fighting, Means of Egress, Water Supply for Fire Protection, Standpipes, Automatic Fire Sprinkler Systems, Portable Fire Extinguishers, Motorized Construction Equipment, and Safeguarding Roofing Operations.

- Fire access to the project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.

****Substantial Remodel Defined -** The renovation of any structure, which combined with any additions to the structure, affects a floor area which exceeds fifty percent of the existing floor area of the structure within any 36-month period. When any changes are made in the building, such as walls, columns, beams or girders, floor or ceiling joists and coverings, roof rafters, roof diaphragms, foundations, piles or retaining walls or similar components, the floor area of all rooms affected by such changes shall be included in computing floor areas for the purposes of applying this definition. This definition does not apply to the replacement and upgrading of residential roof coverings.

Any revisions that include additional floor area, reduction of floor area, or modifications to existing or new walls, floors, ceilings, or roofs shall be submitted as revised drawings to the District for further review.

Thank you,

McKenna Ramiro
Fire Prevention Specialist
mramiro@smfd.org
Office: (415)231-3849 | Cell: (415)720-4620



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PREPARER SIGNATURE:

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KAUFMAN RESIDENCE
3 MARION AVENUE, SAUSALITO, CA
A.P.N. 065-311-038

FIRE PREVENTION REQUIREMENTS

A0.4

SANITARY SEWER REPLACEMENT REQUIREMENT LETTER



Via Electronic Transmission

January 29, 2020

Kimorey Real Estate /USA/Holding
500 Sansome Street #502
San Francisco, CA 94111-3239

SUBJECT: 3 Marion Avenue Lateral (SSL) Inspection
PASS, Private Common Sewer Lateral (PCSL)
Serving 1, 3, 5 Marion Avenue and 104 Hi Vista
Road Inspection Repairs & Replacement Requirement

Dear Property Owner:

The side sewer lateral (SSL) solely serving 3 Marion Avenue was inspected as required under, section 18.12.100 and 18.12.110 of the Sausalito Municipal Code when there is a property sale / or proposed construction project of \$50,000 or more, using a video camera along its length from the entry point (a cleanout located outside the structure foundation) through its connection to a private common sewer lateral which serves: 1 Marion Avenue, 5 Marion Avenue and 104 Hi Vista Road in addition to 3 Marion Avenue before connecting at the City mainline sewer manhole located under Edwards Avenue. A summary of the inspection is enclosed for your records.

Defects Noted SSL: No access cleanout (ACO) and no backwater prevention device (BWPD) located outside the building as required.

Based on this inspection you will be required to make the following improvements/modifications:

- 3 MARION AVENUE REQUIREMENTS:**
- Install one (1) access cleanout (ACO) as required on the SSL solely serving 3 Marion Avenue.
 - Install one (1) BWPD sewer relief device (SRD) on the ACO as required.

In order to complete the work, a plumbing permit is required. If additional work is being performed under a building permit, prior to requesting any rough framing, electrical, plumbing or mechanical inspections, the repairs of the sanitary sewer lateral must be completed and inspected by the City.

While funds are available, the City has a Sanitary Sewer Lateral Replacement Grant Program (LRGP). A party wishing to participate in the program is eligible for reimbursement up to 50% of the repair cost, not to exceed \$1000.00. LRGP applications (copy enclosed) are subject to approval by submitting all satisfactory documentation. Low interest loans are also available, should the required repair costs exceed \$2000.00 (loan applications available upon request).

Please be advised that it appears based on the lateral inspection that: wastewater from the dwelling 3 Marion Avenue flows continue north to the property at 1 Marion Avenue where both property flows join, then continue Northwest joining a 4-inch private common sewer lateral serving 104 Hi Vista Road

Administrative: (415) 289-4197
Fax: (415) 289-4198
Commissary Development: (415) 289-4199
Public Works Engineering: (415) 289-4208
Public Works Measurement: (415) 289-4209

Kimorey Real Estate /USA/Holding
3 Marion Avenue
January 29, 2020
Page 2

and 5 Marion Avenue before heading North flowing approximately 150-feet North before the public sewer main sewer manhole under Edwards Avenue.

Defects Noted PCSL: Medium joint offsets, a failing concrete patch repair, sewage leaving the invert of the PCSL and entering the surrounding soils, fractures, broken pipe and roots intruding the PCSL are documented.

The City recommends that verification of the existence of easements and shared maintenance agreements between the parties involved be made a part of the sale, that the number of dwellings sharing the common lateral be confirmed, and that all of the waste plumbing from each dwelling and those common laterals on other properties be repaired or replaced based on the inspection results. The City is available to assist you and your neighbors to determine what repairs or replacements are necessary to bring all of those facilities into compliance with City code.

- 1, 3, 5, MARION AVENUE & 104 HI VISTA ROAD PROPERTY OWNER PCSL REQUIREMENT**
- Replace the PCSL in its entirety located 183-feet downstream from the televising access point (ACO) at 3 Marion Avenue.
 - The 4-inch PCSL 4-inch cast iron property access cleanout (ACOP) is located behind the rock retaining wall located on Hi Vista Road across from 65 Edwards Avenue. The PCSL must be replaced from the ACOP to the City mainline with a City approved 6-inch pipe material.
 - This is an urgent matter and must be expedited immediately due to the exfiltration of sewage.

Please be advised that the City of Sausalito, in order to streamline procedure and reduce the City use of paper products will not be following with wet signed documents. The City shall send, all signed responses and supporting documents as attachments via email. For all practical purposes said responses shall suffice as Official City of Sausalito documents. With this new change it is incumbent upon the primary recipient Kimorey Real Estate /USA/ Holding LLC and / or the agent on behalf of Kimorey Real Estate /USA/ Holding LLC to provide the City with the owners of 1 Marion Avenue, 5 Marion Avenue and 104 Hi Vista Road email address or email addresses, mailing address and telephone numbers. Once the City is provided the required additional email address and / or addresses for the owners of 1 Marion Avenue, 5 Marion Avenue and 104 Hi Vista Road, a copy of this Official City of Sausalito response and its supporting documents shall be transmitted to them by City of Sausalito staff.

For questions or concerns regarding the sewer lateral report, repairs or replacements, please feel free to contact me at 415-289-4192 or email me at patrick@sausalito.gov. If you have questions regarding the grant program, please feel free to contact Megan Lockett the City of Sausalito Department of Public Works Permit Technician at 415-289-4106 or email Megan at mlockett@sausalito.gov.

Sincerely,
City of Sausalito

Patrick A. Guasco
Sewer Systems Coordinator, City of Sausalito

SEWER REPLACEMENT PROPOSAL



MARCH 5, 2020

PAGE 1 OF 3

CUSTOMER NAME:
Linda Saint Amant, Realtor
linda.saintamant@hottheyrety.com
415.990.2154

PROJECT ADDRESS:
1, 3, 5 Marion Court
104 Hi Vista Road
Sausalito, CA 94965

PROPOSAL/CONTRACT

HCT's Trenchless Titan will furnish labor, material and equipment to complete the following work for the property located at 1, 3, 5 Marion Court and 104 Hi Vista Road per the City of Sausalito's letter dated January 29, 2020 and the "Scope" below. All work will be completed in a workmanlike manner, according to standard building practices and in compliance with the applicable sanitary district's specifications. Contractor and Owner agree that the following scope of work be performed:

- Scope of Work for the Sum of \$28,250.00:**
- Replace the existing 4" common sanitary sewer lateral pipe with new 6" HDPE pipe from the 183ft mark to the sewer main on via the pipe bursting and open trench methods.
 - Install a new 6" cleanout behind the rock retaining wall on Hi Vista Road.
 - Obtain the necessary standard sewer/encroachment permits. HCTT pays up to \$250.00 for the sewer permit and up to \$350.00 for the encroachment permit; any balance over the allotment will be billed at final invoice. No credits for fees not paid or permits not obtained.

Note: Although HCTT is experienced in concrete excavation/restoration, HCTT is not a concrete specialist. Owners/Contractor is encouraged to contract a concrete specialist at their own expense should the existing concrete require special attention.

If the sewer lateral of the subject property enters, runs through, or ends in a neighboring property it is the client/homeowner's property owner responsibility to obtain permission from said neighbor(s) to gain access to the work area upon execution of the HCTT Contract. By executing the Contract, client/homeowner/property owner is guaranteeing that permission has been granted by the neighbor(s) impacted by the sewer lateral install and/or repair. Hold up time due to miscommunication/non communication with neighbor(s) will be subject to the standard HCTT time and material charge of \$453.35 per hour the crew is held up. If HCTT must demolish and re-mobilize due to issues with neighbor(s), HCTT will charge for an eight(8) hour stay at the standard HCTT time and material charge of \$453.35 per hour for the mobilization and re-mobilization. The charges, if any, will be in addition to the Contract amount and will be reflected in the final invoice.

**After excavating and exposing the way at the sewer main and/or common lateral, it may require the installation of a new 4" x 4" pipe with result in an additional \$450.00 charge, a new 6" x 4" pipe will result in an additional \$650.00 charge, a new 8" x 4" pipe will result in a \$950.00 charge and a 12" pipe will result in a \$1,250.00 charge. The applicable fee will be charged to the homeowner without prior consent; however understands and agrees to the possibility of the requirement and the charge.*

A \$1,500.00 deposit/mobilization fee to be made to HARDIMAN CONSTRUCTION upon acceptance of Contract and prior to commencement of work. Upon completion of authorized, approved and performed work, the balance is to be paid to HARDIMAN CONSTRUCTION, INC. in full via cash, check, or money order. If payment is not made within 3 days of completion HCTT may charge interest and late penalties allowed by law. A 10% deposit will be provided upon payment in full. Refunds due to cancellations will be less fees charged/retained by the City, County or Sanitary District for permits plus a 25% administration fee to HCTT.

HCTT requires access to the work area for the duration of the project for parking construction vehicles/equipment and delivery/storage of materials, as well as an adequate water supply on or adjacent to the property and a sufficient and reliable electrical power source to perform the installation and perform site restoration at no charge to contractor. Arranging parking/storage and access/entry for the project is the responsibility of the homeowner/client.

**Insurance: Client will carry all necessary CDC, fire, flood and all general homeowner insurance.*

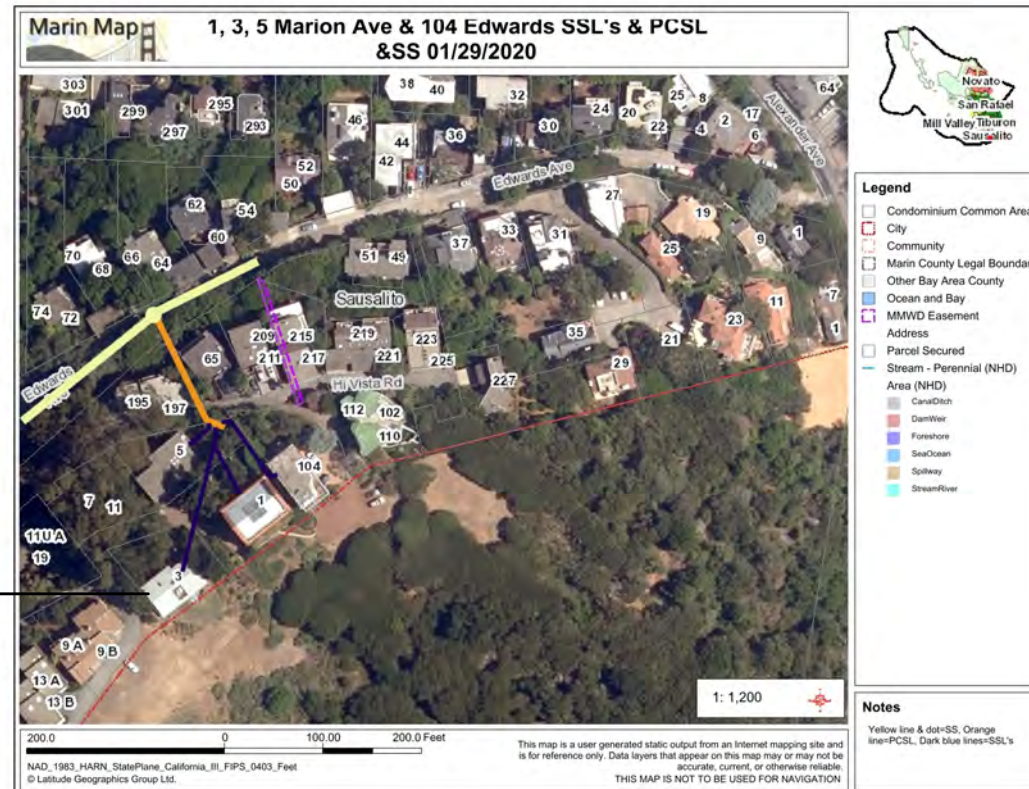
**Delays by Owner or others in the progress of the project will result in additional charges and billed on a time and material basis at the rate of \$453.35/hr.*

**If this Contract is not signed and received by HCTT within 15 days of the above date, HCTT reserves the right to increase the bid or withdraw the Proposal/Contract.*

**Customer is the same as client, homeowner and/or contractor.*

Contractor Signature:
Thomas Hardiman
Owner Signature:
Linda Saint Amant

hardimanconst@pacbell.net 3 Heather Way, Larkspur, CA 94939 415-924-2555 415-924-0155 FAX www.TrenchlessTitan.com



3 MARION AVENUE



PREPARER: MCARDLE STUDIO
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Sausalito, CA 94966
phone: 415.713.3559
email: sean@mcardle.com
website: www.mcardle.design
CA GC Licence: #1021642
Sausalito Lic: #02007499

PREPARER SIGNATURE:

OWNER: KAUFMAN
contact: Dan & Julie Kaufman
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818.482.9516
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email: Kaufman.JL@gmail.com

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contact: John Pheif
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415.381.8150
phone: john@pheifengineering.com
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8	4.11.21	NEIGHBORHOOD NOTICE

KAUFMAN RESIDENCE
3 MARION AVENUE, SAUSALITO, CA
A.P.N. 065-311-038

SANITARY SEWER REQUIREMENTS

A0.5



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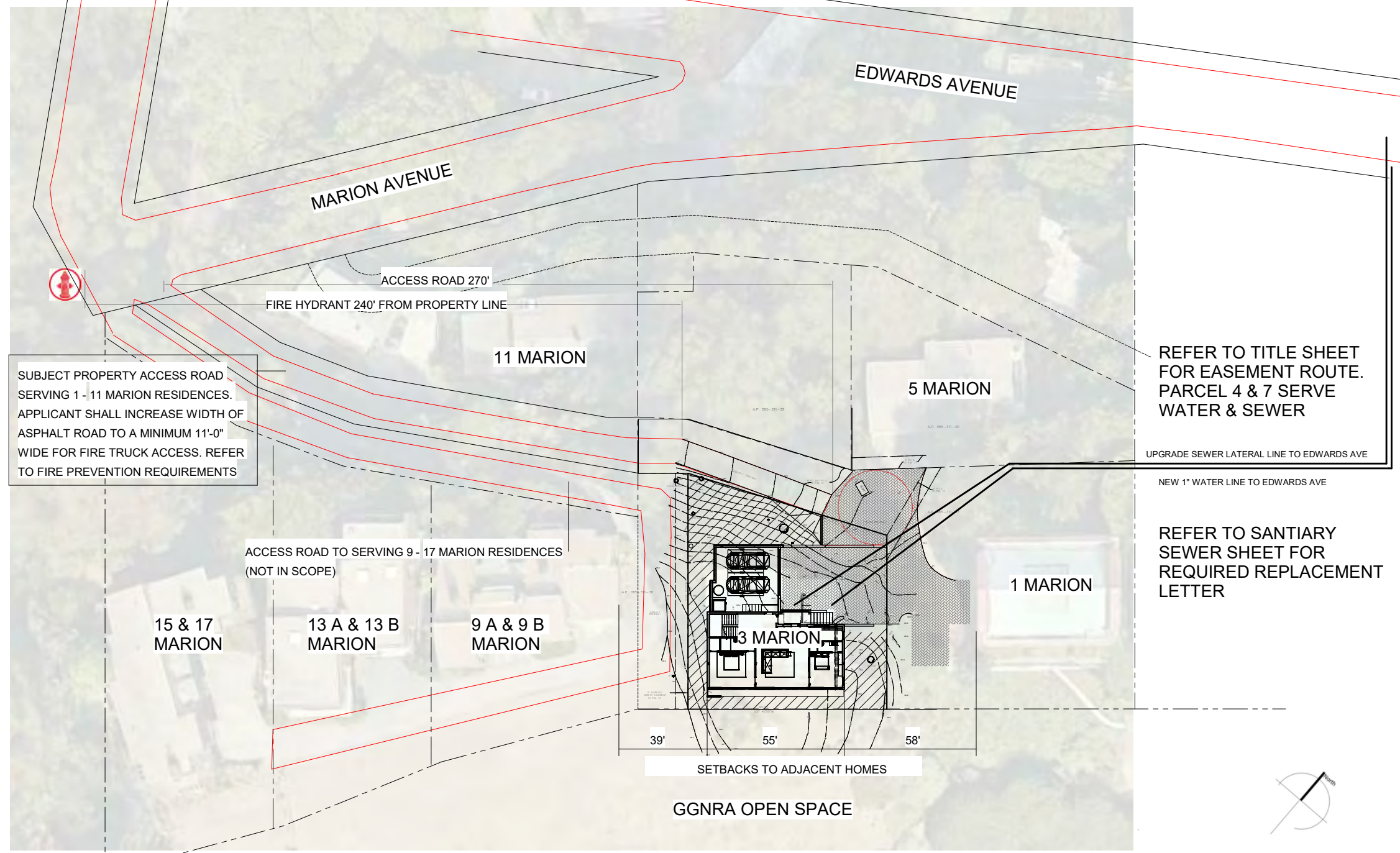
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KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

ACCESS / UTILITY MAP

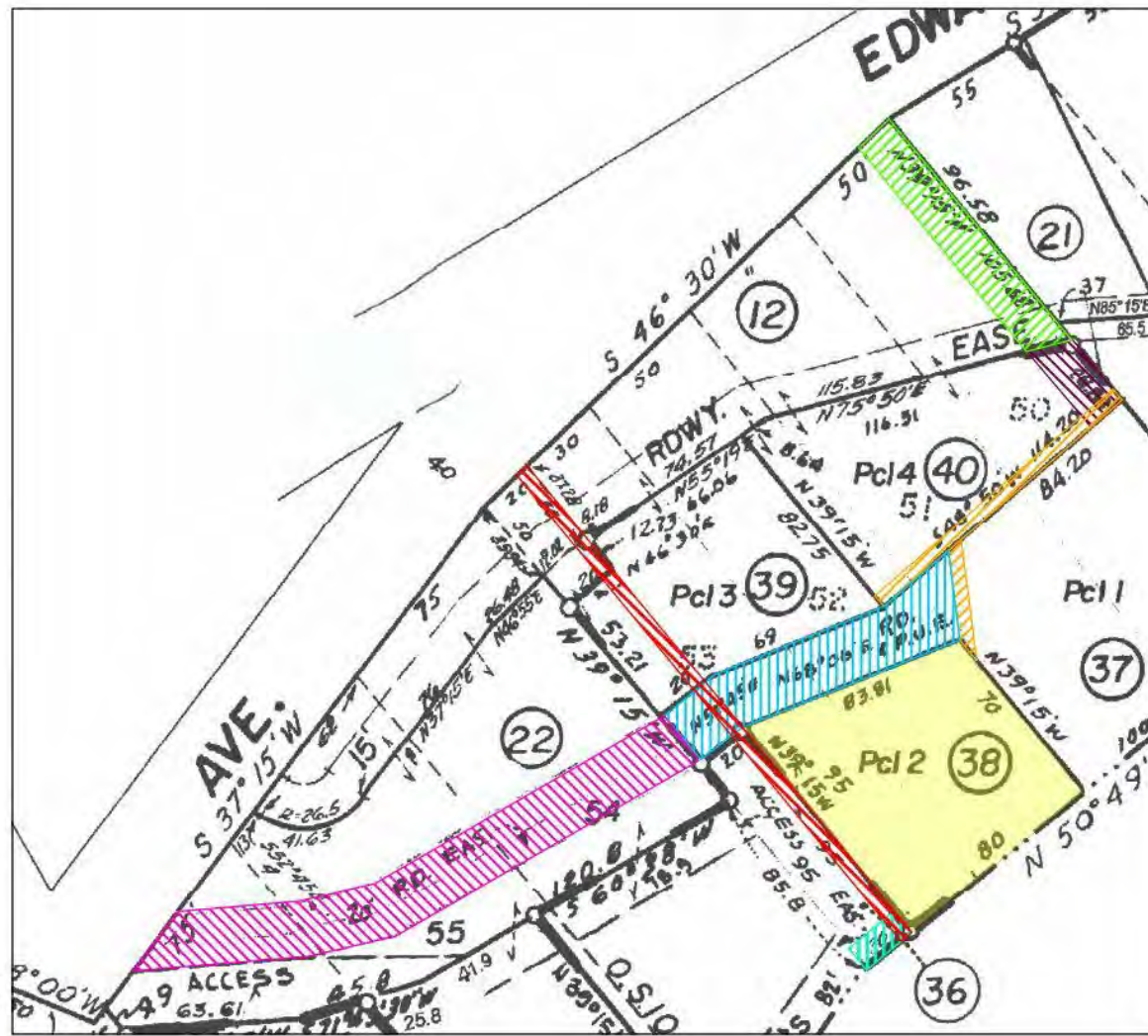
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SUBJECT PROPERTY ACCESS ROAD SERVING 1 - 11 MARION RESIDENCES. APPLICANT SHALL INCREASE WIDTH OF ASPHALT ROAD TO A MINIMUM 11'-0" WIDE FOR FIRE TRUCK ACCESS. REFER TO FIRE PREVENTION REQUIREMENTS

VICINITY PLAN / PROPOSED

SCALE: 1" = 20'-0"



Legend

- PARCEL ONE - Property In Question, Fee
- PARCEL TWO - Easement
- PARCEL THREE - Easement
- PARCEL FOUR - Easement
- PARCEL FIVE - Easement
- PARCEL SIX - Easement
- PARCEL SEVEN - Easement
- PARCEL EIGHT - Easement
- Item No. 4 - Easement for public utilities
- In 02/20/1973 Bk2658 Pg342 of Official Records Affects said portion as described in the document
- Item No. 6 - Easement for Public utilities In Bk09 Pg52 of Parcel Map Affects said portion as shown on the Map

PARCEL ONE / 3 MARION AVENUE, SAUSALITO, CA 94965. APN: 065-311-38
NET AREA OF PARCEL (DEFINED 10.88.040) = 6,600 SF

A FEE AS TO PARCEL ONE, AN EASEMENT AS TO PARCEL(S) TWO, THREE, FOUR, FIVE, SIX, SEVEN AND EIGHT.
 PARCEL 2 AS SHOWN UPON "PARCEL MAP LAND DIVISION OF A PORTION OF LOTS 50, 51, 52, 53 MAP OF EDWARDS-HARRISON TRACT (1RM3) BEING A PORTION OF LANDS OF HYNES (2658 O.R. 342 AND 2686 O.R. 602) LYING IN THE CITY OF SAUSALITO, MARIN CO., CALIFORNIA", FILED JANUARY 3, 1974 IN VOLUME 9 OF PARCEL MAPS, AT PAGE 52, MARIN COUNTY RECORDS.

PARCEL TWO AN EASEMENT FOR INGRESS AND EGRESS PURPOSES OVER AND ACROSS THE NORTHEASTERN 5 FEET OF THE SOUTHWESTERN 20 FEET OF LOT 53, AS SHOWN ON THE MAP ENTITLED, "MAP OF EDWARDS-HARRISON TRACT, OLD SAUSALITO, FILED IN VOLUME 1 OF MAPS, AT PAGE 3, MARIN COUNTY RECORDS.

PARCEL THREE A RIGHT OF WAY FOR INGRESS AND EGRESS OVER THE SOUTHEASTERLY 10 FEET OF THE SOUTHWESTERLY 20 FEET OF LOT 53 AS SAID LOT IS SHOWN UPON THAT CERTAIN MAP ENTITLED, "MAP OF THE EDWARDS HARRISON TRACT, OLD SAUSALITO, MARIN CO., CAL.", FILED FEBRUARY 24, 1886 IN VOLUME 1 OF MAPS, AT PAGE 3, MARIN COUNTY RECORDS. EXCEPTING THEREFROM THE PORTION THEREOF LYING WITHIN PARCEL NO. 1 HEREIN ABOVE.

PARCEL FOUR A RIGHT OF WAY FOR SEWER AND WATER PURPOSES AND RIGHTS INCIDENTAL THERETO OVER THE FOLLOWING DESCRIBED PROPERTY: A STRIP OF LAND OF THE UNIFORM WIDTH OF 15 FEET LYING CONTIGUOUS TO AND SOUTHWESTERLY OF THE NORTHEASTERLY BOUNDARY LINE OF LOT 50, AS SHOWN UPON THAT CERTAIN MAP ENTITLED, "MAP OF THE EDWARDS-HARRISON TRACT, OLD SAUSALITO, MARIN CO., CAL.", FILED FEBRUARY 24, 1886 IN VOLUME 1 OF MAPS, AT PAGE 3, MARIN COUNTY RECORDS, AND EXTENDING FROM THE SOUTHEASTERLY BOUNDARY LINE, AS THE SAME IS SHOWN UPON SAID FILED MAP, SOUTHEASTERLY, 105 FEET, MORE OR LESS, TO THE SOUTHEASTERLY BOUNDARY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS PARCEL ONE IN DEED FROM PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION, TO B. R. LOGAN, RECORDED OCTOBER 3, 1956 IN BOOK 1063 OF OFFICIAL RECORDS, AT PAGE 51, MARIN COUNTY RECORDS.

PARCEL FIVE AN EASEMENT FOR ROADWAYS AND UTILITY PURPOSES 20 FEET IN WIDTH FROM THE CENTERLINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHWESTERN CORNER OF MARION AVENUE, SAID POINT BEING DISTANT NORTH 37° 15' EAST 19.3 FEET FROM THE MOST WESTERLY CORNER OF LOT 56 AS SHOWN ON THE MAP ENTITLED, "MAP OF EDWARDS-HARRISON TRACT, OLD SAUSALITO", FILED IN MAP BOOK 1, AT PAGE 3; THENCE NORTH 85° 12' 30" EAST 58.6 FEET, NORTH 77° 00' EAST 30.0 FEET; THENCE NORTH 59° 54' 15" EAST 124.726 FEET TO THE NORTHEASTERLY LINE OF LOT 54, MAP ABOVE REFERRED TO. SAID EASEMENT IS FOR THE BENEFIT OF THE FOLLOWING DESCRIBED PARCEL OF LAND AND ANY SUBSEQUENT SUBDIVISION THEREOF; PARCELS 1, 2, 3 AND 4 AS SHOWN UPON "PARCEL MAP LAND DIVISION OF PORTION OF LOT 50, 51, 52, 53 MAP OF EDWARDS-HARRISON TRACT (1 M 3) BEING A PORTION OF LANDS OF HYNES (2558 OR 342 AND 2686 OR 602) LYING IN THE CITY OF SAUSALITO, MARIN CO., CALIF.", FILED JANUARY 3, 1974 IN VOLUME 9 OF PARCEL MAPS, AT PAGE 52, MARIN COUNTY RECORDS.

PARCEL SIX AN EASEMENT FOR ROADWAY AND PUBLIC UTILITY PURPOSES OVER THAT PORTION OF PARCEL 1, AS SHOWN UPON "PARCEL MAP LAND DIVISION OF A PORTION OF LOTS 50, 51, 52, 53 MAP OF EDWARDS HARRISON TRACT (1 R.M. 3) BEING A PORTION OF LANDS OF HYNES (2658 O.R. 342 AND 2686 O.R. 602) LYING IN THE CITY OF SAUSALITO, MARIN CO., CALIFORNIA", FILED JANUARY 3, 1974 IN VOLUME 9 OF PARCEL MAPS, AT PAGE 52, MARIN COUNTY RECORDS, DESIGNATED "ROAD AND P.U.E. PART OF PARCEL 1".

PARCEL SEVEN AN EASEMENT FOR PUBLIC UTILITY PURPOSES 5 FEET IN WIDTH OVER THAT PORTION OF PARCELS 1 AND 4, AS SHOWN UPON "PARCEL MAP, LAND DIVISION OF A PORTION OF LOTS 50, 51, 52, 53 MAP OF EDWARDS-HARRISON TRACT (1 R.M.3) BEING A PORTION OF LANDS OF HYNES (2658 O.R. 342 AND 2686 O.R. 602) LYING IN THE CITY OF SAUSALITO, MARIN CO., CALIFORNIA", FILED JANUARY 3, 1974 IN VOLUME 9 OF PARCEL MAPS, AT PAGE 52, MARIN COUNTY RECORDS, DESIGNATED "5' P.U.E."

PARCEL EIGHT AN EASEMENT FOR PUBLIC UTILITY PURPOSES 15 FEET IN WIDTH OVER THAT PORTION OF PARCEL 4, AS SHOWN UPON "PARCEL MAP LAND DIVISION OF A PORTION OF LOTS 50, 51, 52, 53 MAP OF EDWARDS HARRISON TRACT (1 R.M. 3) BEING A PORTION OF LANDS OF HYNES (2658 O.R. 342 AND 2686 O.R. 602) LYING IN THE CITY OF SAUSALITO, MARIN CO., CALIFORNIA", FILED JANUARY 3, 1974 IN VOLUME 9 OF PARCEL MAPS, AT PAGE 52, MARIN COUNTY RECORDS, DESIGNATED "15' P.U.E."

TITLE REPORT / ADJACENT EASEMENTS



PREPARER: MCARDLE STUDIO
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 Sausalito, CA 94966
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PREPARER SIGNATURE:


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LAND SURVEY: LAWRENCE P DOYLE
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KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

ACCESS / UTILITY EASEMENTS

A0.7



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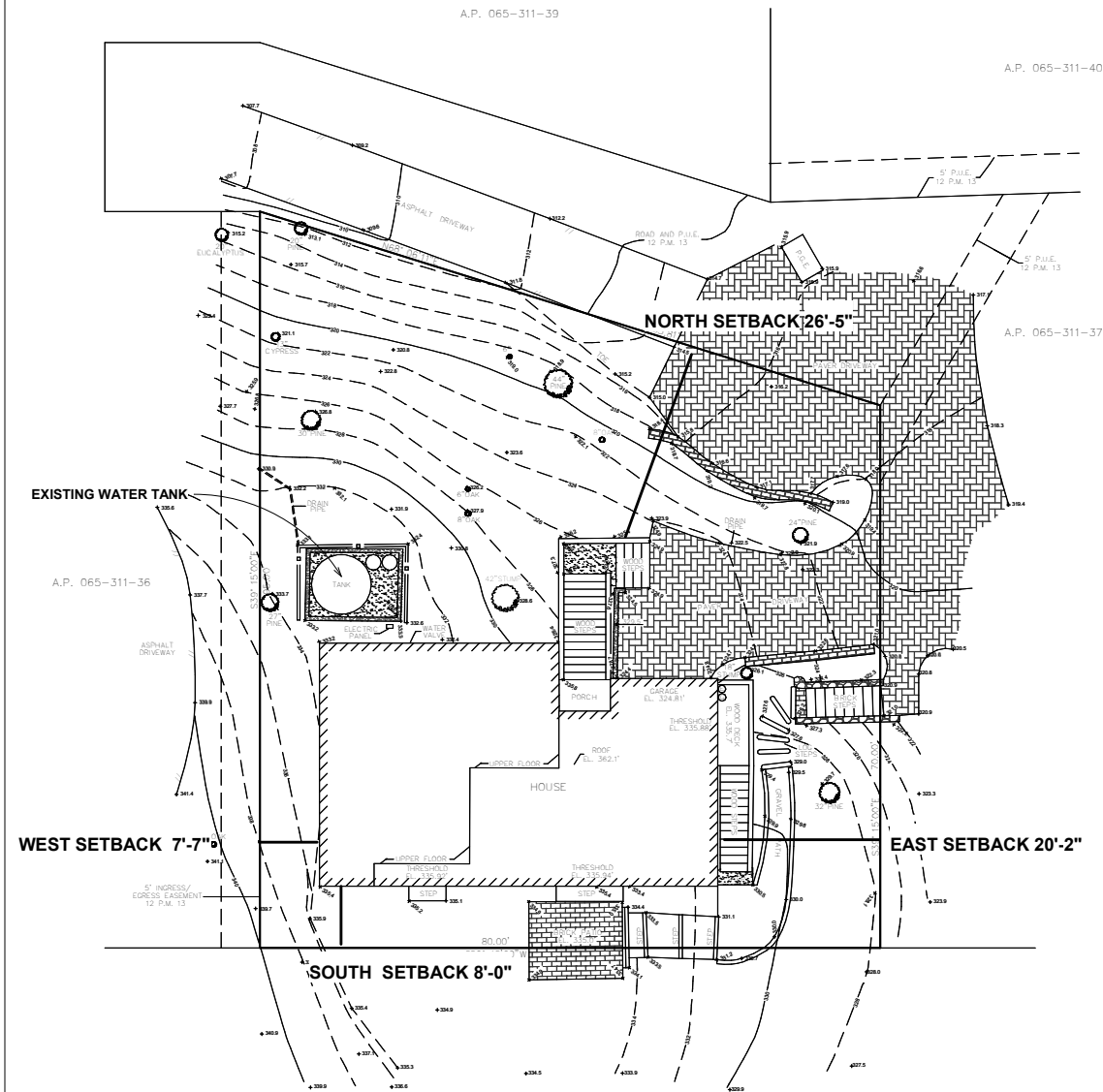
KAUFMAN RESIDENCE
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SITE PLAN / EXISTING & PROPOSED

A0.8

PLAN NORTH

A.P. 065-311-39



EXISTING SITE

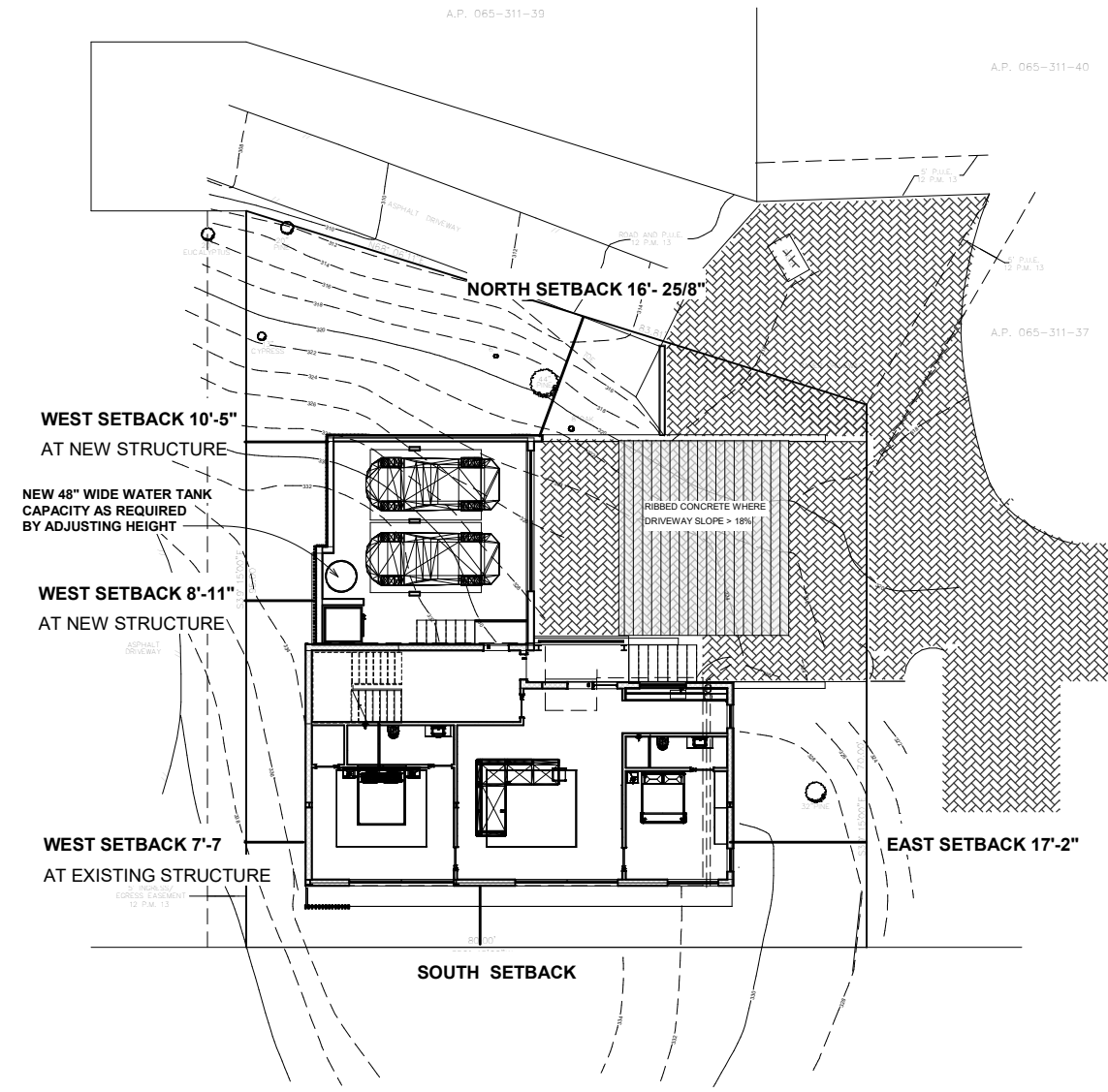
SCALE: 1" = 10'

EXISTING PROPERTY LINE SETBACKS

SETBACK	EXISTING	EXISTING
NORTH SETBACK	EXISTING	26' - 5"
SOUTH SETBACK	EXISTING	8' - 0"
EAST SETBACK	EXISTING	20' - 2"
WEST SETBACK	EXISTING	7' - 7"

PLAN NORTH

A.P. 065-311-39

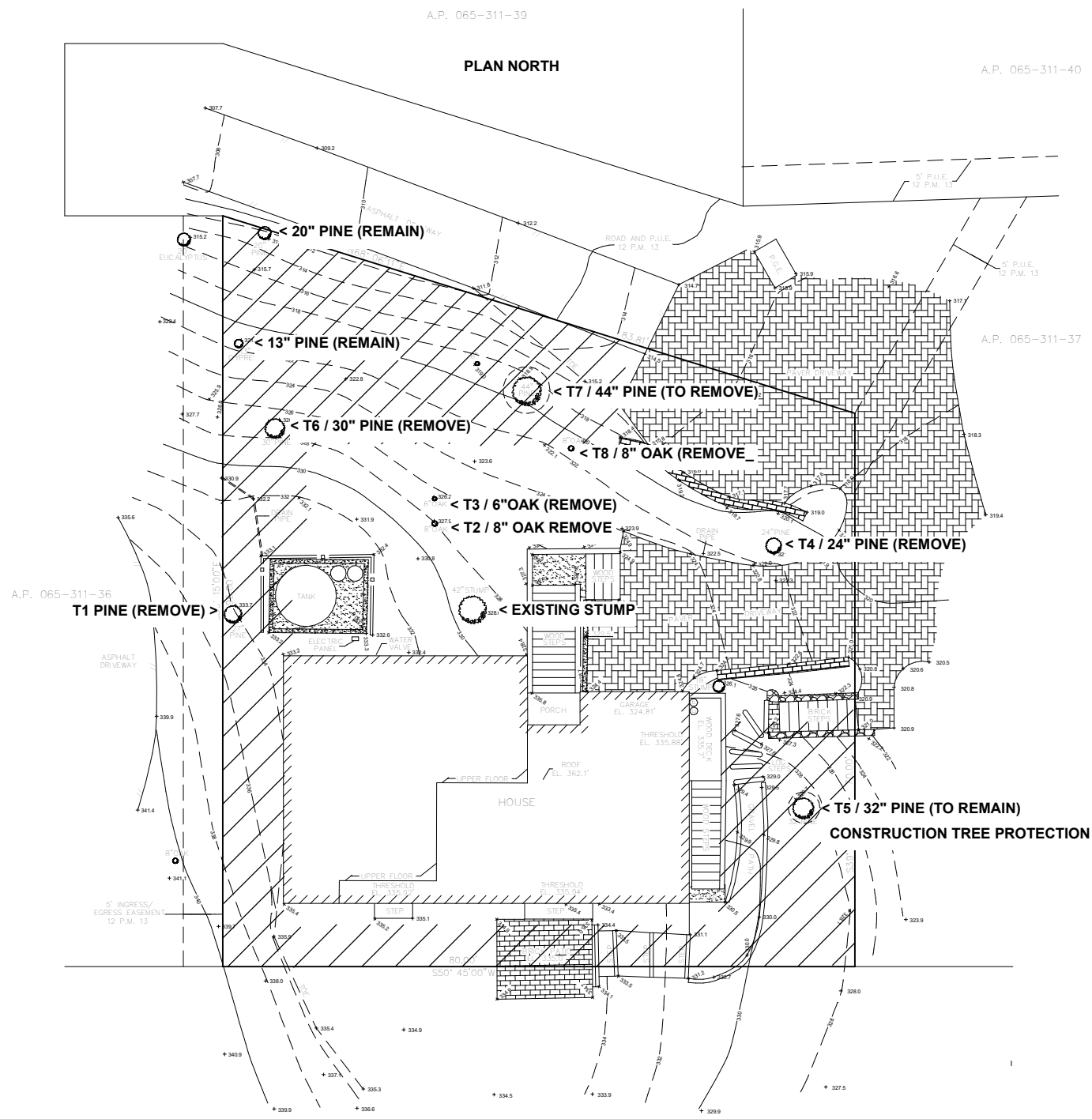


PROPOSED SITE

SCALE: 1" = 10'

PROPOSED PROPERTY LINE SETBACKS

SETBACK	PROPOSED	PROPOSED
NORTH SETBACK	PROPOSED	16' - 2 5/8" (CHANGED WITHIN ALLOWABLE)
SOUTH SETBACK	PROPOSED	8' - 0" (NO CHANGE)
EAST SETBACK	PROPOSED	17' - 2" (CHANGED WITHIN ALLOWABLE)
WEST SETBACK	PROPOSED	7' - 7" AT EXISTING STRUCTURE & 8'-11" AT NEW GARAGE



LEGEND:
 /// = HATCHED AREA INDICATES AREA TO REMAIN UNCHANGED IN PROPOSED DESIGN.
 T= REFER TO ARBORIST REPORT FOR COORESPONDING TREES.

SITE SURVEY / EXISITNG

SCALE: 1/8" = 1'-0"



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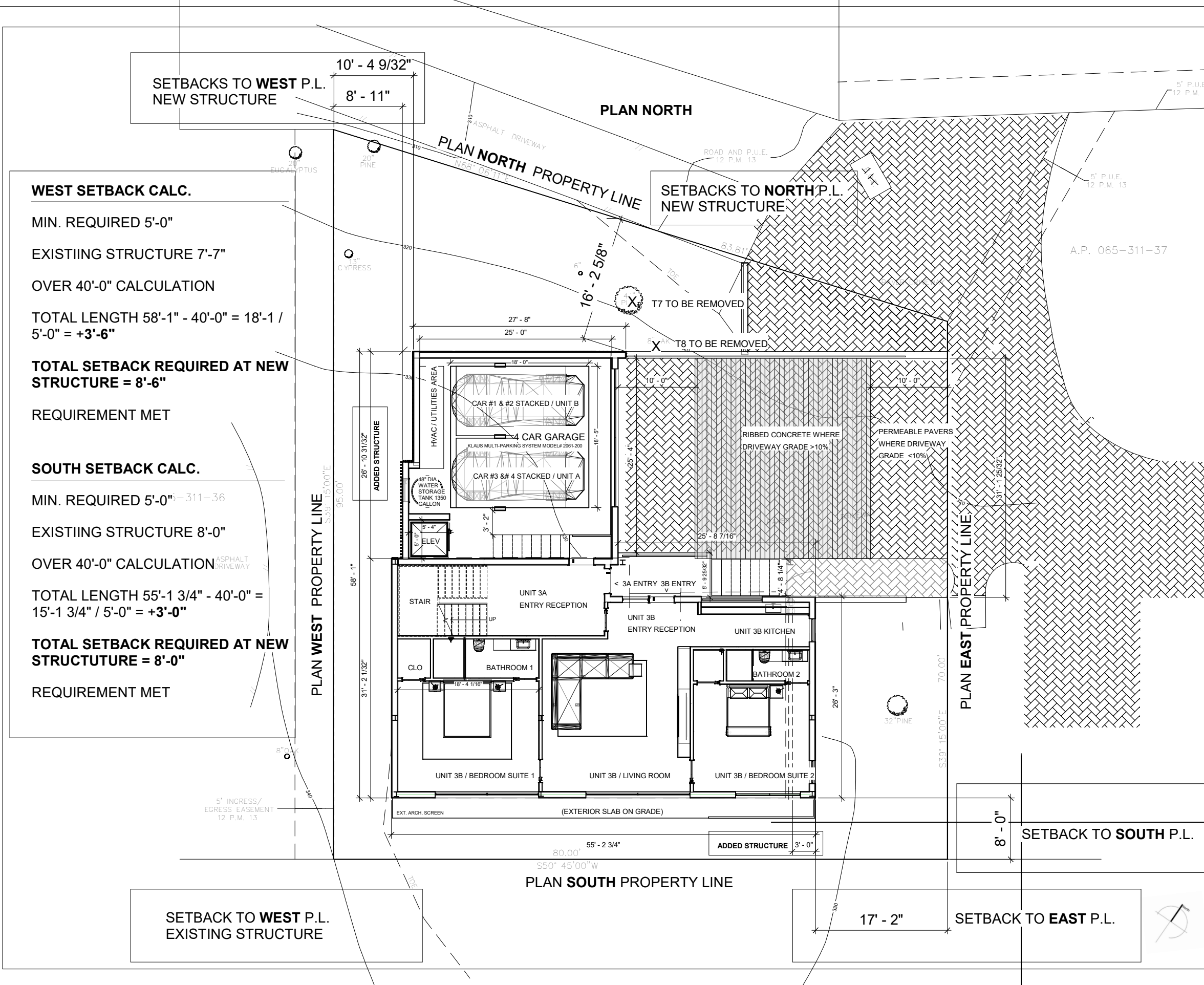
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SITE SURVEY / EXISTING
 STRUCTURE & TREES

A0.9



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SITE PLAN / SETBACKS /
 PROPOSED

A0.10

WEST SETBACK CALC.
 MIN. REQUIRED 5'-0"
 EXISTING STRUCTURE 7'-7"
 OVER 40'-0" CALCULATION
 TOTAL LENGTH 58'-1" - 40'-0" = 18'-1" /
 5'-0" = +3'-6"
**TOTAL SETBACK REQUIRED AT NEW
 STRUCTURE = 8'-6"**
 REQUIREMENT MET

SOUTH SETBACK CALC.
 MIN. REQUIRED 5'-0" - 311-36
 EXISTING STRUCTURE 8'-0"
 OVER 40'-0" CALCULATION
 TOTAL LENGTH 55'-1 3/4" - 40'-0" =
 15'-1 3/4" / 5'-0" = +3'-0"
**TOTAL SETBACK REQUIRED AT NEW
 STRUCTURE = 8'-0"**
 REQUIREMENT MET

SETBACK TO WEST P.L.
 EXISTING STRUCTURE

SETBACK TO SOUTH P.L.
 8'-0"

SETBACK TO EAST P.L.
 17'-2"



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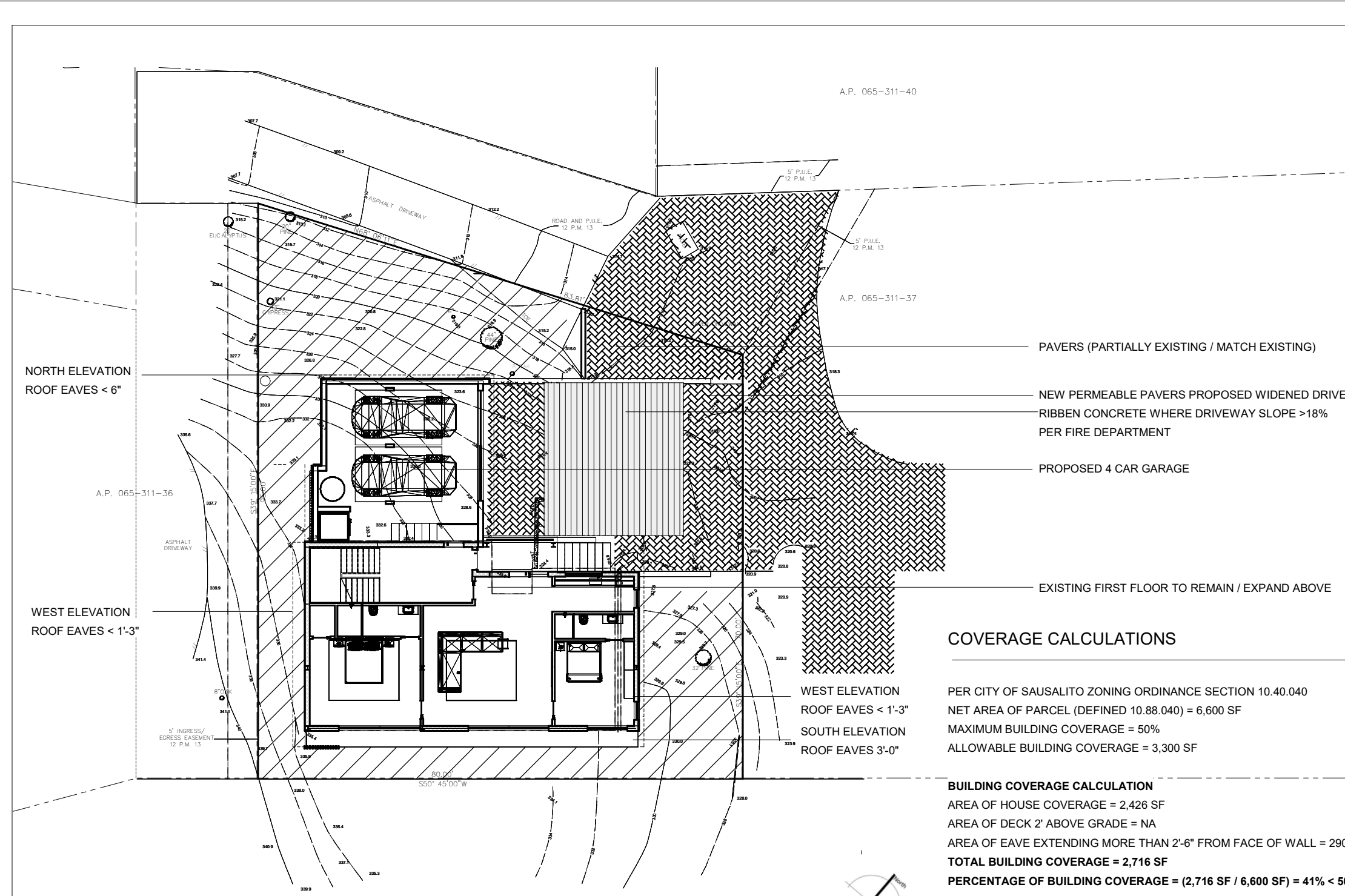
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 3 MARION AVENUE, SAUSALITO, CA
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COVERAGES CALCULATIONS / PROPOSED

A0.11



NORTH ELEVATION
 ROOF EAVES < 6"

WEST ELEVATION
 ROOF EAVES < 1'-3"

PAVERS (PARTIALLY EXISTING / MATCH EXISTING)

NEW PERMEABLE PAVERS PROPOSED WIDENED DRIVEWAY
 RIBBEN CONCRETE WHERE DRIVEWAY SLOPE > 18%
 PER FIRE DEPARTMENT

PROPOSED 4 CAR GARAGE

EXISTING FIRST FLOOR TO REMAIN / EXPAND ABOVE

WEST ELEVATION
 ROOF EAVES < 1'-3"
 SOUTH ELEVATION
 ROOF EAVES 3'-0"

COVERAGES CALCULATIONS

PER CITY OF SAUSALITO ZONING ORDINANCE SECTION 10.40.040
 NET AREA OF PARCEL (DEFINED 10.88.040) = 6,600 SF
 MAXIMUM BUILDING COVERAGE = 50%
 ALLOWABLE BUILDING COVERAGE = 3,300 SF

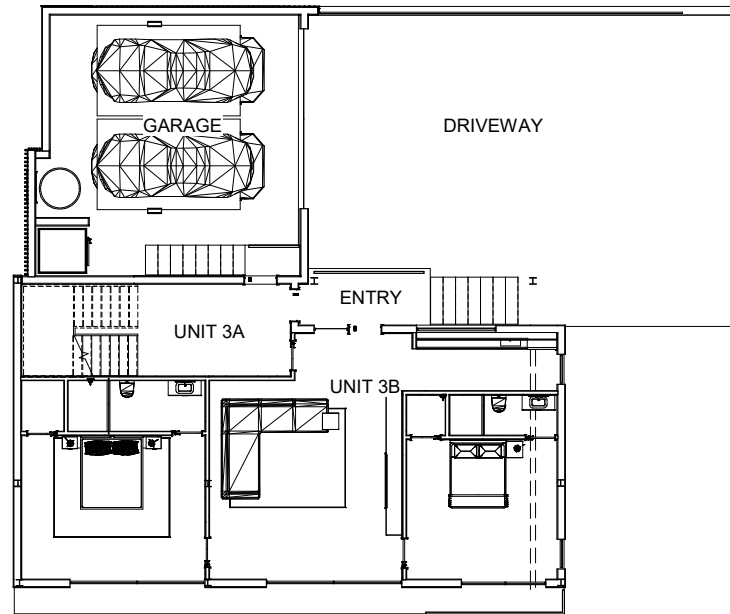
BUILDING COVERAGE CALCULATION
 AREA OF HOUSE COVERAGE = 2,426 SF
 AREA OF DECK 2' ABOVE GRADE = NA
 AREA OF EAVE EXTENDING MORE THAN 2'-6" FROM FACE OF WALL = 290 SF
TOTAL BUILDING COVERAGE = 2,716 SF
PERCENTAGE OF BUILDING COVERAGE = (2,716 SF / 6,600 SF) = 41% < 50% MAX

IMPERVIOUS SURFACE COVERAGE
 AREA OF PARCEL = 6,600 SF
 MAXIMUM IMPERVIOUS SURFACE AREA = 75%
 ALLOWABLE IMPERVIOUS AREA = 4,950 SF
 AREA OF DRIVEWAY = 1,456 SF
 AREA OF ADDITIONAL IMPERVIOUS = NA
 STRUCTURES NOT INCLUDED IN BUILDING COVERAGE CALCULATIONS = NA
TOTAL IMPERVIOUS SURFACE COVERAGE = 4,172 SF
PERCENTAGE OF IMPERVIOUS SURFACE = (4,172SF / 6,600 SF) = 63% < 75% MAX

COVERAGES SITE PLAN / PROPOSED

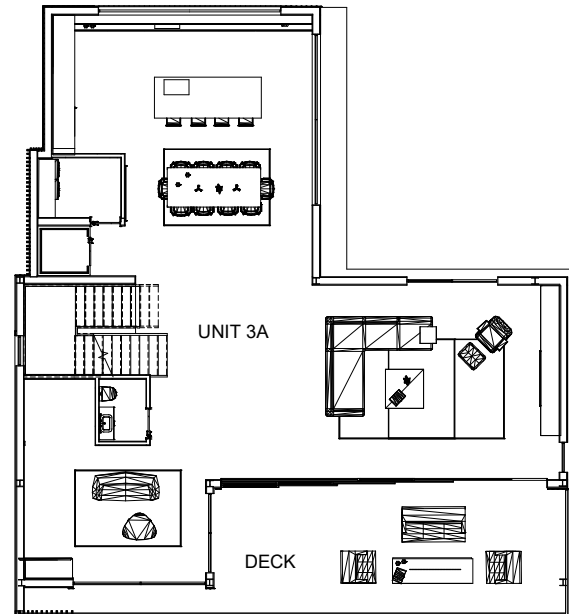
SCALE: 1/8" = 1'-0"

LEGEND:
 /// = HATCHED AREA INDICATES AREA TO REMAIN UNCHANGED.

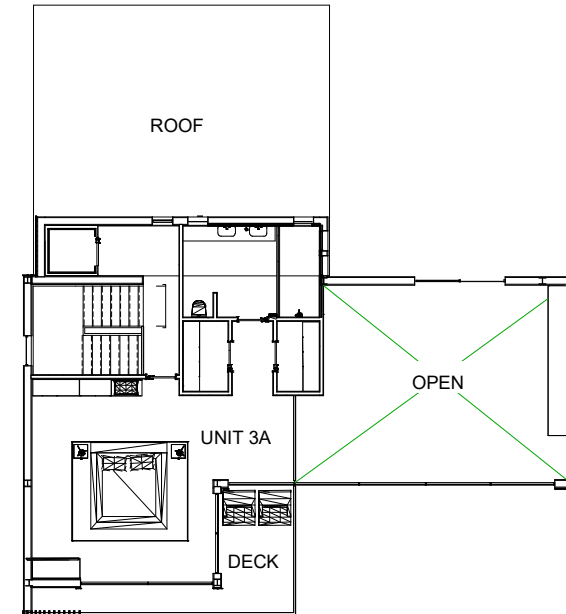


FIRST FLOOR / UNIT 3B

SCALE: 1/8" = 1'-0"



SECOND FLOOR / UNIT 3A



THIRD FLOOR / UNIT 3A

FLOOR AREA RATIO CALCULATION

PER CITY OF SAUSALITO ZONING ORDINANCE SECTION 10.40.040
 MAXIMUM ALLOWABLE (FAR)= 65%
 NET AREA OF PARCEL (DEFINED 10.88.040) = 6,600 SF
 ALLOWABLE FAR = 4,290 SF

UNIT 3A (UPPER UNIT)
 FIRST FLOOR ENTRY VESTIBULE = 120 SF
 SECOND FLOOR = 1,715 SF
 THIRD FLOOR = 720 SF
 THIRD FLOOR OPEN (OPEN LOFT AREA 50%) = 225 SF
UNIT 3A / SUBTOTAL = 2,780 SF

UNIT 3B (LOWER UNIT)
 FIRST FLOOR = 1,135 SF
 UTILITIES / WATER TANK = 150 SF
UNIT 3B / SUBTOTAL = 1,285 SF

ELEVATOR SHAFT = 25 SF
 STAIR SHAFT = 125 SF
 GARAGE = 500 SF (ALLOWANCE)

TOTAL FLOOR AREA = 4,215 SF
FLOOR AREA RATIO (FAR) (4,215 / 6,600 SF) = 64% < 65% MAX.



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**FLOOR AREA CALCULATIONS
 / PROPOSED**

A0.12



VIEW / DRIVEWAY ENTRY NORTH EAST CORNER



VIEW / SOUTH WEST CORNER



VIEW / SOUTH FACADE



VIEW / SOUTH FACADE FROM GGNRA



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PHOTOGRAPHS / EXISTING



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SOUTH SECTION /
 ELEVATION FROM GGNRA

A0.14



SOUTH FACADE FROM GGNRA / EXISTING

39' SETBACK TO
 9 MARION/ WEST

55' WIDTH OF 3 MARION

58' SETBACK TO
 1 MARION / EAST

NO PROPOSED CHANGES EAST & WEST STRUCTURE SETBACKS



SOUTH FACADE FROM GGNRA / PROPOSED



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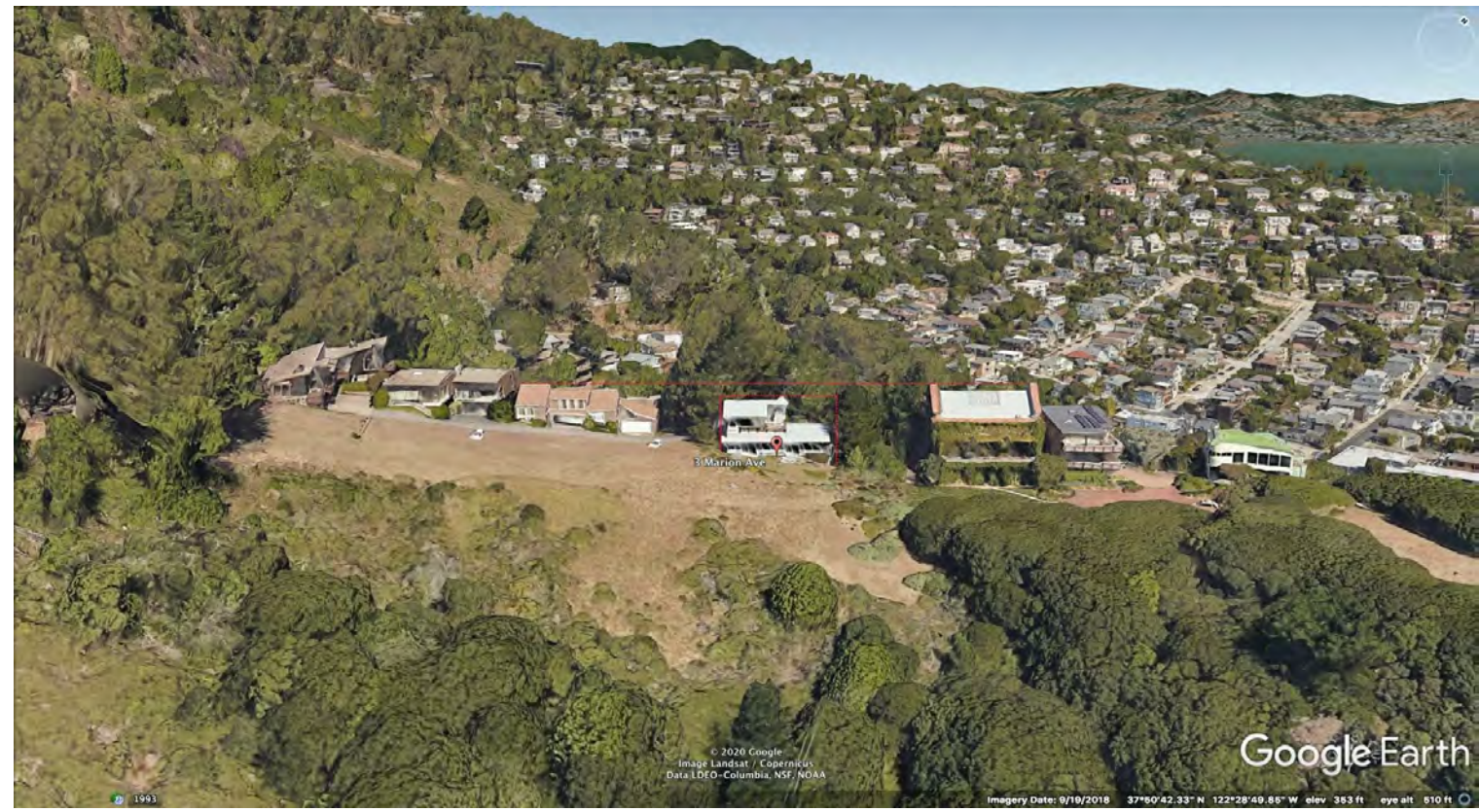
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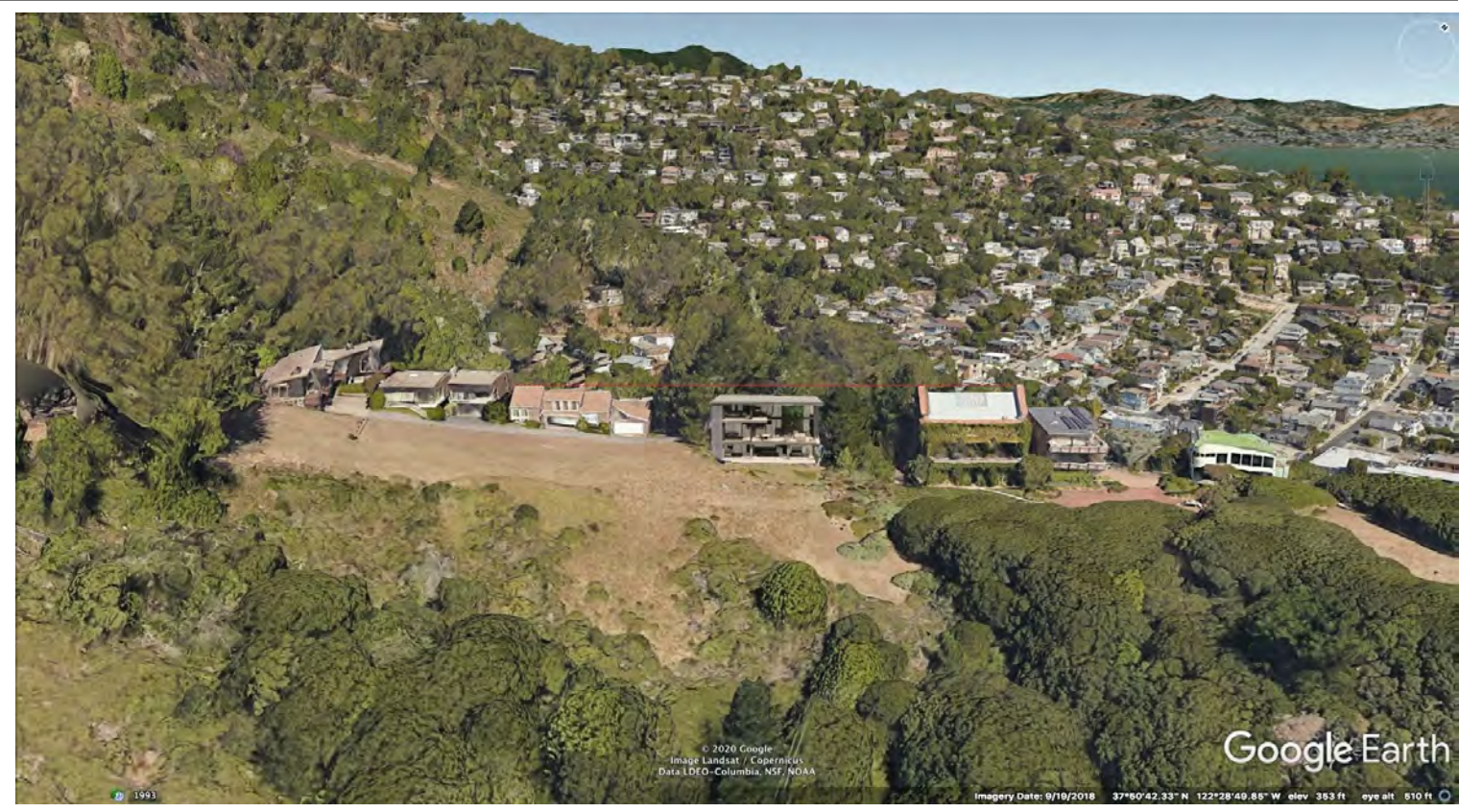
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AERIAL / EXISTING & PROPOSED

A0.15



AERIAL / EXISTING



AERIAL / PROPOSED



DEMOLITION CALCULATIONS

CALCULATION 1: The lineal footage of all interior and exterior walls of the structure (all levels) and the lineal footage of the "removal, replacement, renovation, or alteration" of the interior and exterior walls incrementally or cumulative over a three-year period (not only the removal of such elements) including the requested demolition for the project. This should be expressed as both numerical figures and a percentage of the "removal, replacement, renovation, or alteration" vs the total.

EXTERIOR WALLS	345' LF
INTERIOR WALLS	175' LF

TOTAL CALCULATION 1 **520' LF**

PROPOSED "REMOVAL, REPLACEMENT, RENOVATION OR ALTERATION" 220' LF = 42.31%

CALCULATION 2: The square footage area of all floors, ceilings and roofs of the structure (both levels) and the square footage area of the "removal, replacement, renovation, or alteration" of the floors, ceilings and roofs incrementally or cumulative over a three-year period (not only the removal of such elements). This should be expressed as both numerical figures and a percentage of the "removal, replacement, renovation, or alteration" vs the total.

FLOORS	2,068 SF
CEILINGS	2,068 SF
ROOFS	2,023 SF

TOTAL CALCULATION 2 **6,159 SF**

PROPOSED "REMOVAL, REPLACEMENT, RENOVATION OR ALTERATION" 2,898 SF = 47.05%

REFER TO FOLLOWING DEMOLITION SHEETS FOR EXISTING PLANS AND ELEVATIONS

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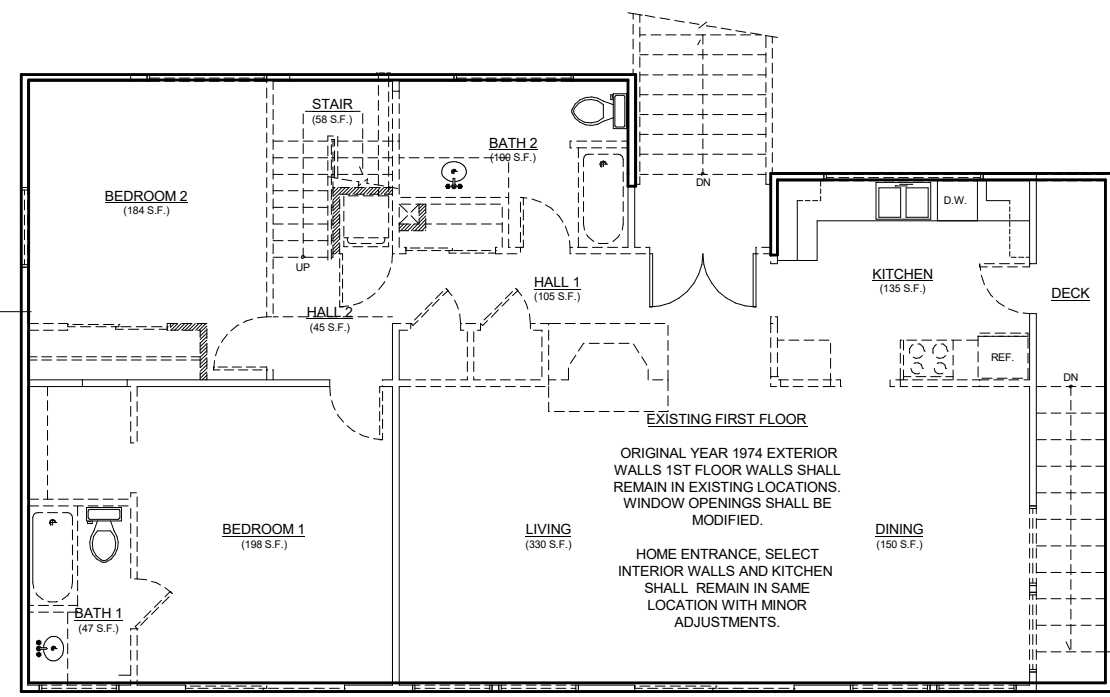
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**FLOOR PLANS EXISTING /
 DEMOLITION**

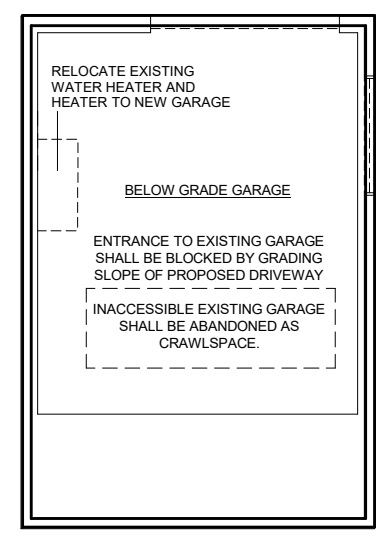
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HEAVY LINE DENOTES EXISTING WALLS TO REMAIN. EXISTING 1ST FLOOR TO REMAIN WITH MODIFICATIONS



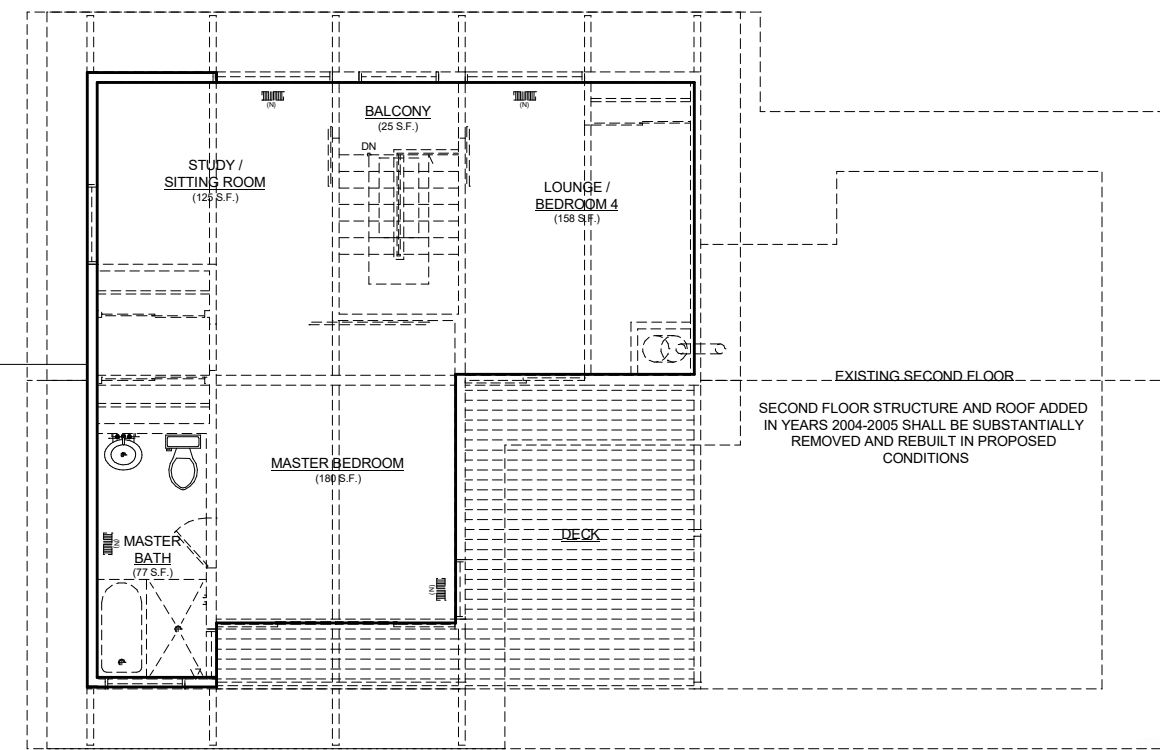
EXISTING FIRST FLOOR / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



BELOW GRADE GARAGE

HEAVY LINE DENOTES EXISTING WALLS TO REMAIN. EXISTING SECOND FLOOR TO REMAIN WITH MODIFICATIONS



EXISTING SECOND FLOOR / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

HEAVY LINE DENOTES EXTERIOR EXISTING WALLS/FLOORS TO REMAIN
 LIGHT SOLID LINE DENOTES EXISTING INTERIOR WALLS TO REMAIN
 DASHED LINE DENOTES EXISTING WALLS TO BE REMOVED

DEMOLITION KEY

All Demolition shall be in accordance with Recycling and Demolition (C&D) Material Management outlined by Zero Waste Marin, Marin County California.

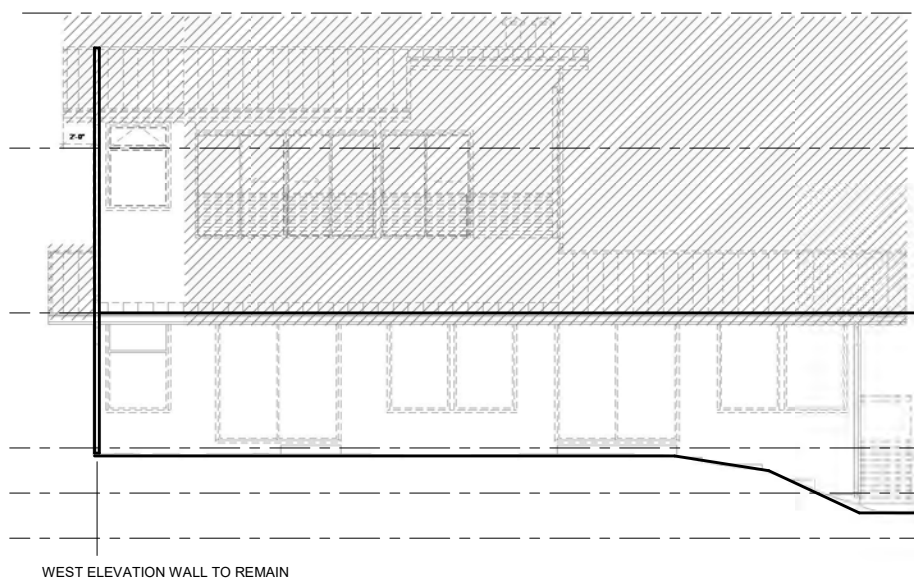
Prior to Issuance of Building Permit, Project shall obtain a J# for all demolition work from Bay Area Air Quality Management District (BAAQMD) and all demolition work shall be in accordance with BAAQMD requirements.

RECYCLING CONSTRUCTION & DEMOLITION



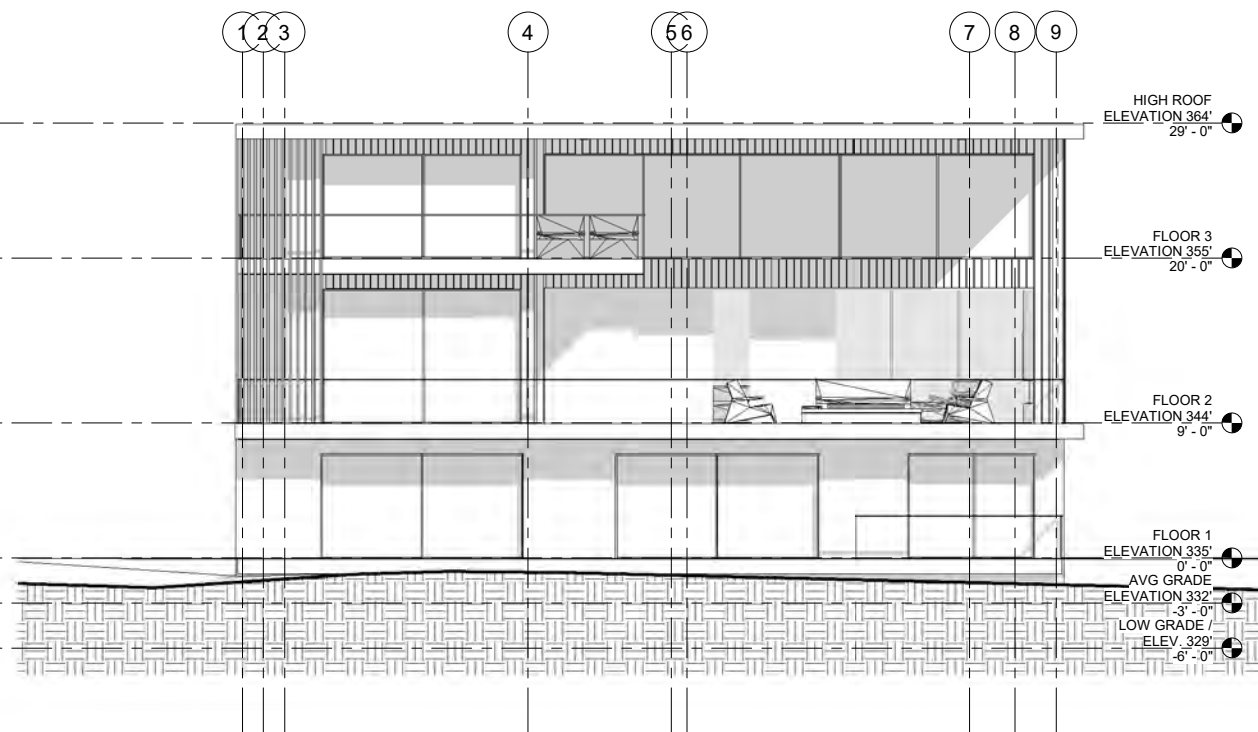
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 DASHED LINE DENOTES EXISTING WALLS TO BE REMOVED
 HATCH LINE DENOTES EXISTING WALLS TO BE REMOVED

DEMOLITION KEY



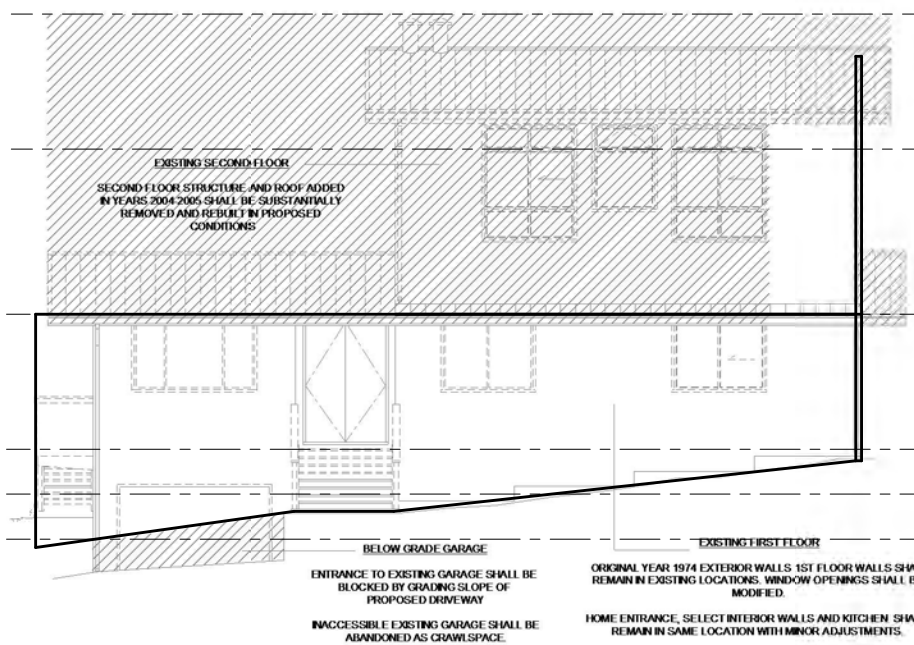
SOUTH ELEVATION / EXISTING

SCALE: 3/16" = 1'-0"



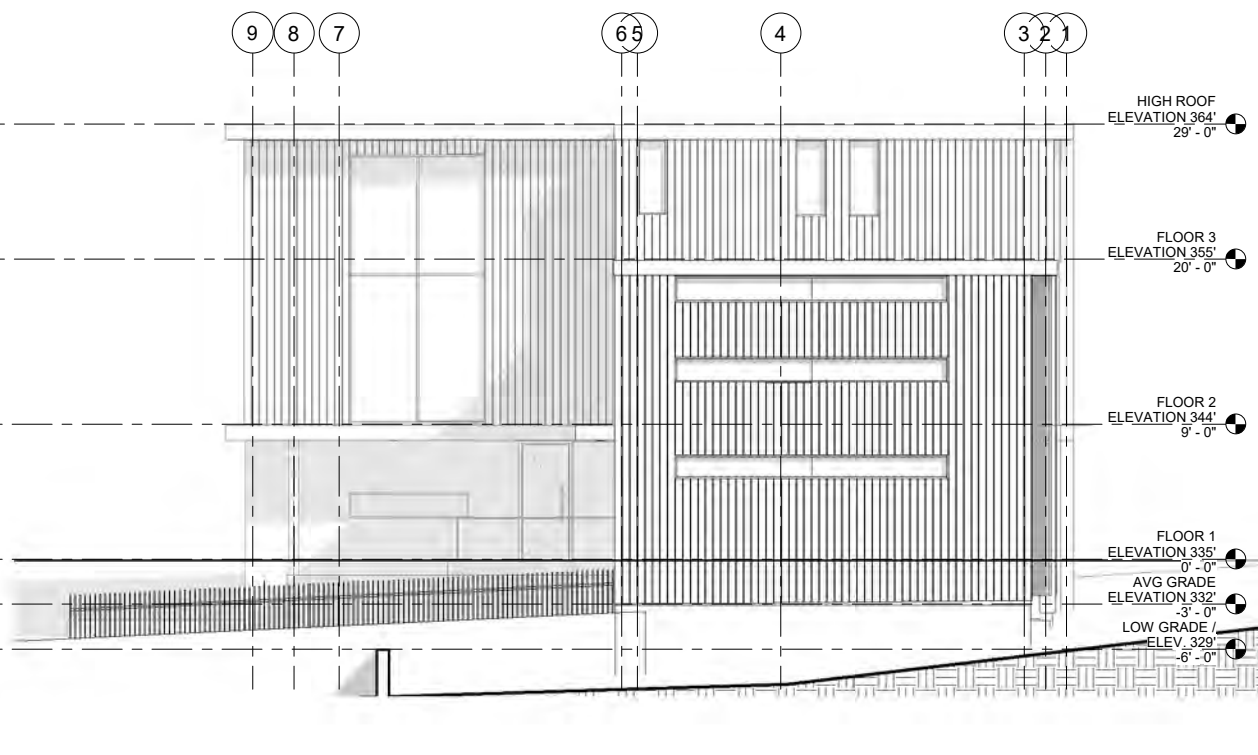
SOUTH ELEVATION / PROPOSED

SCALE: 3/16" = 1'-0"



NORTH ELEVATION / EXISTING

SCALE: 3/16" = 1'-0"



NORTH ELEVATION / PROPOSED

SCALE: 3/16" = 1'-0"



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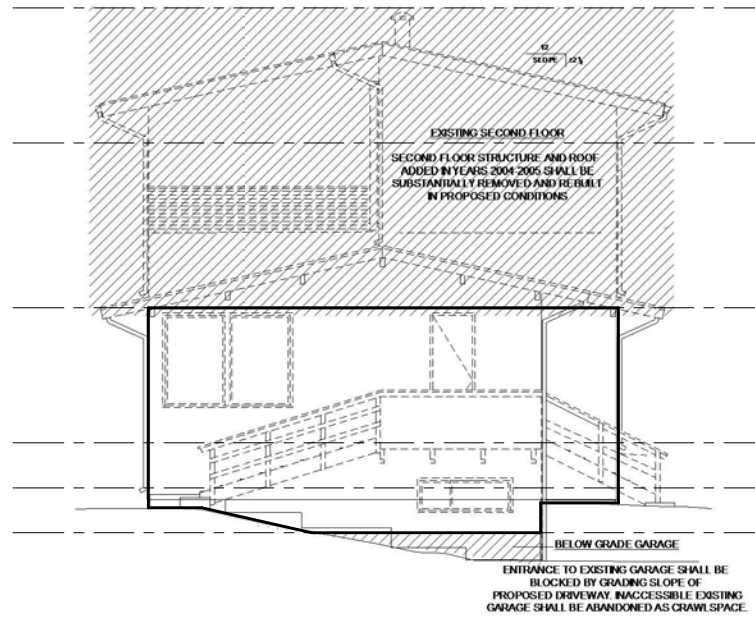
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**SOUTH & NORTH ELEVATION
 EXISTING & PROPOSED**

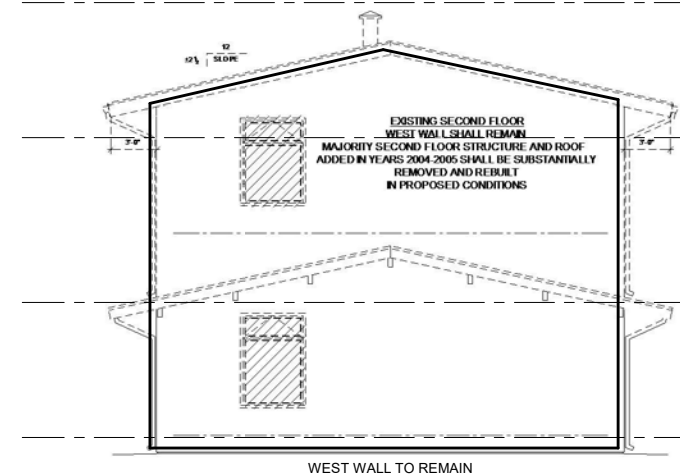
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 HATCHED LINE DENOTES EXISTING WALLS TO BE REMOVED

DEMOLITION KEY



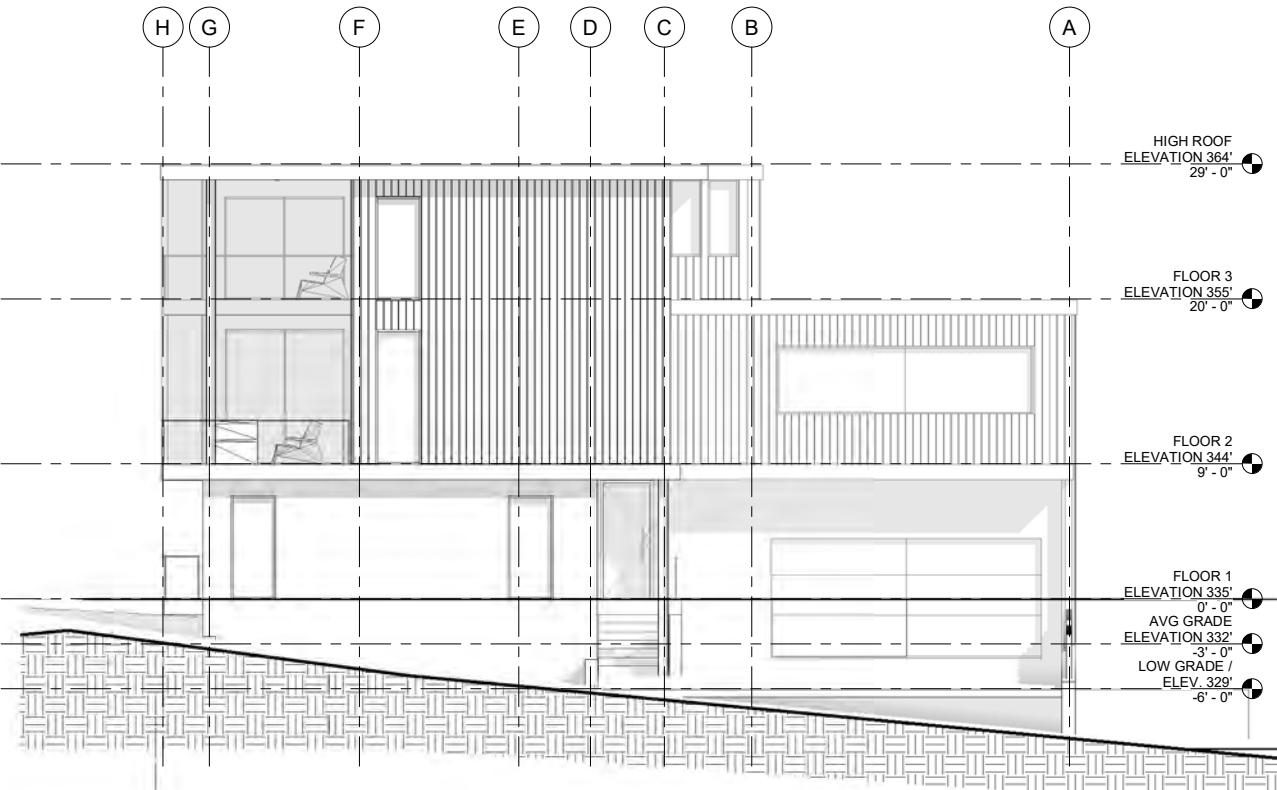
EAST ELEVATION / EXISTING

SCALE: 3/16" = 1'-0"



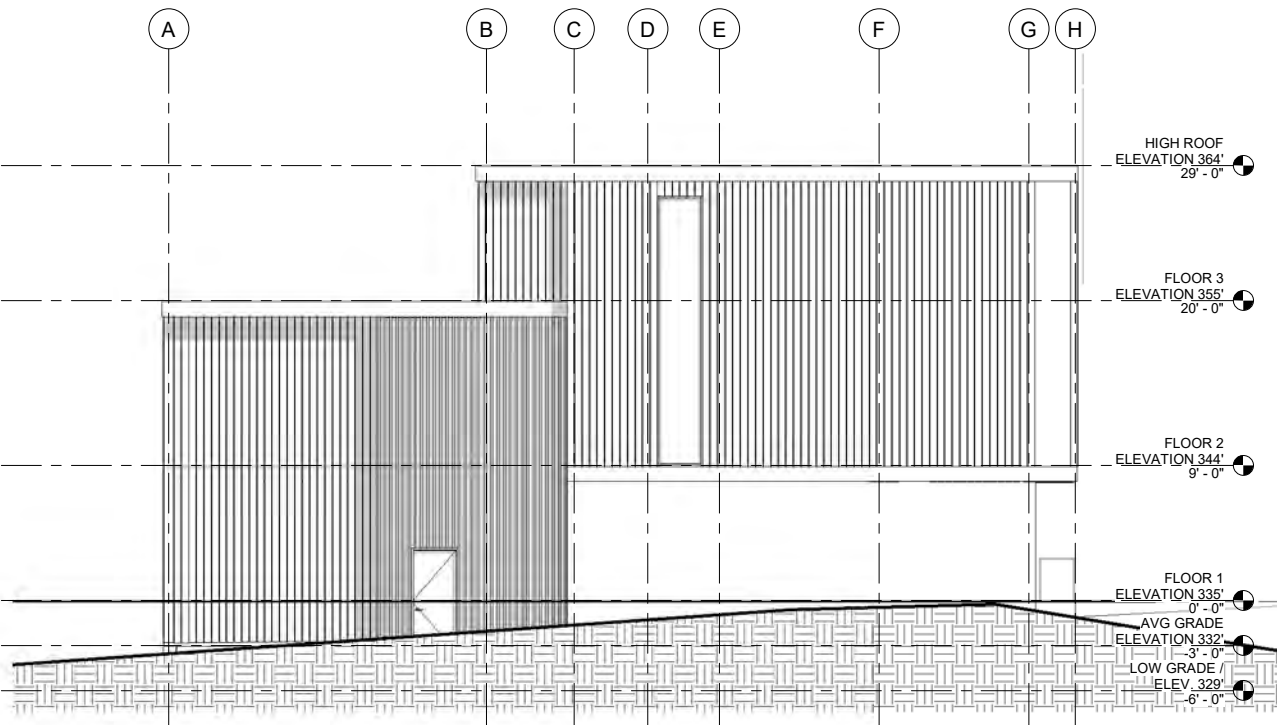
WEST ELEVATION / EXISTING

SCALE: 3/16" = 1'-0"



EAST ELEVATION / PROPOSED

SCALE: 3/16" = 1'-0"



WEST ELEVATION / PROPOSED

SCALE: 3/16" = 1'-0"



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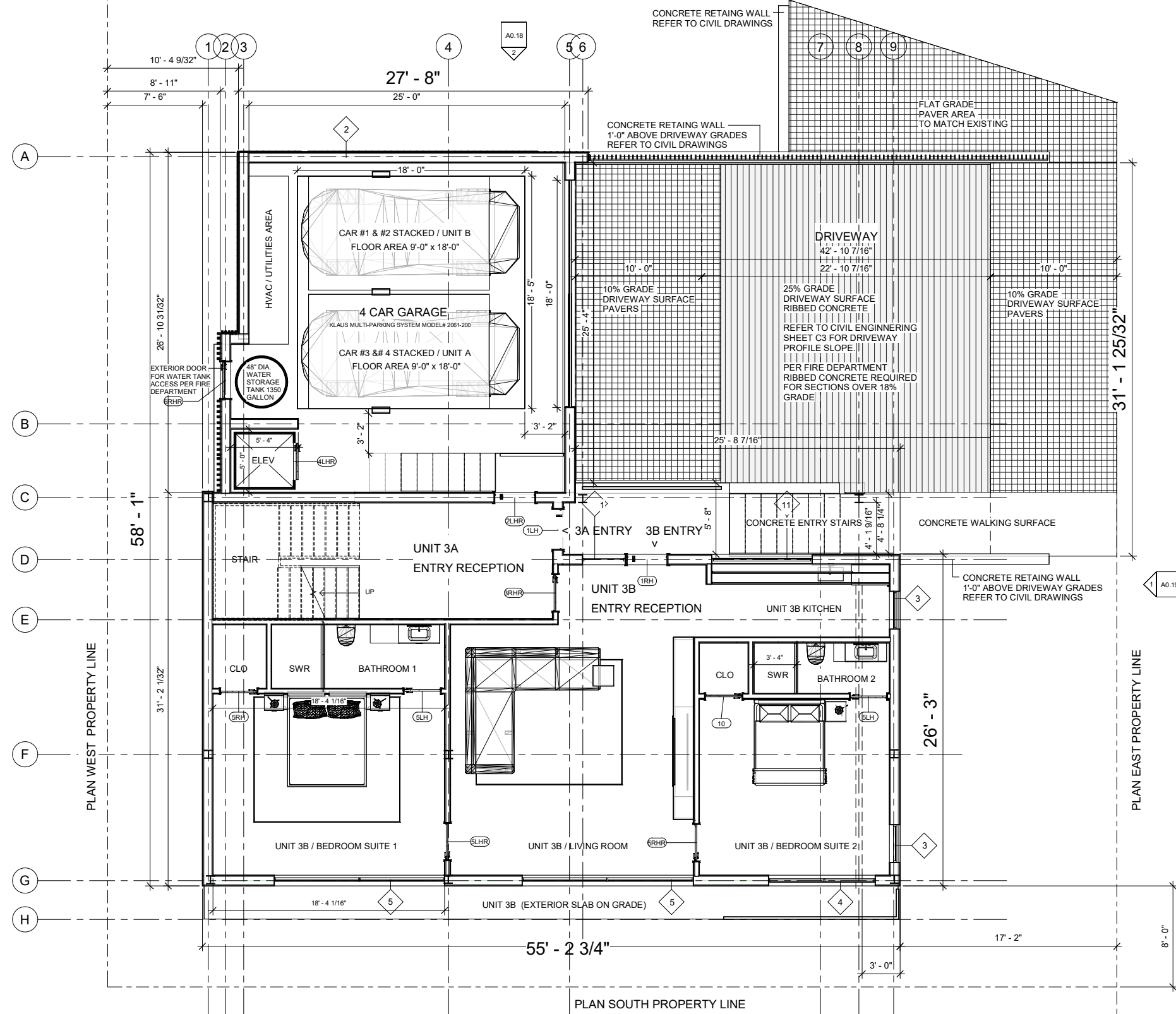
LAND SURVEY: LAWRENCE P DOYLE
 contact: Lawrence Doyle
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 (415) 388-9585
 phone: doylepd@aol.com
 email:

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6	2.26.21	GGNRA CLARIFICATIONS
7	3.16.21	CIVIL CLARIFICATIONS
8	4.11.21	NEIGHBORHOOD NOTICE

KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

EAST & WEST ELEVATIONS / EXISTING & PROPOSED



FIRST FLOOR / PROPOSED

SCALE: 1/4" = 1' - 0"

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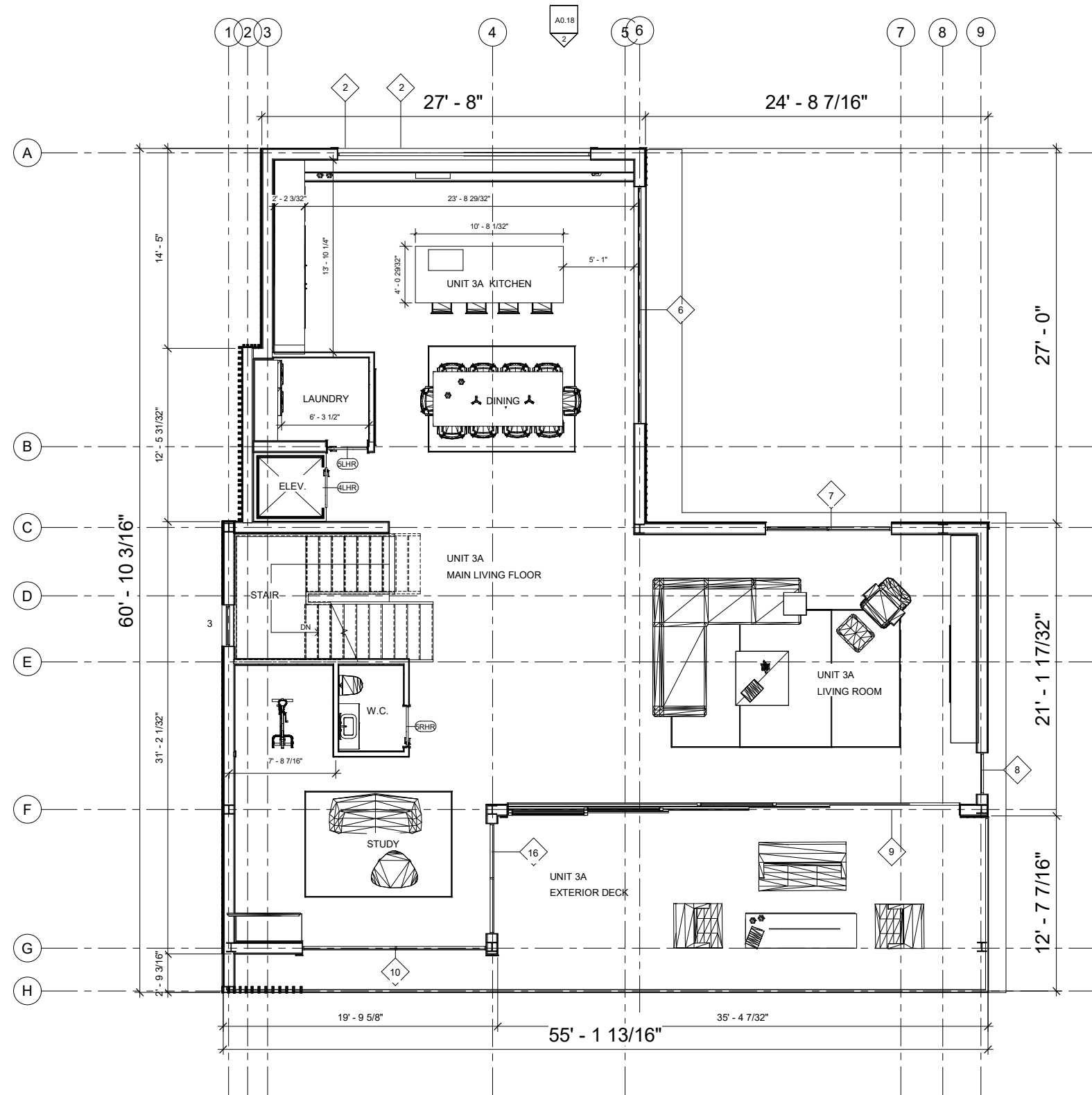
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FIRST FLOOR / PROPOSED

A0.20



SECOND FLOOR / PROPOSED

SCALE: 1/4" = 1' - 0"

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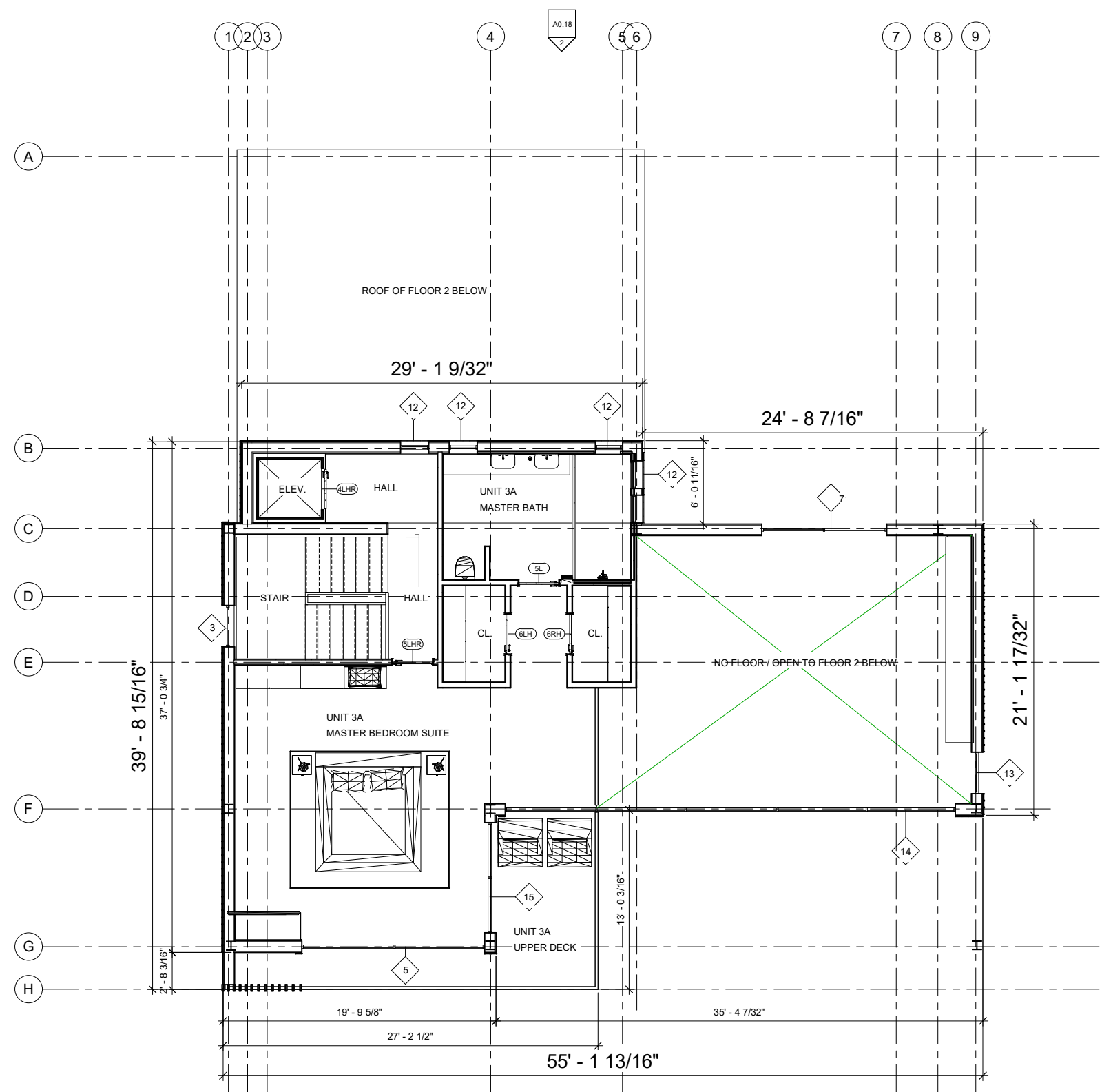
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SECOND FLOOR / PROPOSED

A0.21



THIRD FLOOR / PROPOSED

SCALE: 1/4" = 1' - 0"

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THIRD FLOOR / PROPOSED

A0.22



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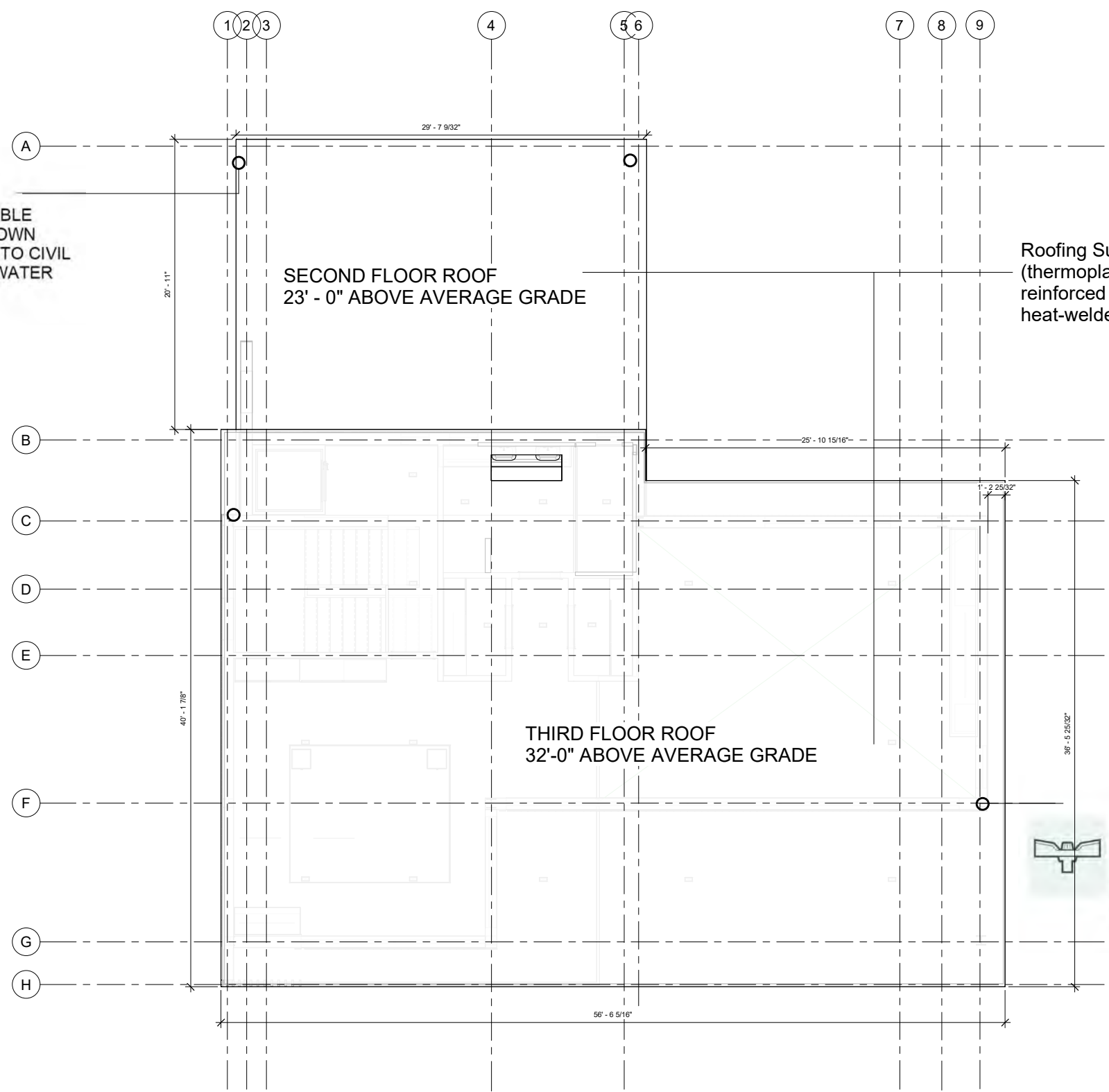
KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

ROOF PLAN / PROPOSED

A0.23



INTERNAL ROOF
 STRUCTURE DOUBLE
 DRAINAGE (NO DOWN
 SPOUTS), REFER TO CIVIL
 DRAWING FOR WATER
 MANAGEMENT.



Roofing Surface: TPO
 (thermoplastic polyolefin sheet)
 reinforced single ply membrane
 heat-welded.



INTERNAL ROOF
 STRUCTURE DOUBLE
 DRAINAGE (NO DOWN
 SPOUTS), REFER TO CIVIL
 DRAWING FOR WATER
 MANAGEMENT.

CLASS "A" ROOFING ASSEMBLY
 THERMOPLASTIC MEMBRANE ROOFING - HEAT WELDED
 TITLE 24 COMPLIANT & ENERGY STAR CERTIFIED

ROOF PLAN / PROPOSED

SCALE: 1/4" = 1' - 0"





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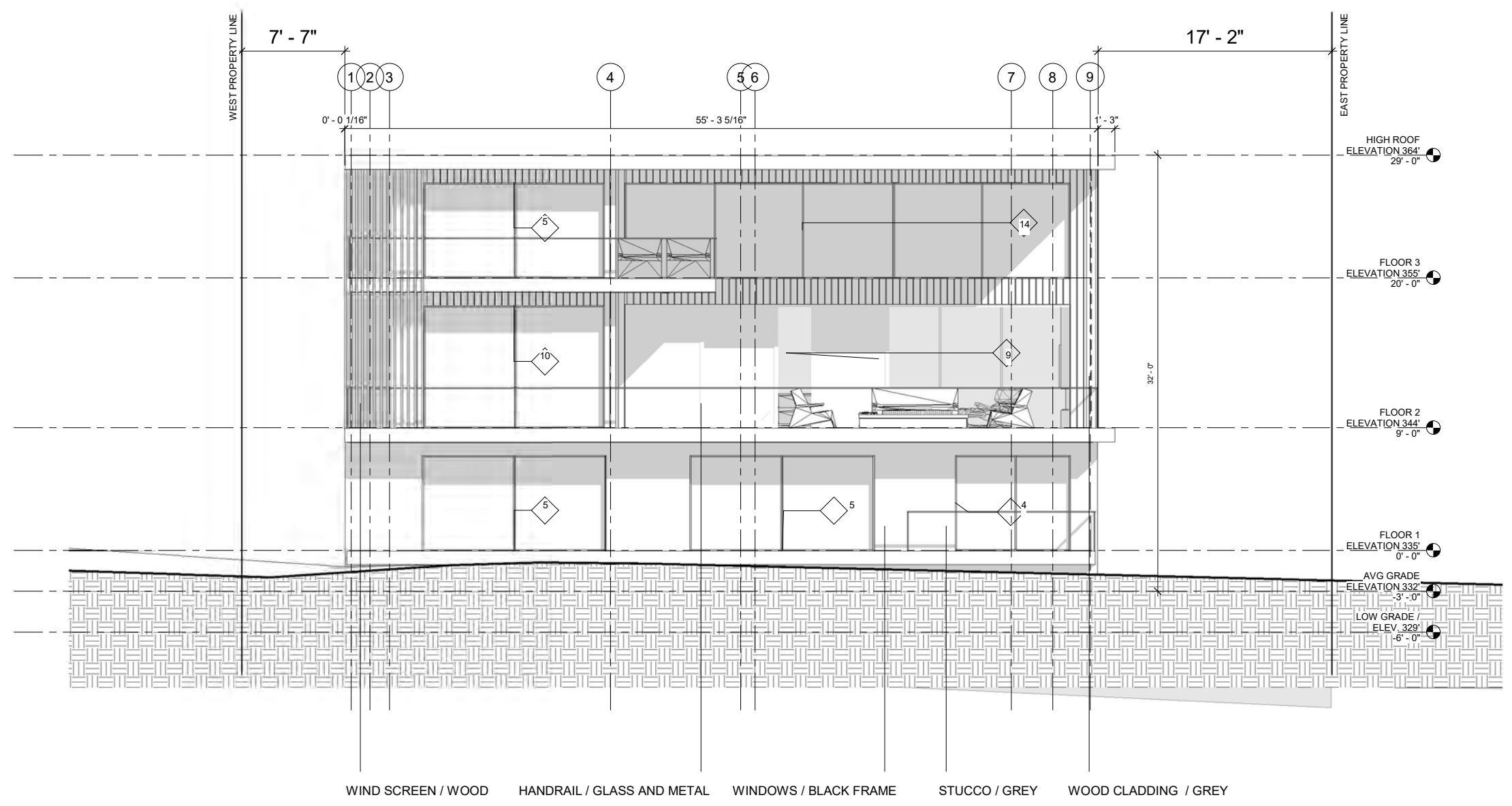
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**SOUTH ELEVATION /
 PROPOSED**

A0.24



SOUTH ELEVATION / PROPOSED
 SCALE: 1/4" = 1' - 0"



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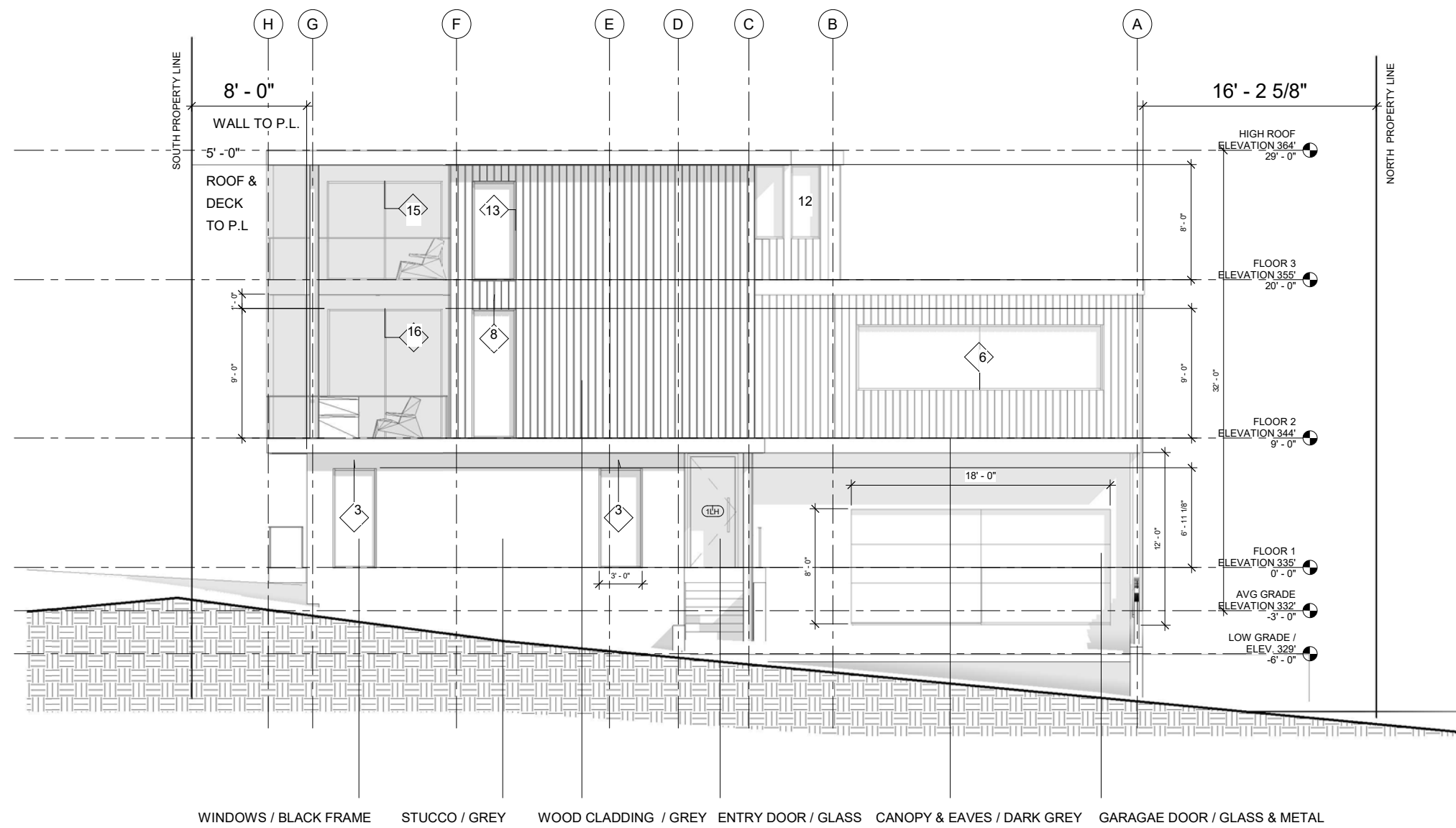
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 3 MARION AVENUE, SAUSALITO, CA
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EAST ELEVATION /
 PROPOSED

A0.25



EAST ELEVATION / PROPOSED

SCALE: 1/4" = 1' - 0"



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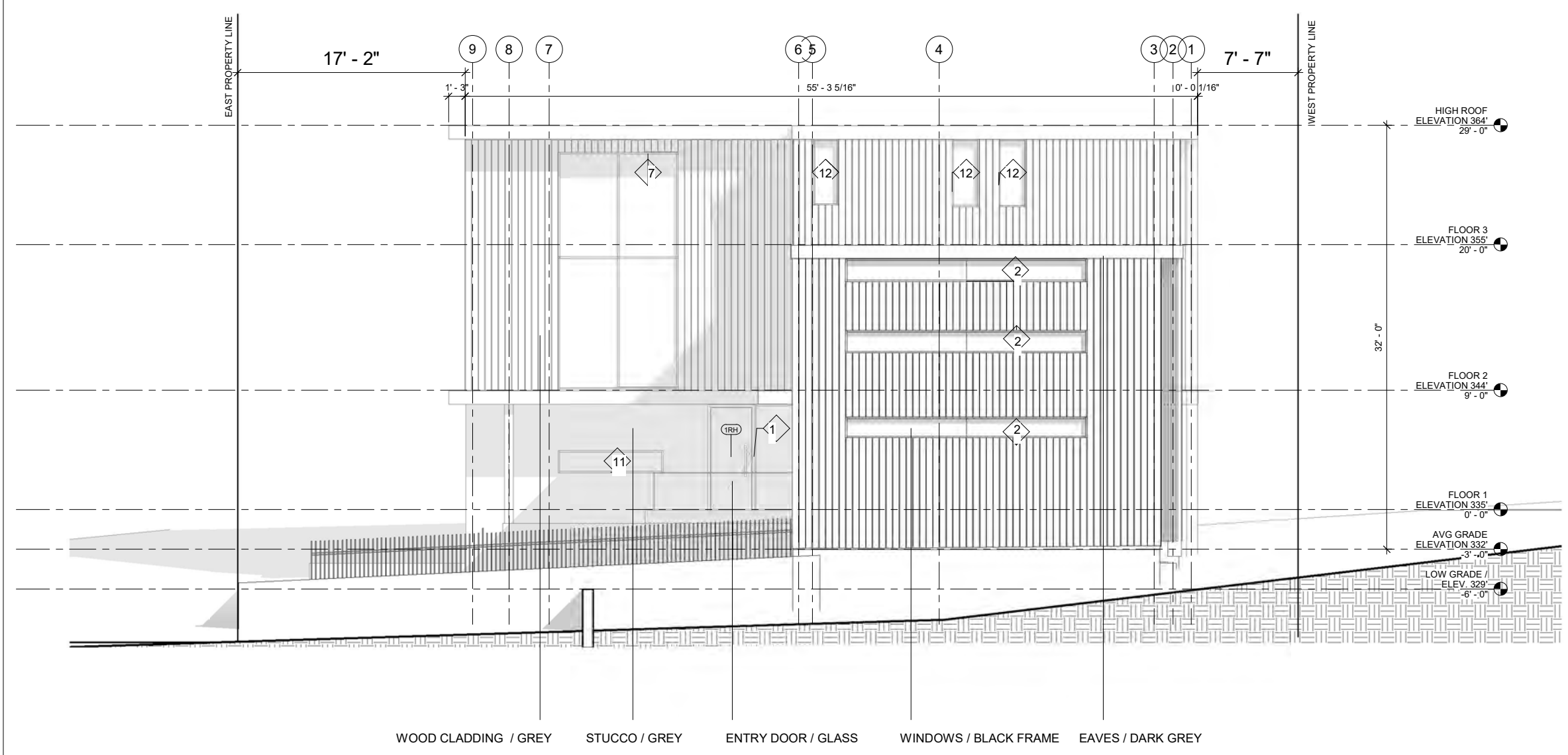
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NORTH ELEVATION /
 PROPOSED


A0.26



NORTH ELEVATION / PROPOSED
 SCALE: 1/4" = 1' - 0"



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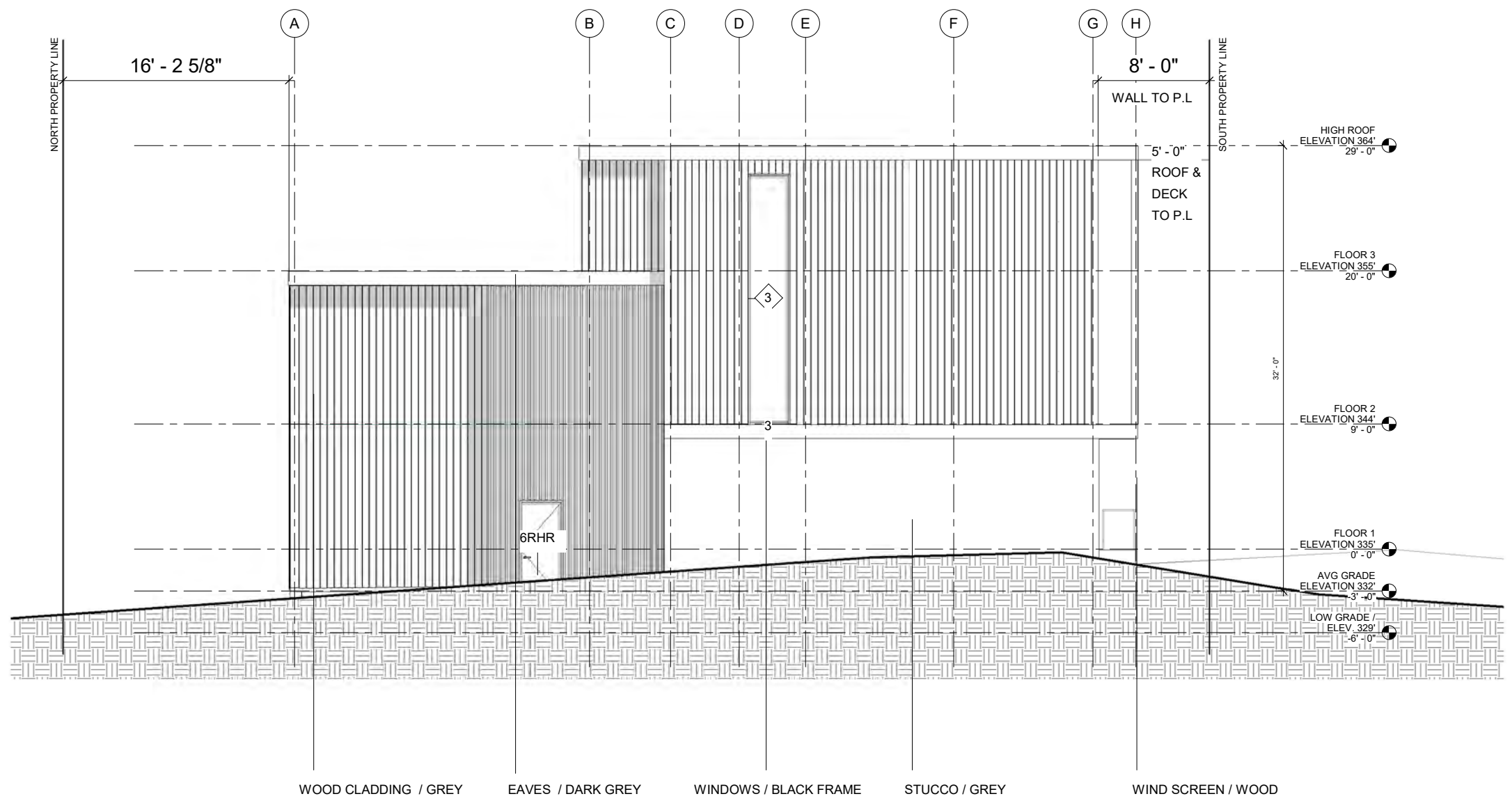
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WEST ELEVATION /
 PROPOSED

A0.27



WEST ELEVATION / PROPOSED

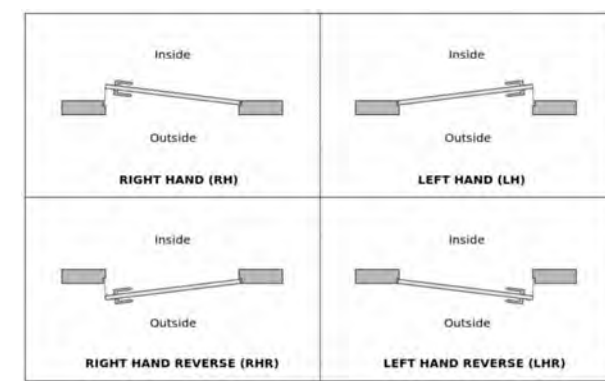
SCALE: 1/4" = 1' - 0"

WINDOW & SLIDING DOOR SCHEDULE

#	QTY	HEIGHT	WIDTH	TYPE	PANELS	FRAME	WUI	SHGC	U-VALUE	ELEVATION
1	1	8' - 0"	3' - 0"	FIXED	1	BLACK	Y	.35 SHGC	.35 U-VALUE	NORTH
2	3	1' - 8"	18' - 0"	FIXED	1	BLACK	Y	.35 SHGC	.35 U-VALUE	NORTH
3	4	8' - 0"	3' - 0"	FIXED	1	BLACK	Y	.35 SHGC	.35 U-VALUE	EAST & WEST
4	1	8' - 0"	6' - 4"	SLIDER	2	BLACK	Y	.35 SHGC	.35 U-VALUE	SOUTH
5	3	8' - 0"	13' - 3"	SLIDER	2	BLACK	Y	.35 SHGC	.35 U-VALUE	SOUTH
6	1	3' - 6"	18' - 0"	SLIDER	3	BLACK	Y	.35 SHGC	.35 U-VALUE	EAST
7	1	17'-10"	6' - 7"	FIXED	4	BLACK	Y	.35 SHGC	.35 U-VALUE	NORTH
8	1	10' - 0"	3' - 0"	FIXED	1	BLACK	Y	.35 SHGC	.35 U-VALUE	EAST
9	1	10' - 0"	32' - 9"	SLIDER	5	BLACK	Y	.35 SHGC	.35 U-VALUE	SOUTH
10	1	10' - 0"	13' - 3"	SLIDER	2	BLACK	Y	.35 SHGC	.35 U-VALUE	SOUTH
11	1	1' - 8"	6' - 0"	FIXED	1	BLACK	Y	.35 SHGC	.35 U-VALUE	NORTH
12	4	5' - 0"	2' - 0"	CASEMENT	1	BLACK	Y	.35 SHGC	.35 U-VALUE	EAST & NORTH
13	1	6' - 8"	3' - 0"	FIXED	1	BLACK	Y	.35 SHGC	.35 U-VALUE	EAST
14	1	6' - 8"	32' - 9"	FIXED	5	BLACK	Y	.35 SHGC	.35 U-VALUE	SOUTH
15	1	8' - 0"	8' - 0"	SLIDER	2	BLACK	Y	.35 SHGC	.35 U-VALUE	EAST
16	1	10' - 0"	8' - 0"	SLIDER	2	BLACK	Y	.35 SHGC	.35 U-VALUE	EAST

DOOR SCHEDULE

#	QTY	HEIGHT	WIDTH	TYPE
1LH	1	7'-10"	3'-4"	METAL & TEMP.GLASS
1RH	1	7'-10"	3'-4"	METAL & TEMP.GLASS
2LHR	1	7'-10"	3'-6"	1H FIRE RATED / SOLID
3RHR	1	7'-10"	3'-6"	1H FIRE RATED / SOLID
4LHR	3	7'-0"	3'-0"	1H FIRE RATED / SOLID
5LH	2	7'-0"	3'-0"	NON-RATED / SOLID
5RH	1	7'-0"	3'-0"	NON-RATED / SOLID
5LHR	3	7'-0"	3'-0"	NON-RATED / SOLID
5RHR	3	7'-0"	3'-0"	NON-RATED / SOLID
6RHR	1	7'-0"	3'-0"	1H FIRE RATED / SOLID
6LH	1	7'-0"	2'-6"	NON-RATED / SOLID
6RH	1	7'-0"	2'-6"	NON-RATED / SOLID



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 email: gdearth@LTDengineering.com

LAND SURVEY: LAWRENCE P DOYLE
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3	09.07.20	RESUBMITTAL / DUPLICATION
4	12.03.20	RESUBMITTAL / DUPLICATION
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6	2.26.21	GGNRA CLARIFICATIONS
7	3.16.21	CIVIL CLARIFICATIONS
8	4.11.21	NEIGHBORHOOD NOTICE


KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

WINDOW / SLIDING DOOR SCHEDULE

A0.28



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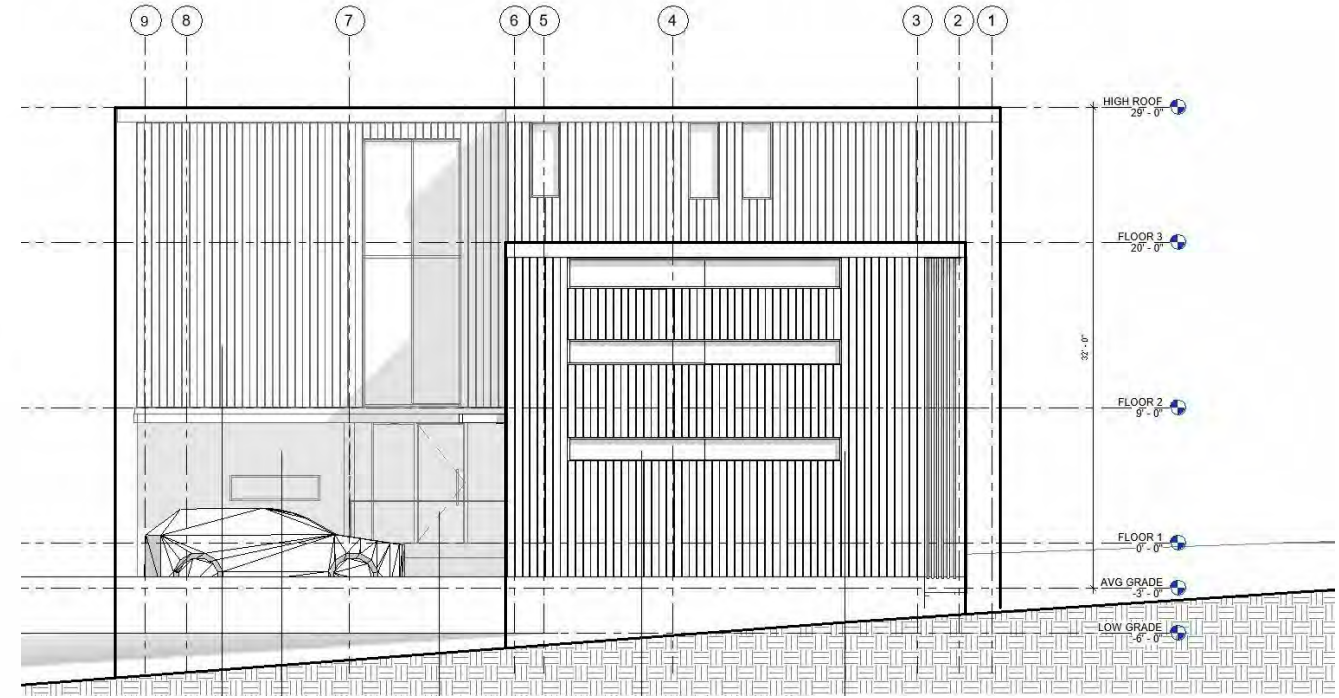
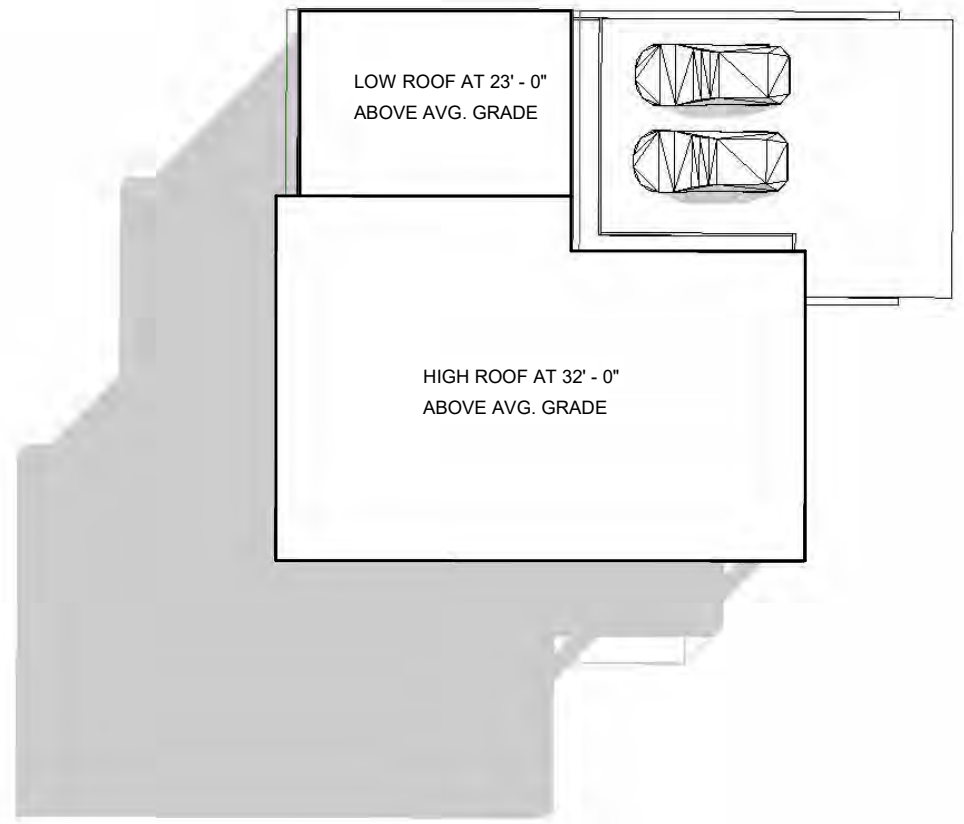
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STORY POLE PLAN

A0.29



1 / Story poles shall be installed where there is any change in building footprint, roof elevation, or building bulk.

2 / Story poles shall be certified by a registered land surveyor or civil engineer. Other qualified professionals, such as an architect, may certify the location of the story poles if such measurement is made from a point which can easily be verified in the field, such as the finished floor of an existing structure.

3 / The installed story poles shall be connected by a bright colored tape in such a manner as to outline the roof form. Roof outlines shall include ridge lines connecting to each building corner at finish roof elevation. Appendages such as dormers, bays, and decks need not be shown unless, in the opinion of staff, they have the potential to impact neighboring properties. Story poles at deck locations shall extend to the top of railings.

4 / The story pole plan shall show the location of the connecting tape and respective elevations.

5 / Story poles shall be installed at least 10 days before a noticed public hearing on the application and be removed 10 days after a final approval or denial of the application.

6 / The story poles shall be marked in one (1) foot increments.

Note: Protected trees must not be altered or removed to erect story poles without prior permitting

STORY POLE REQUIREMENTS (CITY COUNCIL RESOLUTION NO. 4501)





SOUTH ELEVATION / RENDERING FROM GGNRA

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KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
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SOUTH ELEVATION /
RENDERING

A0.30



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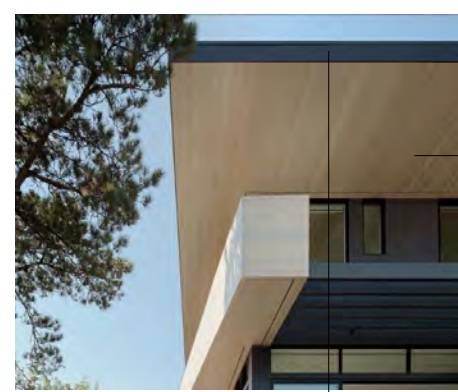
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SOUTH ELEVATION /
 MATERIALS PROPOSED

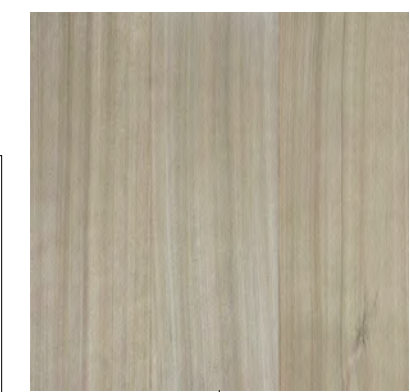
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EXTERIOR DECKS



METAL BLACK WINDOWS /
 DARK GREY EAVES



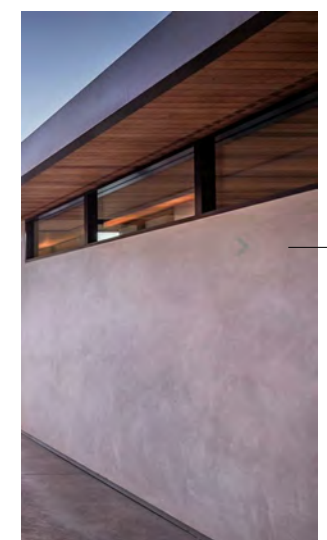
CLEAR CEDAR /
 THIRD FLOOR CEILING & ENTRY CANOPY



VERTICAL GREY WOOD CLADDING /
 SECOND AND THIRD FLOOR



VERTICAL WOOD WIND SCREEN



SMOOTH GREY STUCCO /
 FIRST FLOOR



SOUTH ELEVATION / MATERIALS PROPOSED



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**NORTH EAST ELEVATION
 MATERIALS / PROPOSED**

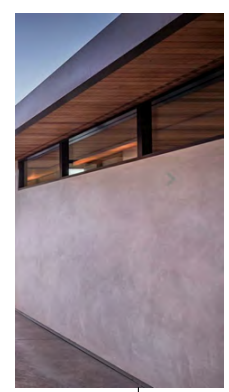
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VERTICAL GREY WOOD CLADDING / SECOND AND THIRD FLOOR



CLEAR CEDAR / THIRD FLOOR CEILING & ENTRY CANOPY



SMOOTH GREY STUCCO / FIRST FLOOR



HYDRA PERMEABLE DRIVEWAY PAVERS SPECIFIED WHERE SLOPE IS <18%



RIBBED CONCRETE SPECIFIED WHERE SLOPE IS >18% Per Fire Prevention Department, where slope is in excess of 18% shall be Ribbed Concrete



ENVY ALUMINUM & GLASS GARAGE DOOR Aluminum full-view door, featuring a frameless design. Envy™ Model 956



EAST ELEVATION / EXTERIOR MATERIALS

LIGHTING CONSIDERATIONS

LIGHT TO PROTECT THE NIGHT
Five Principles for Responsible Outdoor Lighting

- USEFUL** **ALL LIGHT SHOULD HAVE A CLEAR PURPOSE**
 Before installing or replacing a light, determine if light is needed. Consider how the use of light will impact the area, including wildlife and the environment. Consider using reflective paints or self-luminous markers for signs, curbs, and steps to reduce the need for permanently installed outdoor lighting.
- TARGETED** **LIGHT SHOULD BE DIRECTED ONLY TO WHERE NEEDED**
 Use shielding and careful aiming to target the direction of the light beam so that it points downward and does not spill beyond where it is needed.
- LOW LIGHT LEVELS** **LIGHT SHOULD BE NO BRIGHTER THAN NECESSARY**
 Use the lowest light level required. Be mindful of surface conditions as some surfaces may reflect more light into the night sky than intended.
- CONTROLLED** **LIGHT SHOULD BE USED ONLY WHEN IT IS USEFUL**
 Use controls such as timers or motion detectors to ensure that light is available when it is needed, dimmed when possible, and turned off when not needed.
- COLOR** **USE WARMER COLOR LIGHTS WHERE POSSIBLE**
 Limit the amount of shorter wavelength (blue-violet) light to the least amount needed.

LIGHTING COLOR TEMPERATURE & LUMENS SPECIFICATION

LED Example

Kelvin Color Temperature Scale

Lumens to watts table

Lumens	Incandescent light bulb (watts)	Fluorescent / LED (watts)
375 lm	25 W	6.23 W
600 lm	40 W	10 W
900 lm	60 W	15 W
1125 lm	75 W	18.75 W
1500 lm	100 W	25 W
2250 lm	150 W	37.5 W
3000 lm	200 W	50 W

COMFORT DIM
Warm, rich light dimming creates an intimate atmosphere

An innovation in energy efficient dimming, Comfort Dim presented by Nora, warms the light as power is reduced. Comfort Dim color tunes the temperature from a bright color to a warm and romantic incandescent feel. The Sapphire and Marquise Series goes from 2700K to 1800K. Iolite Series goes from 3000K to 2000K and Cabalt Series goes from 3000K to 1700K. The warm dim Comfort Dim is the perfect solution for restaurants, cineplex, home theaters, multi-purpose event venues and other applications where the temperature and comfort of the light sets the mood.

LIGHTING SPECIFICATIONS / EXTERIOR LIGHTS



NIO-4SC

4" Iolite, Square Adjustable Cone Reflector

4" Iolite reflectors can be specified for use in new construction or remodel applications. Die-cast adjustable cone reflectors optimize visual cut-off and adjustable to aim the light source in desired direction.

Color Temperatures: 2700K, 3000K, 3500K, 4000K, 5000K, Comfort Dim (warm dimming)

Lumens / Wattage:

- 800lm / 14W (NHIOICD-48, NHIOICDCP-48, NHRIOIC-48)

LIGHTING SPECIFICATIONS / INTERIOR LIGHTS



NIO-4SC

4" Iolite, Square Adjustable Cone Reflector

4" Iolite reflectors can be specified for use in new construction or remodel applications. Die-cast adjustable cone reflectors optimize visual cut-off and adjustable to aim the light source in desired direction.

Color Temperatures: 2700K, 3000K, 3500K, 4000K, 5000K, Comfort Dim (warm dimming)

Lumens / Wattage:

- 800lm / 14W (NHIOICD-48, NHIOICDCP-48, NHRIOIC-48)

- Built-in dimmable 14 watt LED module: 3000K color temperature. 95 CRI. 800 lumens, comparable to a 60 watt incandescent.
- Dimmable to 5-percent with electronic low voltage dimmer.
- LED averages 50,000 hours at 3 hours per day.
- Bronze finish die-cast aluminum construction; 120-volt; 14 watt.
- UL listed for wet locations.
- ENERGY STAR® rated.
- Title 24 compliant.
- 60-degree reflector, 38-degree and 25-degree reflectors included.
- Adjustable up to 35-degree angle.
- Ideal connector with 6" cable insulated sleeve.
- Compatible with Nora Lighting dedicated IC remodel or IC new construction low voltage housing.



NORA®



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LIGHTING CONSIDERATIONS / SPECIFICATIONS

A0.33



NIO-4SC

4" Iolite, Square Adjustable Cone Reflector

4" Iolite reflectors can be specified for use in new construction or remodel applications. Die-cast adjustable cone reflectors optimize visual cut-off and adjustable to aim the light source in desired direction.

Color Temperatures: 2700K, 3000K, 3500K, 4000K, 5000K, Comfort Dim (warm dimming)

Lumens / Wattage:

- 800lm / 14W (NHIOICD-48, NHIOICDCP-48, NHRIOIC-48)



NIO-4SC

4" Iolite, Square Adjustable Cone Reflector

4" Iolite reflectors can be specified for use in new construction or remodel applications. Die-cast adjustable cone reflectors optimize visual cut-off and adjustable to aim the light source in desired direction.

Color Temperatures: 2700K, 3000K, 3500K, 4000K, 5000K, Comfort Dim (warm dimming)

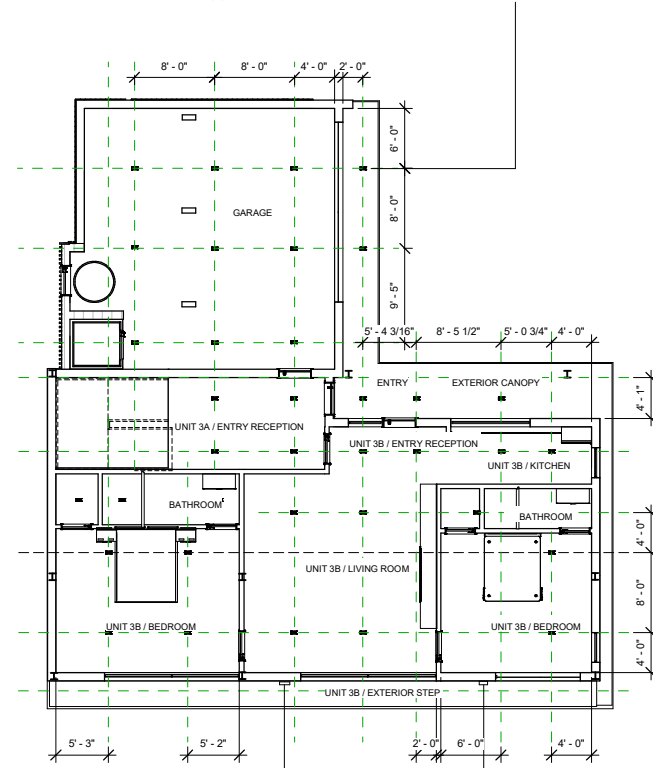
Lumens / Wattage:

- 800lm / 14W (NHIOICD-48, NHIOICDCP-48, NHRIOIC-48)

EXTERIOR LIGHTS

INTERIOR LIGHTS

(5) EXTERIOR [NIO-4SC] LIGHTS IN ENTRY CANOPY CEILING



2 EXTERIOR LOW LUMEN WALL WASH LIGHTS 1ST FLOOR FOR STEP SAFETY

WL-LED100 Step And Wall Light



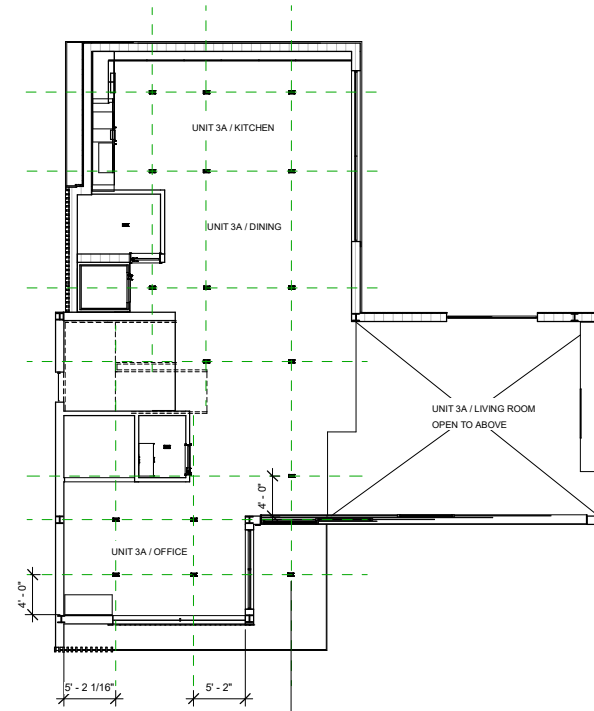
Features

- Unlimited lumens ability
- Ambient Blue, Red, White
- CRI 90
- Power: 3.6W
- Input: 120VAC, 277VAC, 5000Hz
- ETL Dimming: 100-10%
- Height: 6.5" (165mm)
- Construction: Cast 316 marine grade stainless steel
- Low profile, flush to wall panels with no visible hardware
- Backed lighting free of shadows with stainless glass
- Up to 200 fixtures can be connected in parallel
- Warranty: 5 year, Lifetime Finish



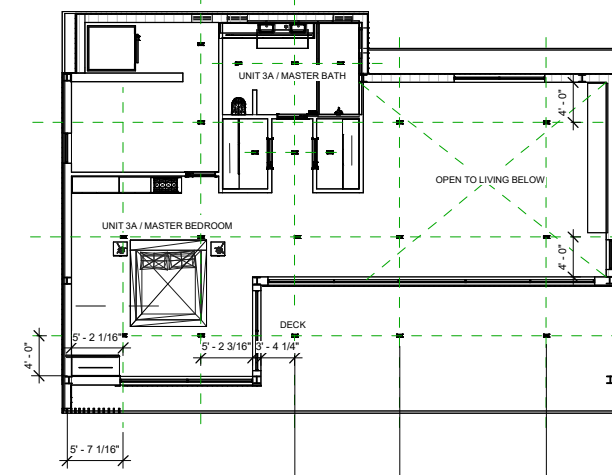
LIGHTING PLAN / FIRST FLOOR

SCALE: 1/8" = 1'-0"



(1) EXTERIOR [NIO-4SC] LIGHTS IN 2ND FLOOR EXTERIOR CANOPY CEILING

SECOND FLOOR



(3) EXTERIOR [NIO-4SC] LIGHTS IN 3RD FLOOR EXTERIOR CANOPY CEILING

THIRD FLOOR

X

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LIGHTING PLANS

A0.34



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**NORTH ENTRY / EVENING
 LIGHTING RENDERING**

A0.35

NIO-4SC
 4" Iolite, Square Adjustable Cone Reflector



4" Iolite reflectors can be specified for use in new construction or remodel applications. Die-cast adjustable cone reflectors optimize visual cut-off and adjustable to aim the light source in desired direction.

Color Temperatures: 2700K, 3000K, 3500K, 4000K, 5000K, Comfort Dim (warm dimming)

Lumens / Wattage:

- 800lm / 14W (NHIOICD-48, NHIOICDCP-48, NHRIOIC-48)

NIO-4SC
 4" Iolite, Square Adjustable Cone Reflector



4" Iolite reflectors can be specified for use in new construction or remodel applications. Die-cast adjustable cone reflectors optimize visual cut-off and adjustable to aim the light source in desired direction.

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NORTH ENTRY ELEVATION / EVENING RENDERING LIGHTING



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NIO-4SC
 4" Iolite, Square Adjustable Cone Reflector



4" Iolite reflectors can be specified for use in new construction or remodel applications. Die-cast adjustable cone reflectors optimize visual cut-off and adjustable to aim the light source in desired direction.
 Color Temperatures: 2700K, 3000K, 3500K, 4000K, 5000K, Comfort Dim (warm dimming)
 Lumens / Wattage:
 • 800lm / 14W (NHIOICD-48, NHIOICDCP-48, NHRIOIC-48)

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NORTH ENTRY ELEVATION / EVENING RENDERING LIGHTING

KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

NORTH ENTRY / NIGHT LIGHTING RENDERING



SOUTH ELEVATION / EVENING RENDERING LIGHTING



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SOUTH ELEVATION /
 EVENING RENDERING

A0.37



SOUTH ELEVATION / DAY RENDERING



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SOUTH ELEVATION / DAY
 RENDERING

A0.38



LIVING ROOM / RENDERING



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LIVING ROOM / RENDERING

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DINING - KITCHEN /
 RENDERING

A0.40



DINING ROOM - KITCHEN / RENDERING



MASTER BEDROOM / RENDERING



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MASTER BEDROOM /
 RENDERING

A0.41



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**LANDSCAPE / GGNRA
 GUIDELINES**

A0.42



LANDSCAPING PLAN / REFLECTING GUIDELINES OF GGNRA

The Owners and Project Design Team have been diligent to design the proposed scope of work within existing planning regulations and with careful consideration for an environmentally-friendly and sustainable renovation approach to building and landscaping. 3 Marion owners shall maintain the existing on 3 Marion private property as well as the existing GGNRA plantings and grass ground cover within 30-feet of the south elevation of the 3 Marion structure, or as recommended by GGNRA and Southern Marin Fire Department.

Context: The Golden Gate National Recreation Area (GGNRA) is a natural park area with an astonishing biodiversity composed of thirteen native plant communities, 400 native plant species, and 300 bird species. Over the past twenty years the Presidio Trust, NPS, and the Golden Gate National Parks Conservancy have worked with thousands of volunteers to preserve and expand the biodiversity of the area.



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LANDSCAPE / IMAGES FROM
 GGNRA



LANDSCAPING / PLANTING AERIAL



IMAGE 2 EXISTING / SOUTH FACADE FROM GGNRA



IMAGE 1 EXISTING / SOUTH ELEVATION FROM GGNRA



IMAGE 1 PROPOSED / SOUTH ELEVATION FROM GGNRA

LANDSCAPING / OVERVIEW

The Owners and Project Design Team have been diligent to design the proposed scope of work within existing planning regulations and with careful consideration for an environmentally-friendly and sustainable renovation approach to building and landscaping. The 3 Marion project is a conversion of an existing single-family residence into a duplex with a garage. In our scope of work, we are installing a new driveway made of permeable pavers and ribbed concrete. Along the North and South sides of the new driveway shall be low concrete retaining walls topped with native low water succulents. Between the North elevation and Northern property line consists of Monterey Pine Trees, Eucalyptus Trees, and a few small <10" oaks with natural pine needle ground cover. Refer to Arborist Report and Sheet A.09 for the proposed trees to be removed and protected. Between the East Facade and the property line exists a crushed rock pathway and a Monterey Pine Tree which shall be maintained and protected. The areas between the South Elevation, West Elevation, and Property lines are composed of grass ground cover and a variety of low plantings which extend into the GGNRA. Below we have identified the variety of plantings on 3 Marion property and varieties extending into GGNRA land. 3 Marion owners shall maintain the existing on 3 Marion private property as well as the existing GGNRA plantings and grass ground cover within 30-feet of the south elevation of the structure, or as recommended by GGNRA and Southern Marin Fire Department.

TOTAL PLANTING AREA / PROPOSED

The total area of proposed new plantings is less than 5% of the total site area. The new plantings proposed are native low water succulents along the new retaining walls of driveway..

PLANT LEGEND / PROPOSED

COMMON NAME	BOTANIC NAME	APPROX SIZE HT. X WDT.	LOCATION	QUANTITY
Live Forever	Crassulaceae	4" x 4"	3 MARION AT NEW DRIVEWAY RETAINING WALLS	25
Bluff Lettuce	Dudleya farinosa	4" x 4"	3 MARION AT NEW DRIVEWAY RETAINING WALLS	25

TREE LEGEND / EXISTING

COMMON NAME	BOTANIC NAME	APRX HT. X WDT.	LOCATION	QUANTITY
Monterey pine	Pinus radiata	See Arborist Report	3 MARION NORTH AND EAST SIDES	7 TOTAL (4 TO BE REMOVED. REFER TO R ARBORIST REPORT)
Coast live oak	Quercus agrifolia	less than >8" See Arborist Report	3 MARION NORTH SIDE	3 TOTAL (3 TO BE REMOVED AND REPLACED WITH 5 NEW 24" BOX)

PLANT LEGEND / EXISTING

COMMON NAME	BOTANIC NAME	APRX HT. X WDT.	LOCATION	QUANTITY
New Zealand Flax	Phorium	30" x 30"	3 MARION SOUTH -EAST CORNER & GGNRA	10
Diosma	Coleonma	24" x 24"	3 MARION SOUTH -EAST CORNER & GGNRA	8
Pride of Madeira	Echium candicans	6'-0" x 3'-0"	3 MARION SOUTH -EAST CORNER & GGNRA	12
Iris Libertia	Liberita	24" x 18"	3 MARION SOUTH -EAST CORNER & GGNRA	6
Daisy	Leucophyta	12" x 8"	3 MARION SOUTH -EAST CORNER & GGNRA	3
Needle Grass	Stipa tenuissima	6" x 6"	3 MARION SOUTH -EAST CORNER & GGNRA	15
Box	Buxus	24" x 30"	3 MARION SOUTH -EAST CORNER & GGNRA	10
Rosemary	Salvia Rosmarinus	12" x 12"	3 MARION SOUTH -EAST CORNER & GGNRA	3

IRRIGATION

The existing irrigation system shall be replaced with a new Drip System with an operating pressure of 35 PSI, Rain Sensors, and Netafim Techline "TLCV4-18025" Emitters. The total area of the irrigation system will be 1,500 square feet.



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LANDSCAPE / TREE, PLANT &
 IRRIGATION LEGEND

A0.44



LANDSCAPING / PLANTING AERIAL



IMAGE 3 / VIEW LOOKING SOUTH FROM 3 MARION TO GGNRA



IMAGE 4 / VIEW LOOKING WEST LANDSCAPE CLUSTERS ON GGNRA LAND



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LANDSCAPE EXISTING /
 SOUTH PHOTOGRAPHS



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LANDSCAPE EXISTING /
 NORTH PHOTOGRAPHS



LANDSCAPING / PLANTING AERIAL



IMAGE 5 / VIEW LOOKING WEST TOWARD NORTH ELEVATION AND ACCESS

MONTEREY PINE TO REMAIN -
 REFER TO ARBORIST REPORT OR
 SHEET A0.9 - TREE "T5"

MONTEREY PINE TO BE REMOVED
 REFER TO ARBORIST REPORT OR
 SHEET A0.9 TREE "T4"

OAKS <10" TO BE REMOVED
 REFER TO ARBORIST REPORT OR
 SHEET A0.9 TREES " T2 & T3"

MONTEREY PINE TO REMAIN
 REFER TO ARBORIST REPORT OR
 SHEET A0.9 TREE "T7"



IMAGE 6 / VIEW LOOKING AT NORTH - EAST ELEVATION



IMAGE 7 & 8 / VIEW LOOKING NORTH ELEVATION FROM ACCESS DRIVE





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 Sausalito, CA 94966
 phone: 415.713.3559
 email: sean@mcardle.com
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 CA GC Licence: #1021642
 Sausalito Lic: #02007499

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 email: DanKaufman@google.com
 Kaufman.JL@gmail.com

STRUCTURAL: PHEIF ENGINEERING, INC.
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 email: john@pheifengineering.com

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 email: gdearth@LTDengineering.com

LAND SURVEY: LAWRENCE P DOYLE
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 email: doylepd@aol.com

DESIGN REVIEW PLANNING SUBMITTAL

NO:	DATE:	DESCRIPTION:
1	04.20.20	INITIAL PLANNING SUBMISSION
2	06.01.20	PLANNING REVIEW / DUPLICATION
3	09.07.20	RESUBMITTAL / DUPLICATION
4	12.03.20	RESUBMITTAL / DUPLICATION
5	1.27.21	FIRE PREVENTION CLARIFICATIONS
6	2.26.21	GGNRA CLARIFICATIONS
7	3.16.21	CIVIL CLARIFICATIONS
8	4.11.21	NEIGHBORHOOD NOTICE

KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

LANDSCAPE PLAN /
 PROPOSED

A0.47

PROPOSED AREA FOR REPLACEMENT TREES
 (5) NEW TREES. SPECIES OAK, SIZE 24 INCH BOX

EXISTING 20" MONTEREY PINE TO BE REMAIN

EXISTING 13" MONTEREY PINE TO BE REMAIN

EXISTING MONTEREY PINE TO BE REMOVED
 REFER TO ARBORIST REPORT

HATCH INDICATES AREA TO
 BE MAINTAINED. NO NEW
 PLANTINGS PROPOSED.

RESTORE PAVERS / MATCH EXISTING

PROPOSED: PERMEABLE PAVERS AT
 DRIVEWAY WHERE SLOPE <18% REFER
 TO "HYDRA" PAVER SPECIFICATION.

RIBBON CONCRETE WHERE
 DRIVEWAY >18% SLOPE
 PER FIRE DEPARTMENT

PROPOSED: NATIVE SUCCULENTS AT
 DRIVEWAY RETAINING WALLS . REFER TO
 PROPOSED PLANT LEGEND SHEET A0.44

EXISTING MONTEREY PINE TO REMAIN
 & PROTECT. REFER TO ARBORIST
 REPORT

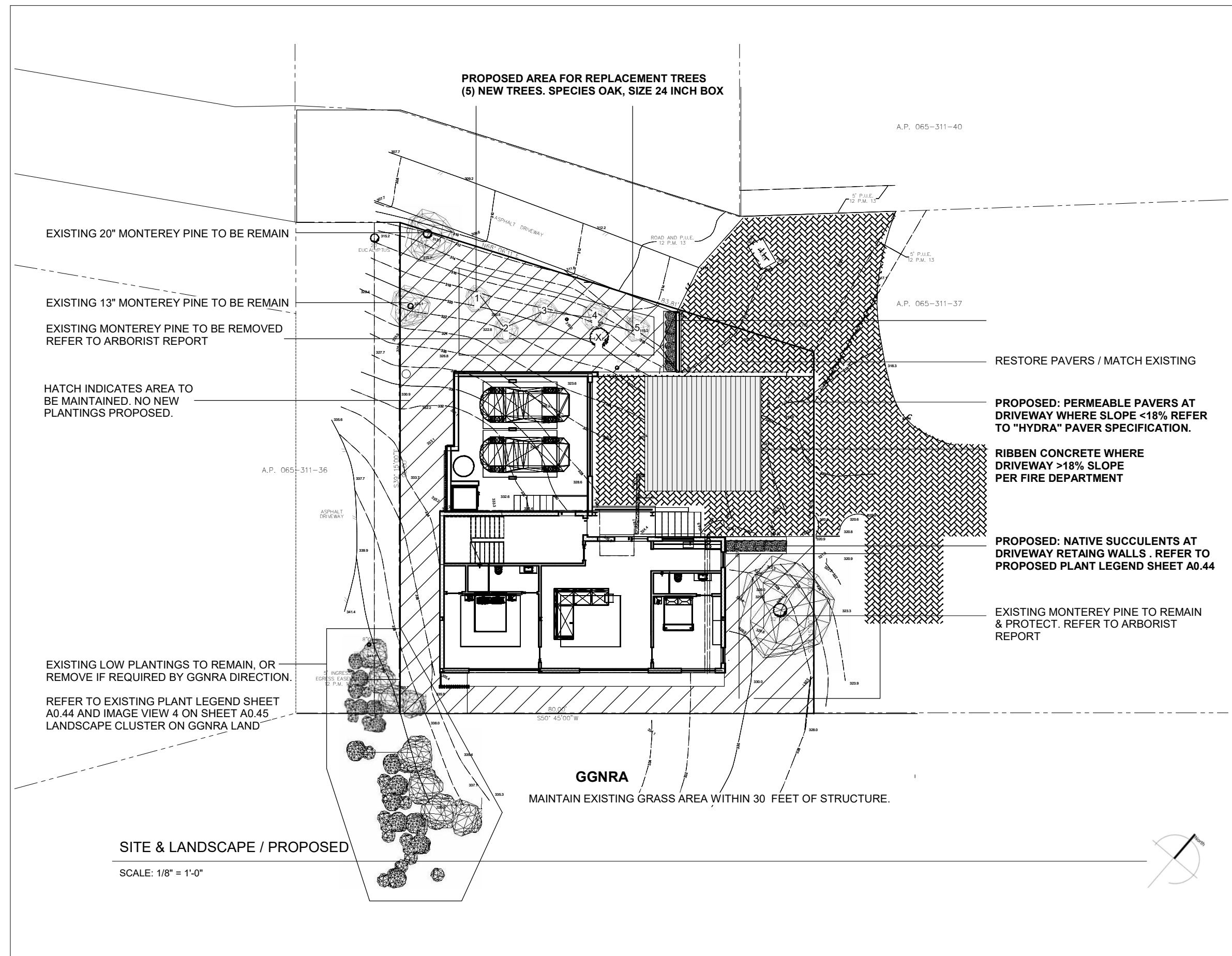
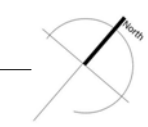
GGNRA
 MAINTAIN EXISTING GRASS AREA WITHIN 30 FEET OF STRUCTURE.

EXISTING LOW PLANTINGS TO REMAIN, OR
 REMOVE IF REQUIRED BY GGNRA DIRECTION.

REFER TO EXISTING PLANT LEGEND SHEET
 A0.44 AND IMAGE VIEW 4 ON SHEET A0.45
 LANDSCAPE CLUSTER ON GGNRA LAND

SITE & LANDSCAPE / PROPOSED

SCALE: 1/8" = 1'-0"





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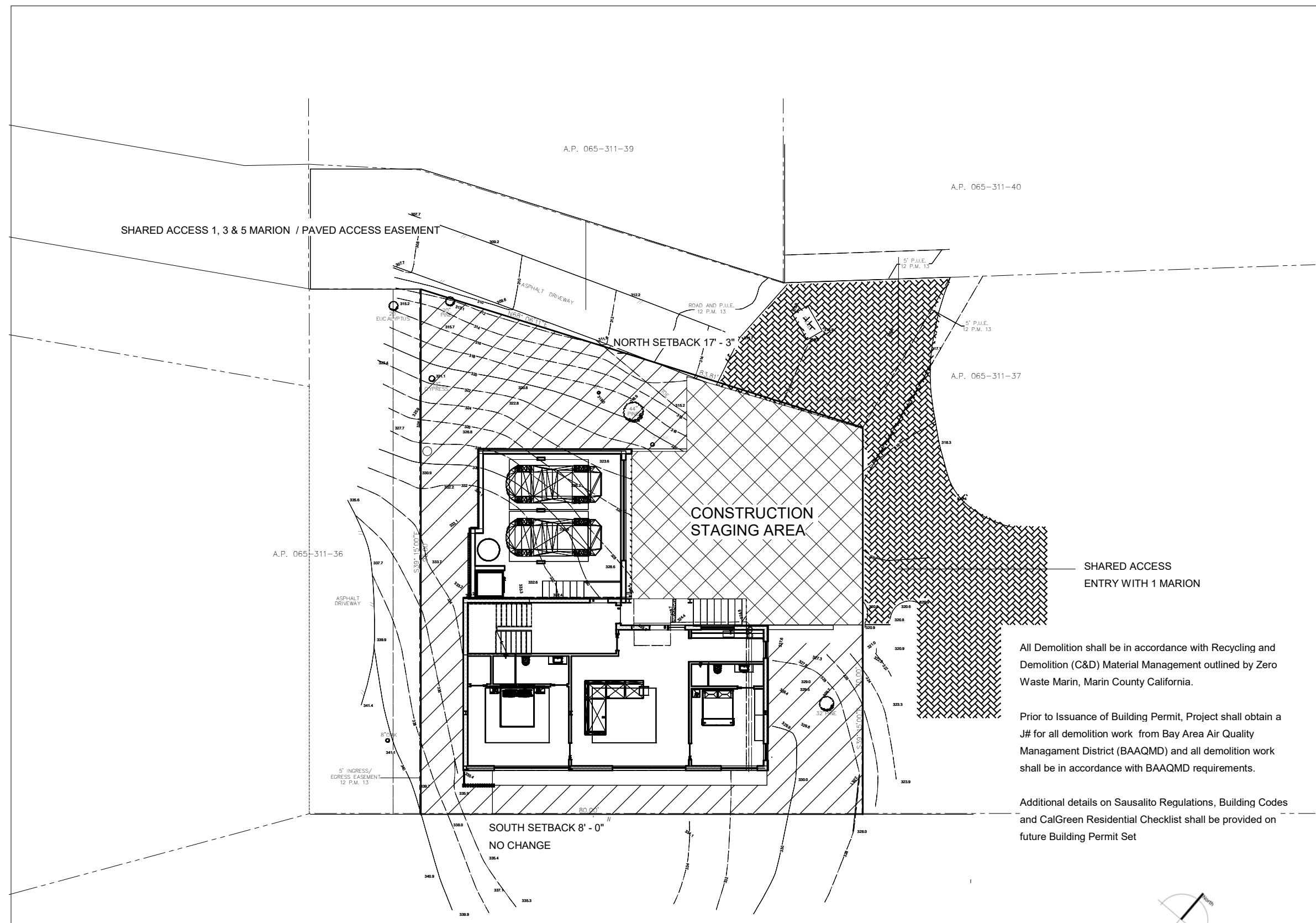
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KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

CONSTRUCTION STAGING

A0.48



All Demolition shall be in accordance with Recycling and Demolition (C&D) Material Management outlined by Zero Waste Marin, Marin County California.

Prior to Issuance of Building Permit, Project shall obtain a J# for all demolition work from Bay Area Air Quality Management District (BAAQMD) and all demolition work shall be in accordance with BAAQMD requirements.

Additional details on Sausalito Regulations, Building Codes and CalGreen Residential Checklist shall be provided on future Building Permit Set

CONSTRUCTION STAGING

SCALE: 1/8" = 1'-0"

9A/9B MARION 3 MARION 5 MARION 1 MARION



GGNRA

We have initiated Neighborhood Outreach contact with a focus on immediate neighbors to 3 Marion:

1 Marion / Owners of 3 Marion are in contact with Owners of 1 Marion, Jim and Debbie Messemer, on a regular basis. The Messemers have expressed no need for changes to the proposed design. They have requested funds be set aside for any damage to the shared access road during construction process. April 28, 2020 - Letter submitted by Jim and Debbie Messemer to Sausalito Community Development Department

5 Marion / Owners of 5 Marion Diana and Tim Jolis requested no change to the current design. August 15, 2020 - Letter of support by Tim and Diana Jolis

9 Marion / Initiated contact with tenant and owner.

Owner and Design/Construction Team have also committed to working with and being highly considerate to all adjacent owners during construction process.

NEIGHBORHOOD OUTREACH



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KAUFMAN RESIDENCE
 3 MARION AVENUE, SAUSALITO, CA
 A.P.N. 065-311-038

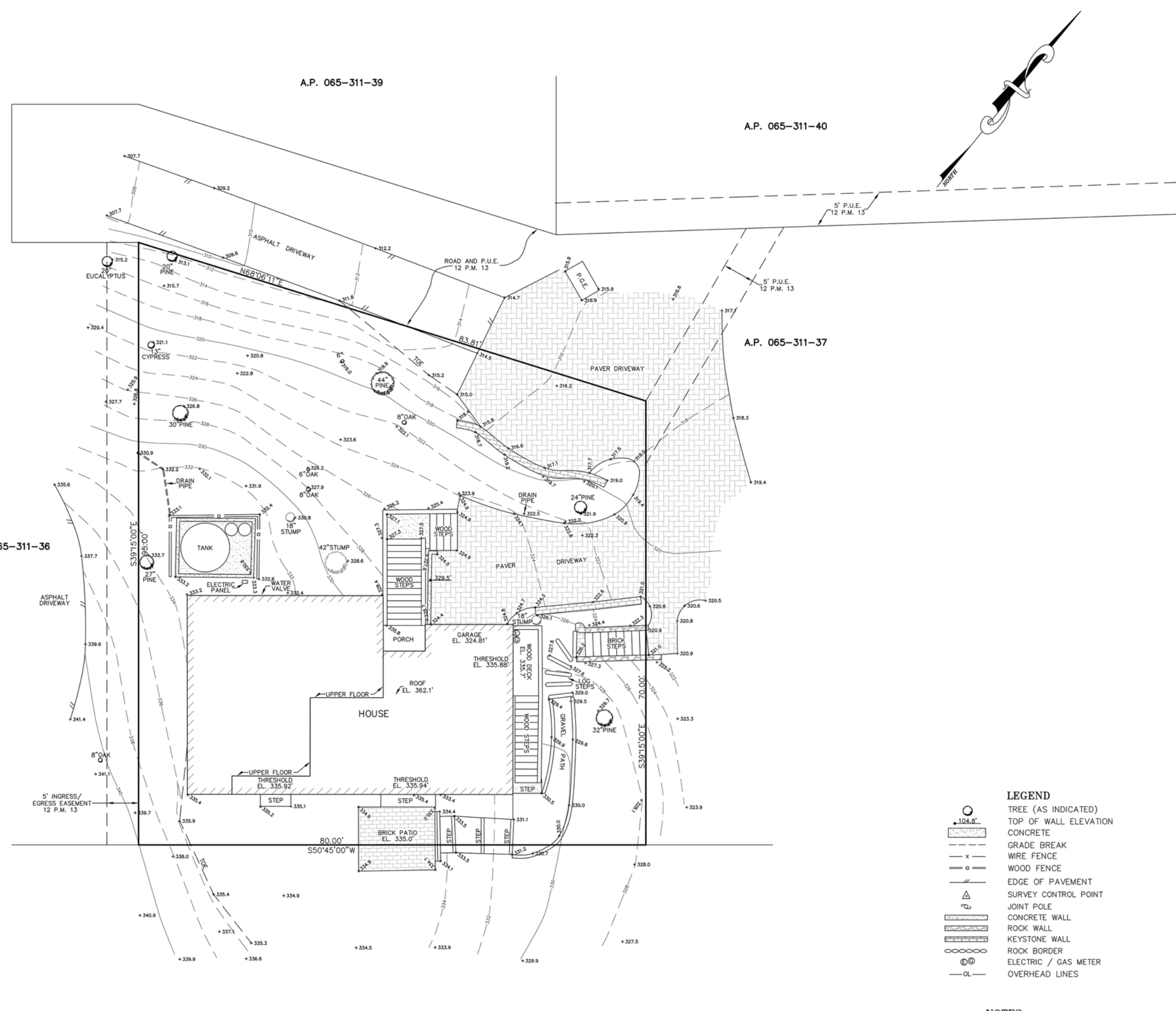
NEIGHBORHOOD OUTREACH

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3 MARION AVENUE
 SAUSALITO CALIFORNIA
 A.P. 065-311-38

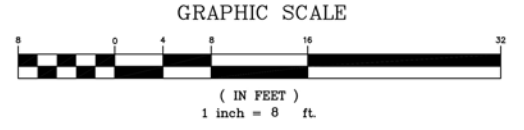
TOPOGRAPHIC SURVEY

DRAWN BY: CPD
 DATE: 8/6/20
 ISSUE:



- LEGEND**
- TREE (AS INDICATED)
 - TOP OF WALL ELEVATION
 - CONCRETE
 - GRADE BREAK
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF PAVEMENT
 - SURVEY CONTROL POINT
 - JOINT POLE
 - CONCRETE WALL
 - ROCK WALL
 - KEYSTONE WALL
 - ROCK BORDER
 - ELECTRIC / GAS METER
 - OVERHEAD LINES

- NOTES**
1. ONLY SIGNIFICANT TREES SHOWN
 2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
 3. DATUM IS PER MARIN GIS MAPPING
 4. BOUNDARY AND EASEMENTS ARE PER 12 P.M. 13



SALESFORCE TOWER
 ALCATRAZ

A.P. 065-311-39
 A.P. 065-311-40
 A.P. 065-311-37
 A.P. 065-311-36



ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

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KAUFMAN RESIDENCE
REMODEL
APN 065-311-38
3 MARION AVENUE
SAUSALITO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	4/17/20	ISSUED FOR REVIEW
2	2/4/20	REVISED PER CITY COMMENTS
3	3/12/21	REVISED PER CITY COMMENTS

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: NA
DATE: 4/17/2020
PROJECT NO: 636.001

COVER SHEET
REVISION 2
SHEET NO. 1 OF 4
DRAWING C-1

INDEX OF DRAWINGS

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	GRADING AND DRAINAGE PLAN
C-3	VEHICLE MANEUVERS AND DETAILS
C-4	NOTES

ABBREVIATIONS

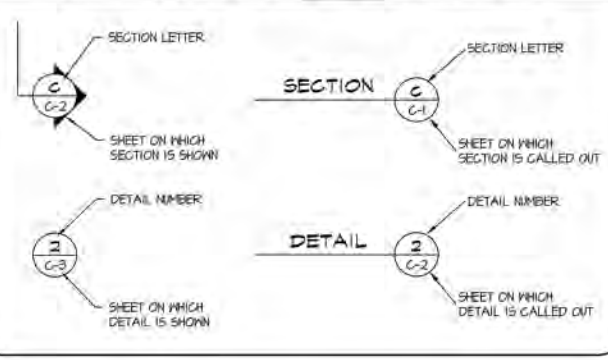
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BM	BENCH MARK
BPD	BACKWATER PREVENTION DEVICE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COM	COMMUNICATION
COM/OH	COMMUNICATION OVERHEAD
COMMUG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
E/OH	ELECTRICAL OVERHEAD
E/UG	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL or ELEV	ELEVATION
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
FG	FINISHED GRADE ELEVATION
FT	FEET or FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
JF	JOINT UTILITY POLE
JT	JOINT UTILITY TRENCH
LLFF	LOWER LEVEL FINISHED FLOOR ELEV
LPFF	LOW POINT FINISHED FLOOR ELEV
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MLFF	MAIN LEVEL FINISHED FLOOR ELEV
MMWD	MARIN MUNICIPAL WATER DISTRICT
OH	OVERHEAD
P64E	PACIFIC GAS AND ELECTRIC
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RIM	ELEV AT MH COVER OR DI GRATE
RL	ROOF LEADER
ROW	RIGHT-OF-WAY
S	SLOPE
SCH	SCHEDULE
SIM	SIMILAR
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SDR	STANDARD DIMENSION RATIO
TC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
UCS	UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
ULFF	UPPER LEVEL FINISHED FLOOR ELEV
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE

STORMWATER PLAN SUMMARY

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	1,910 SF	2,498 SF
CONCRETE PAVERS (PERVIOUS)	496 SF	1,594 SF
LANDSCAPE (PERVIOUS)	3,634 SF	2,508 SF
TOTAL LOT AREA	6,000 SF	6,600 SF

- STORMWATER NOTES:**
- IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
 - CONCRETE PAVERS INCLUDE WALKWAYS, PATIOS AND DRIVEWAY.
 - NEW OR REPLACEMENT IMPERVIOUS AREA IS 936 SF.

DETAIL AND SECTION DESIGNATIONS



UTILITY CONNECTION NOTES:

- THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:
 - WATER: MARIN MUNICIPAL WATER DISTRICT
 - SEWER: SAUSALITO PUBLIC WORKS, SEWER DIVISION
 - ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)
 - GAS: PACIFIC GAS AND ELECTRIC (PG&E)
 - TELEPHONE: AT&T
 - CABLE: COMCAST
- INSTALL NEW WATER SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. SIZE THE WATER SERVICE PIPE FOR THE REQUIRED FIRE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FIRE SPRINKLER FLOW RATE.
- CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. 1 STANDARDS.

ESTIMATED EARTHWORK QUANTITIES

EXCAVATION	100 CY
FILL	60 CY
EXCESS	40 CY
MAX. EXCAVATION DEPTH	6.5 FT
MAX. FILL DEPTH	8.0 FT
DISTURBED AREA	0.07 AC

EARTHWORK NOTES:

- QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
- LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
- SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

GREEN BUILDING STANDARDS

- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

LEGEND

	ASPHALT PAVING (IMPERVIOUS)		PROPERTY LINE		CONC RETAINING WALL
	CONCRETE PAVING (IMPERVIOUS)		EASEMENT LINE		SUBDRAIN (PERFORATED PIPE)
	NEW FLAGSTONE PAVING (IMPERVIOUS)		EX WOODEN RET WALL		STORM DRAIN PIPE
	NEW CONCRETE PAVERS (SEMI-PERVIOUS)		DRAINAGE DITCH/BIO-SWALE		ELECTRICAL OVERHEAD LINE
	NEW WOOD DECK (PERVIOUS)		UNDISTURBED SOIL		ELECTRICAL UNDERGROUND
	PERVIOUS PAVING		COMPACTED FILL MATERIAL		COMMUNICATION OVERHEAD LINE
	PLANTED, LANDSCAPED AREA		GEOTEXTILE		COMMUNICATION UNDERGROUND
	GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)		EROSION CONTROL BLANKET		JOINT TRENCH
	EROSION CONTROL BLANKET		TURF REINFORCING MAT		SANITARY SEWER
	BUILDING ADDITION		STRAW MATTLE		WATER LINE
	AREA DRAIN		RUNOFF FLOW DIRECTION		GAS LINE
	DRAINAGE INLET		SWALE FLOW DIRECTION		EDGE OF ROAD
	ROOF LEADER		STORMWATER LEVEL SPREADER		ROOF EAVE
	FIRE HYDRANT		BUBBLE-UP DRAINAGE EMITTER		EX FENCE
	JOINT POLE		POP-UP DRAINAGE EMITTER		NEW WIRE FENCE
	GAS METER, ELECTRIC METER		SUBDRAIN END CAP		NEW WOOD FENCE
	WATER METER		SUBDRAIN OR STORMWATER CLEANOUT		EXISTING GRADE ELEVATION CONTOUR
	EX TREE		SUBDRAIN OUTLET		FINISHED GRADE ELEVATION CONTOUR
	EX TREE DRIELINE		HIDDEN FOUNDATION OR RETAINING WALL		FINISHED GRADE ELEVATION
			TREE PROTECTION FENCING		REMOVE EX TREE

GENERAL NOTES:

- SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY LAWRENCE DOYLE, LAND SURVEYOR, CIVIL ENGINEER, 100 HELENS LANE, MILL VALLEY, CA (415) 388-9585. DATED 8/6/20. DATUM IS PER MARIN GIS MAPPING. BOUNDARY AND EASEMENTS ARE PER 12 P.M. 13.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

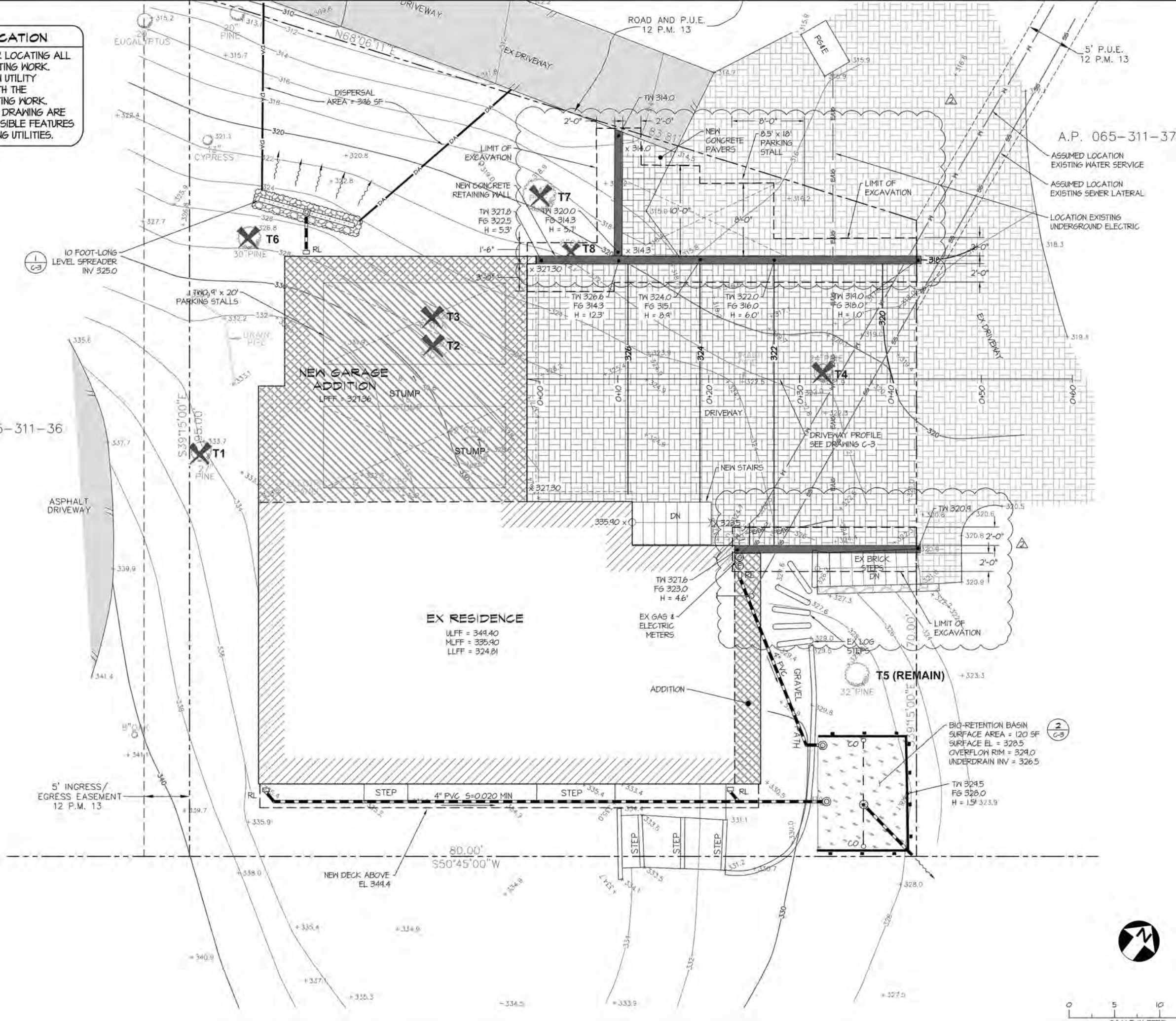
THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

RETAINING WALL AND FOUNDATION ELEVATIONS

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

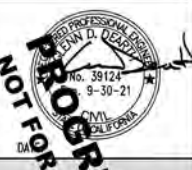
EXISTING UTILITY LOCATION

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.



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ISSUED FOR REVIEW
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KAUFMAN RESIDENCE REMODEL
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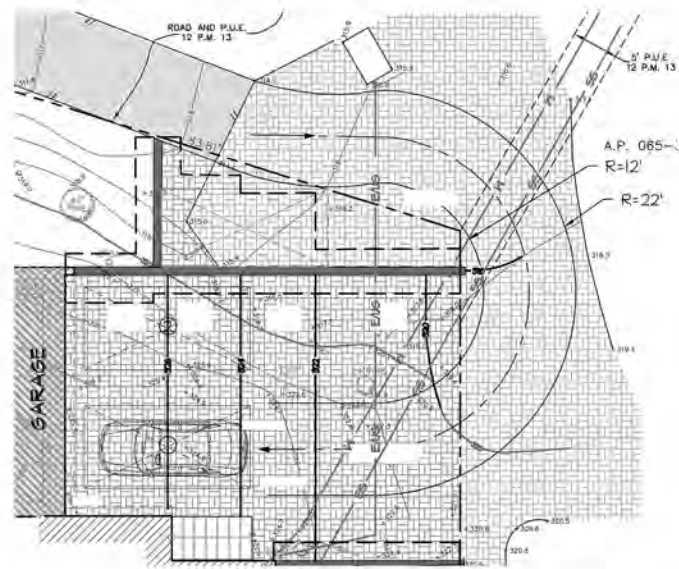
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NO.	DATE	DESCRIPTION
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2	2/4/20	REVISED PER CITY COMMENTS
3	5/12/21	REVISED PER CITY COMMENTS
4		
5		

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: 1" = 5'-0"
DATE: 4/17/2020 PROJECT NO: 636.001

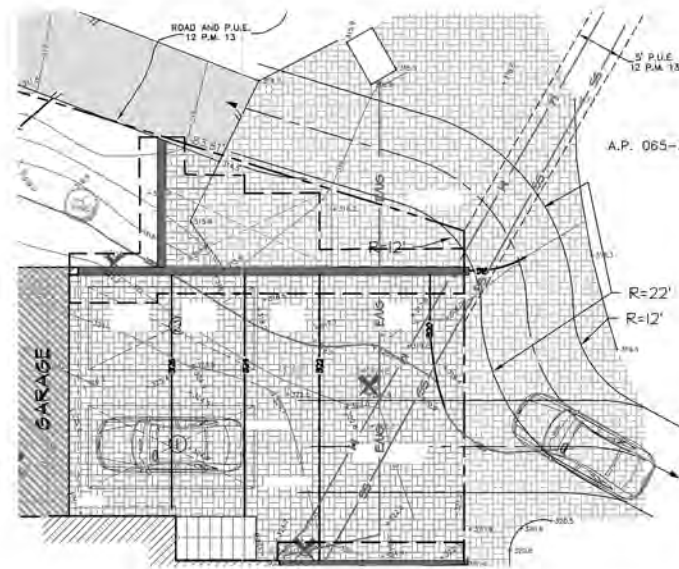
CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISION **2**
SHEET NO. **2 OF 4**
DRAWING **C-2**

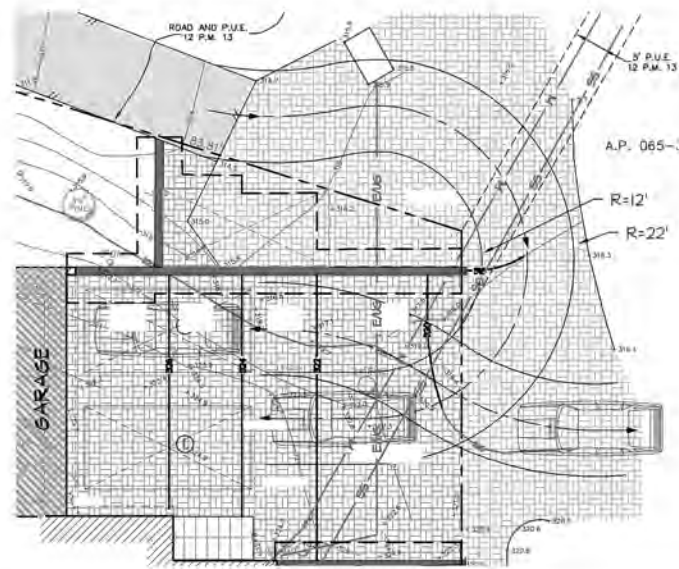
C:\CAD\Kaufman 3 Marion Ave Sausalito (636.001) Grading and Drainage\Design\Kaufman Grading and Drainage (Rev 2).dwg, 3/15/2021 12:58:16 PM



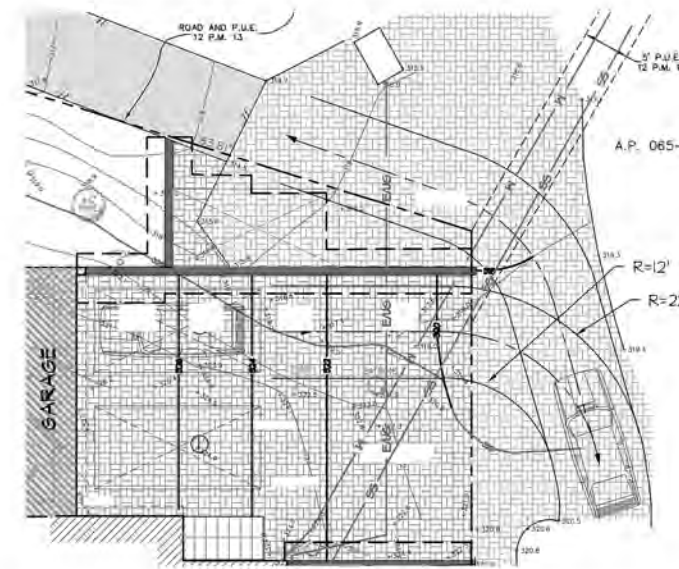
CAR #1 ENTER
SCALE: 1" = 10'-0"



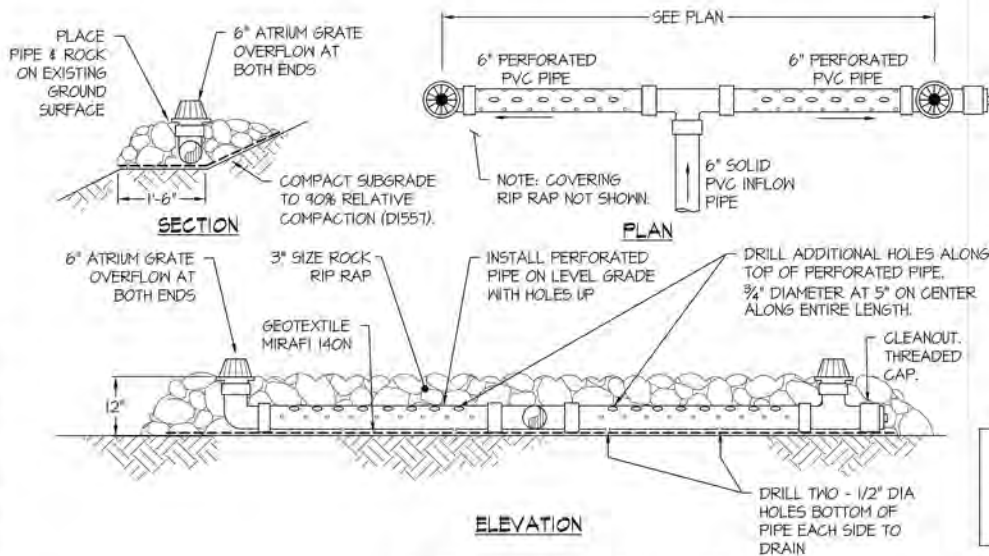
CAR #1 EXIT
SCALE: 1" = 10'-0"



CAR #2 ENTER
SCALE: 1" = 10'-0"

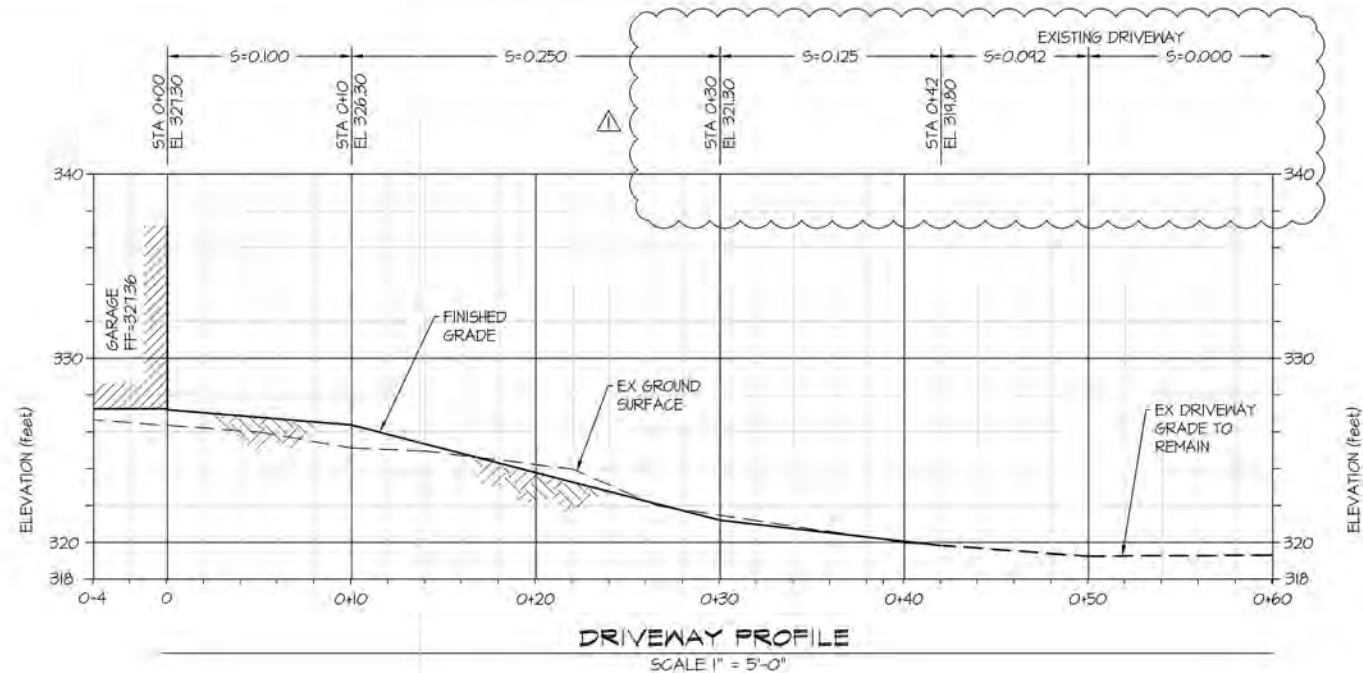


CAR #2 EXIT
SCALE: 1" = 10'-0"

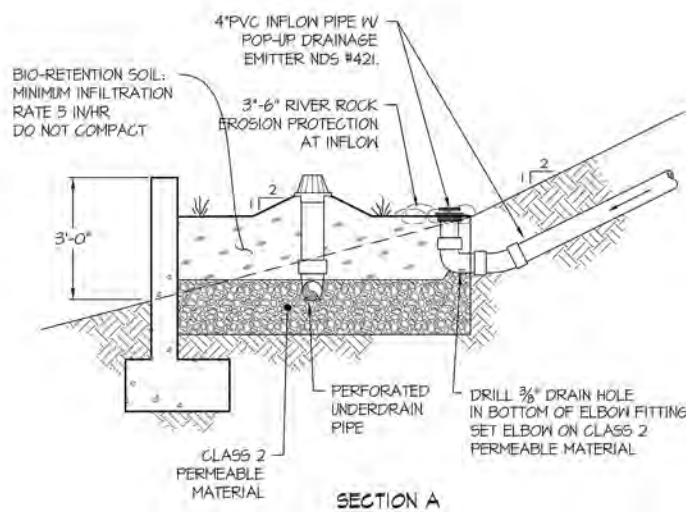


LEVEL SPREADER DETAIL
NO SCALE

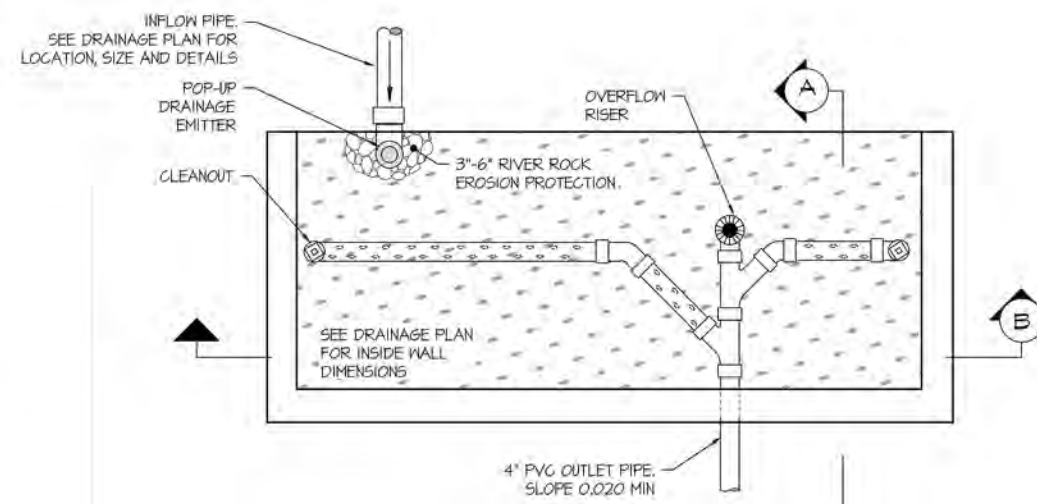
NOTE: THE DESIGN INTENT OF THE LEVEL SPREADER IS TO DISCHARGE STORMWATER EVENLY ON THE GROUND SURFACE. THE LEVEL SPREADER IS NOT INTENDED TO INFILTRATE WATER. PLACE THE PERFORATED PIPE ON THE GROUND SURFACE AND NOT IN AN EXCAVATED TRENCH.



DRIVEWAY PROFILE
SCALE: 1" = 5'-0"

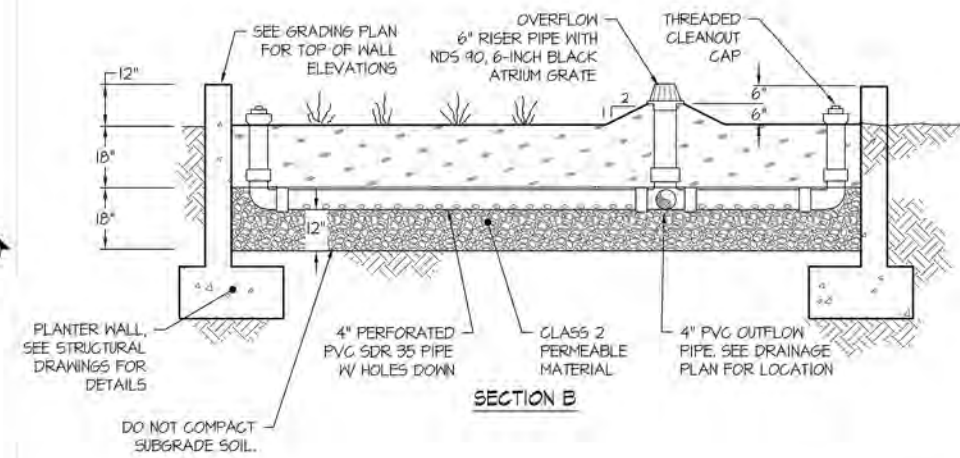


SECTION A



PLAN

BIO-RETENTION BASIN DETAIL
NO SCALE



SECTION B



ISSUED FOR REVIEW
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KAUFMAN RESIDENCE REMODEL
APN 065-311-38
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SAUSALITO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	9/17/20	ISSUED FOR REVIEW
2	12/4/20	REVISED PER CITY COMMENTS
3	3/12/21	REVISED PER CITY COMMENTS
4		
5		

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: AS SHOWN
DATE: 9/17/2020
PROJECT NO. 636.001

VEHICLE MANEUVERS AND DETAILS

REVISION **2**
SHEET NO. **3 OF 4**
DRAWING **C-3**

DESIGN REVIEW NOTES

STORMWATER DRAINAGE PLAN

1. THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE THE CITY OF SAUSALITO REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
2. THE EXISTING DEVELOPMENT ON THE SITE TOTALS 1,970 SQUARE FEET (SQ FT) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS WALKWAYS AND THE DRIVEWAY. THE TOTAL LOT AREA IS 6,600 SQ FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 30 PERCENT OF THE TOTAL LOT AREA.
3. THE PROPOSED REMODEL PLAN ADDS 528 SQ FT OF NEW IMPERVIOUS AREA, GIVING A TOTAL OF 2,498 SQ FT OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 38 PERCENT OF THE LOT AREA.
4. THE PROPOSED DEVELOPMENT PLAN MINIMIZES THE USE OF IMPERVIOUS HARDSCAPE. PERVIOUS PAVING (CONCRETE PAVERS) WILL BE USED FOR THE DRIVEWAY AND OFF-STREET PARKING.
5. RUNOFF FROM 1,741 SQ FT OF THE PROPOSED IMPERVIOUS AREA WILL BE COLLECTED IN A PIPED DRAINAGE SYSTEM AND DIRECTED TO AN ON-SITE BIO-RETENTION BASIN. THE IMPERVIOUS AREA DIRECTED TO THE BIO-RETENTION BASIN INCLUDES THE ENTIRE ROOF AREA OF THE HOUSE. THE BIO-RETENTION BASIN WILL SLOW THE RUNOFF RATE, ALLOW STORMWATER TO INFILTRATE AND PROVIDE STORMWATER TREATMENT.
6. THE BIO RETENTION BASIN IS DESIGNED TO CAPTURE THE 10-YEAR STORM AND INFILTRATE IT INTO THE GROUND IN ACCORDANCE WITH MGSSTOPPP GUIDELINES. THE SURFACE AREA OF THE BASINS AND DETAILS OF CONSTRUCTION COMPLY WITH MGSSTOPPP GUIDELINES.
7. RUNOFF FROM 757 SQ FT OF PROPOSED IMPERVIOUS AREA WILL BE COLLECTED IN A PIPED DRAINAGE SYSTEM AND DIRECTED TO A LEVEL SPREADER WHERE IS WILL BE DISPERSED ON SITE. THE IMPERVIOUS AREA DIRECTED TO THE LEVEL SPREADER INCLUDES THE ENTIRE ROOF AREA OF THE NEW GARAGE.
8. A FOUNDATION DRAINAGE AND RETAINING WALL BACK DRAINAGE SYSTEM WILL BE CONSTRUCTED USING PERFORATED PVC PIPE. THE SYSTEM WILL OUTLET TO THE GROUND SURFACE AT A SUITABLE LOCATION. PERMANENT EROSION CONTROL WILL BE INSTALLED AT THE OUTLET LOCATION.

EXCAVATION & GRADING PLAN

1. SITE GRADING WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN. SITE GRADING WILL BE LIMITED TO EXCAVATION WITHIN THE FOOTPRINT OF THE ADDITION AND THE DRIVEWAY. FILL WILL BE LIMITED TO PARTS OF THE DRIVEWAY.
2. EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE CONSTRUCTION CONTRACTOR.

EROSION CONTROL

1. EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAW WATTLES WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TARPS TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL BLANKET AND STRAW WATTLES.
2. PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE ENTIRE DISTURBED AREA AT THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLANS.

STORMWATER POLLUTION PREVENTION

1. SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

UTILITY PLAN

1. WATER: THE EXISTING WATER METER WILL BE REPLACED WITH AN APPROPRIATELY SIZED METER FOR THE REMODELED HOUSE. THE EXISTING PIPE FROM THE METER TO THE HOUSE MAY BE REPLACED IF IT IS INADEQUATE FOR THE FIRE SPRINKLER DESIGN REQUIREMENTS. ALL WATER SYSTEM IMPROVEMENTS WILL BE COMPLETED IN CONFORMANCE WITH MARIN MUNICIPAL WATER DISTRICT STANDARDS.
2. ELECTRIC POWER: THE EXISTING UNDERGROUND ELECTRIC SERVICE AND METER WILL BE RETAINED. ANY REQUIRED ELECTRIC SERVICE IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS AND ELECTRIC (PG&E) AND COMPLETED IN CONFORMANCE WITH PG&E STANDARDS.
3. COMMUNICATION: THE EXISTING UNDERGROUND PHONE AND CABLE TV SERVICE WILL BE RETAINED. ANY COMMUNICATION SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH AT&T AND COMCAST. THE WORK WILL BE COMPLETED IN CONFORMANCE WITH THEIR STANDARDS.
4. NATURAL GAS: THE EXISTING GAS SERVICE AND METER WILL BE RETAINED. ANY REQUIRED GAS SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS AND ELECTRIC (PG&E) AND COMPLETED IN CONFORMANCE WITH PG&E STANDARDS.
5. SANITARY SEWER: THE EXISTING SEWER LATERAL WILL BE REPLACED WITH A NEW LATERAL AND BACK FLOW PREVENTION DEVICE IN THE SAME LOCATION AS THE EXISTING LATERAL, CONFORMING TO SAUSALITO SANITARY DISTRICT STANDARDS AS SHOWN ON DRAWING C-2.

RETAINING WALL CONSTRUCTION NOTES

1. ALL RETAINING WALLS WILL BE REINFORCED CONCRETE CONSTRUCTION SUPPORTED BY SPREAD FOOTINGS OR DRILLED PIERS AS DETERMINED BY THE PROJECT GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.

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REMODEL
APN 065-311-38
3 MARION AVENUE
SAUSALITO, CALIFORNIA

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NO.	DATE	DESCRIPTION
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2	2/4/20	NO CHANGES
3	3/12/21	NO CHANGES
4		
5		

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:

SCALE: 1" = 5'-0"
DATE: 9/17/2020 PROJECT NO. 636.001

NOTES

REVISION **2**
SHEET NO. **4 OF 4**
DRAWING **C-4**