

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2021-11**

**APPROVAL OF A DESIGN REVIEW PERMIT WITH HEIGHTENED DESIGN
REVIEW, NONCONFORMITY PERMIT, AND TREE REMOVAL PERMIT AND
RECOMMENDATION OF AN ENCROACHMENT AGREEMENT FOR THE ADDITION
TO THE STRUCTURE AND DRIVEWAY IMPROVEMNTS LOCATED IN THE RIGHT-
OF-WAY OF AN EXISTING RESIDENCE AT 181 SPENCER AVENUE (DR/EA/NP/TRP
2018-00193)**

WHEREAS, an application has been filed by applicant, Marty Zwick, on behalf of property owner Karen and Gary Panariello, requesting Planning Commission approval of a Design Review Permit, Encroachment Agreement, Nonconformity Permit and Tree Removal Permit for an addition to the existing structure at 181 Spencer Avenue and provide for driveway improvements (APN 065-202-04); and

WHEREAS, the project site is located within the General Plan Medium Low Density Residential use designation, and the Single-Family Residential (R-1-6) Zoning District; and

WHEREAS, the Planning Commission has reviewed a Design Review Permit with Heightened Design Review for the proposed addition to the existing structure and reconfigured deck, enclosing the understory of the existing carport for a new attached two-car garage and storage area above; an Encroachment Agreement for driveway improvements included widening and regarding and a retaining wall replacement to be located in the public right-of-way on the north side of the existing structure; a Nonconformity Permit to shift the existing legal non-conforming building area on the parcel, eliminate the existing legal non-conforming side yard setback encroachment, and maintain the legal non-conforming height of the structure within the first 15 feet of the property; and

WHEREAS, the Planning Commission conducted a duly-noticed public hearings on February 24, 2021 and April 6, 2021, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the project plans titled "181 Spencer Avenue" and date-stamped November 16, 2020 and March 31, 2021 and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed project; and

WHEREAS, the Planning Commission finds that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff reports dated February 24, 2020 and April 21, 2021; and

WHEREAS, approval of the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e), Additions to Existing Structures.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301(e), Additions to Existing Structures.

2. The Design Review Permit for addition to the existing structure and reconfigured deck space is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "181 Spencer Avenue" date-stamped March 31, 2021 (Attachment 3).
3. The Encroachment Agreement to widen and regrade the driveway and replace the retaining wall at the northern edge of the driveway is recommended for City Council approval based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "181 Spencer Avenue" date-stamped March 31, 2021 (Attachment 3).
4. The Nonconformity Permit to shift the existing legal non-conforming building area on the parcel to the north, remove the existing legal non-conforming side yard setback encroachment, and maintain the legal non-conforming height of the structure within the first 15 feet of the front property line on the site is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "181 Spencer Avenue" date-stamped March 31, 2021 (Attachment 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 21st day of April, 2021, by the following vote:

AYES: Commissioner: Pierce, Luxenberg, Saad, Graef, Chair Feller
NOES: Commissioner: None
ABSENT: Commissioner: None
ABSTAIN: Commissioner: None

Lilly Whalen

Lilly Whalen
Secretary to the Planning Commission

Attachments

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans, date stamped March 31, 2021

SAUSALITO PLANNING COMMISSION NO. 2021-11

April 21, 2021

**181 SPENCER AVENUE
DR/EA/NP/TRP 2018-00193**

ATTACHMENT 1

**FINDINGS FOR APPROVAL OF A DESIGN REVIEW PERMIT WITH
HEIGHTENED DESIGN REVIEW, APPROVAL OF AN ENCROACHMENT
AGREEMENT,
APPROVAL OF A NONCONFORMITY PERMIT,
APPROVAL OF A TREE REMOVAL PERMIT**

1. DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) *The proposed project is consistent with the general plan, any applicable specific plans, any applicable design guidelines, and this chapter. (The adopted historic design guidelines can be found in the Community Development Department or the office of the City Clerk.).*

The project, as conditioned, is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance as described in the Staff Report dated February 24, 2020.

- B) *The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.*

The proposed addition would maintain the prevailing design character of the neighborhood by utilizing materials that are consistent with surrounding structures including natural wood siding to match the existing house.

- C) *The proposed project's use is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.*

The proposed FAR is comparable to the surrounding residences and below the maximum allowed in the zoning district. The parcel contains an existing deck and carport that is similar in height and building coverage to the proposed project but within the side yard setback. The proposed development would slightly reduce the building coverage and eliminate the side yard setback encroachment. The proposed project is also generally consistent with the neighborhood as many surrounding residences contain attached two-car garages or carports.

- D) *The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.*

The proposed project is designed to minimize obstruction of public views and primary views from private property. The existing deck is shifted away from the neighboring residence and out of the side yard setback. The reconfigured deck is also 12 square feet less than the existing. The additional floor area and two-car garage are tucked underneath the deck, infilling the exposed understory of the existing carport. The applicant proposes four upright shrubs at the top of the slope along the exterior of the addition and five Japanese privet at the bottom of the slope along

Spencer Avenue as shown on the landscape plans, Sheets L-1.0 – L1.1. Furthermore, the retaining wall along the driveway is designed in such a way to retain two existing silver dollar eucalyptus trees.

- E) *The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.*

The proposed project will not increase the height of the structure, the new deck and railing meet the applicable height standard of SMC 10.40.060.B.3 and do not extend beyond the line between the high point of the building and the slope of the grade below the deck. The proposed development will fit within the existing building envelope of the original 1958 plans.

- F) *The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.*

The applicant proposes new vegetative screening along the top of the slope, adjacent to the proposed garage and storage area, and at the bottom of the slope along Spencer Avenue as shown on the landscape plan, Sheets L-1.0 – L1.1. The proposed landscaping provides visual relief, effectively screening the additional massing. Five Japanese privet are proposed to supplement the existing hedge and the driveway design will reduce the impact to existing vegetation. The proposed design complements the existing building and vegetation and provides an attractive environment for the enjoyment of the public.

- G) *The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.*

The proposed deck is shifted away from the neighboring residence and out of the side yard setback. The reconfigured deck is also 12 square feet less than the existing. Therefore, light and air will increase for the project site, adjacent properties, and the general public.

- H) *Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.*

Changes to the existing mechanical equipment and chimney are not proposed. Exterior lighting is proposed at the garage and corner of the deck, which will be conditioned to be maintained directed downward to minimize visual impacts.

- I) *The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck, and patio configurations.*

The deck is reconfigured to increase the level of privacy as it is shifted out of the side yard setback and increase the amount of separation from the neighboring residence. The proposed FAR of 0.41 is comparable to surrounding properties and meets the maximum standard of 0.45 FAR for the zoning district. The additional floor area is tucked underneath the existing understory of the carport, minimizing any impacts on the level of privacy. Existing landscaping would be preserved, except for the 10-inch DBH bay laurel, to maintain and enhance privacy. The applicant has conducted neighbor outreach and responding neighbors were supportive.

- J) *Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.*

The proposed project will add an additional off-street parking space and bring the site into compliance with the minimum number of required spaces. An Encroachment Agreement is also requested to both widen and reduce the steep slope of the driveway. The widening will

accommodate a new vehicle turntable, which will ensure forward movements for egress and improve safety.

- K) *The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.*

One 10-inch DBH bay laurel tree is proposed for removal. As evidenced in the arborist report prepared for the project, the existing tree has heavy lean and narrow trucks, which pose a risk of collapse. The removal has been conditioned on replacing the bay laurel with a replacement tree recommended by the project arborist to be selected for slope stabilization and attraction of diverse pollinators, in conformance with Fire Safe Marin's list of Fire-Smart Plants and the location of which to be determined based on the rooting characteristics of the species to achieve slope stabilization. The proposed project is also not located on any significant natural features on the site as grading is expected to be limited to reducing the steep slope of the driveway.

- L) *The project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings)*

The proposed project is subject to heightened design review as the project exceeds 80 percent of the maximum allowed floor area ratio and/or site coverage.

- M) *The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include, but are not limited to stepping upper levels back from the first level, incorporating façade articulations and divisions (such as building wall off-set), and using varying rooflines.*

The proposed project is designed to ensure on-site structures do not crowd structures on neighboring properties. The existing deck is shifted away from the neighboring residence and out of the side yard setback. The reconfigured deck is also 12 square feet less than the existing. The additional floor area and two-car garage are tucked underneath the deck, infilling the exposed understory of the existing carport.

2. HEIGHTENED DESIGN REVIEW FINDINGS

In accordance with Zoning Ordinance Section 10.54.050(E) (Heightened [Design] Review), the Design Review Permit is approved based on the following findings:

- A) *Proposed development of the site maximizes preservation of protected trees.*

One 10-inch DBH bay laurel tree is proposed for removal. As evidenced in the arborist report prepared for the project, the existing tree has heavy lean and narrow trucks, which pose a risk of collapse. The removal has been conditioned on replacing the bay laurel with a replacement tree recommended by the project arborist to be selected for slope stabilization and attraction of diverse pollinators, in conformance with Fire Safe Marin's list of Fire-Smart Plants and the location of which to be determined based on the rooting characteristics of the species to achieve slope stabilization.

- B) *The site is configured with adequate width and depth to provide yard spaces and setbacks, proportional to the size of the structure.*

The site is a legal, nonconforming parcel recorded prior to the minimum parcel size of 6,000 sq. ft. taking effect. The existing building footprint will be slightly reduced overall and shifted out of the side yard setback. The project is designed such that additional floor area is tucked underneath the existing understory of the carport.

- C) *The site will be developed in a manner that minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views.*

The proposed project is designed with care to minimize obstruction of primary views from private property and public vantage points. The existing deck is shifted away from the neighboring residence and out of the side yard setback. The reconfigured deck is also 12 square feet less than the existing. The additional floor area and two-car garage are tucked underneath the deck, infilling the exposed understory of the existing carport. Supplemental landscaping is proposed at the top of the slope and bottom of the slope to screen the addition from view along Spencer Avenue.

- D) *The proposed development of the site presents no potential hazard to public safety in terms of vehicle traffic, pedestrian circulation, slope and tree stability, runoff, and public utilities.*

The proposed development of the site presents no potential hazard to public safety in terms of vehicle traffic, pedestrian circulation, slope and tree stability, runoff, and public utilities. The applicant has provided a geotechnical report. The parking space, driveway widening, and vehicle turntable will improve the public safety and vehicle traffic. The bay laurel tree to be removed, as evidenced in the arborist report, is at risk of trunk failure and presents a potential hazard if not removed. The driveway, retaining wall, and planters are designed in such a way to retain slope and tree stability.

- E) *The slope and topography of the site allow for limited excavation and minimal alteration to the site topography outside the footprint of structures.*

The slope and topography of the site allow for limited excavation and minimal alteration to the site topography outside the footprint of structures, except for the driveway, which will be regraded to reduce the steep slope of the driveway. A new 1.5-foot retaining wall is proposed along the widened driveway.

- F) *The site will provide adequate guest parking either on site or within the immediate street frontage.*

The proposed project will provide one additional parking space in the garage and one additional parking space on-site on the turntable (tandem style), increasing the on-site parking from one space to three.

- G) *The proposed plan provides adequate landscaping to maximize privacy and minimize the appearance of bulk.*

The proposed development is located within existing mature vegetation, which will maximize privacy and minimize the appearance of bulk.

3. ENCROACHMENT AGREEMENT FINDINGS

In accordance with Zoning Ordinance Section 10.56.060, an Encroachment Agreement is favorably recommended based on the following findings:

- A) *The proposed encroachment is compatible with the surrounding area and will either improve or*

not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.

The proposed encroachment is compatible with the surrounding area and will not diminish visual or physical enjoyment of the streetscape. A driveway widening and retaining wall replacement are proposed. The proposed retaining wall varies in height with a maximum height of 1.5 feet. The proposed retaining wall is shifted slightly to the north compared to the existing retaining wall to accommodate the driveway widening and proposed vehicle turntable. Because the edge of the pavement along Spencer Avenue does not extend the property line, many of the surrounding properties rely on encroachments to gain access as well. An improved exterior finish will provide an improved visual appearance of the house as seen from Spencer Avenue.

B) The encroachment will not adversely affect the usability or enjoyment of adjoining parcels nor create or extend on undesirable land use precedent.

The encroachment will not adversely affect the usability or enjoyment of adjoin parcels nor create or extend on undesirable land use precedent. The encroachment allows for a retaining wall replacement and driveway widening to improve on-site circulation and parking. The improved traffic conditions will prevent backing out of the driveway and improve the usability and enjoyment of the adjoining parcels.

C) The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable.

The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable. The encroachment agreement will enable the project to widen the driveway, reduce the steepness of the slop, and build a retaining wall on the low side to support the edge of the driveway. The existing driveway is located within the public right-of-way and the agreement is also necessary to include the existing retaining wall at the base of the driveway previously built under B2016-18.

D) The proposed encroachment will not adversely affect the public circulation nor create or constitute a safety hazard to public safety.

The proposed encroachment will improve public circulation and safety. The proposed encroachment will allow for a widened driveway and vehicle turntable to ensure forward movements for egress.

E) The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvement of streets or pedestrian ways.

The proposed encroachment into the frontage of the property is of significant benefit to the neighborhood. An approximately 1.5-foot retaining wall is proposed along the edge of the existing driveway and would not preclude future public improvements.

3. NONCONFORMITY PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.62.070.G (Nonconforming Permit Findings) the Non- Conformity Permit is approved based on the following findings:

A) Plans that document the nonconforming zoning entitlement being requested are on file with the

City or an evidentiary public hearing has been held to document the existence and extent of requested nonconforming zoning entitlement.

The original house plans on file with the City document the existing nonconformities related to the building coverage, height within the first 15 feet from the property line, and side yard setback.

B) The existing nonconforming use and/or structure has not resulted in a notable negative impact or nuisance to the surrounding properties and district (i.e., excessive parking demand, traffic, noise, view obstruction, etc.).

There are no records which indicate the existing nonconforming structure has resulted in a notable negative impact or nuisance to the surrounding properties. The existing structure's side yard setback encroachment, height, and building coverage have existed as part of the neighborhood's character for over 60 years. The proposed project will eliminate the side yard setback encroachment and shift the existing building coverage away from the neighboring residence. No changes in height are proposed.

C) The nonconforming use or structure is not incompatible with the general character of the surrounding neighborhood or district.

The nonconforming structure is compatible with the general character of the surrounding neighborhood. The property is improved with a single-family residence with comparable FAR to the surrounding properties.

D) If the application is for a nonconforming use, the nonconforming use will contribute to the social and economic vitality of the district or will otherwise benefit the public health, safety and welfare.

The application is for a nonconforming structure. Therefore, this criterion does not apply.

E) The requested action will not be inconsistent with the purpose and intent of the zoning district.

The proposed project is consistent with the purpose and intent of the zoning district to provide for sensitive hillside design and reflect the residential scale and character of the district. The proposed project is comparable to the average FAR of surrounding properties and is below the maximum allowed FAR in the zoning district. The additional floor area will be tucked under the existing understory of the carport, which will enhance the level of privacy on-site and for neighboring residences. Private access facilities will also be improved for the benefit of public safety and enjoyment of both the site and neighboring residences.

F) If it is a nonconforming structure, the applicant has reduced the nonconformities to an extent reasonably practicable.

The applicant has proposed to eliminate the existing encroachment into the side yard setback and shift the building coverage away from the neighboring residence. The nonconforming structure is designed to reduce the nonconformities to an extent reasonably practicable.

G) For nonconformity permits that trigger conformance with current parking requirements pursuant to Table 10.62-1, the Planning Commission may waive the current parking requirement and allow the maintenance of the existing nonconforming parking entitlements through the grant of the nonconformity permit, if the Commission finds that (a) it is not practicable to provide parking on site in a manner that preserves neighborhood character, and (b) for substantial replications,

the provision of the required parking would be in conflict with the replication of the structure, and (c) preserving the nonconforming parking entitlements is the best solution to be consistent with the goals, policies and intent of the general plan.

The proposed project will add an additional unobstructed parking space and a functional tandem space in the parking turnaround. Therefore, the current provision of required parking standard is met and exceeded.

4. TREE REMOVAL PERMIT FINDINGS

In accordance with Zoning Ordinance Section 11.12.030.B (Tree Removal Permit Findings) the Tree Removal Permit is approved based on the following findings:

- A) *In order to grant a tree removal permit it must be determined that removal is necessary in order to accomplish any one of the following objectives:*
- a. *To insure the public safety as it relates to the health of the tree, potential hazard to life or property, proximity to existing or proposed structures, and interference with utilities or sewers.*
 - b. *To allow reasonable enjoyment of the property, including sunlight, and the right to develop the property.*
 - c. *To take reasonable advantage of views.*
 - d. *To pursue good, professional practices of forestry or landscape design.*

The bay laurel tree is located in proximity to the proposed attached garage structure. As evidenced in the arborist report, the tree exhibits a heavy lean and narrow trunks, which presents a potential falling hazard. Therefore, removal of the tree would reduce hazard to life or property and pursue good practices of forestry satisfying **Criteria a & d** listed above.

- B) *In order to grant a tree removal permit, it must be determined that any one of the following conditions is satisfied:*
- a. *The tree to be removed will be replaced by a desirable tree.*
 - b. *The Planning Commission waives the above requirement based on information provided by the applicant/owner.*

The applicant is proposing to replace the bay laurel tree with a replacement tree, the species of which has been conditioned to be recommended by the project arborist to be selected for slope stabilization and attraction of diverse pollinators, in conformance with Fire Safe Marin's list of Fire-Smart Plants and the location of which to be determined based on the rooting characteristics of the species to achieve slope stabilization. Therefore, **Condition a** is satisfied.

- C) *A finding of any one of the following is grounds for denial, regardless of the finding in (2)(a) above:*
- a. *Removal of a healthy tree of a desired species can be avoided by:*
 - i. *Reasonable redesign of the site plan, prior to construction;*
 - ii. *Thinning to reduce density, e.g., open windows;*
 - iii. *Shaping to reduce height or spread, using thinning cuts only (drop crotch);*
 - iv. *Heading or topping – this is the least preferable method, due to the tree's health and appearance and cost of maintenance.*
 - b. *Adequate provisions for drainage, erosion control, land stability, windscreen, visual screening, privacy and for restoration of ground cover and/or other foliage damaged by the*

tree work have not been made in situations where such problems are anticipated as a result of the removal or alteration.

- c. The tree to be removed is a member of a group of trees in which each tree is dependent upon the others for survival.*
- d. The value of the tree to the neighborhood is greater than its inconvenience to the owner. The effects on visual, auditory, and wind screening, privacy and neighboring vegetation must be considered.*
- e. The need for protection of privacy for the property on which the tree is located and/or for adjacent properties.*

Pursuant to the arborist report on file, none of the findings can be made for grounds for denial in that: the subject tree is not healthy, California bay laurel is designated as a highly flammable species, soil stability will not be significantly affected by removal, removal of the trunk is necessary as re-sprouting would occur with similar negative issues.

SAUSALITO PLANNING COMMISSION NO. 2021-11
APRIL 21, 2021
181 SPENCER AVENUE
2018-00193

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions apply to the project plans prepared by Marty Zwick, entitled "181 Spencer Avenue" and date-stamped March 31, 2021.

COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION CONDITIONS OF APPROVAL:

General Items:

1. The Design Review Permit shall expire two years following the effective date of the permit if the project entitlement has not been implemented, provided no extension has been filed prior to the expiration date. The project entitlement pursuant to the Design Review Permit is determined to be implemented if the applicable conditions of approval prerequisite to construction have been satisfied and any required construction permits have been issued.
2. The project shall be designed as shown in the set of plans dated stamped March 31, 2021.
3. It shall be the applicant's/property owner's responsibility to diligently proceed to carry out the conditions of approval and implement any approved permit/entitlement. This shall include establishing the approved use within the time limits set forth by the applicable chapter(reference SMC 10.50.120).
4. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
5. Conditions applicable to protection of trees on the project site:
 - a) An inspection by the Building Inspector, to be paid for by the applicant, is required to verify that the tree protection plan has been implemented correctly prior to issuance of a building permit and before the start of any clearing, excavation, construction or other work on the site.
 - b) Before the start of any clearing, excavation, construction or other work on the site and prior to building permit issuance a tree protection plan, developed by a licensed arborist, shall be submitted for the Community Development Director's review and approval. The tree protection plan shall provide recommendations to protect all heritage and protected trees and vegetation on the project site during the entirety of the construction. The tree protection plan shall also:
 - i. Address all heritage and protected trees and vegetation on the project site and demonstrate how they are to be securely fenced off at the "protected perimeter," which shall be either the outer limits of the branches of the tree (the drip line) or such greater limits as may be established by the reviewing agency.
 - ii. Address the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.
 - iii. Note that the tree protection fences shall remain in place for the duration of all such work and that all protected trees which are permitted to be removed shall be clearly marked.

- iv. Note that where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filling, or compaction of the existing ground surface within the protected perimeter shall be minimized. No asphalt or other paving materials shall be added. No change in existing ground levels shall occur within four feet of the base of any protected tree at any time.
 - v. Note that no burning or use of equipment with an open flame shall occur near or within the protected perimeter. No storage or dumping of oil, gas, chemicals or other substances that may be harmful to trees shall occur within the protected perimeter of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within the protected perimeter. Wires shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.
 - i. Note that periodically during construction, the leaves of the protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit transpiration.
 - ii. Note that if any damage to a protected tree should occur during or as a result of work on the site, the contractor, builder or owner shall promptly notify the City of such damage. A Tree Removal Permit shall be required if such a protected tree cannot be preserved in a healthy state or otherwise is being requested to be removed. The reviewing body shall require replacement of any protected tree removed with another tree or trees on the same site deemed adequate to compensate for the loss of the tree that is removed.
6. The 10-inch DBH bay laurel is the only permitted protected tree to be removed as shown on the landscape plan, Sheet L-1.0. No other protected trees are permitted to be removed. A Tree Removal Permit is required to remove protected trees pursuant to SMC 11.12. If the trees indicated on the landscaping plan, Sheet L-1.0, are to be removed applicant shall receive appropriate approvals prior to removal.
7. The five (5) Japanese privet plantings are a suitable replacement for the 10-inch DBH bay laurel tree to be removed due to their flowering, soil stabilizing, and fire resistant characteristics as shown on the landscape plan, Sheet L-1.0. The five (5) Japanese privet plantings are required to be maintained in a healthy condition by the property owner.
8. Prior to removal of the 10-inch DBH bay laurel shown on Sheet L-1.0, a screening tree plan shall be submitted to the Community Development Director for review and approval. The plan shall be developed by a certified arborist or a landscape architect. The plan shall include at least one screening tree and meet the following criteria:
- a) The species of screening tree shall be in conformance with Fire Safe Marin's list of Fire-Smart Plants.
 - b) The location, size, and species shall be determined by a professional landscape architect to fit within proposed landscape plan, shown on Sheet L-1.0, and the proposed addition. The screening tree shall offer sight-obscuring characteristics and complement the existing and proposed vegetation.
 - c) Irrigation shall be addressed.

- d) A timeframe of when the replacement tree(s) are recommended to be planted shall be addressed.
9. The applicant/property owner shall provide photographic evidence to the Community Development Department of conformance with Condition 8 following tree removal and replacement.
 10. Exterior lighting shall be shielded and downward facing, and compatible with the design and materials of the structure.
 11. The Applicant/Property Owners shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City) and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project.
 12. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
 13. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 9%) shall be paid.
 14. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code section 12.16.130 - Machinery, equipment, fans and air conditioning.
 15. At the time of building permit application the applicant shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in SMC Section 10.54.100. The following conditions apply:
 - a) The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the project such documentation may include without limitation an executed construction contract.
 - b) The time for completion of the construction shall also be indicated on the construction permit.
 - c) For projects exceeding \$500,000 in project valuation, a detailed GANTT chart (or other graphic display acceptable to the Community Development Director) depicting the sequence of steps necessary for completion of the project, including detailed information on the critical path of the project, duration of critical tasks, and predicted inspection dates, shall be submitted prior to the issuance of any construction permit.
 - d) Once approved, the property owner shall provide the City with written quarterly job progress reports consistent with the approved chart.

DEPARTMENT OF PUBLIC WORKS CONDITIONS OF APPROVAL:

General Items

16. Prior to issuance of a building permit the project geotechnical engineer shall provide the city with a letter that he/she has reviewed and approves the design as it is in compliance his/her recommendations. The letter shall be wet stamped and signed.
17. In addition, the design of the retaining walls close to the roadway may require additional surcharge load from vehicles. Calculations provided by the engineer and the geotechnical engineer prior to the issuance of a building permit shall address this concern.
18. A note has been added to the plan (A1-10) indicating that the electrical services shall be undergrounded. This note is acceptable at this time; however, prior to the issuance of a building permit a plan showing the location of the undergrounding shall be provided to the City for review. Any undergrounding in this area shall not conflict with the existing sewer lines that may be located within the easement. If improvements to the current system are needed on the service pole specifically due to this service upgrade the applicant may be responsible for the cost of undergrounding those improvements.
19. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document compliance with each Condition of Approval at the time of Building Permit application
20. Prior to issuance of a Building Permit the Developer's civil engineer shall submit as applicable site improvement plans, grading and drainage plans, public improvement plans and utility plans for review and approval by the Department of Public Works.
21. No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations not approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Director as a modification to this approval.

Grading/Geotechnical Items

22. The project shall adhere to all recommendations in the Geotechnical Investigation, prepared by Monica Thornton, dated September 27, 2016.
23. Prior to the issuance of a Building Permit, a final grading and drainage plan shall be prepared and stamped by a registered civil engineer and shall be submitted to the City for review and approval. Limits of proposed grading (cut, fill, structural excavation, etc.) shall be clearly defined and their quantities shall be shown on the plan. If the amount of earthwork is greater than or equal to 50 cubic yards, a grading permit shall be required prior to commencement of excavation.
24. Prior to the issuance of a Building Permit, the project geotechnical engineer shall prepare and submit to the City a Plan Review Letter. The letter shall be on the geotechnical engineer's letterhead and shall confirm that the geotechnical engineer has reviewed the current project documents and that the design conforms to the intent of the geotechnical engineer's recommendations.
25. Applicant is advised that should a Grading Permit be required, details of the hauling operation including, but not limited to size of trucks and weight (in tons) that they will haul, haul route, dust and debris control measures and the time and frequency of haul trips shall be submitted to the City for review prior to issuance of the Building Permit. The truck haul

routes shall comply with SMC Section 15.04.150.

26. Applicant is advised that Shoring and Foundation Systems that utilize tie backs shall be designed such that they do not extend beyond property boundaries in the absence of recorded tie-back easement(s) from affected adjacent property owner(s). No tie-backs are permitted that would encroach into the public right-of-way.
27. No grading or excavation operations shall occur between October 15 and April 1. The project excavation, construction of the main retaining walls and associated appurtenant features shall commence no later than August 1 of the dry season. The project excavation, construction of the main retaining walls and associated appurtenant features shall commence and conclude within a single dry season

Drainage Items

28. All drainage facilities shall be shown on the drawings. New drainage facilities shall be designed by a registered civil engineer. Drainage analysis and plans shall be subject to the review and approval of authorized City staff or independent consultant.
29. New drainage facilities shall not increase the quantity or alter the path of storm water discharged from the property from the existing condition.

Stormwater Pollution Prevention

30. Prior to issuance of a Building Permit the developer's civil engineer or contractor shall submit a detailed erosion control plan, including cost estimate, for review and approval by the Department of Public Works. Erosion control plan shall incorporate guidelines and measures from the **Marin County Stormwater Pollution Prevention Program's (MCSTOPPP)** publication "Minimum Erosion/Sediment Control Measures for Small Construction Projects". [http://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-_2015.pdf?la=en]
31. Applicant is advised that applicant's contractor will be required to implement and maintain erosion control measures per the approved erosion control plan if construction occurs between October 15th and May 1st. During the remainder of the construction project, erosion control materials shall be stockpiled on site for use should rain be forecasted.
32. Applicant is advised that applicant's contractor shall provide adequate dust and debris control measures during construction.
33. To the maximum extent feasible, drainage from paved surfaces and roofs shall be routed through grassy swales, buffer strips or filters prior to discharge into the storm drainage system in conformance with MCSTOPPP's Guidance for Applicants Stormwater Quality Manual for Development Projects in Marin County. [<http://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/basmaa-postconstruction-manual.pdf?la=en>]
34. During construction, the applicant's contractor shall adhere to a water pollution prevention plan that at a minimum follows guidelines in MCSTOPPP's "Pollution Prevention It's Part of the Plan" [<http://www.marincounty.org/depts/pw/divisions/mcstoppp/~media/Files/Departments/PW/mcstoppp/business/Pollution%20Prevention%20Part%20of%20the%20PlanOctober%202011.pdf>]. The plan shall address construction related site management practices

including demolition, general construction, concrete, paving, dewatering, contaminated soils, masonry, tile work, painting, litter control, motor vehicle washing and maintenance, storage of hazardous materials.

Utility Items

35. Prior to issuance of the building permit, the sanitary sewer line from the structure to the City sewer main shall be shown on the drawings.
36. The project must comply with the City's undergrounding requirements in Sausalito Municipal Code Section 18.08.020, including without limitation the provision in SMC 18.08.020.J which allows the Building Official to authorize an exemption from the undergrounding requirement if the existing service equipment is deemed unsafe. In such a case, the electrical panel shall be upgraded to the minimum safe standards for the dwelling units. Any additional upgrades beyond the minimum safe standards will require utility undergrounding. The project electrician shall submit an electrical plan to the building department for review. The Building Official shall review and confirm that the proposed new panel meets, but do not exceed, minimum standard.

Engineering Items

37. Applicant is advised that encroachment permit(s) shall be obtained from the City prior to using the public right of way for non-public purposes (e.g., private parking, material & debris box storage, curb, gutter or sidewalk construction or demolition, driveway connection).
38. Applicant is advised that a condition of issuance of an Encroachment Permit, a traffic control plan conforming to the current edition of Caltrans publication "California Manual on Uniform Traffic Devices, Part 6 – Temporary Traffic Control" shall be submitted for review and approval by the City. The traffic control plan shall show all temporary traffic, pedestrian and bicycle control measures and signage. Spencer Avenue shall remain open to traffic at all times throughout the duration of this project which shall be documented on the traffic control plan. The traffic control plan shall be revised to coordinate with other projects in the vicinity which may be ongoing or commence during the duration of this work.
39. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.
40. Prior to issuance of an Encroachment Permit the City shall be named as an additionally insured on a separate endorsement sheet that modifies the general liability policy.
41. Encroachment Permit issued by the Department of Public Works is only applicable to the City of Sausalito right of way, the applicant is responsible for ensuring that they have obtained permission from property owners prior to the use of their land.
42. Prior to issuance of an Encroachment Permit a construction staging plan and construction schedule shall be submitted for review and approval by the City Engineer or designee. The locations of construction materials, equipment, vehicles, debris box, portable restrooms, etc shall be depicted. Approved plans shall be submitted to property owners adjacent to the subject property not less than one week prior to commencement of construction activities.
43. Construction workers shall be prohibited from using on-street parking in the vicinity of the

project and the applicant shall lease, or otherwise provide, an adequate number of parking spaces in a City parking lot to provide parking for construction workers. Workers shall car pool to the construction site which shall be documented on the construction staging plan.

44. Applicant is advised that construction materials, equipment, vehicles, and properly-permitted debris boxes (Bay Cities Refuse Service is the sole authorized solid waste hauler permitted to provide debris box service in the City of Sausalito) may not be placed in a manner that poses a traffic hazard, shall be placed to minimize obstruction of roads and gutters, shall be equipped with reflectors or lighting to ensure visibility at night and in inclement weather (if placed in the public right of way), shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris boxes shall be emptied on a regular basis, or as directed by the City. Material stock piles & debris boxes shall be covered when not being accessed or filled to prevent dust or liquid from being released to the environment. Construction materials, equipment, vehicles, and debris boxes shall be placed in the public right of way only after securing an encroachment permit.

SOUTHERN MARIN FIRE DISTRICT CONDITIONS OF APPROVAL:

45. WUI Requirements:

This property is located within the Wildland Urban Interface (WUI) and shall be noted on the title sheet of the plans. The materials used in construction on the exterior of the structure shall comply with building standards in Chapter 7A of the California Building Code and/or section 337 of the California Residential Code.

46. Fire Sprinkler Requirements:

The structure is currently equipped with an existing fire sprinkler system. If the system is required to be altered to increase coverage or relocate sprinkler heads, please submit specifications, plans, and a letter of intent to the District for review.

A fire sprinkler system shall be provided for the following:

- a. Existing Buildings. In any building with an existing automatic sprinkler system, protection shall be extended to any all of alteration, repair, remodel or addition, regardless of job size so that 100% coverage is maintained.
- b. In any building found to have OMEGA sprinkler heads identified as part of the U.S. Consumer Products Safety Commission recall and Viking VK457 sprinkler heads, all sprinkler heads subject to this recall shall be replaced with listed and approved heads.

Fire sprinkler coverage shall be provided through the entire structure according to Chapter 9 of the California Fire Code. Fire sprinkler system shall be installed according to NFPA standards and Southern Marin Fire Standard 401.

Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District, Fire Prevention Bureau for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District Standard 401 and N.F.P.A. Standard(s) 13, 13D or 13R.

47. A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).
48. The property owner shall comply with California Fire Code Section 304.1.2 and Local Ordinance Section 109.3.2 Abatement of Clearance of Flammable Brush or Flammable Vegetative Growth from Structures.
49. A minimum clearance of 30 feet from the structure or to the property line, 10 feet from roads and property lines and any tree which extends within 10 feet of any chimney or stovepipe shall be kept clear of flammable brush, tree limbs and grasses.
50. A list of flammable (pyrophytic) plants and non-flammable (fire resistive) plants can be found on the University of California Cooperative Extension: Pyrophytic vs. Fire Resistive Plants list. This is available at firesafemarin.org

Exception: Vegetation Management Plan for the property has been submitted and approved by the Fire Code Official.

51. The applicant shall comply with California Fire Code and Public Resource Code 4291 requirements relating to the clearance of flammable brush and weeds. A minimum clearance of 30' from structures and 10' from roads and property lines shall be maintained.
52. Wildland Urban Interface Vegetation Requirements: Any person who owns, leases, controls or maintains any building or structure, vacant lands, open space, and/or lands within specific Wildland Urban Interface areas of the jurisdiction of the Southern Marin Fire Protection District, shall comply with the following:
 - Cut and remove all fire prone vegetation within 30 feet of structures, up to 150 feet when topographic or combustible vegetative types necessitate removal as determined by the Fire Code Official.
 - Remove accumulated dead vegetation on the property.
 - Cut and remove tree limbs that overhang wood decks and roofs.
 - Remove that portion of any tree which extends within 10 feet of any chimney or stovepipe, roof surfaces and roof gutters
 - Clean any leaves and needles from roof and gutters.
 - Cut and remove growth less than 3-inches in diameter, from the ground up to a maximum height of 10 feet, provided that no crown shall be raised to a point so as to remove branches from more than the lower one-third of the tree's total height.
 - Vegetation clearance requirements for new construction and substantial remodels in Wildland-Urban Interface Areas shall be in accordance with the 2018 International Wildland-Urban Interface Code, as amended by the Southern Marin Fire Protection District.
 - Clearance of flammable brush or vegetative growth from fire access road or driveways. The fire code official is authorized to require, within 10 feet on each side and 15 feet in height of highways, streets, fire apparatus roads and driveways, to be abated of flammable vegetation and other combustible growth.
 - EXCEPTION 1: When approved by the Fire Code Official, single specimens of trees, ornamental shrubbery or similar plants, or plants used as ground covers,

provided they do not form a means of rapidly transmitting fire from the native growth to any structure.

- EXCEPTION 2: When approved by the Fire Code Official, grass and other vegetation located more than 30 feet (9144 mm) from buildings or structures less than 18 inches (457 mm) in height above the ground need not be removed where necessary to stabilize soil and prevent erosion.

53. The address shall be posted in accordance with requirements of the California Fire Code and SMFD standard 205 (Premises Identification).
- a) Properties located within the Wildland Urban Interface are required to have an approved address marker visible from across the street in contrasting colors per CA Public Resource Code 4291. An address placard can be ordered by visiting <https://www.southernmarinfire.org/prevention/public-safety-education/address-visibility>.
54. All new roofs shall be non-combustible. Non-combustible roofing required. Noncombustible roofing shall be provided for:
- Roof Repairs or replacement:
 - Less than 25% - no requirement 25% to 50% - Class C minimum
 - 50% or more – Non Combustible
- In no case shall the roofing material used be less fire resistive than the existing roof.

NOTE: A "noncombustible" roof is a Class A roof (for other than Group R Occupancies, a Class A or Class A assembly) as defined in the California Building Code.

55. This project shall comply with California Fire Code Chapter 33 – *Fire Safety During Construction and Demolition*. These requirements include but are not limited to: Temporary Heating Equipment, Precautions Against Fire, Flammable and Combustible Liquids, Flammable Gases, Owners Responsibility for Fire Protection, Fire Reporting, Access for Fire Fighting, Means of Egress, Water Supply for Fire Protection, Standpipes, Automatic Fire Sprinkler Systems, Portable Fire Extinguishers, Motorized Construction Equipment, and Safeguarding Roofing Operations.
56. Fire access to the project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. This approval will expire in two (2) years from the date of adoption of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not

been filed prior to the expiration date.

2. The Community Development Director may authorize minor alterations to the approved plans and conditions of approval in accordance with Section 10.50.180 of the Zoning Ordinance. Major changes and alterations to the approved plans and conditions of approval shall be reviewed and approved by the Planning Commission in accordance with Section 10.84.070(B)(2) of the Zoning Ordinance.
3. Pursuant to Municipal Code Section 10.54.100, construction activities under taken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction
4. Contact Building Division staff for information about the building permit process and for building permit requirements prior to submitting for a building permit.
5. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.
6. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
7. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
 - o Marin Municipal Water District – (415-945-1400), including landscaping and irrigation regulations;
 - o Southern Marin Fire Protection District -- (415-388-8182);
 - o Bay Conservation and Development Commission – (415-352-3600);
 - o PG&E's Underground Project Contact Information:
Phone: 1-877-743-7782
Internet: pge.com/newconstruction.
8. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
9. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.
10. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
11. Encroachment permit, grading permit, third party review fees (cost plus 10%) fees shall be paid.
12. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.

Saturdays – Between 9:00 a.m. and 5:00 p.m.

Sundays – Prohibited

City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

13. Pursuant to Municipal Code Section 18.08.020, overhead electrical and communication service drops shall be placed underground when the main electrical service equipment (including the panel) is relocated, replaced, and/or modified. If undergrounding is required, the applicant shall work with affected utility companies to provide plans to the City for undergrounding of the utility services. Project plans shall be designed to avoid additional overhead lines, poles and/or transformers (i.e., potential view impacts) thereon to comply with Sausalito Municipal Code Section 18.08 Underground Electrical Wiring and Facilities. If additional overhead lines, poles and/or transformers are required, visual simulation(s) of the equipment from various viewpoints shall be provided, and may be subject to modifications to the Design Review Permit.
14. Pursuant to Municipal Code Section 10.54.100, construction activities under taken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

**SAUSALITO PLANNING COMMISSION NO. 2021-11
APRIL 21, 2021
181 SPENCER AVENUE
2018-00193**

ATTACHMENT 3: PROJECT PLANS



ZWICK ARCHITECTS

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T. 415.289.0303
F. 415.289.0404

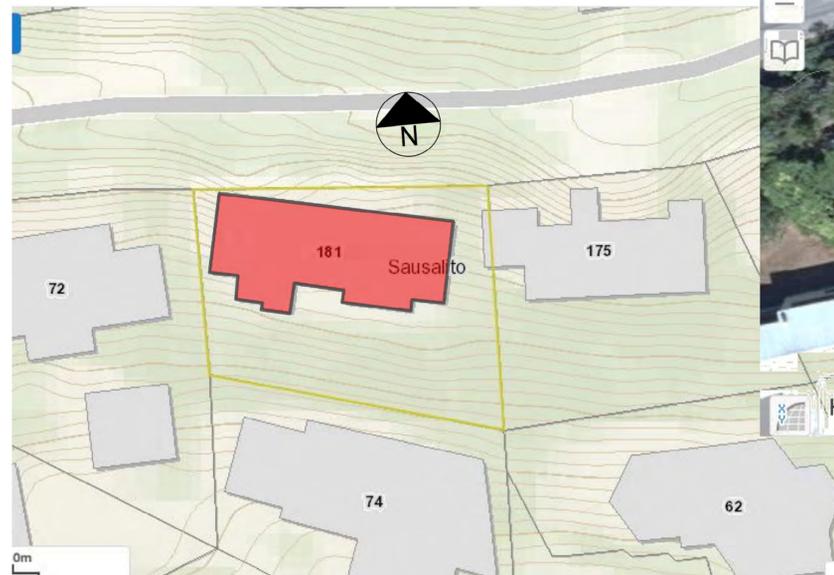
Panariello Residence

181 Spencer Ave.
Sausalito, CA 94965
APN 065-182-20

OWNER Gary Panariello

ARCHITECT Marty Zwick
Zwick Architects
326 Pine Street
Sausalito, CA 94965
415-289-0303

VICINITY MAPS:



PROJECT DATA TABLE:

ZONING DATA SHEET (TO BE COMPLETED BY APPLICANT)	SITE DEVELOPMENT STANDARD			STAFF USE ONLY		
	EXISTING	PROPOSED CHANGE	PROPOSED TOTAL	STAFF VERIFIED	MAXIMUM ALLOWED	✓
Land Use ¹	R-1-6		R-1-6			
No. of Dwelling Units (DU) ²	1		1			
No. of Accessory DU	0		0			
Building Height ³	24'		24'			
No. of Parking Spaces ⁴ Tandem?	# spaces: 1 Y/N	# spaces: 1 Y/N	# spaces: 2 Y/N			
Parcel Area						
Gross ⁵	5,451 +/- sq. ft.	sq. ft.	5,451 +/- sq. ft.	sq. ft.	sq. ft.	
Net ⁶	5,451 +/- sq. ft.	sq. ft.	5,451 +/- sq. ft.	sq. ft.	sq. ft.	
Setbacks ⁷						
Front (N S E W)	23'-9 1/2" ft.	ft.	23'-9 1/2" ft.	ft.	ft.	
Rear (N S E W)	ft.	ft.	ft.	ft.	ft.	
Right Side ⁸ (N S E W)	5'-3 1/2" ft.	ft.	5'-3 1/2" ft.	ft.	ft.	
Left Side ⁸ (N S E W)	5'-4 1/2" ft.	ft.	5'-4 1/2" ft.	ft.	ft.	
Floor Area ⁹						
Total Parcel	1,873 sq. ft.	storage 3/76 sq. ft.	2,249 sq. ft.	sq. ft.	sq. ft.	
Perc. of Net Parcel Area	.34 %	.41 %	.41 %	%	%	
Each Dwelling Unit ¹⁰ (Required for projects in R-2-2.5 and R-3 zones)	DU1: sq. ft. DU2: sq. ft. DU3: sq. ft.	sq. ft.	sq. ft.	sq. ft.	sq. ft.	
Building Coverage ⁹						
Total Parcel	1,990/5451 ft.	1,978/5451 ft.	1,978/5451 ft.	sq. ft.	sq. ft.	
Perc. of Gross Parcel Area	.365 %	.362 %	.362 %	%	%	
Each Dwelling Unit ¹⁰ (Required for projects in R-2-2.5 and R-3 zones)	DU1: sq. ft. DU2: sq. ft. DU3: sq. ft.	sq. ft.	sq. ft.	sq. ft.	sq. ft.	
Impervious Surface Area ⁹						
Total Parcel	3045 sq. ft.	3348 sq. ft.	3348 sq. ft.	sq. ft.	sq. ft.	
Perc. of Gross Parcel Area	.56 %	.61 %	.61 %	%	%	
Each Dwelling Unit ¹⁰ (Required for projects in R-2-2.5 and R-3 zones)	DU1: sq. ft. DU2: sq. ft. DU3: sq. ft.	sq. ft.	sq. ft.	sq. ft.	sq. ft.	

*The Sausalito Municipal Code (SMC) can be accessed at <https://www.codepublishing.com/CA/Sausalito/>
¹ From List of Allowable Land Uses in respective Zone (SMC 10.20.030 (O-/P-), 10.22.030 (R-), 10.24.030 (C-) or 10.26.020 (M-))
² Dwellings legally established from the zoning district's maximum density requirement; not including accessory dwelling units
³ Standard Building Height measured from the Average Natural Grade beneath the structure (SMC 10.40.060.B.1.)
⁴ The standard dimensions for a code-compliant parking space are measured 9 feet wide by 19 feet long
⁵ Total area of a parcel measured in a horizontal plane within the lot lines bounding the parcel.
⁶ Gross Parcel Area excluding net deductions specified in SMC 10.88.040 "Parcel size, net"
⁷ As specified in SMC 10.40.070 (Setbacks and yards)
⁸ As determined by standing at the front parcel line looking in the direction of the rear parcel line
⁹ As specified in SMC 10.40.040 (Floor area ratio); 10.40.050.B (Measurement of Coverage); 10.40.050.C (...Impervious Surfaces)
¹⁰ Sausalito City Council Ordinance No. 1217 established individual maximum limitations for floor area ratio (FAR), building coverage and impervious surface area for any single dwelling unit in the R-2-2.5 or R-3 zoning districts (SMC 10.44.330). Projects located in the R-2-2.5 or R-3 zoning district subject to the single dwelling unit and total parcel maximum limitations.

DRAWING LIST:

- A-0.1 Cover Sheet
- A-1.0 Existing and Proposed Site Plan/Foundation plan
- A-1.1 Existing and Proposed Site Plan/Roof Plan
- A-1.2 Existing and Proposed Site Coverage
- A-1.3 Existing and Proposed Permeability
- A-1.4 Site Section Height Study
- A-1.5 Existing and Proposed Square Footage Calcs
- A-1.6 Driveway Slope Study
- A-1.7 Traffic Study
- A-1.8 Traffic Entry and Exit
- A-1.9 Car Turntable Specs
- A-1.10 Drainage Plan
- A-2.0 Existing and Proposed Garage/Carport Floor Plan
- A-2.1 Existing and Proposed Basement/Storage Plan
- A-2.2 Existing and Proposed Upper Floor Plan
- A-3.0 Existing and Proposed Elevations
- A-3.1 Existing and Proposed Elevations
- A-3.1.1 Proposed North Elevation Detail
- A-3.1.2 Proposed North Elevation Materials and Colors
- A-3.1.3 3D Renderings
- A-3.2 Existing and Proposed Elevations
- A-3.3 Existing Unchanged Elevation
- L-1.0 Landscape Plan
- L-1.1 Landscape Details
- Site Survey by Meridian Engineering



PLEASE NOTE: EXISTING PLAN DRAWINGS
HAVE BEEN MODIFIED TO REFLECT THE
RENOVATION WORK APPROVED UNDER
PERMIT 2017-442

March 31, 2021

SCALE: N.T.S.
COVER SHEET

A-0.1



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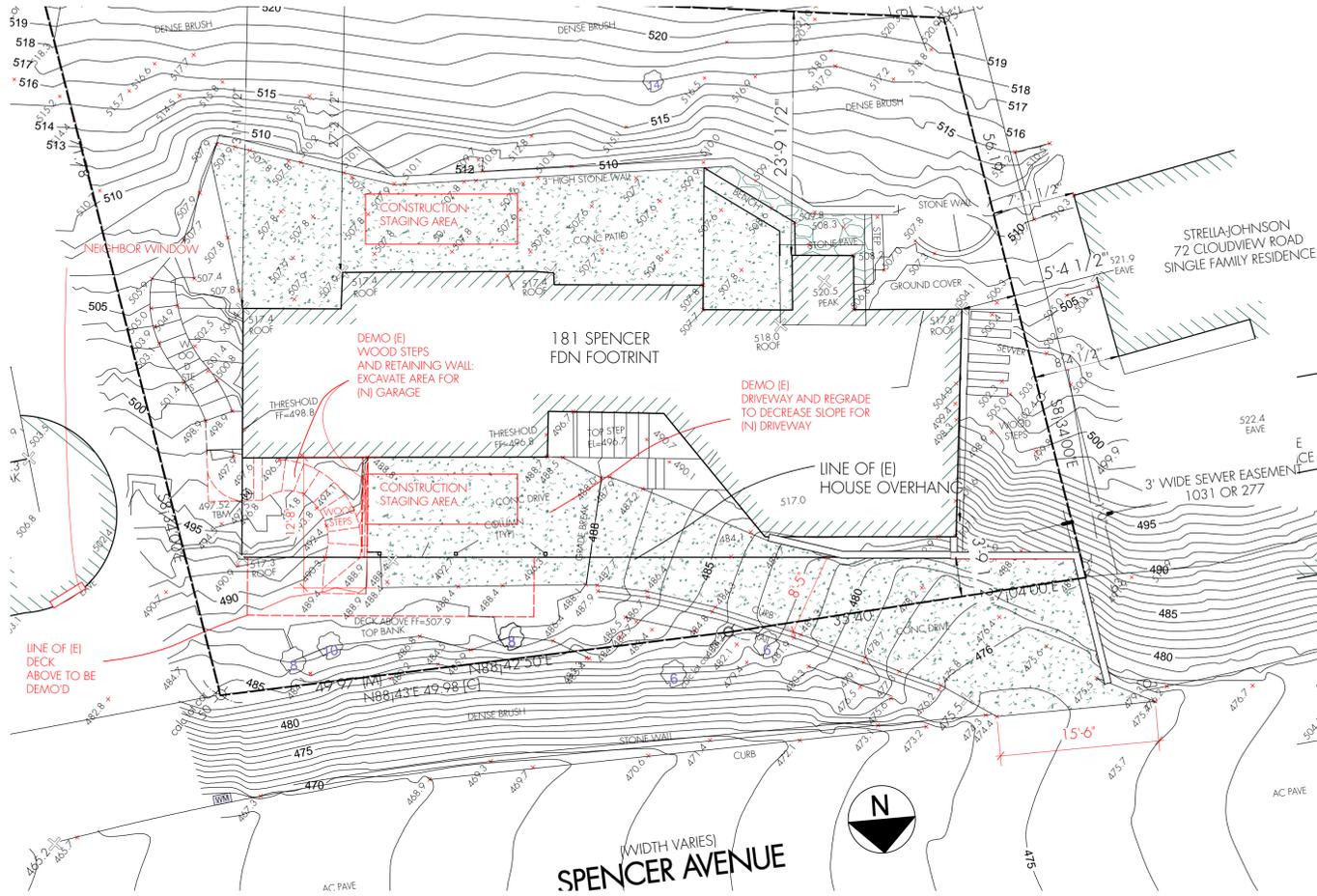
Panariello Residence

STRELLAJOHNSON
72 CLOUDVIEW ROAD
SINGLE FAMILY RESIDENCE

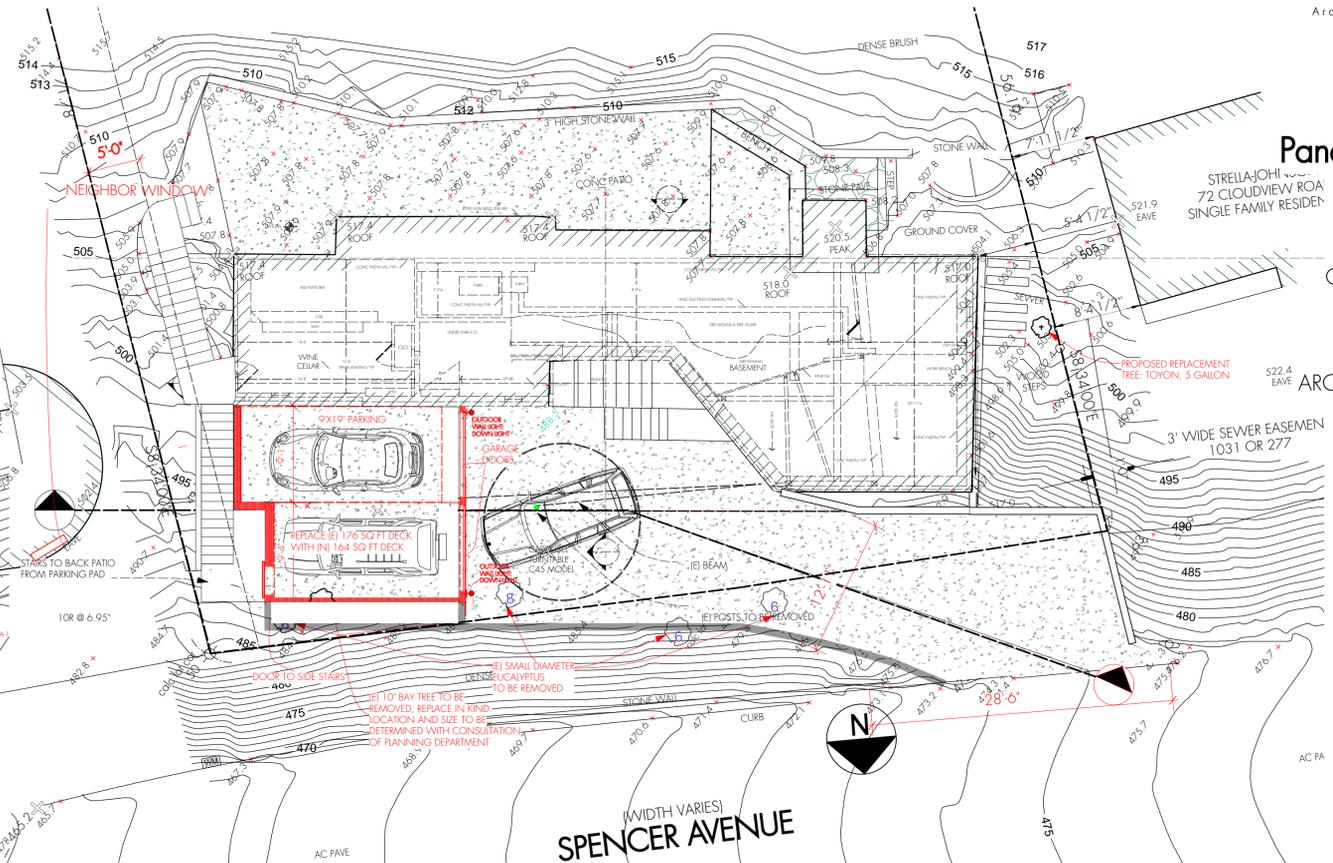
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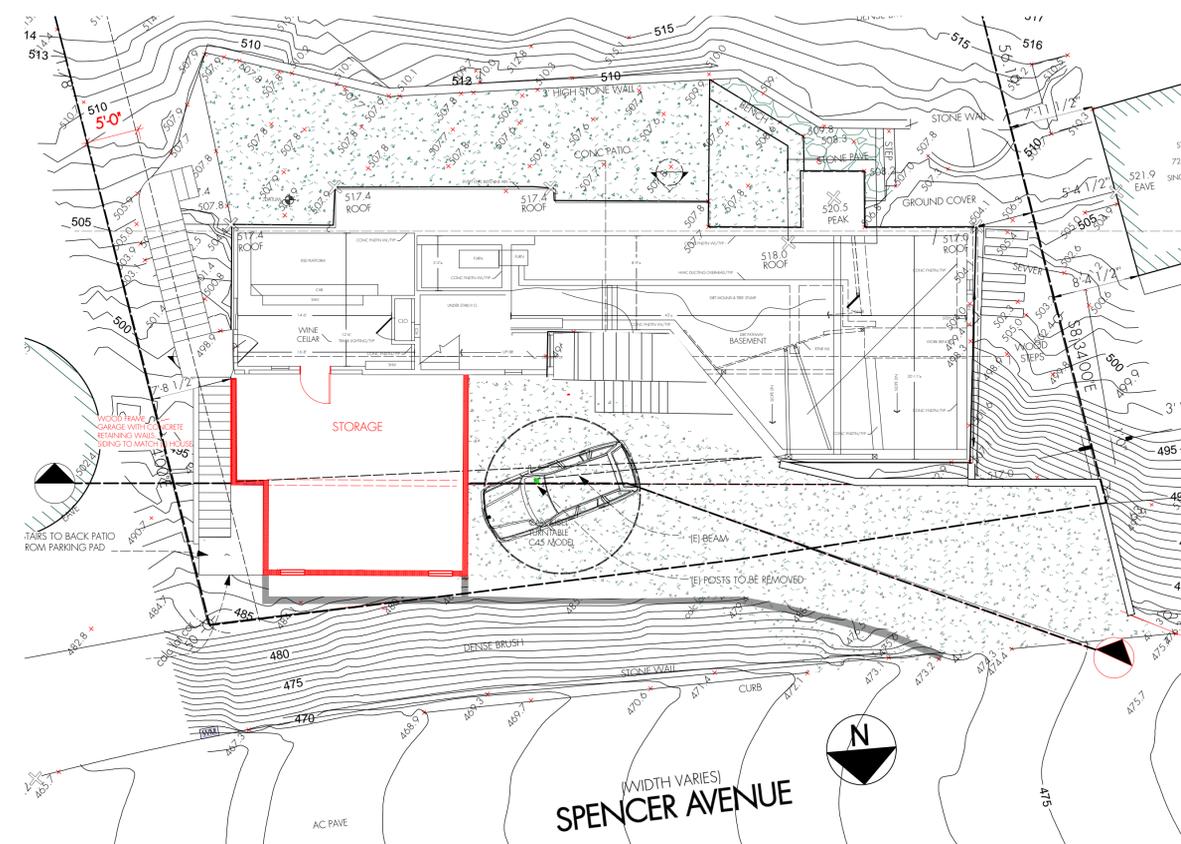
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1 EXISTING FOOTPRINT AND DEMO PLAN



2 PROPOSED FOOTPRINT AND STORY POLE PLAN



3 PROPOSED GARAGE ROOF PLAN

March 31, 2021

SCALE: 1/8"=1'-0"

EXISTING AND PROPOSED
FOUNDATION PLAN, AND GARAGE/
STORAGE PLAN

A-1.0



ZWICK ARCHITECTS

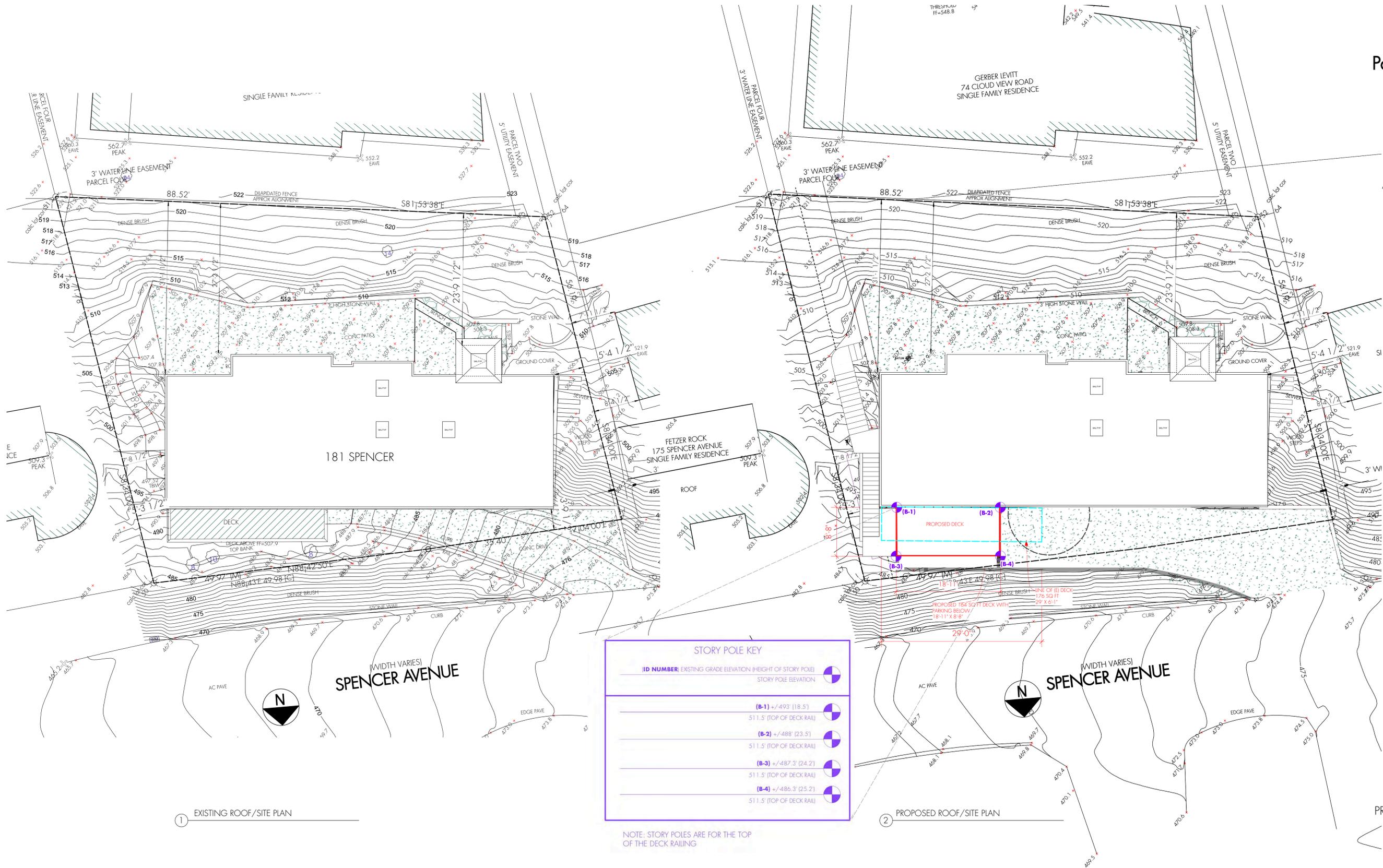
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March 31, 2021

SCALE: 1/8"=1'-0"

EXISTING AND PROPOSED SITE/ROOF PLAN

A-1.1



ZWICK ARCHITECTS

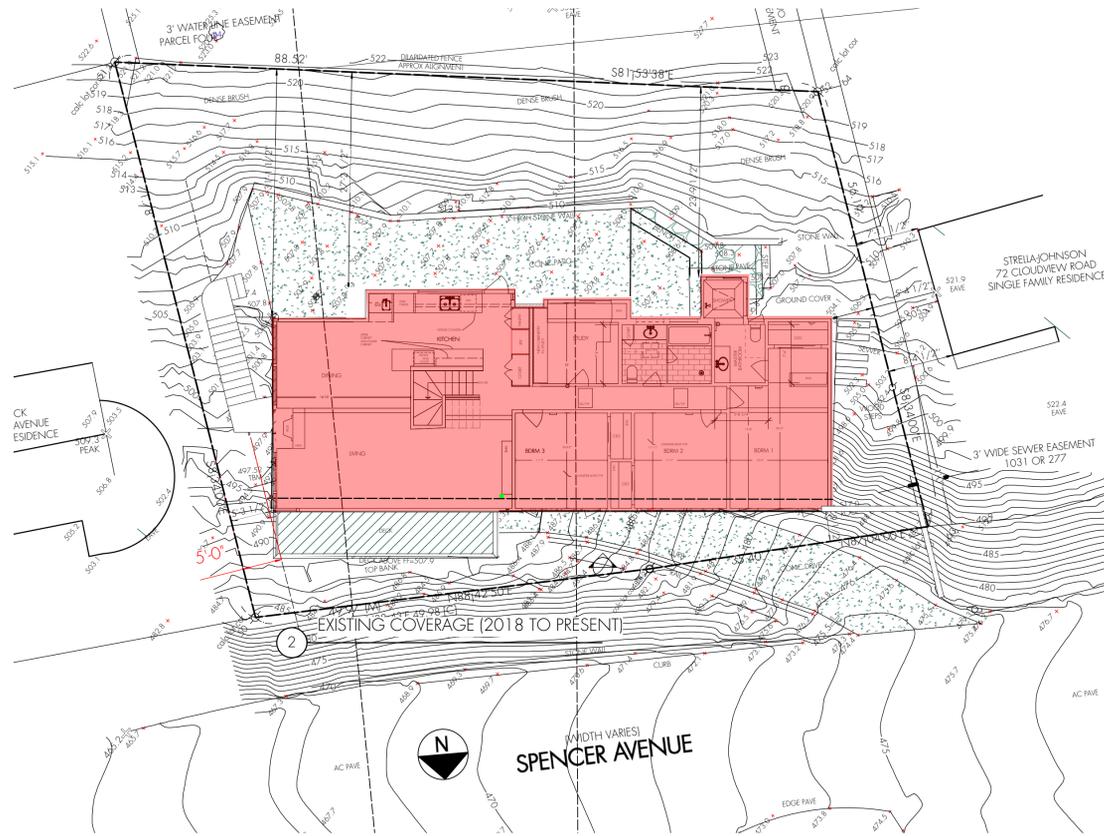
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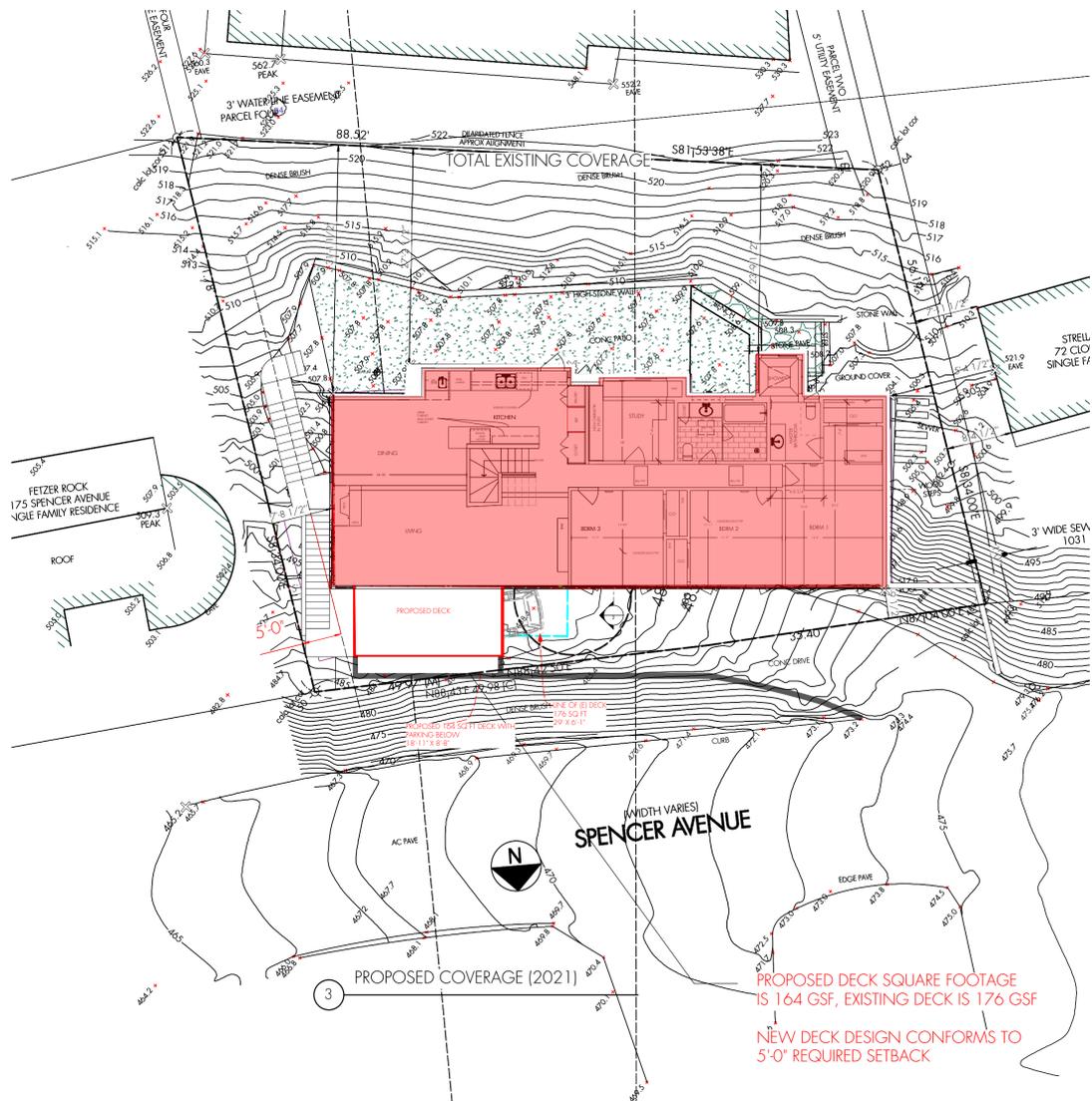
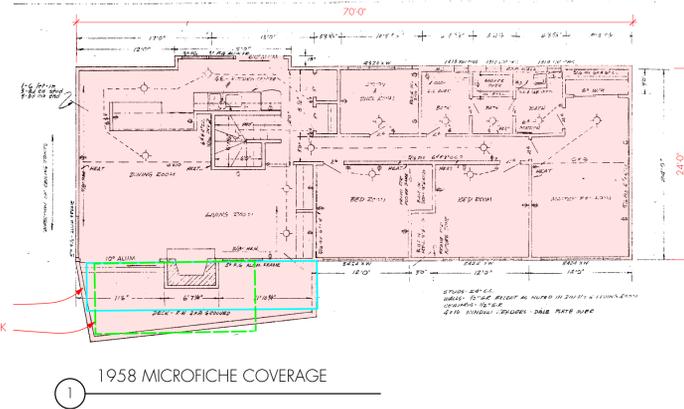


CAD POLYGON DRAWN TO SCALE
OVERLAYED ON 1958 MICROFICHE
DRAWING INDICATES PROJECT THAT IS
1978 SQ FT +/-

LOT SIZE:
5451 SQ FT PER
MERIDIAN SURVEY,

1978/5451=362

BLUE LINE INDICATES EXISTING DECK
GREEN LINE INDICATES PROPOSED DECK



LOT COVERAGE HISTORY					
	YEAR	DECK GSF	HOUSE GSF	TOTAL GSF	LOT COVERAGE
1.	1958	251 GSF	1727 GSF	1978 GSF	.363%
2.	2016	176 GSF	1824 GSF	2000 GSF	.367%
3.	2018	176 GSF	1814 GSF	1990 GSF	.365%
4.	2021	164 GSF	1814 GSF	1978 GSF	.363%

7. Projects for existing single-family residence or construction or expansion of an accessory structure which have any of the following effects:

- a. Add more than 300 square feet of floor area to any building on the parcel where the additional floor area will add new building coverage to the subject parcel where building coverage did not previously exist; or
- b. Add more than 25 percent of the total floor area of the existing structure or add more than 600 square feet of floor area (whichever is less with respect to adding new floor area square footage) to any building on the parcel where the addition will not add any new building coverage to the subject parcel where building coverage did not previously exist; or
- c. Have the potential to impair views from other properties; or
- d. Increase the height of any building.

B. Measurement of Coverage. Coverage is measured as the percentage of the total site area occupied by buildings and structures. For the purposes of this definition, "buildings" include primary buildings, garages, carports, and accessory buildings; decks and paved areas (such as walkways, driveways, patios, uncovered parking areas or roads) that have an elevation of at least two (2) feet above the average level of the natural grade directly below the constructed feature (average of highest and lowest points); and stairs two (2) feet above the natural grade. The measurement of site coverage shall not include the portion of roof eaves and/or rain gutters that extend no more than two (2) feet six (6) inches from the face of the building wall, but shall include the portion of roof

City of Sausalito Zoning Ordinance
10.40 General Development Regulations

March 29, 2012
Page 10.40 - 5

March 31, 2021

SCALE: 3/32"=1'-0"

BUILDING COVERAGE CALCS



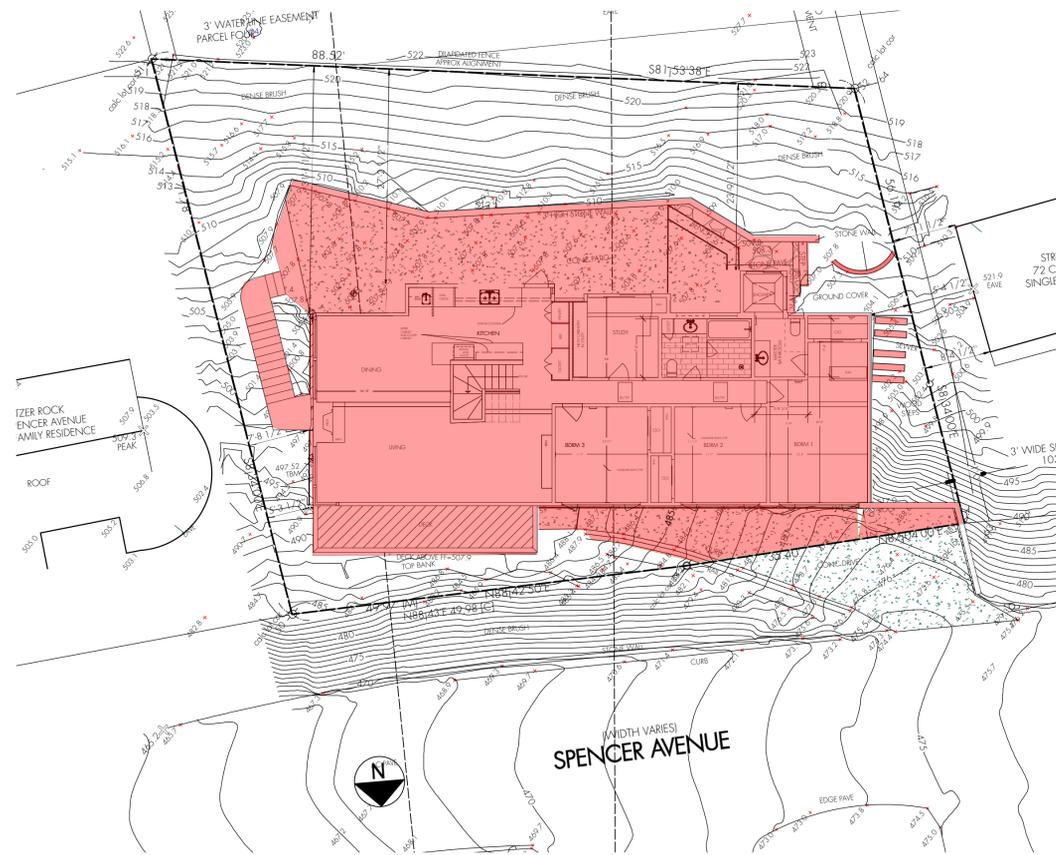
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Panariello Residence

181 Spencer Ave.
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 APN 065-182-20

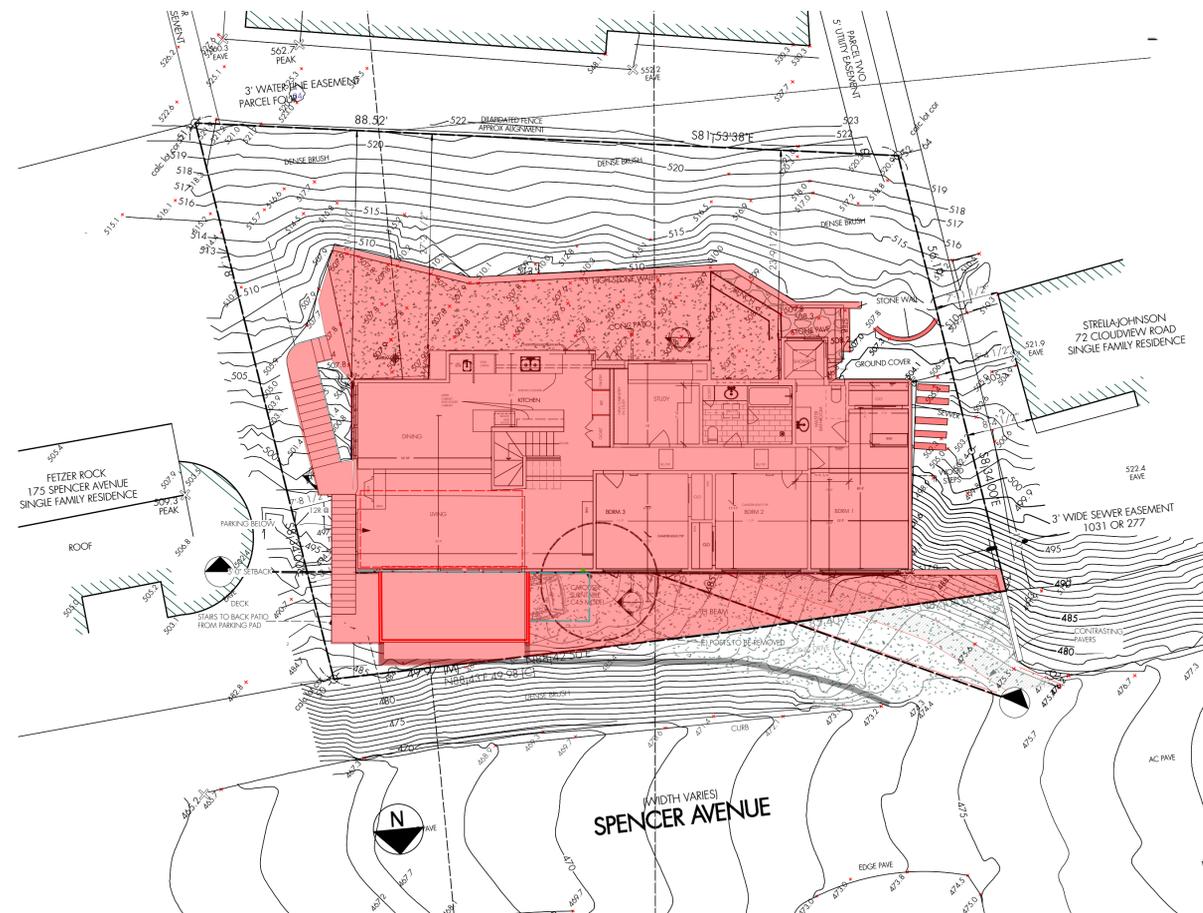
OWNER Gary Panariello

ARCHITECT Marty Zwick
 Zwick Architects
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 Sausalito, CA 94965
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EXISTING SITE COVERAGE= 3094 SQ FT
 LOT SIZE= 5451 SQ FT
 $3094/5451 = 57\%$ SITE COVERAGE
 LOT COVERAGE PERMITTED: 67.5%

C. Limit on Decks and Impervious Surfaces. All structures which count toward building coverage shall also count as impervious surface. In addition, impervious surface shall consist of any of the following features, regardless of height relative to natural grade: (1) all paved surfaces, such as concrete, regardless of the permeability of the material; (2) all hardscape garden elements such as stepping stones, fountains, statuary, swimming pools, and walls; (3) all deck areas regardless of the material used for the deck structure; (4) all gravel areas. See Diagram 10.40-1. The following features shall not be counted toward impervious surface: (1) landscaped areas; (2) planters; (3) unlandscaped areas of exposed earth, including those between different impervious surfaces (such as stepping stones) or between impervious surfaces and landscaped areas (such as the area between a walkway and a landscaped area). Impervious surfaces shall be subject to the maximum area specified in Table 10.22-2 (Site Development Standards-- Residential Zoning Districts).

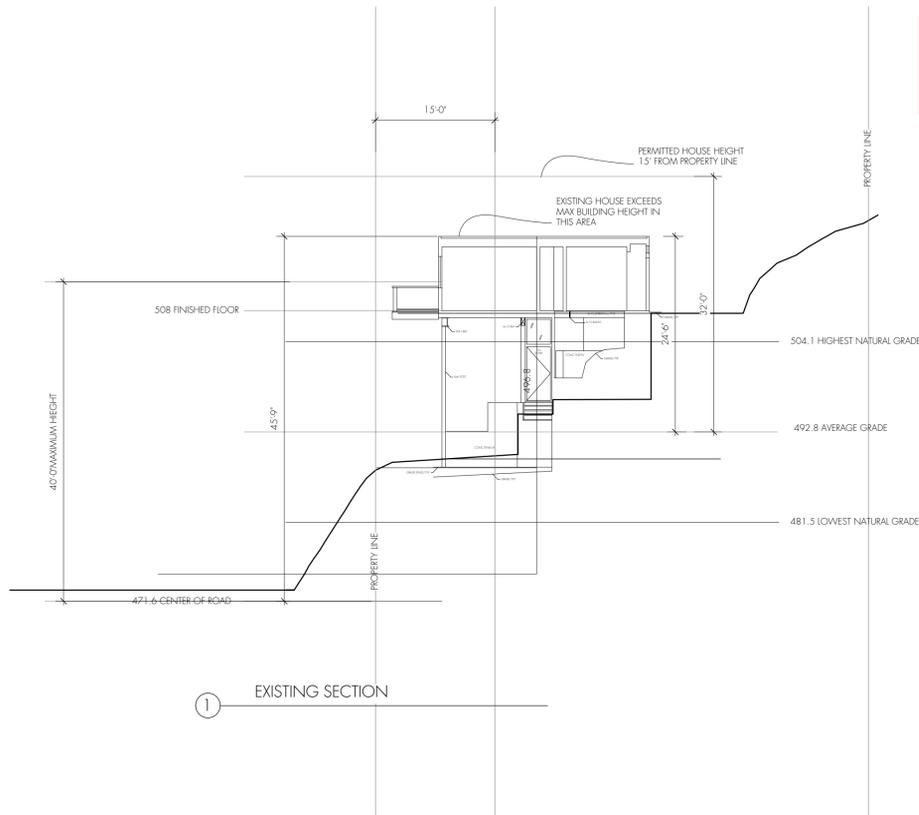


PROPOSED SITE COVERAGE= 3361 SQ FT
 LOT SIZE= 5451 SQ FT
 $3361/5451 = 62\%$ SITE COVERAGE
 LOT COVERAGE PERMITTED: 67.5%

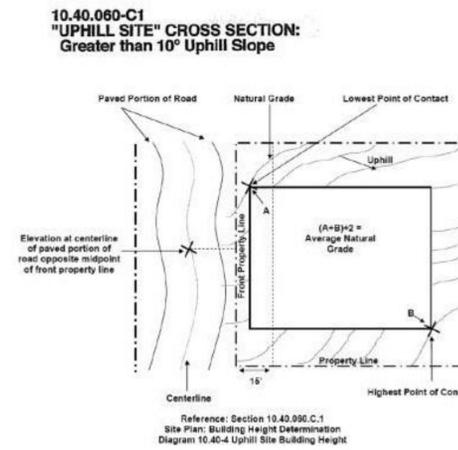
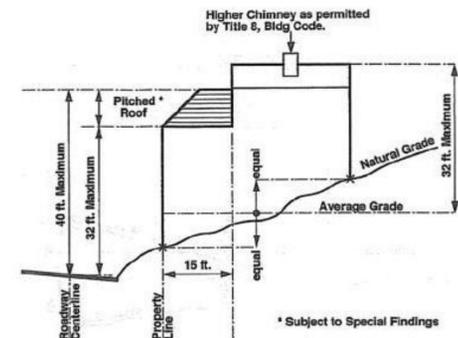
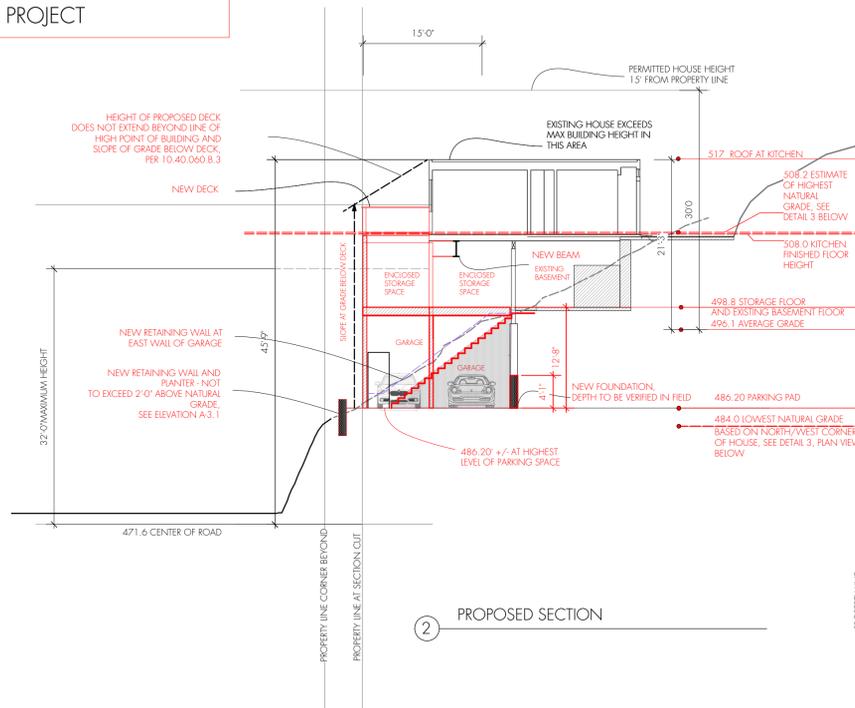
March 31, 2021

SCALE: 3/32"=1'-0"

IMPERVIOUS SURFACE CALCS



HEIGHT STUDY:
NO CHANGE IN HEIGHT
FOR PROJECT

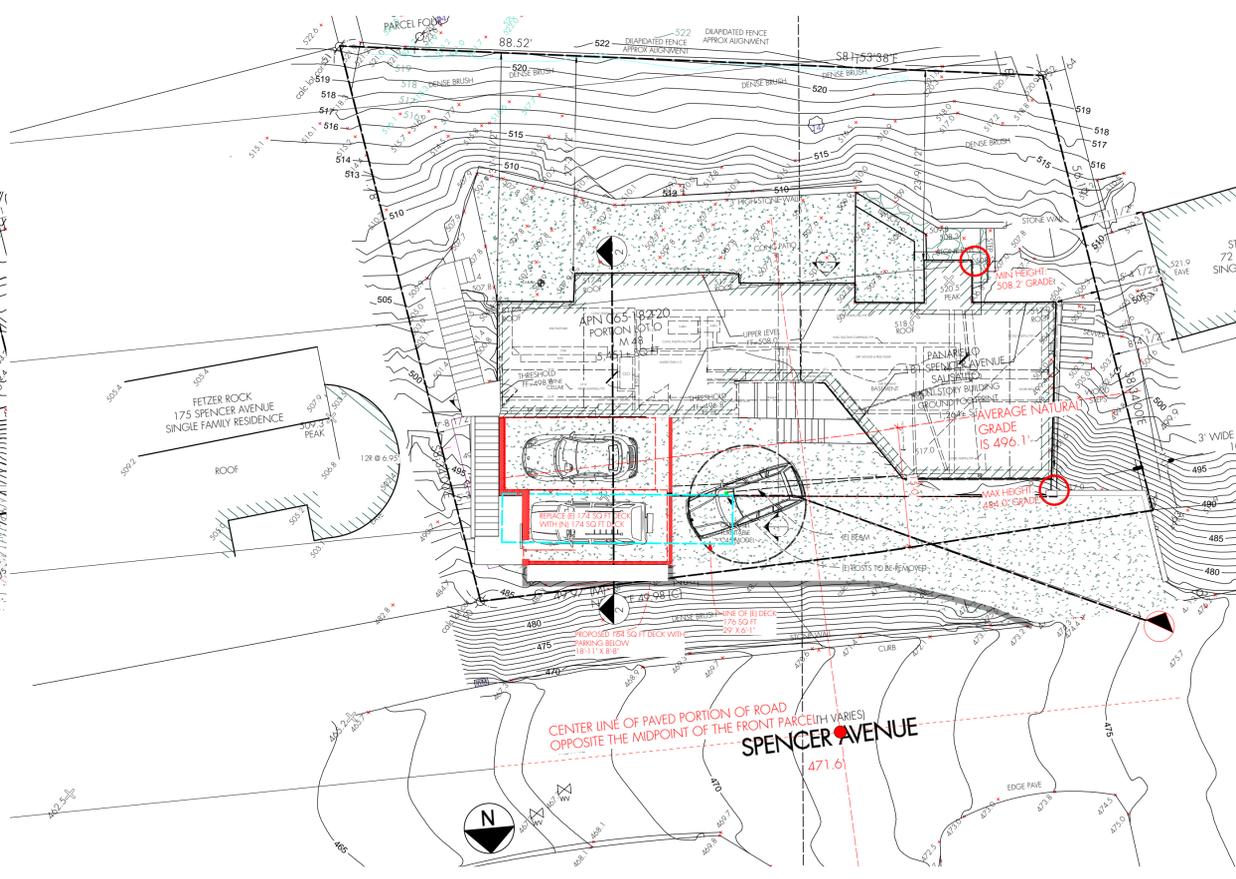
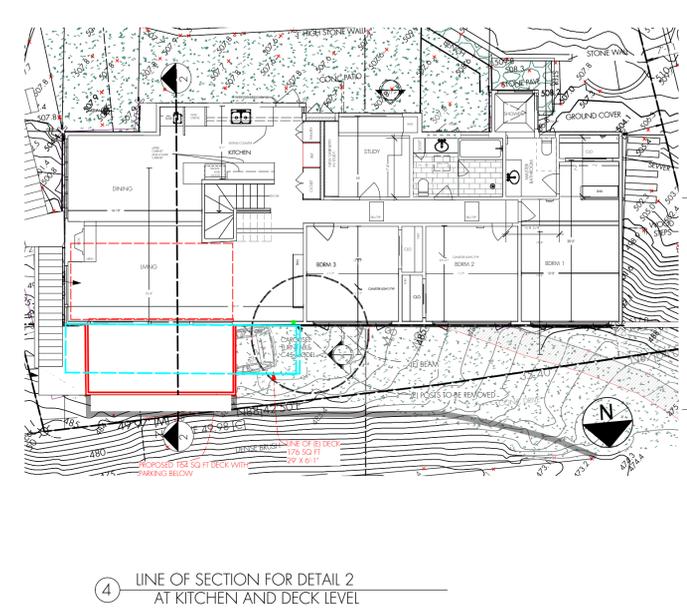


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10.40.060 Height requirements.

A. Applicability of Height Limits. Height limits for buildings and structures are established by Chapters 10.20 through 10.28 (Zoning Districts Regulations), 10.44 SMC (Specific Use Requirements) and this chapter. No building or structure shall be constructed or altered to exceed the height limit established by this chapter, except as otherwise provided by this section.

B. Measurement of Height. All portions of a building (including any portion of a floor, chimney or other appurtenance) shall be limited to 32 feet in height within the first 15 feet from the property line, as measured from the centerline of the paved portion of the road opposite the midpoint of the front parcel line. In addition, all structures shall be subject to the height restrictions identified below and the height restrictions specified in the appropriate zoning district, provided under no circumstances shall the height of any point of a building to the natural grade directly below exceed 50 feet.

1. Standard Building Height. Building height is the vertical distance from the average level of the natural ground surface under the building to the highest point of the building or structure. To determine the height of a building, the highest and lowest points of contact with the natural grade are identified and the average of these two elevations is the point from which the permitted maximum height is measured. The highest and lowest points of contact are determined where the maximum vertical projections of the perimeter walls of the building contact the natural grade. Where more than one structure is proposed for construction, the permitted height shall be individually computed for each detached structure. Balconies, decks and similar appurtenances and projections shall not be included in measuring the primary structure's building height.

1. Uphill. Any slope greater than 10 degrees slope computed upward from a parcel line that abuts a street at the front of the property to the rear of the property. On the uphill side of a street, a sloped roof that exceeds the height restriction identified in subsection B of this section (Measurement of Height) may be permitted subject to the following conditions (see Diagram 10.40-4):

- a. The roof slopes to meet a front wall of less than 32 feet toward the front property line, measured as stated above;
- b. The maximum height within the first 15 feet does not exceed 40 feet; and
- c. The sloped roof is subject to review and approval by the Planning Commission as governed by Chapter 10.54 SMC (Design Review Procedures).

March 31, 2021
SCALE: 3/32"=1'-0"

HEIGHT STUDY
A-1.4



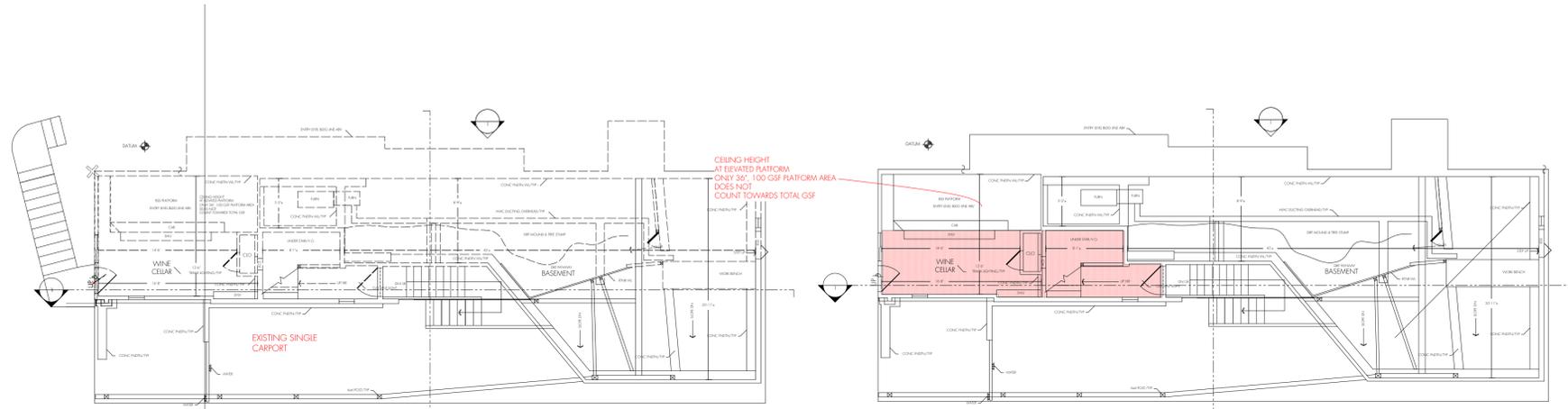
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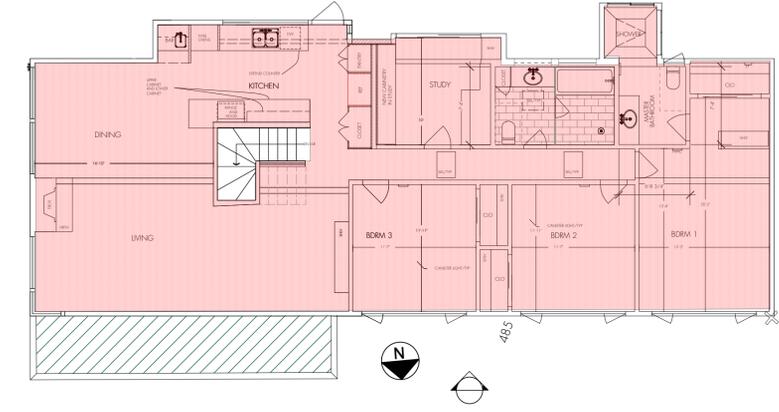
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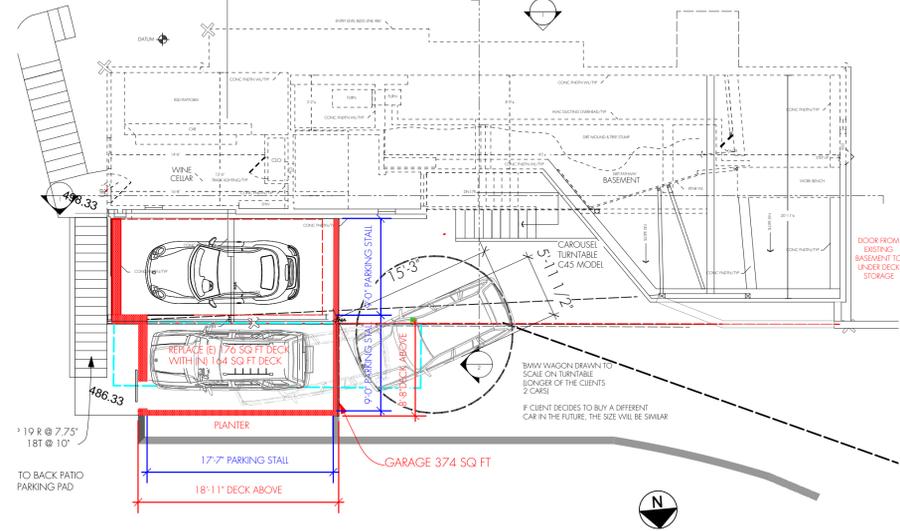
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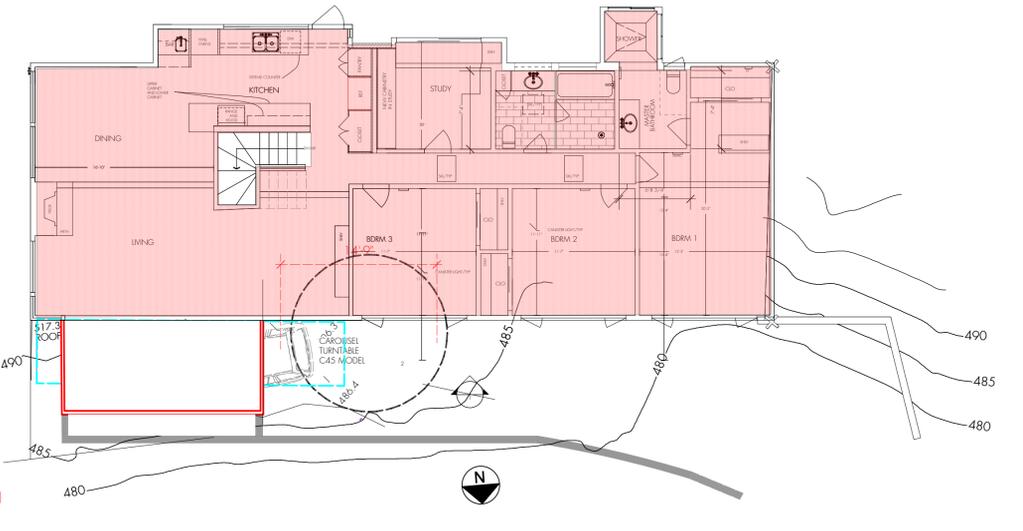
1 EXISTING BASEMENT PLAN



3 EXISTING UPPER PLAN



2 PROPOSED BASEMENT AND STORAGE PLAN



4 PROPOSED UPPER PLAN

EXISTING CARPORT:
 EXEMPT

PROPOSED GARAGE:
 EXEMPT

EXISTING BASEMENT:
 182 BASEMENT SQUARE FEET

PROPOSED BASEMENT WITH STORAGE:
 558 BASEMENT SQUARE FEET

EXISTING UPPER FLOOR:
 EXISTING UPPER FLOOR= 1691 SQFT

PROPOSED UPPER FLOOR:
 PROPOSED UPPER FLOOR= 1691 SQFT

EXISTING SQUARE FOOTAGE TOTALS AND FAR:
 1873 (182+1691) SQ FT TOTAL
 1873 SQ FT/5451 SQ FT=.34 FAR

PROPOSED SQUARE FOOTAGE TOTALS AND FAR:
 2249 (558+1691)= SQ FT TOTAL
 2249 SQ FT/5451 SQ FT=.41 FAR

10.40.040 Floor area ratio.
 A. Applicability of Floor Area Limits. Floor area limits for buildings and structures are established by Chapters 10.20 through 10.28 (Zoning District Regulations), 10.44 SMC (Specific Use Requirements) and this chapter. New construction and additions to buildings shall not exceed the floor area ratio (FAR) limit identified in the site development standards table for each applicable zoning district (Chapters 10.20 through 10.28 SMC; base zoning district regulations).
 B. Measurement of Floor Area. The sum of the gross horizontal surfaces of all enclosed buildings and any covered patio, balcony, court, deck, porch or terrace with over 50 percent of the surface of the exterior vertical area (not including the vertical area of the main building wall) enclosed by weatherproof materials (including closable windows, doors and louvers). Floor area shall be measured from the interior faces of the exterior walls and shall exclude vent, utility and elevator shafts; inner courts; 500 square feet or enclosed automobile parking spaces for single-family dwellings and the minimum area for parking and circulation required by SMC 10.40.110 (Parking space requirements by land use) and 10.40.120 (Design and improvement of parking) for all other uses; and shall include attics, crawl spaces and other confined spaces with a ceiling height greater than five feet 11 inches where such space has a finished floor. Interior volumes in residential structures with a finished floor to top of roof height of over 20 feet for sloped roofs (minimum 4:12 pitch) and over 17 feet for flat roofs shall be counted as 1.5 times the finished floor area. Continuous staircases (e.g., stacked) shall be measured as floor area on one floor only. Discontinuous (e.g., offset) staircases in residential structures shall be measured as floor area on each floor. See Diagram 10.40-10.

March 31, 2021
 SCALE: 1/8"=1'-0"
 SQUARE FOOTAGE CALCS



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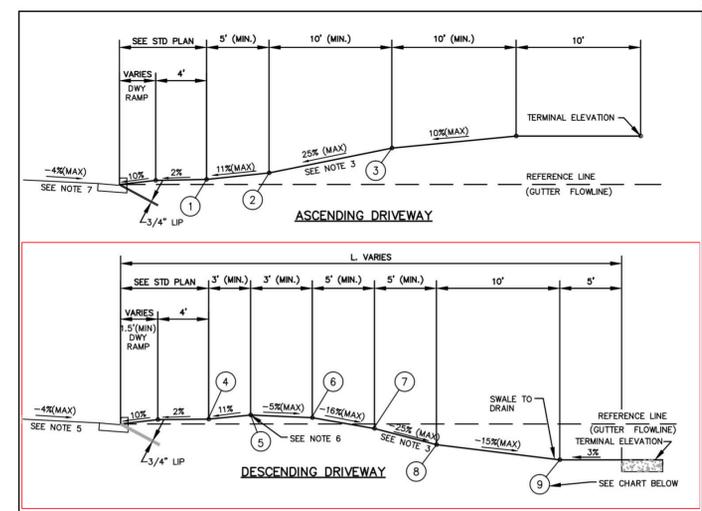
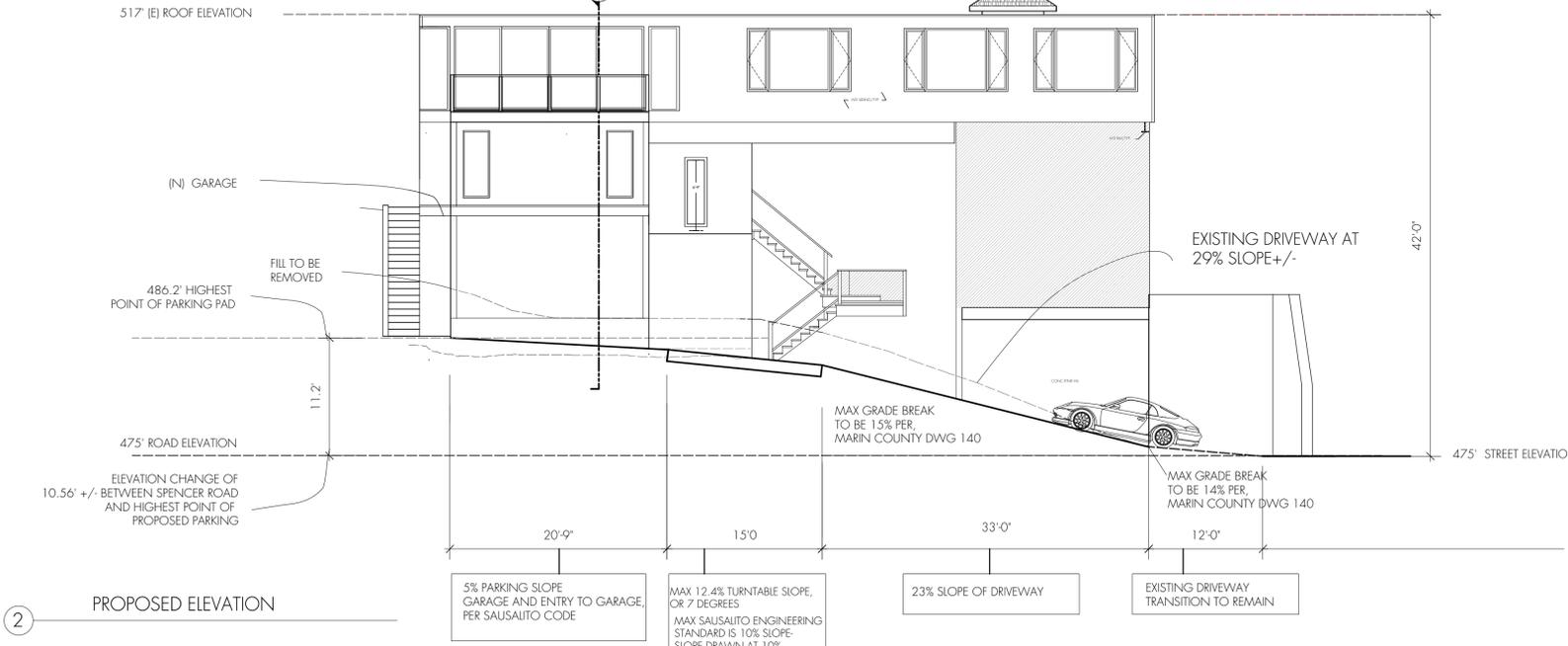
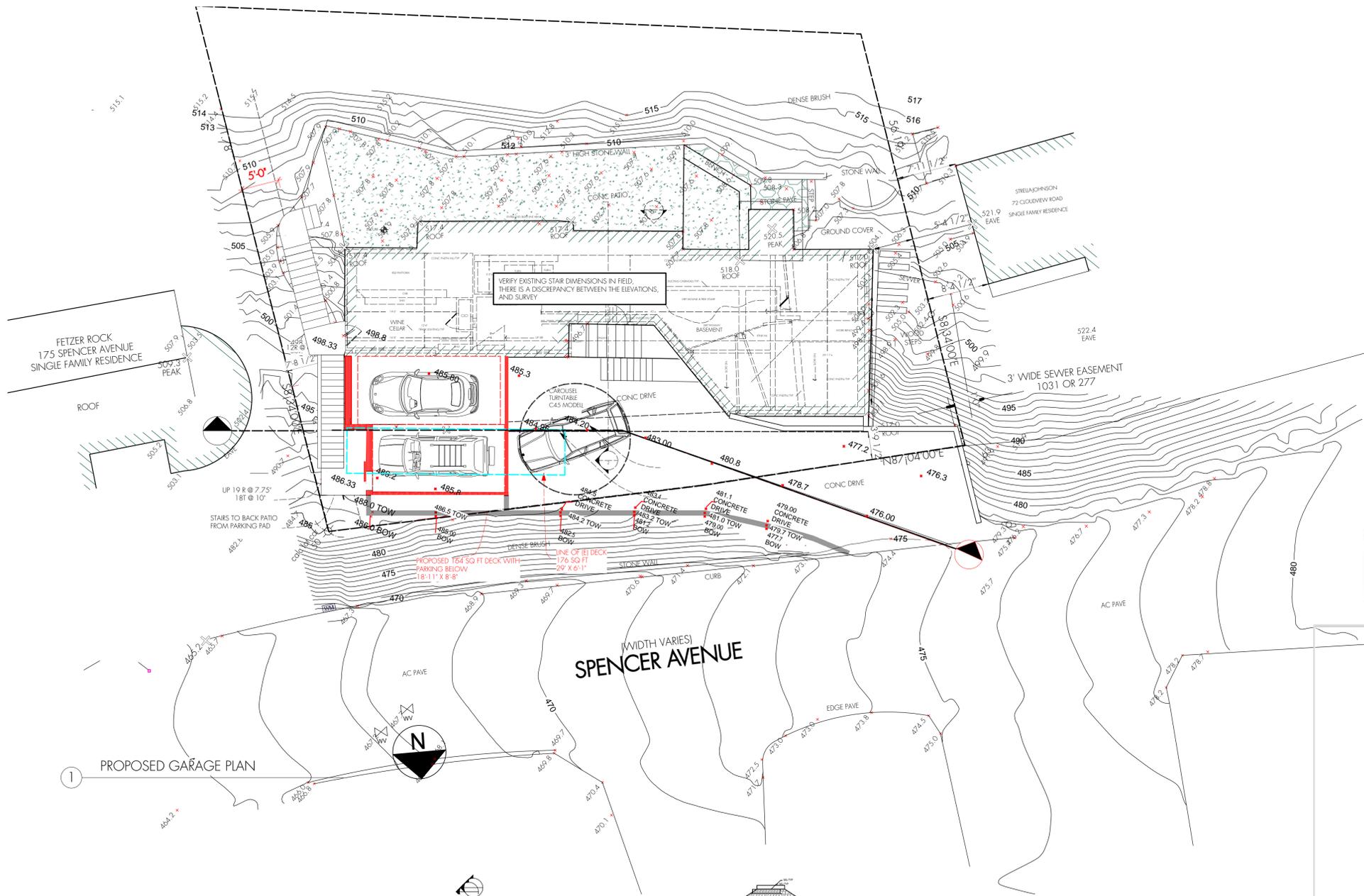
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	Length (ft)	Slope	Height (ft)
Parking space	20.75	5%	1.0
Turntable	15	10%	1.5
Lower Slope	33	23%	7.6
Transition	12	9%	1.1
	81		11.2
Elevation (ft)			
Parking space	486.2		
Curb Cut	475.0		



- NOTES:**
- REFERENCE LINE IS FROM FACE OF DEPRESSED CURB OR EDGE OF PAVEMENT WHERE NO CURB EXISTS.
 - FOR MAXIMUM GRADE BREAKS, SEE CHART.
 - MAXIMUM GRADIENT MEASURED ALONG THE DRIVEWAY CENTERLINE SHOULD NOT BE STEEPER THAN 18%, AND SHALL NOT BE STEEPER THAN 25%.
 - SEE DWG. NOS. 110, 115, 120, 125, 130 AND 135 FOR DRIVEWAY RAMP DETAILS.
 - IF PAVEMENT CROSS SLOPE EXCEEDS 4%, A MODIFIED DRIVEWAY PROFILE SHALL BE USED WITH THE SLOPE OF THE DRIVEWAY RAMP REDUCED SUCH THAT THE DIFFERENCE IN SLOPE OF THE DRIVEWAY RAMP AND THE SLOPE OF A LINE BETWEEN THE GUTTER AND A POINT ON THE ROADWAY 5' FROM GUTTER LINE SHALL NOT EXCEED 15%. REDUCE DRIVEWAY RAMP SLOPE, NOT THE GUTTER SLOPE. OTHER DIMENSIONS SHALL BE MODIFIED AS APPROVED BY THE AGENCY ENGINEER.
 - THE GRADE AT (5) SHALL BE A MINIMUM OF 0.5' ABOVE REFERENCE LINE.
 - SPECIAL ENGINEERING DESIGNS MAY BE REQUIRED FOR UNIQUE SITUATIONS.
 - THE GEOMETRIC LAYOUT OF A PROPOSED DRIVEWAY SHALL BE REVIEWED AND APPROVED BY THE AGENCY ENGINEER PRIOR TO CONSTRUCTION.

GRADE BREAK CHART

#	MAXIMUM GRADE BREAK
1	9%
2	14%
3	15%
4	9%
5	16%
6	11%
7	9%
8	10%
9	12%

UNIFORM STANDARDS ALL CITIES AND COUNTY OF MARIN	STEEP DRIVEWAY DESIGN	MAY 2008 DWG. NO. 140
REV.	DATE	BY

March 31, 2021
SCALE: 1/8"=1'-0"
DRIVEWAY
SLOPE CALCS

A-1.6



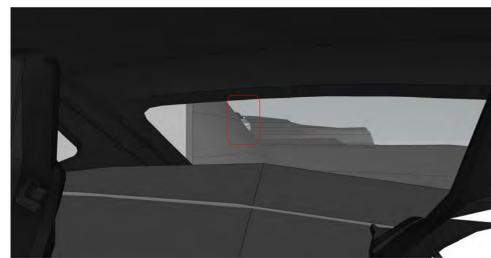
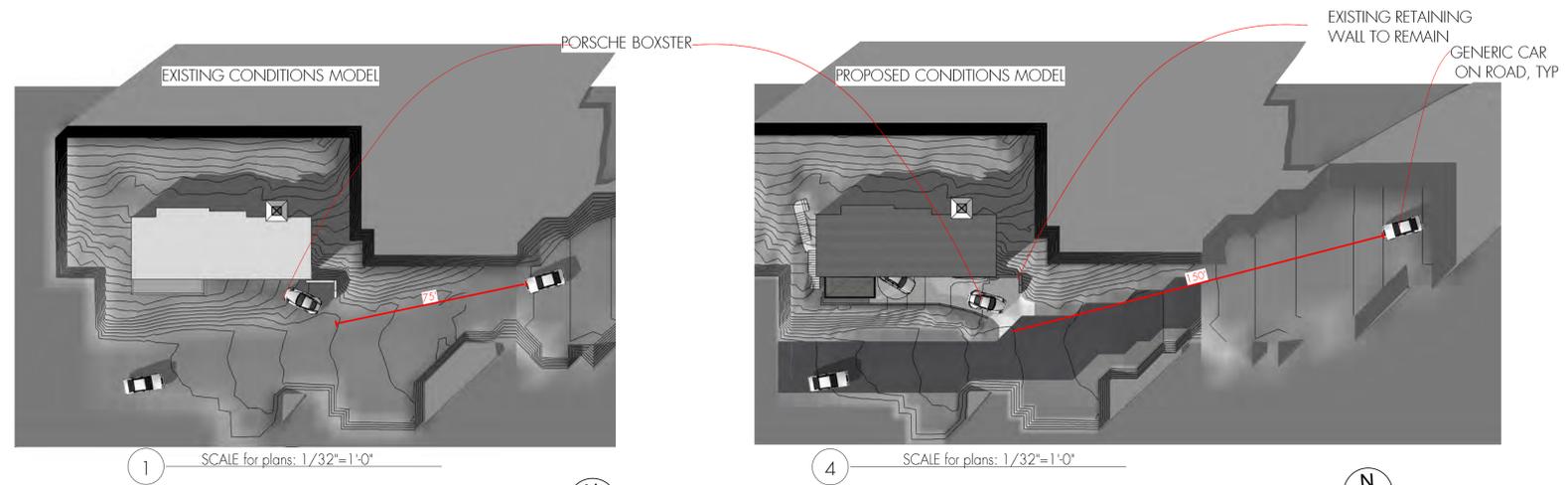
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2 VISIBILITY IS APPROX 75'

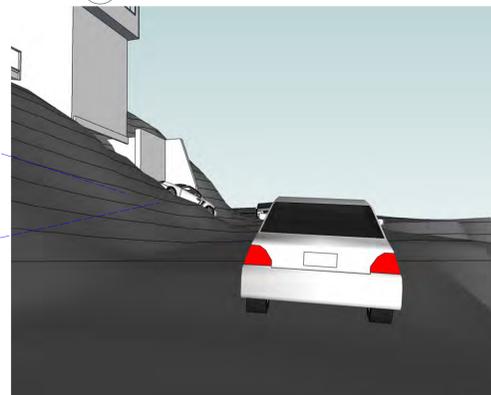


5 VISIBILITY IS APPROX 150'

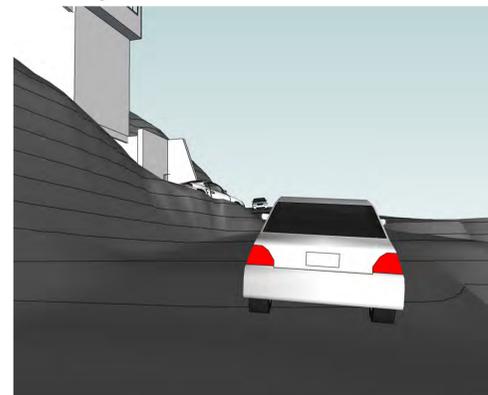


EXISTING REAR VIEW MIRROR:
 VIEW OF ROAD IS MINIMAL
 DUE TO STEEP SLOPE OF DRIVEWAY

PROPOSED FRONT WINDOW VIEW:
 VIEW IS GREATER AS THE
 DRIVEWAY SLOPE IS
 LESS STEEP AND MORE ROAD IS VISIBLE

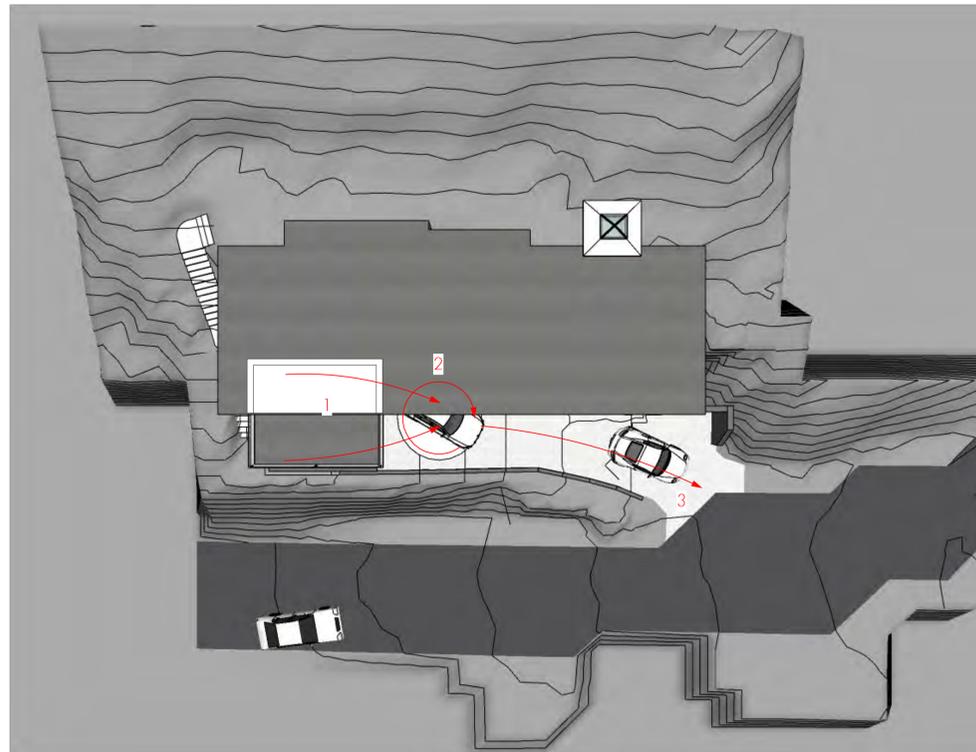
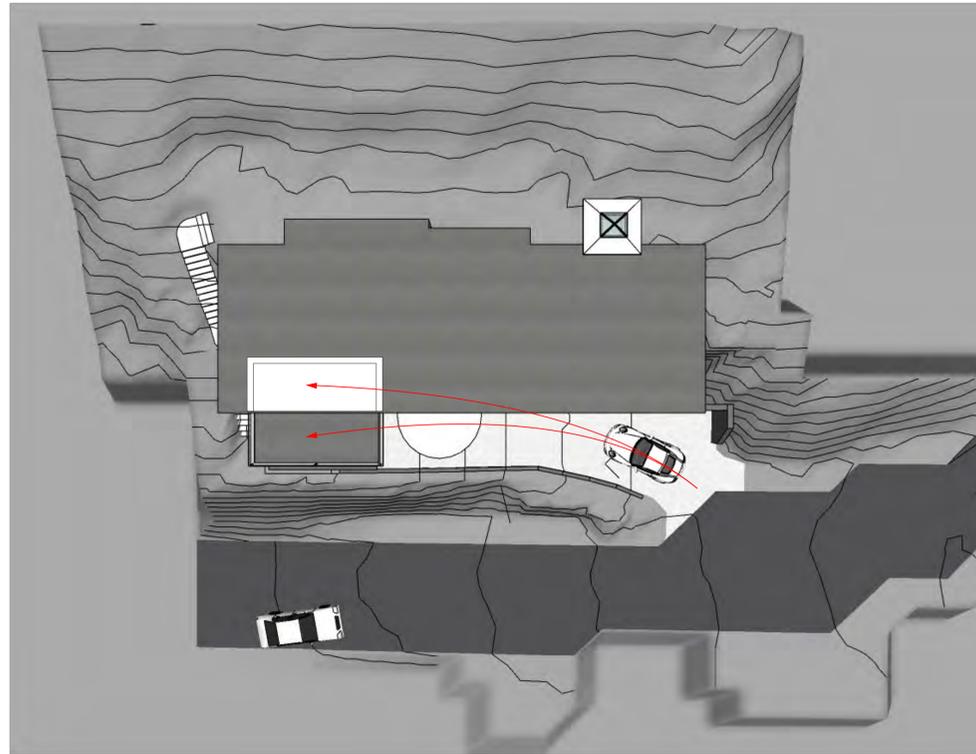


3



6

March 31, 2021
 SCALE for plans: 1/32"=1'-0"
 TRAFFIC STUDY



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March 31, 2021
 SCALE: N.T.S.

CAR ENTRY AND EXIT
 DIAGRAM

A-1.8



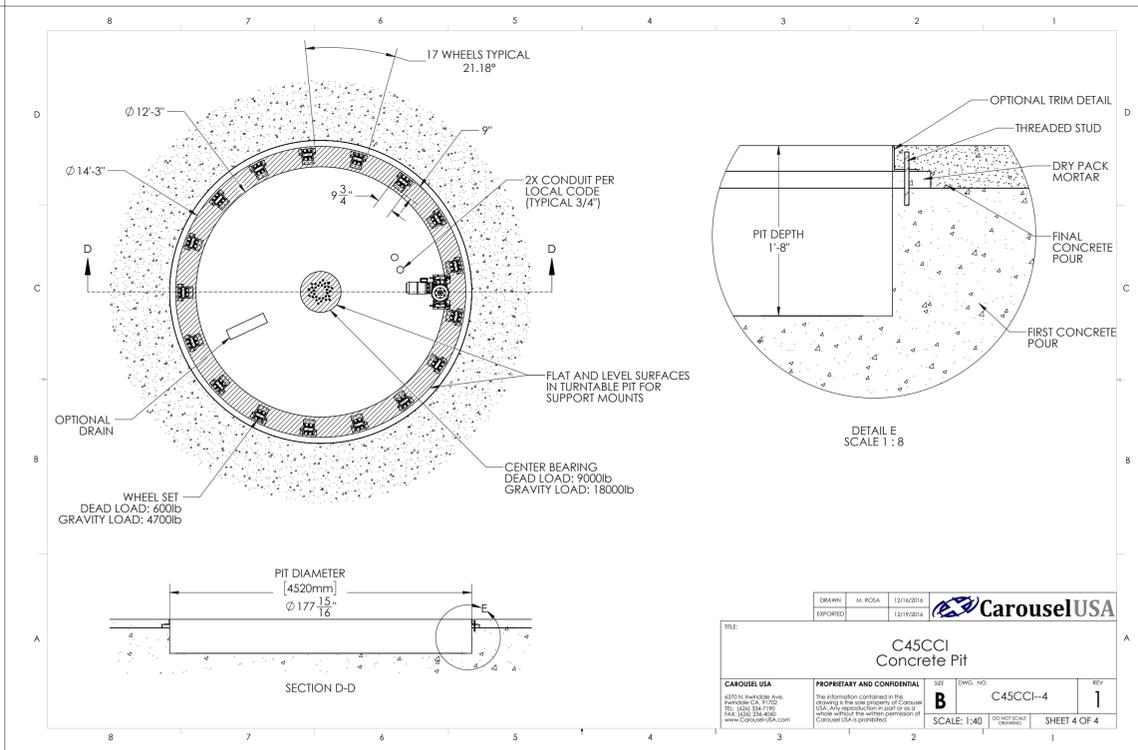
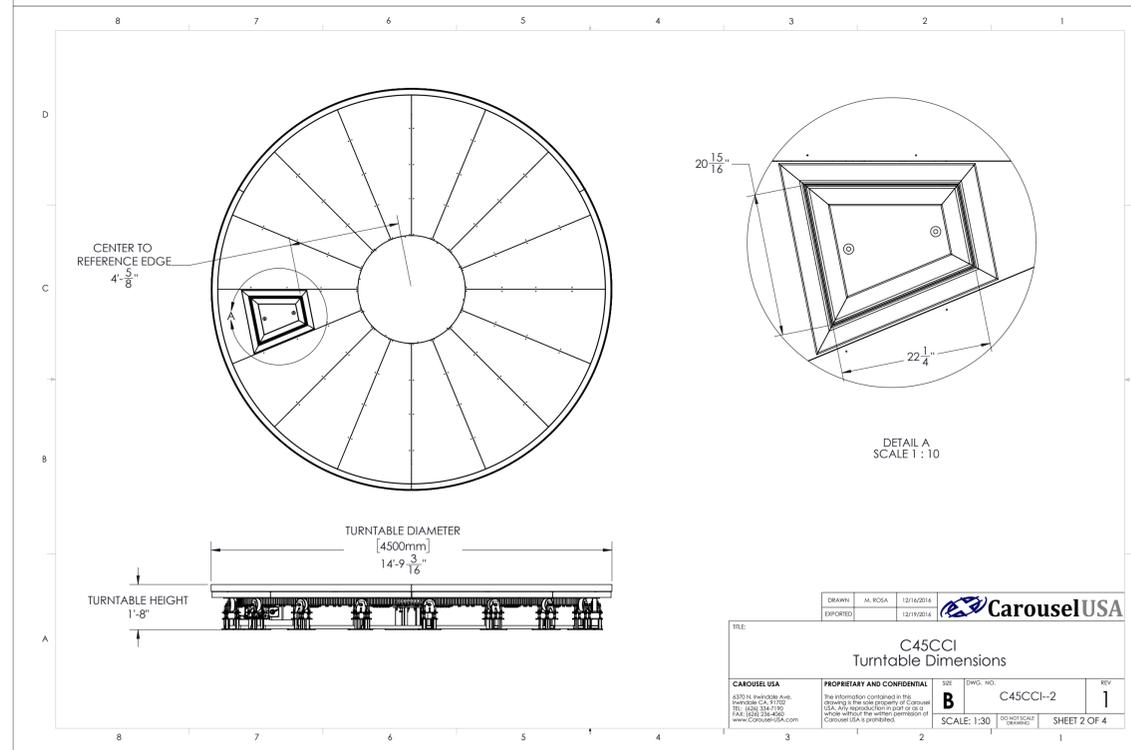
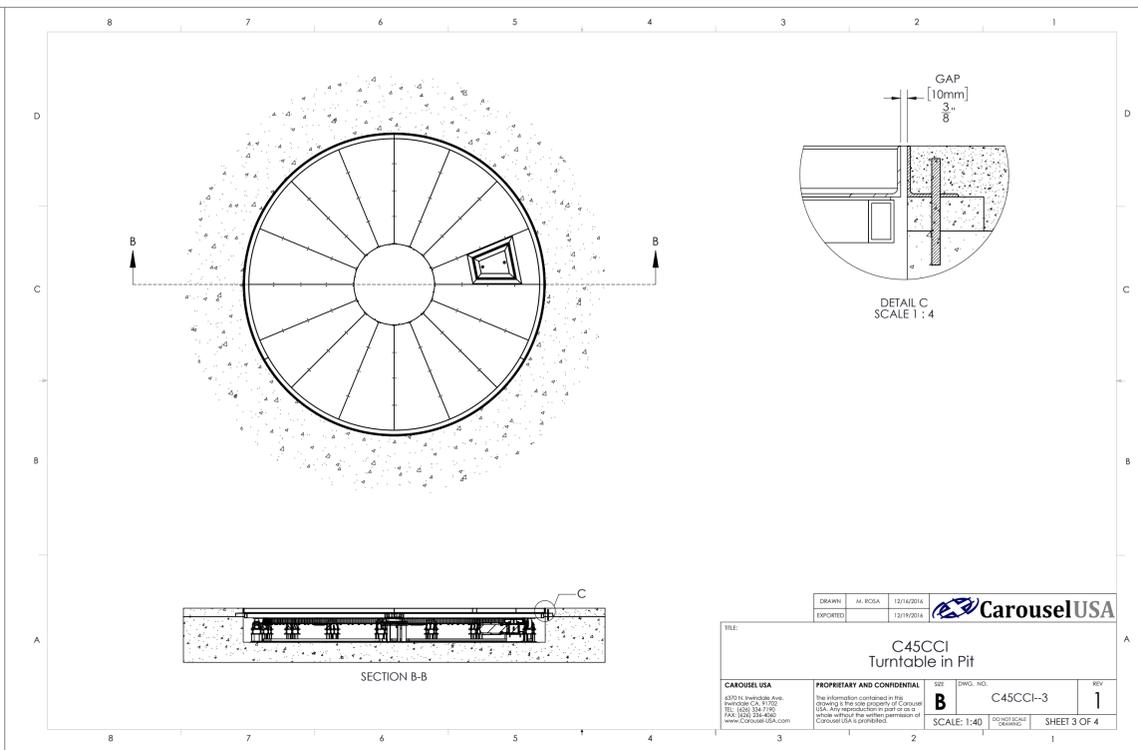
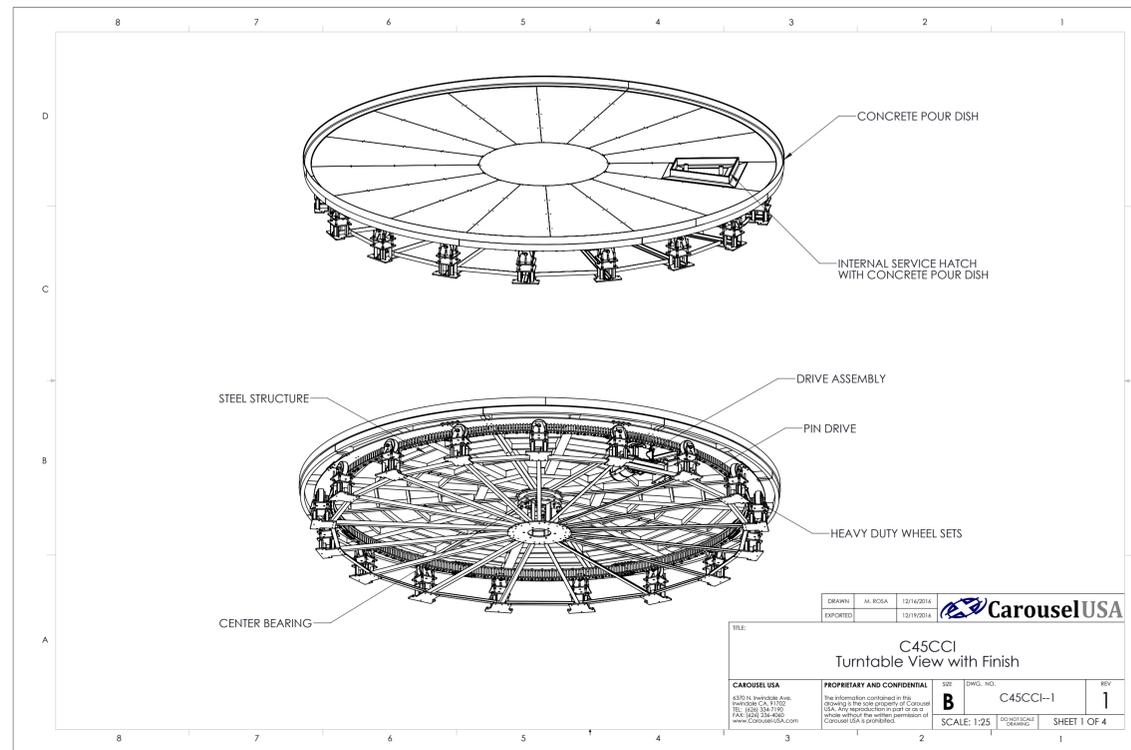
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- CUSA turntables can be installed on a slope (up to 7 degrees) matching the grade of the surrounding concrete/surface. If you wish to install your turntable on a grade, special conditions and arrangements are required:
- The pit floor must match the grade of the surrounding driveway concrete. The edge must rest on a plane as the flat turntable will not follow any contours.

March 31, 2021

SCALE: N.T.S.

CAR TURNTABLE

A-1.9



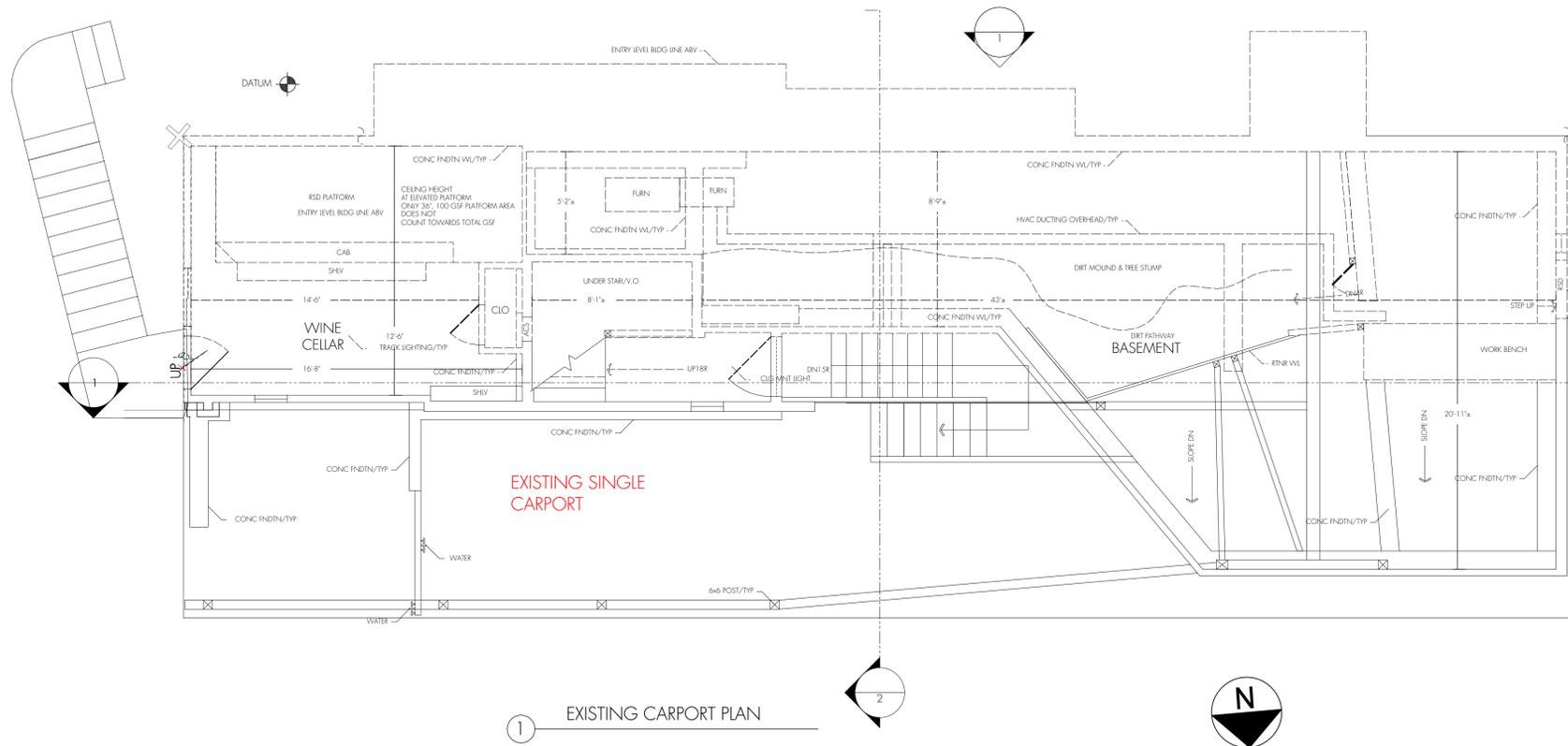
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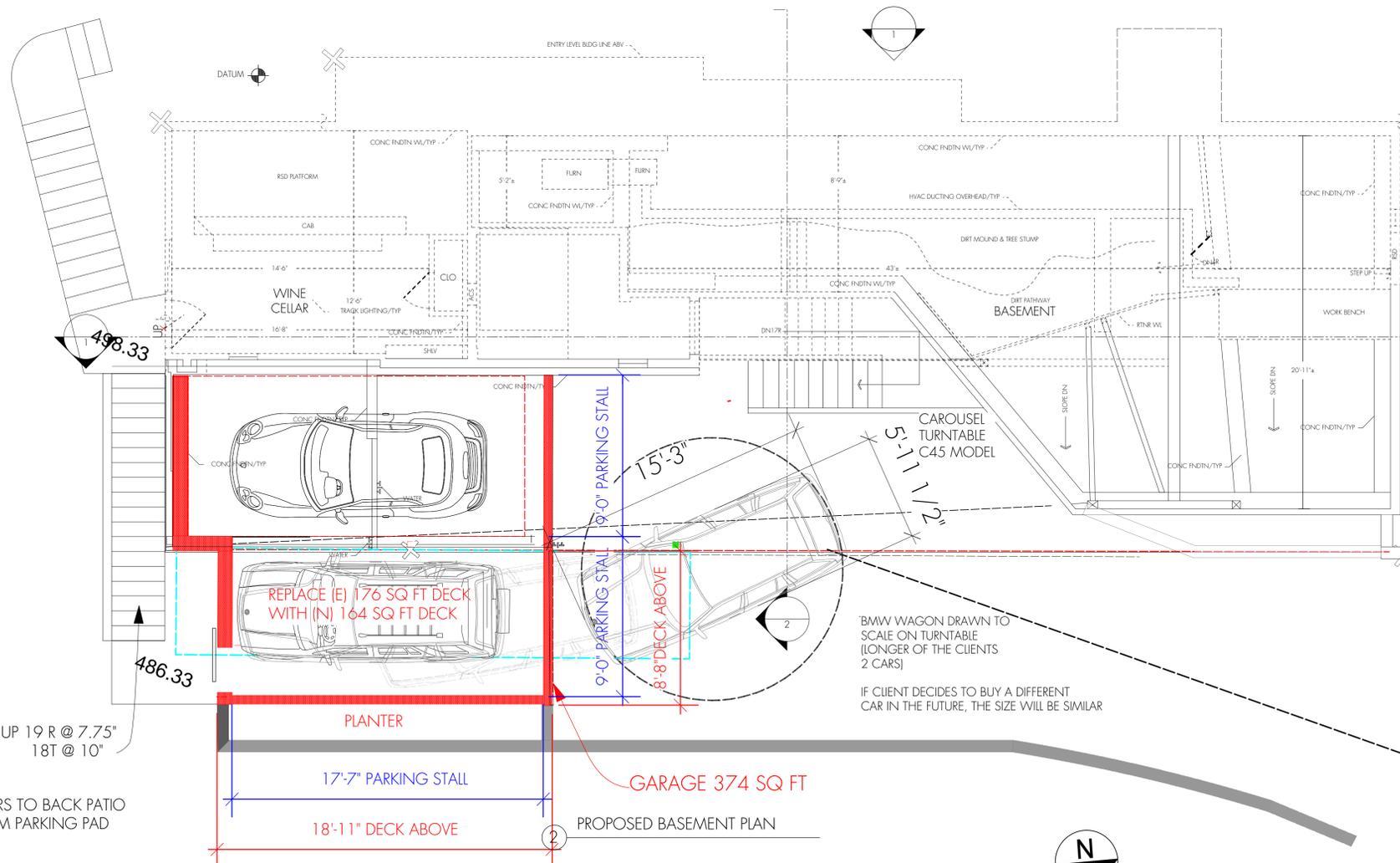
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EXISTING CARPORT PLAN

2



PROPOSED BASEMENT PLAN

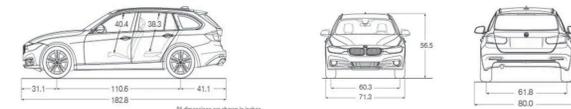
	718 Boxster	718 Boxster S	718 Cayman	718 Cayman S
Weights*	Manual/PDK	Manual/PDK	Manual/PDK	Manual/PDK
Curb weight	2944 lbs./3010 lbs.	2988 lbs./3054 lbs.	2944 lbs./3010 lbs.	2988 lbs./3054 lbs.
Gross weight	3649 lbs./3715 lbs.	3670 lbs./3737 lbs.	3649 lbs./3715 lbs.	3670 lbs./3737 lbs.
Performance	Manual/PDK	Manual/PDK	Manual/PDK	Manual/PDK
Top track speed	170 mph	177 mph	170 mph	177 mph
0-60 mph	4.9 (4.7)	4.4 (4.2)	4.9 (4.7)	4.4 (4.2)
Sport Chrono Package (in conjunction with PDK10-60 mph w/ Launch Control)	4.5	4.0	4.5	4.0
Fuel consumption/emissions*				
City	TBD	TBD	TBD	TBD
Highway	Specifications for 2017 Porsche Boxster S from Porsche USA website	TBD	TBD	TBD
Combined	TBD	TBD	TBD	TBD
Dimensions/aerodynamics				
Length	172.4 in.	172.4 in.	172.4 in.	172.4 in.
Width (including exterior mirror)	78.5 in.	78.5 in.	78.5 in.	78.5 in.
Height	50.4 in.	50.4 in.	51 in.	51 in.
Wheelbase	97.4 in.	97.4 in.	97.4 in.	97.4 in.
Tank capacity	14.3 gal.	16.9 gal.	14.3 gal.	16.9 gal.
Drag coefficient	0.31	0.32	0.30	0.31

Exterior Dimensions

LENGTH / WIDTH / HEIGHT (in)
182.8 / 71.3 / 56.5

CURB WEIGHT - AUTOMATIC TRANSMISSION (lbs)
3913

WEIGHT DISTRIBUTION, FRONT/REAR - AUTOMATIC TRANSMISSION (%)
48.2 / 51.8
 Specifications for 2017 BMW 328d Wagon from BMW USA website



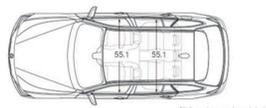
Interior Dimensions

HEADROOM (in)
40.4

LEGROOM, FRONT/REAR (in)
42.0 / 35.0

SHOULDER ROOM, FRONT/REAR (in)
55.1 / 55.1

CARGO CAPACITY (cu ft)
27.5 - 61.5



March 31, 2021
 SCALE: 1/4"=1'-0"
 GARAGE/CARPORT
 LEVEL FLOOR PLANS

A-2.0



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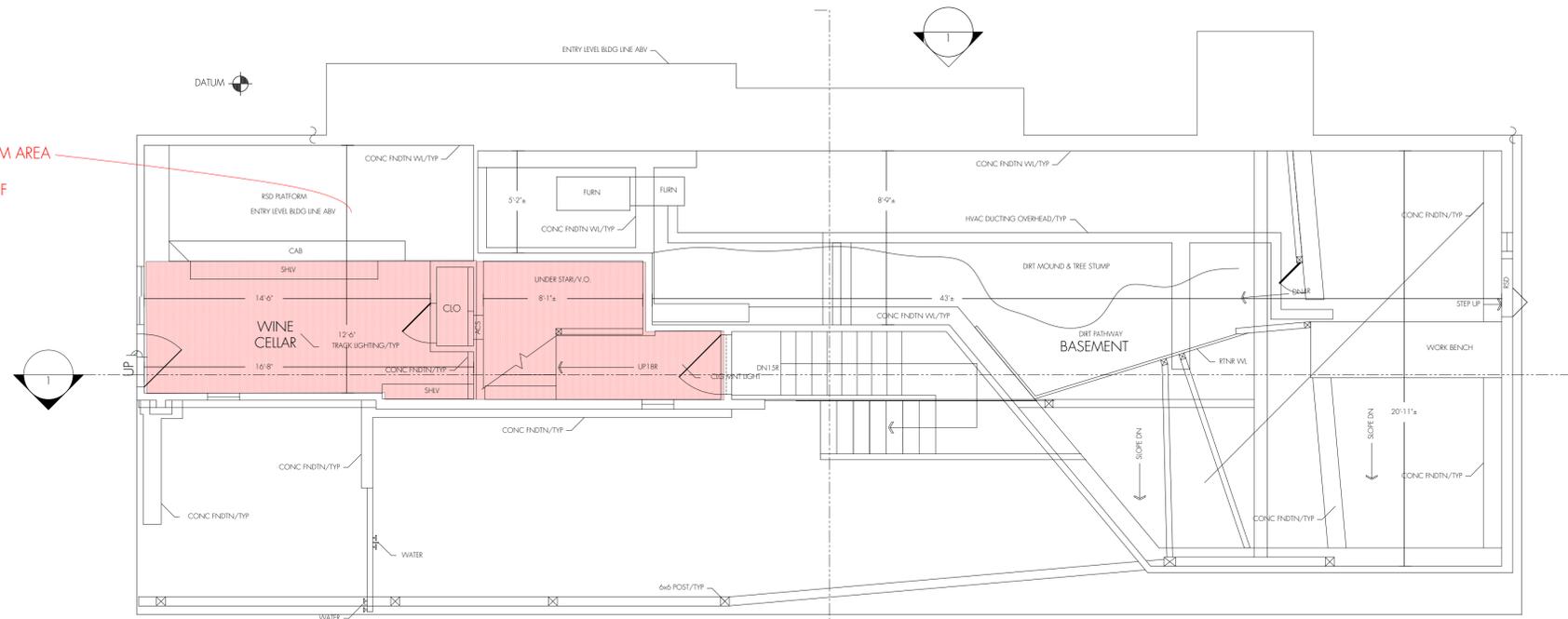
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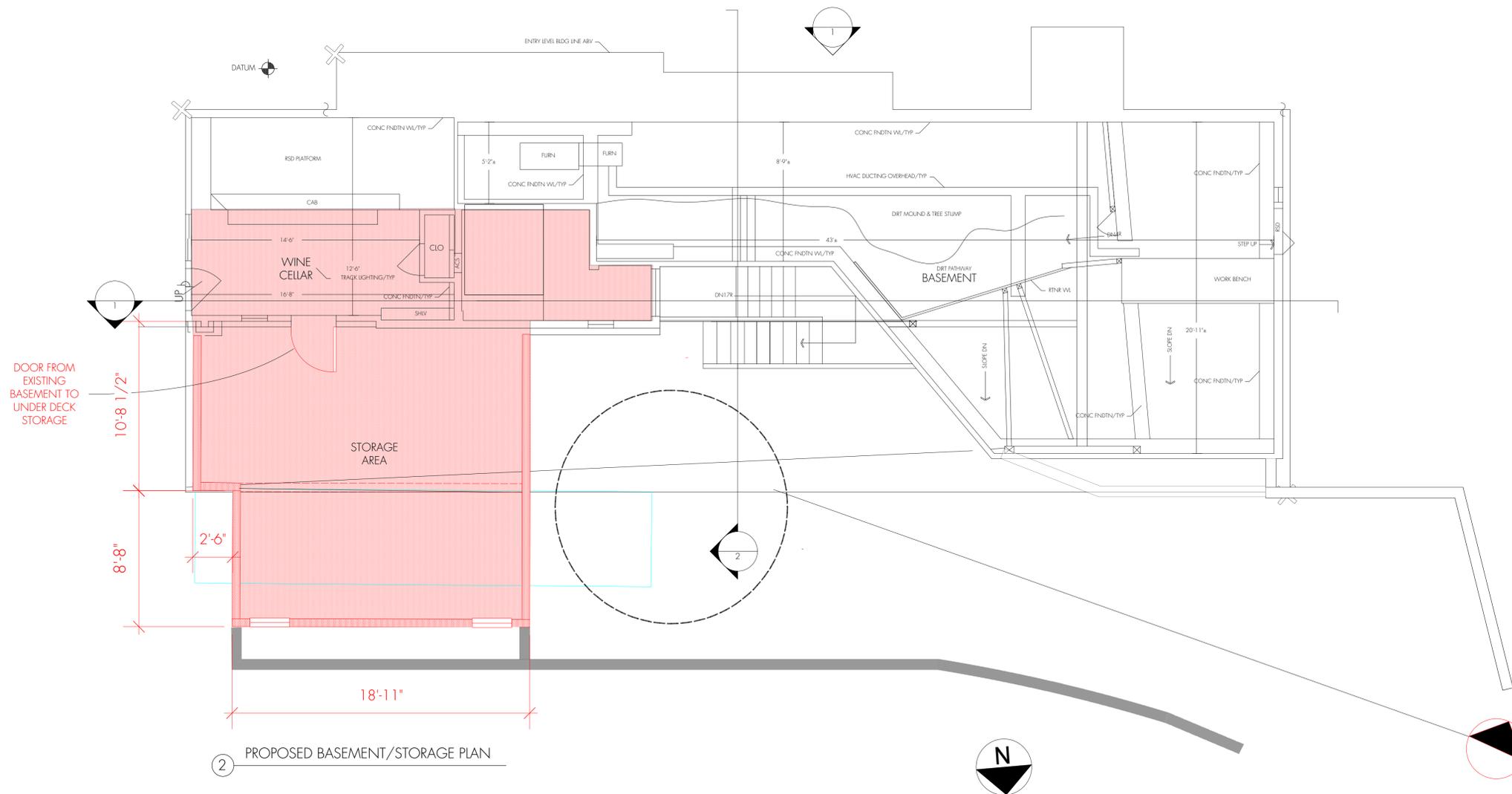
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CEILING HEIGHT
 AT ELEVATED PLATFORM
 ONLY 36", 100 GSF PLATFORM AREA
 DOES NOT
 COUNT TOWARDS TOTAL GSF



1 EXISTING BASEMENT PLAN

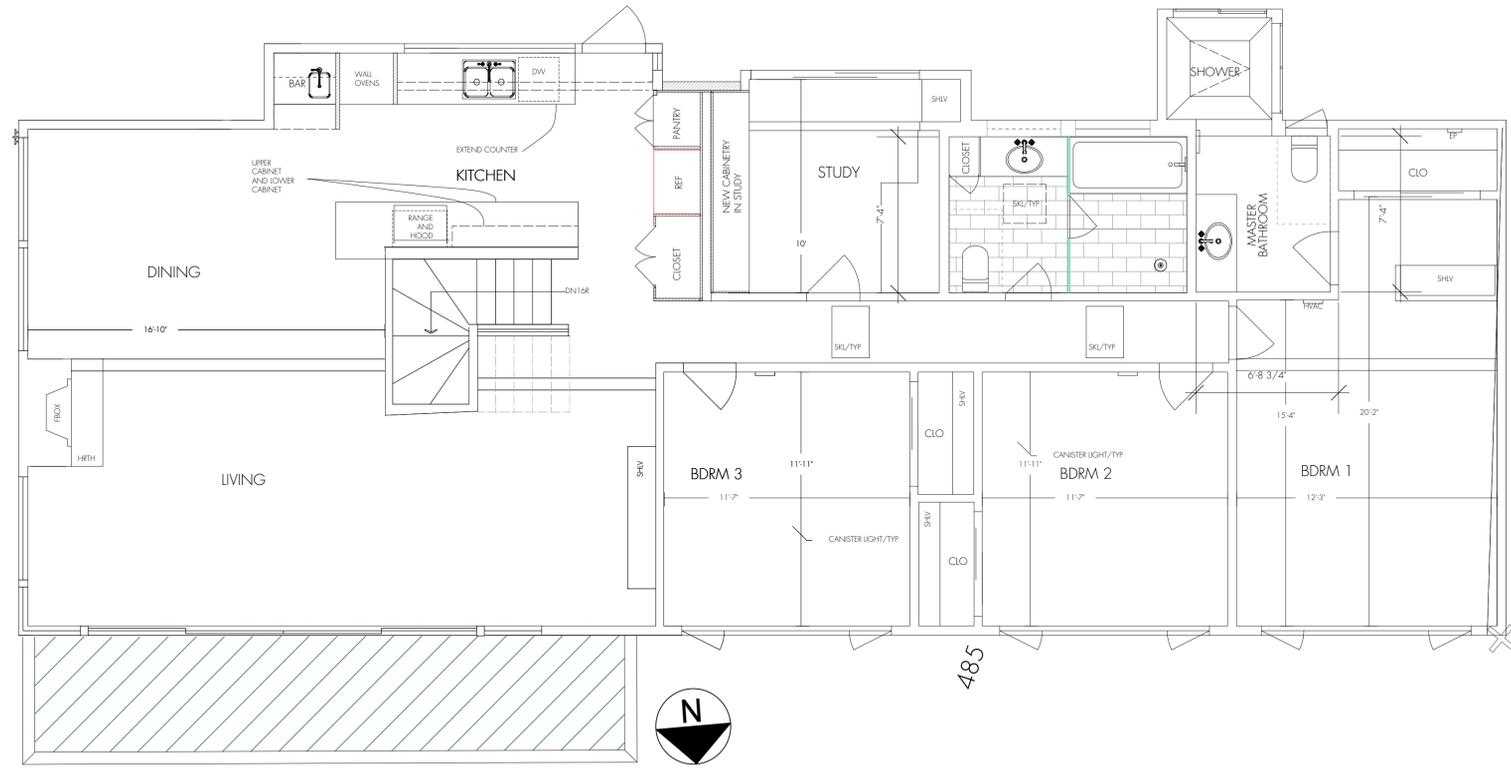
2



2 PROPOSED BASEMENT/STORAGE PLAN

March 31, 2021
 SCALE: 1/4"=1'-0"
 STORAGE
 LEVEL FLOOR PLANS

A-2.1



1 EXISTING MAIN FLR PLAN

PLEASE NOTE: EXISTING PLAN DRAWINGS
HAVE BEEN MODIFIED TO REFLECT THE NEW
RENOVATION WORK APPROVED UNDER
PERMIT 2017-442



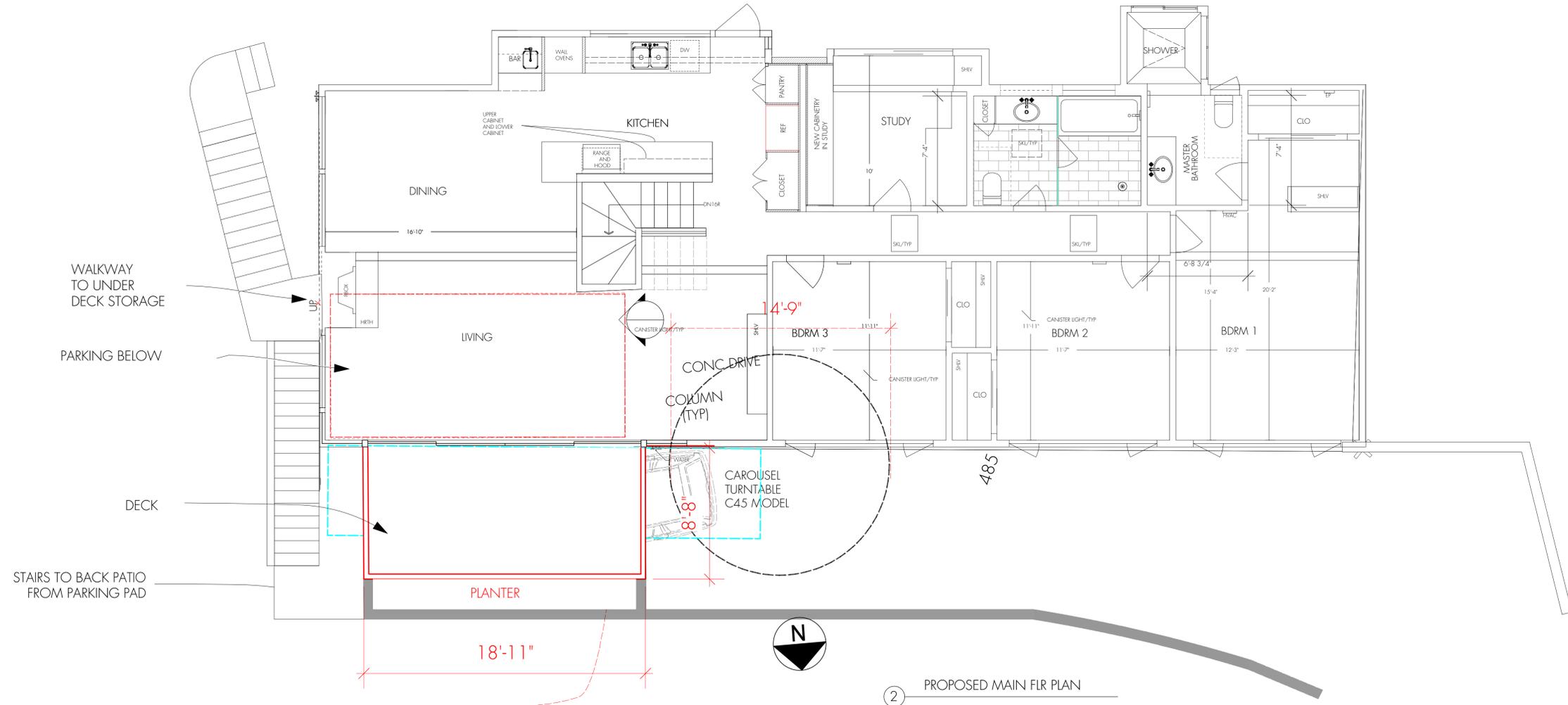
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2 PROPOSED MAIN FLR PLAN

March 31, 2021
SCALE: 1/4"=1'-0"
UPPER FLOOR PLANS



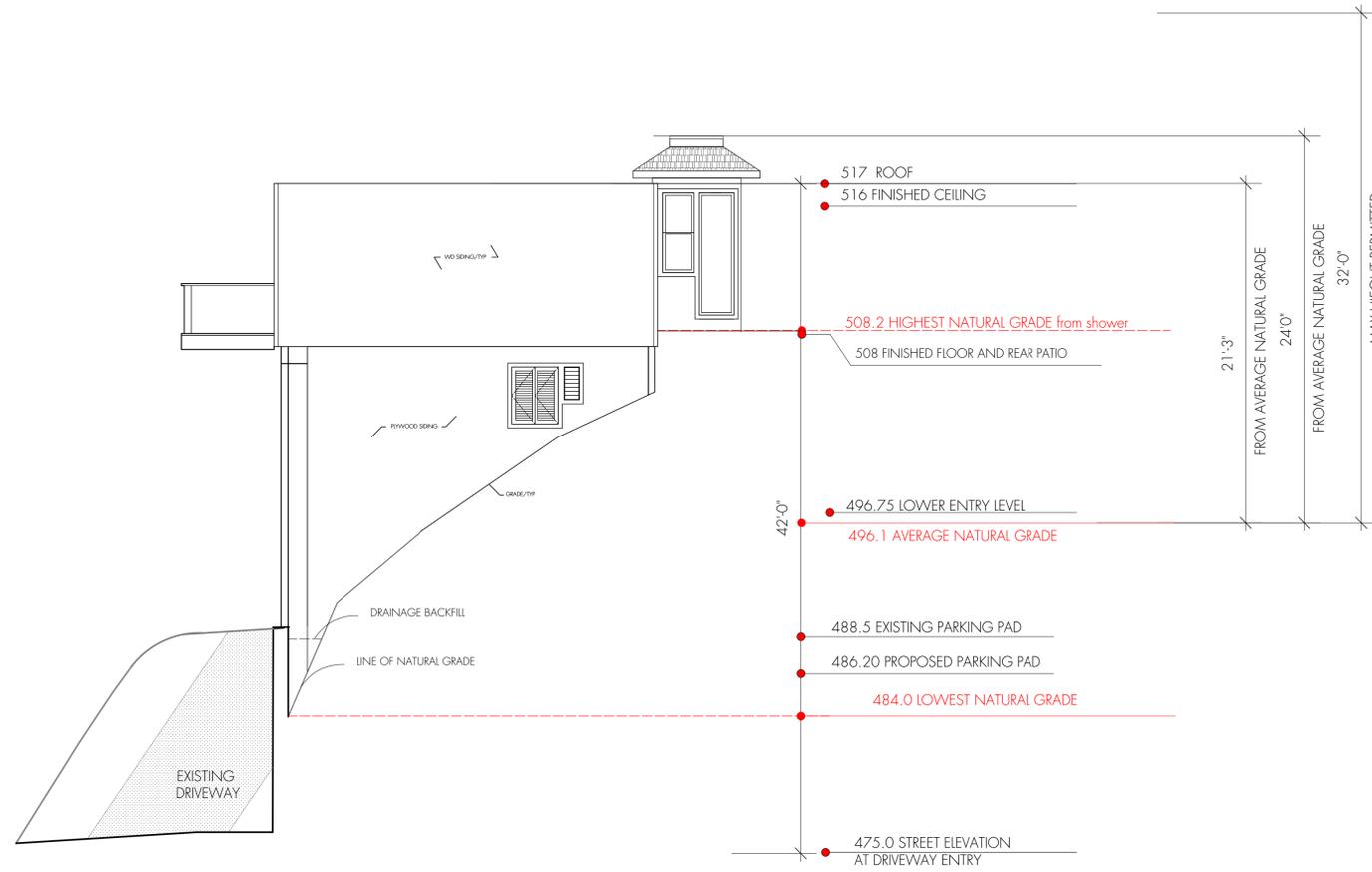
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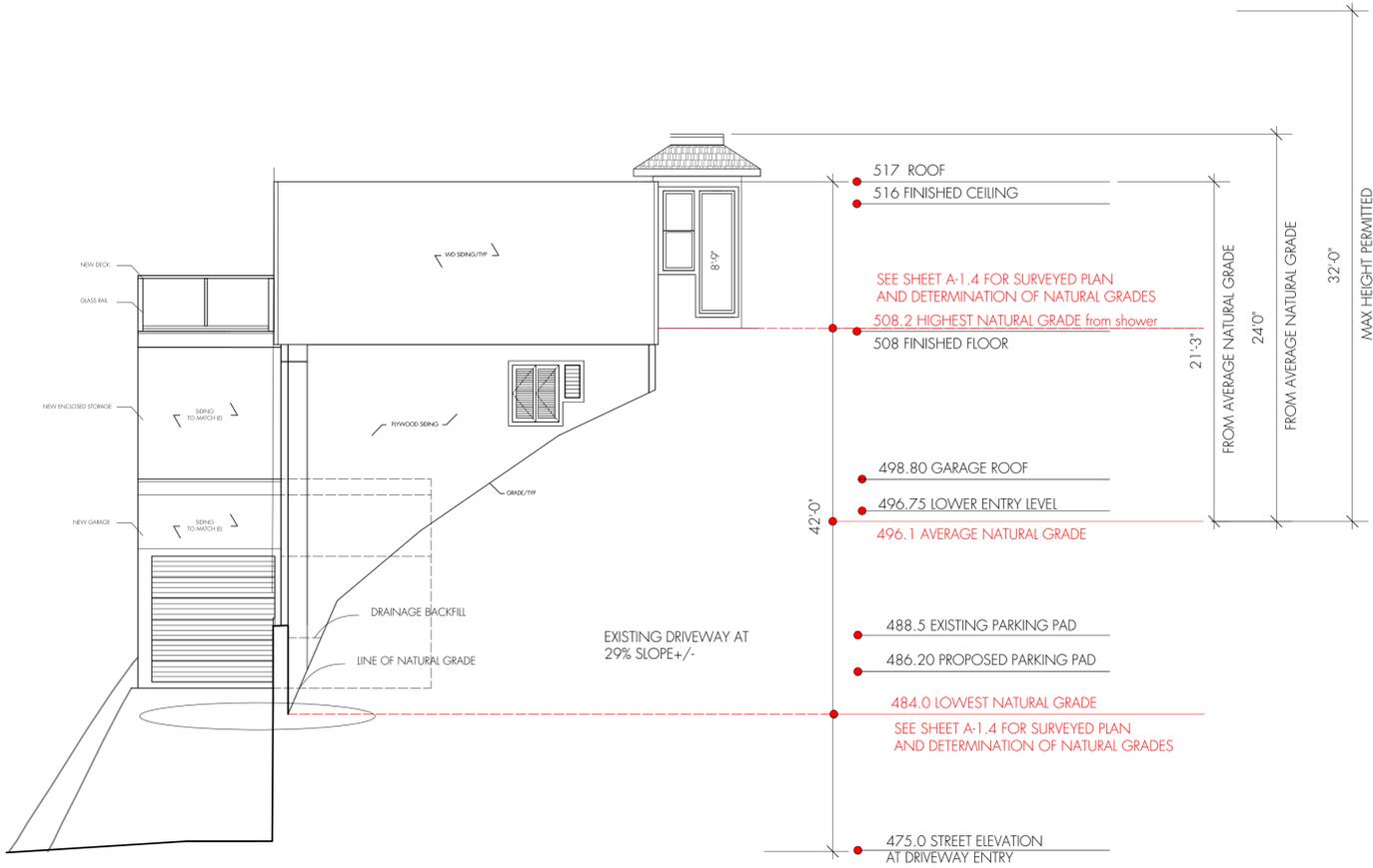
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 326 Pine Street
 Sausalito, CA 94965
 415-289-0303



1 EXISTING WEST ELEVATION



2 PROPOSED WEST ELEVATION

March 31, 2021
 SCALE: 3/16"=1'-0"
 ELEVATIONS

A-3.0



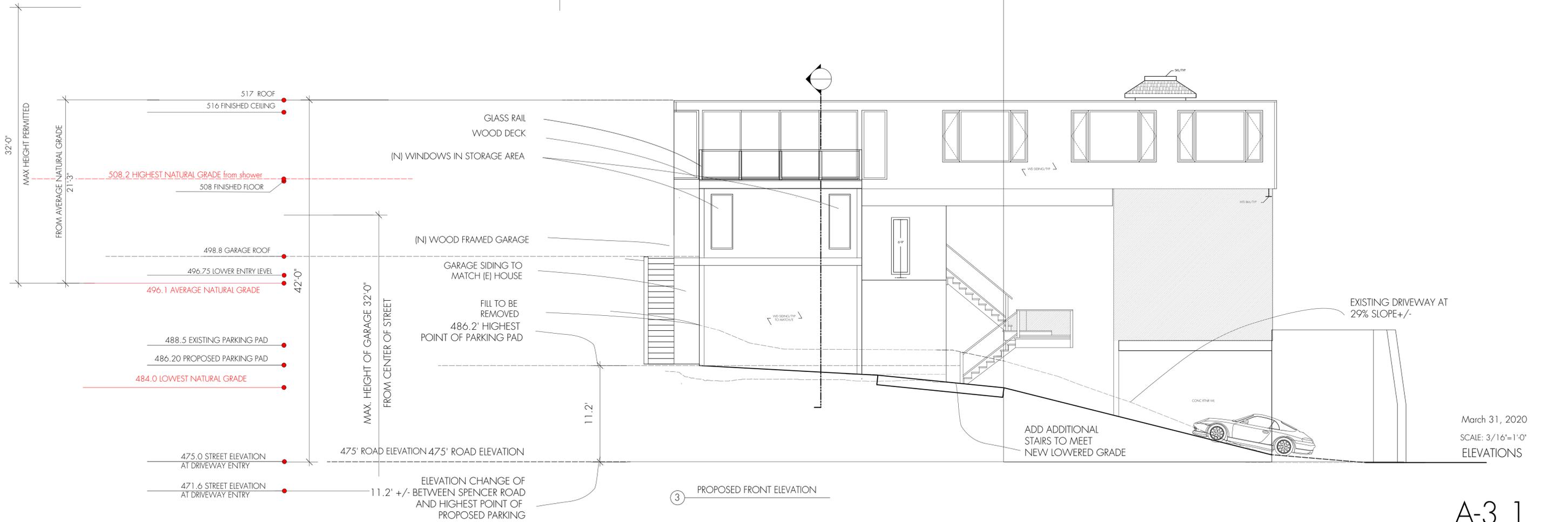
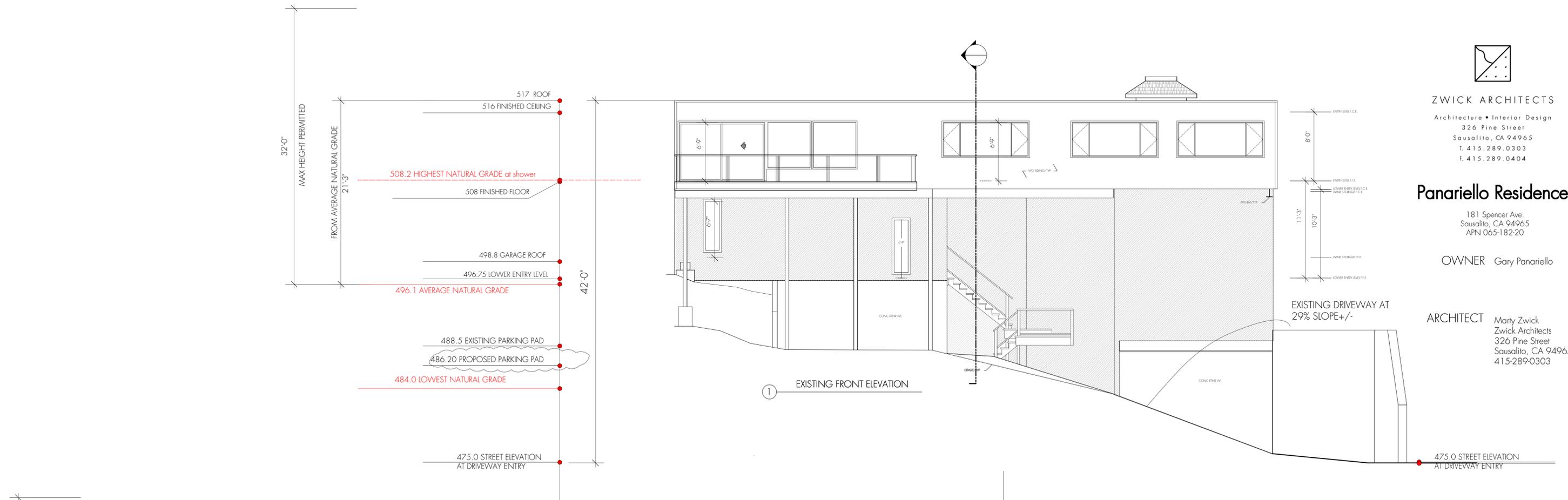
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Panariello Residence

181 Spencer Ave.
 Sausalito, CA 94965
 APN 065-182-20

OWNER Gary Panariello

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March 31, 2020
 SCALE: 3/16"=1'-0"
 ELEVATIONS



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METAL POSTS WITH GLASS PANELS AND WOOD DECKING



[E] HARDPLANK SIDING AND TRIM, AND ALUMINIUM WINDOWS AND DOOR AT SOUTH ELEVATION

ALUMINIUM WINDOWS AND DOORS TO MATCH [E] AT SOUTH ELEVATION

HARDPLANK OR WOOD TRIM AROUND WINDOWS AND DOORS TO MATCH [E] HOUSE

GLASS RAIL

DECK OVER STORAGE AREA TO BE:

WOOD DECKING OVER SLEEPERS OVER BUILT UP WATERPROOFING OVER WOOD FRAME

[N] WOOD FRAMED GARAGE AND STORAGE AREA TO HAVE NEW HARDPLANK SIDING TO MATCH [E] HOUSE

PODOCARPUS

LINE OF JAPANESE PRIVET HEDGE

SCHEMATIC REPRESENTATION OF LANDSCAPING



EXISTING SILVER DOLLAR EUCALYPTUS TO REMAIN

PODOCARPUS

MARCH 31, 2021

SCALE: 3/16"=1'-0"

MATERIALS STUDY

A-3.1.2



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MODEL VIEW A



MODEL VIEW B



MODEL VIEW C

MARCH 31, 2021

3D
RENDERINGS

A-3.1.3



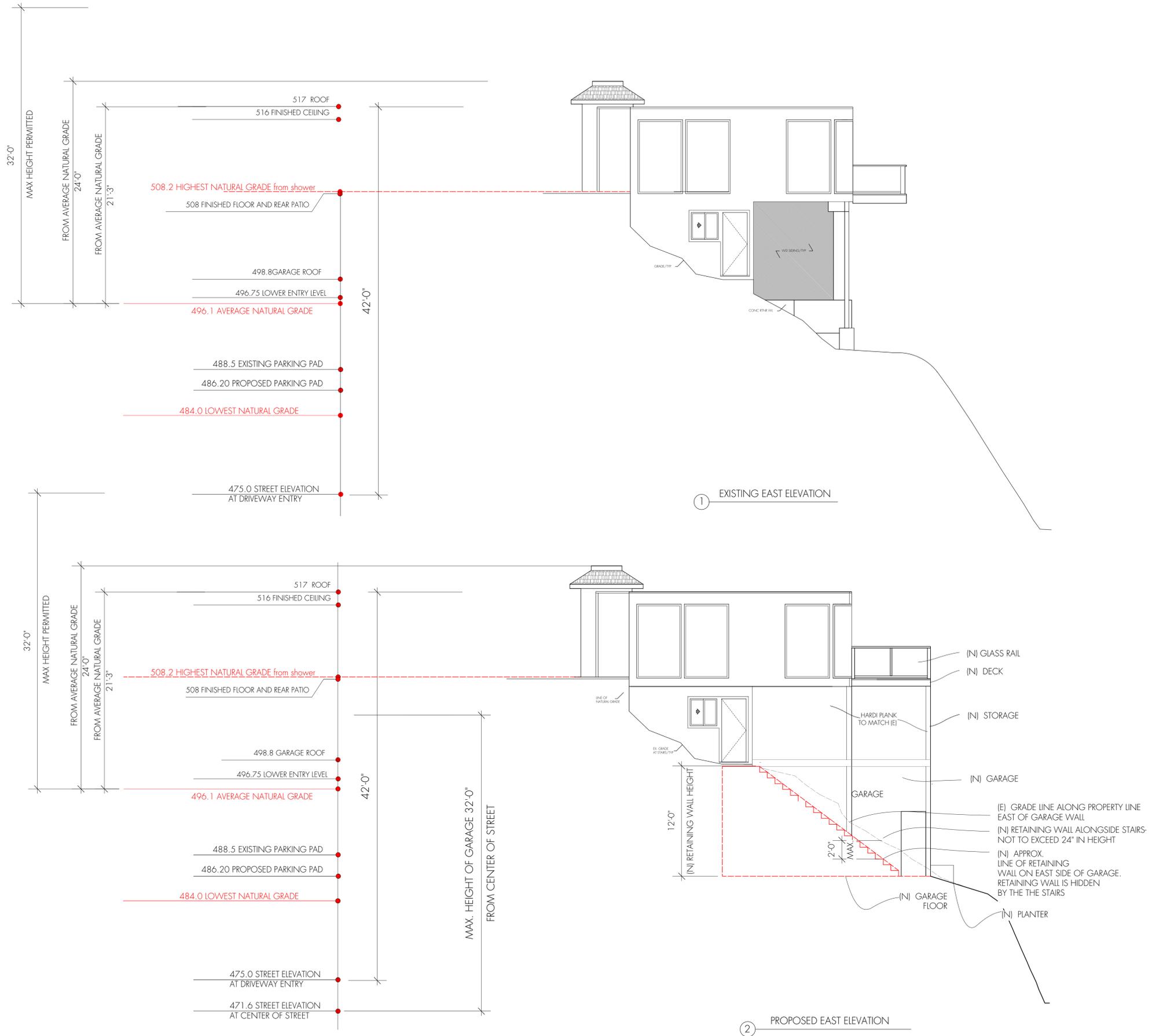
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March 31, 2021
 SCALE: 3/16"=1'-0"
 ELEVATIONS



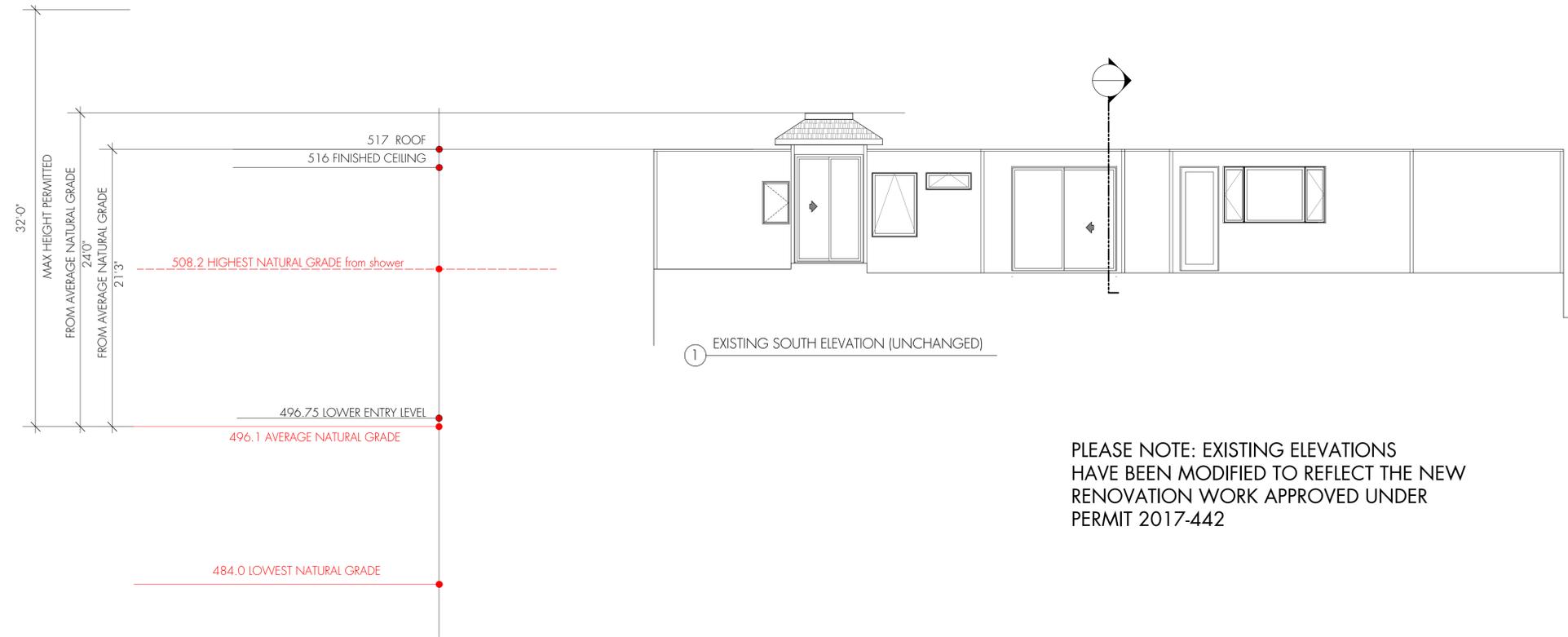
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PLEASE NOTE: EXISTING ELEVATIONS
 HAVE BEEN MODIFIED TO REFLECT THE NEW
 RENOVATION WORK APPROVED UNDER
 PERMIT 2017-442

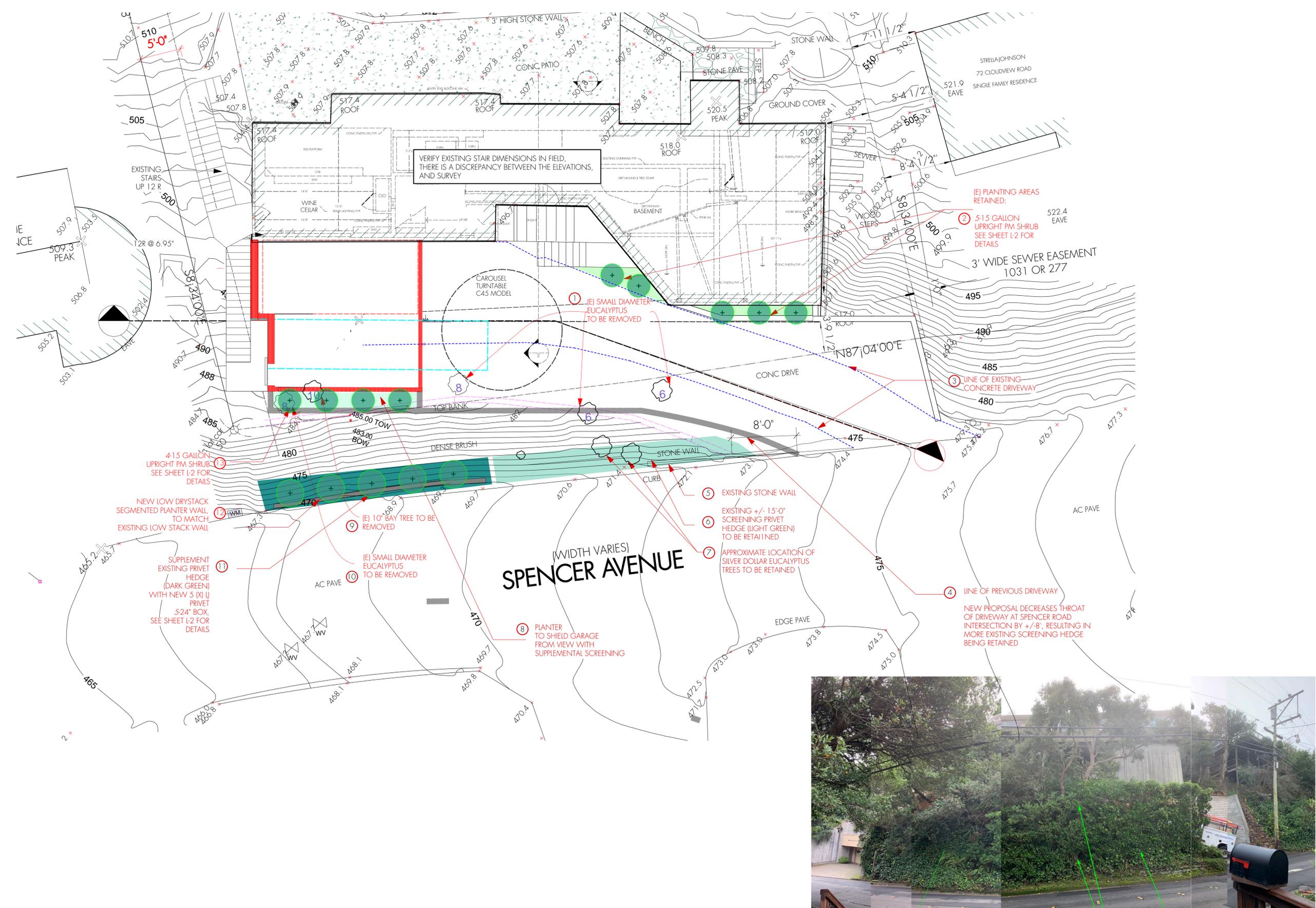
March 31, 2021
 SCALE: 3/16"=1'-0"
 ELEVATIONS

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Sausalito, CA 94965
APN 065-182-20

OWNER Gary Panariello

LANDSCAPE ARCHITECT Bradanini and Associates
90 Throckmorton Ave., Suite 16
Mill Valley, CA 94941
415-383-9780



- (E) PLANTING AREAS RETAINED:
- ② 5-15 GALLON UPRIGHT PM SHRUB SEE SHEET L-2 FOR DETAILS
- ③ LINE OF EXISTING CONCRETE DRIVEWAY

- ⑬ 4-15 GALLON UPRIGHT PM SHRUB SEE SHEET L-2 FOR DETAILS
- ⑫ NEW LOW DRYSTACK SEGMENTED PLANTER WALL TO MATCH EXISTING LOW STACK WALL
- ⑪ SUPPLEMENT EXISTING PRIVET HEDGE (DARK GREEN) WITH NEW 5 (X) U PRIVET 5-24" BOX, SEE SHEET L-2 FOR DETAILS

- ⑩ (E) 10" BAY TREE TO BE REMOVED
- ⑨ (E) SMALL DIAMETER EUCALYPTUS TO BE REMOVED

- ⑧ PLANTER TO SHIELD GARAGE FROM VIEW WITH SUPPLEMENTAL SCREENING

- ⑤ EXISTING STONE WALL
- ⑥ EXISTING +/- 15'-0" SCREENING PRIVET HEDGE (LIGHT GREEN) TO BE RETAINED
- ⑦ APPROXIMATE LOCATION OF SILVER DOLLAR EUCALYPTUS TREES TO BE RETAINED

- ④ LINE OF PREVIOUS DRIVEWAY
NEW PROPOSAL DECREASES THROAT OF DRIVEWAY AT SPENCER ROAD INTERSECTION BY +/- 8', RESULTING IN MORE EXISTING SCREENING HEDGE BEING RETAINED



(E) HEDGE TO BE SUPPLEMENTED WITH NEW PRIVET TO MATCH (E)

PHOTO MONTAGE OF EXISTING CONDITIONS TAKEN FROM THE DRIVEWAY ACROSS THE STREET AT 180 SPENCER

(E) PRIVET HEDGE ALONG ROADWAY TO BE RETAINED

(E) 2 EUCALYPTUS TREES TO BE RETAINED

March 31, 2021
SCALE: 3/16"=1'-0"

LANDSCAPE PLAN

L-1.0

LANDSCAPE LEGEND

181 Spencer Ave.

SYMBOL **DESCRIPTION & BOTANICAL NAME / COMMON NAME** **QT-SIZE** **COMMENTS**

NEW EVERGREEN TREES

LJ LIGUSTRUM JAPONICUM / JAPANESE PRIVET 5-24" BOX

NEW UPRIGHT SHRUBS

PM PODOCARPUS ELONGATUS 'MONMAL' ICEE BLUE / (Columnar 15'-25' slow) 9-15 GAL



Ligustrum Japonicum / Japanese Privet



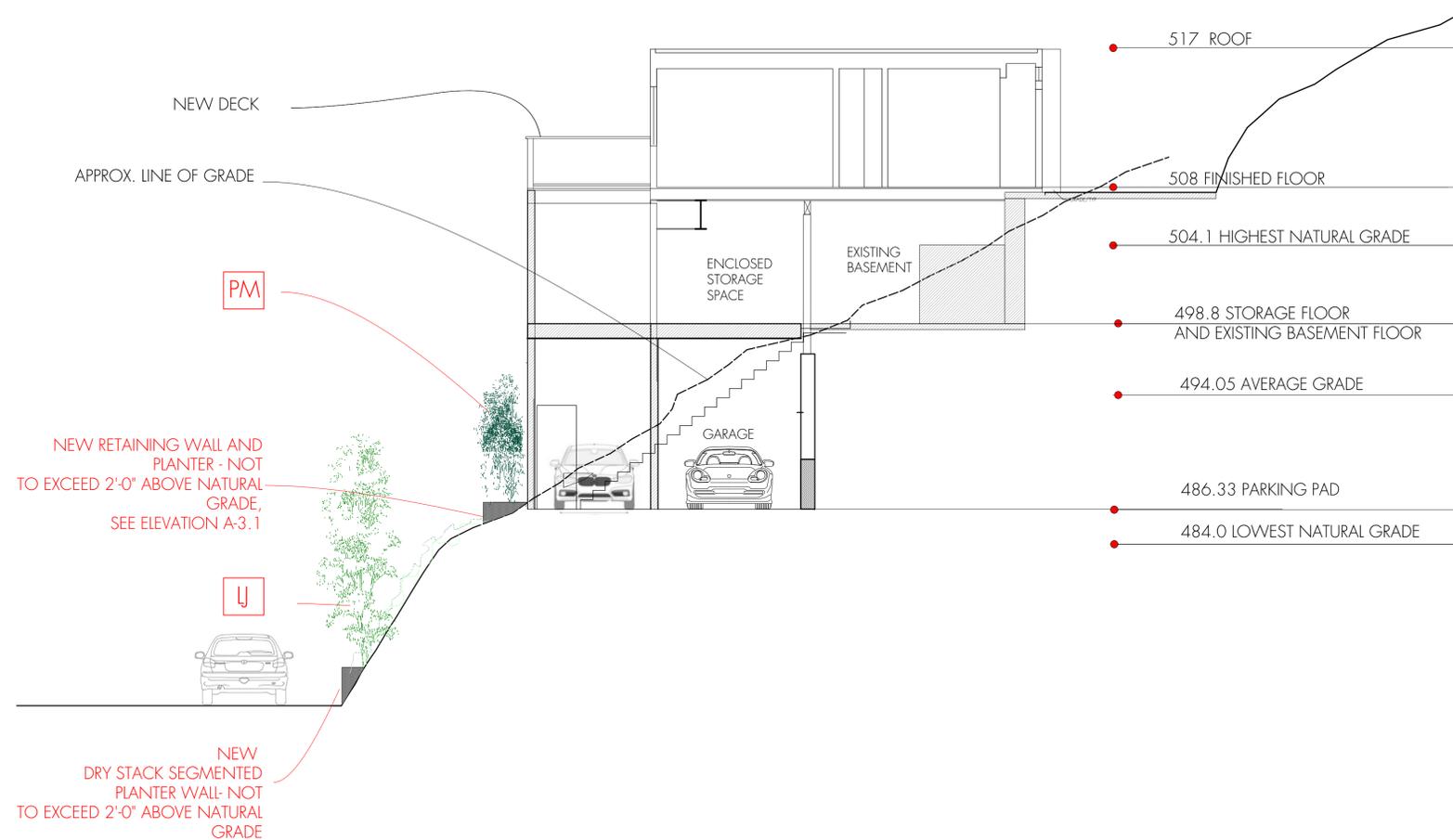
Podocarpus Icee Blue

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March 31, 2021
SCALE: 1/8"=1'-0"
LANDSCAPE DETAILS

GENERAL NOTES

- (1) ALL DISTANCES (RECORD) = MEASURED, UNLESS OTHERWISE NOTED.
- (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- (3) PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
- (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
- (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
- (6) CONSULTANT IS NOT RESPONSIBLE FOR AREAS MARKED AS "HEAVY BRUSH."
- (7) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF MR PANARIELLO AND THEIR ARCHITECT/ENGINEER. USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED.
- (8) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
- (9) A RECORD OF SURVEY IS IN PROCESS PER B&P 8762.
- (10) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENTERS THE GROUND AND IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY.
- (11) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN. THIS SURVEY DOES NOT SHOW THE LOCATION OF, OR ENCROACHMENTS BY, SUBSURFACE UTILITIES, FOOTING, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS. ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC, QUASI-PUBLIC AND GIS UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION.
- (12) FOR DETAILS ON EASEMENTS/EXCEPTIONS OF RECORD REVIEW THE CLIENTS TITLE REPORT

BASIS OF SURVEY

OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO. 0457013523-RL, 591 REDWOOD HWY., SUITE 3150, MILL VALLEY, CA 94941 DATED JUNE 6, 2016. (TEL: 415 388-8740, FAX: 415 383-0416)

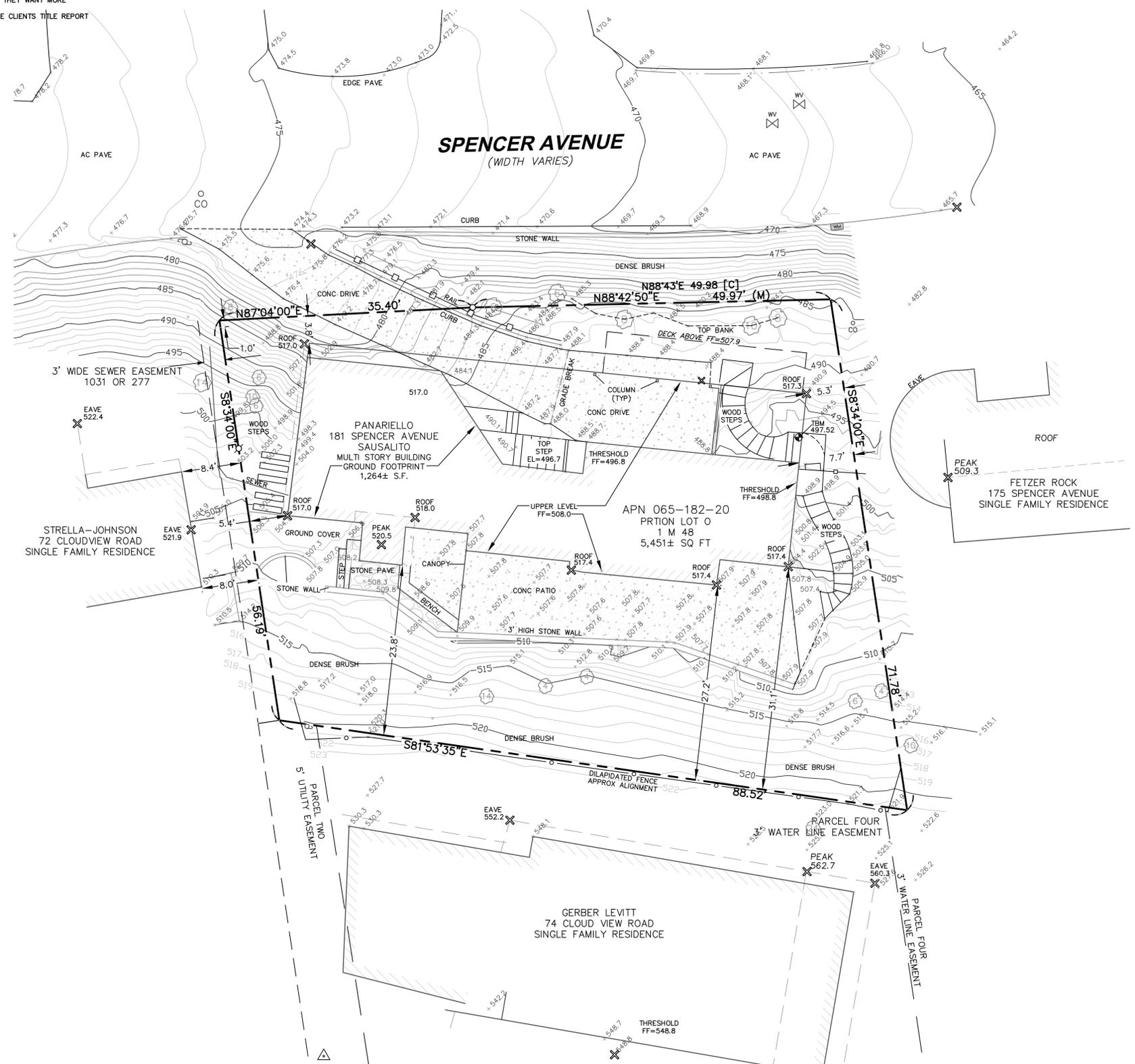
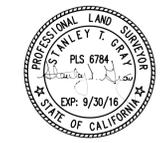
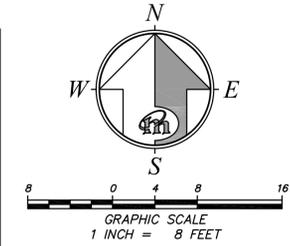
MAP REFERENCES

- [A] MAP OF SAUSALITO HEIGHTS, SECTION MAP J, BOOK 1 OF MAPS, AT PAGE 48, OFFICIAL RECORDS MARIN COUNTY.
- [B] RECORD OF SURVEY FOR LOT LINE ADJUSTMENT, BOOK 2010 OF MAPS AT PAGE 35, OFFICIAL RECORDS MARIN COUNTY.
- [C] UNTITLED / UNRECORDED, CITY OF SAUSALITO PLANNING DEPARTMENT, 181 SPENCER AVE, MICROFICHE DOCUMENT.

BASIS OF ELEVATION

DATUM IS NAVD 88. A SET X IN CONC FOUNDATION AT THE NE BUILDING CORNER. ELEVATION = 497.52.

VICINITY MAP N.T.S.



LEGEND

- AC ASPHALT
 - BKC BACK OF CURB
 - BKW BACK OF WALK
 - BLD BUILDING
 - CL CENTERLINE
 - CLR CLEAR
 - CO CLEAOUT
 - CONC CONCRETE
 - COR CORNER
 - DWY DRIVEWAY
 - EC EDGE OF CONCRETE
 - EL ELEVATION
 - EP EDGE OF PAVEMENT
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - GB GRADE BREAK
 - INV INVERT
 - MH MANHOLE
 - POC POINT ON CURVE
 - POL POINT ON LINE
 - SW SIDEWALK
 - TFC TOP FACE OF CURB
 - TBM TEMPORARY BENCHMARK
 - (TYP.) TYPICAL
 - UNK UNKNOWN
 - VALT VAULT
 - VLT VAULT
 - PROPERTY LINE
 - CENTERLINE
 - EASEMENT LINE
 - FLOWLINE
 - FENCE
 - ADJOINER LINE
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR (1')
- SET 3/4" RBC WITH TAG PLS 6784

SITE SURVEY

LANDS OF PANARIELLO
A PORTION OF LOT O, SAUSALITO HEIGHTS,
SECTION MAP J, BOOK 1 PAGE 48
OFFICIAL RECORDS OF MARIN COUNTY
CITY OF SAUSALITO
PREPARED AT THE REQUEST OF
MARTY ZWICK
APN 065-182-20

MARIN COUNTY JULY CALIFORNIA 2016



MERIDIAN SURVEYING ENGINEERING, INC.
2958 VAN NESS AVENUE 777 GRAND AVENUE, #202
SAN FRANCISCO, CA 94109 SAN RAFAEL, CA 94901
(415) 440-4131 (415) 456-5450

SURVEY BY:	EW	PROJECT NO.:	16051
DRAWN:	RK	REVISION DATE:	7/25/16
APPROVED:	STG	SHEET	1 OF 1
FILE NAME:	-TOPO		
SURVEY DATE:	0/15/16		

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