



VICINITY MAP

DRAWING INDEX (24 SHEETS)

Table 10.24-2: SITE DEVELOPMENT STANDARDS - COMMERCIAL ZONING DISTRICTS. Columns include Development Requirement, SEE SMC, BLDGS. (C&D), NET AREA, MIN. PARCEL SIZE, etc.

TABLE 10.24-2: SITE DEVELOPMENT STANDARDS - INDUSTRIAL MARINERSHIP ZONING DISTRICT

Table 10.24-2: SITE DEVELOPMENT STANDARDS - INDUSTRIAL MARINERSHIP ZONING DISTRICT. Columns include Development Requirement, IM, SEE SMC, BUILDING 'A', BUILDING 'B', etc.

10.40.030 BUILDING COVERAGE LIMITS: A. APPLICATION OF COVERAGE LIMITS FOR BUILDINGS AND STRUCTURES ARE ESTABLISHED BY CHAPTERS 10.20 THROUGH 10.24...

AREA SUMMARY

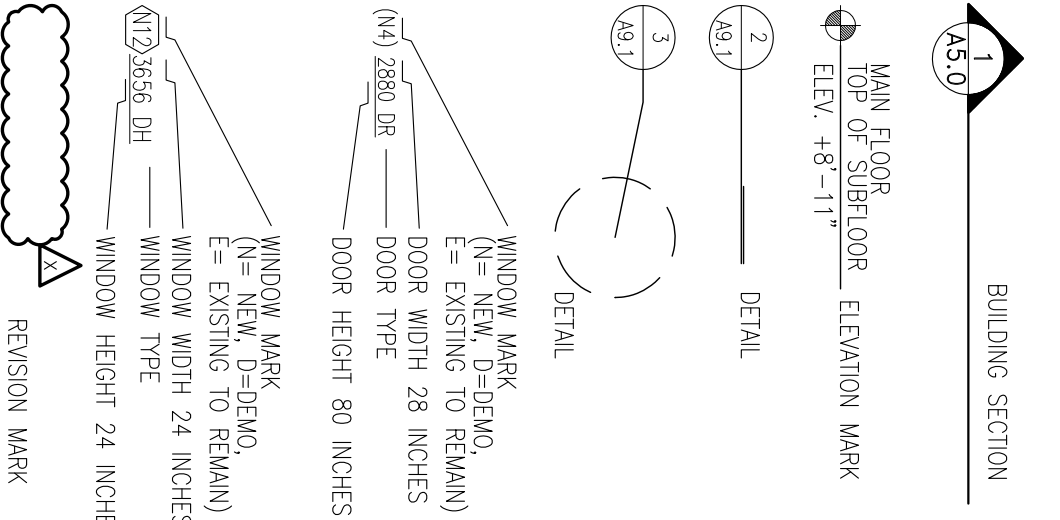
Table with columns: FLOOR AREA CALC, AREA OF PARCEL IN I ZONE, AREA OF BIKE PATH, etc.

Table with columns: BUILDING LOT COVERAGE, BLDG. 'A' (I ZONE), BLDG. 'B' (I ZONE), etc.

LANDSCAPE & IMPERVIOUS SURFACE CALCULATION

Table with columns: LANDSCAPE SMC TABLE 10.26-2 AND 10.26-1, IMPERVIOUS SURFACE CALCULATION, etc.

SYMBOLS



CONTACT NAMES

OWNER CONTACT: MR. MIKE RAMEY, ARCHITECT: BRENT MCDONALD, CIVIL ENGINEER: AL CORNWELL, etc.

CODE SUMMARY

- 1. BUILDING CODE - 2016 CALIFORNIA BUILDING CODE
2. ELECTRICAL CODE - 2016 CALIFORNIA ELECTRICAL CODE
3. MECHANICAL CODE - 2016 CALIFORNIA MECHANICAL CODE
4. PLUMBING CODE - 2016 CALIFORNIA PLUMBING CODE
5. 2016 CALIFORNIA ENERGY CODE, CALIFORNIA TITLE 24, PART 6 CLIMATE ZONE 3, W/NO LOCAL AMENDMENTS
6. 2016 CALIFORNIA GREEN BUILDING CODE, AMENDMENTS ADOPTED BY ORDINANCE NO. 1215
7. BUILDINGS TO BE SPRINKLERED PER THE SPRINKLER SYSTEM SHALL BE INSTALLED ACCORDING TO NFPA 13
CONSTRUCTION SCHEDULE
MONDAY - FRIDAY 8:00 AM - 6:00 PM
SATURDAY 9:00 AM - 5:00 PM
SUNDAY WORK PROHIBITED

DEFINITION OF DEDUCTED FLOOR AREA IS PER 10.40.040(B)

Table defining floor areas for various building types: BLDG. 'A', BLDG. 'B', BLDG. 'C', etc.

PARKING REQUIREMENTS PER MARINERSHIP SPECIFIC PLAN & TABLE 10.40-1

Table detailing parking requirements for various land uses: LAND USE, LAND USE PERMIT, RECREATION, EDUCATION AND PUBLIC ASSEMBLY, etc.

PERMITTED LAND USES CONSIDERED IN THIS PROJECT'S INDUSTRIAL PARCEL PER MARINERSHIP DISTRICT & TABLE 10.26.1

Table listing permitted land uses and their corresponding standards: ARTS (FINE, INDUSTRIAL, AND MARINE), MANUFACTURING AND PROCESSING, etc.

JURISDICTIONAL ENTITIES

GOTTSCHALK ENGINEER, VINCE HONES, LANDSCAPE ARCHITECT: JOE RIMMO, CIVIL ENGINEER: AL CORNWELL, etc.

SCOPE OF WORK UNDER THIS PERMIT

IMPROVE (3) STORAGE YARD WITH (3) 2 STORY BUILDINGS TOTALING 47,500 S.F. AND APPROXIMATELY 100 PARKING SPACES, 24 BICYCLES AND 3 MOTORCYCLES. IMPROVED ACCESS IS TO BE PROVIDED TO SOUTHERN BICYCLE PATH AND EASTERN BEACH AREA.

TABLE OF PARKING REQUIRED BY PROGRAMMED USES

Table showing parking requirements for various programmed uses: 1st FLOOR, 2nd FLOOR, etc.

W ZONE BLDG 'C' FLOOR AREA PER 10.40.040(B) = 10,977 sq ft.

Table showing parking requirements for W Zone Bldg 'C' Floor Area: 1st FLOOR, 2nd FLOOR, etc.

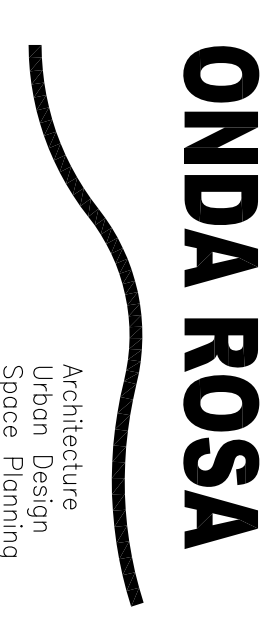
TABLE 10.26-2: SITE DEVELOPMENT STANDARDS - INDUSTRIAL MARINERSHIP ZONING DISTRICT

Table 10.26-2: SITE DEVELOPMENT STANDARDS - INDUSTRIAL MARINERSHIP ZONING DISTRICT. Columns include Development Requirement, IM, SEE SMC, BUILDING 'A', BUILDING 'B', etc.

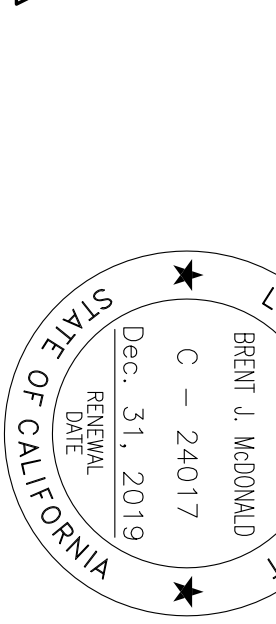
TABLE 10.26-1: SITE DEVELOPMENT STANDARDS - INDUSTRIAL MARINERSHIP ZONING DISTRICT

Table 10.26-1: SITE DEVELOPMENT STANDARDS - INDUSTRIAL MARINERSHIP ZONING DISTRICT. Columns include Development Requirement, IM, SEE SMC, BUILDING 'A', BUILDING 'B', etc.

LIBERTYSHIP II PARTNERSHIP



129 JASPER PLACE S.F., CA 94133 415.562.7441

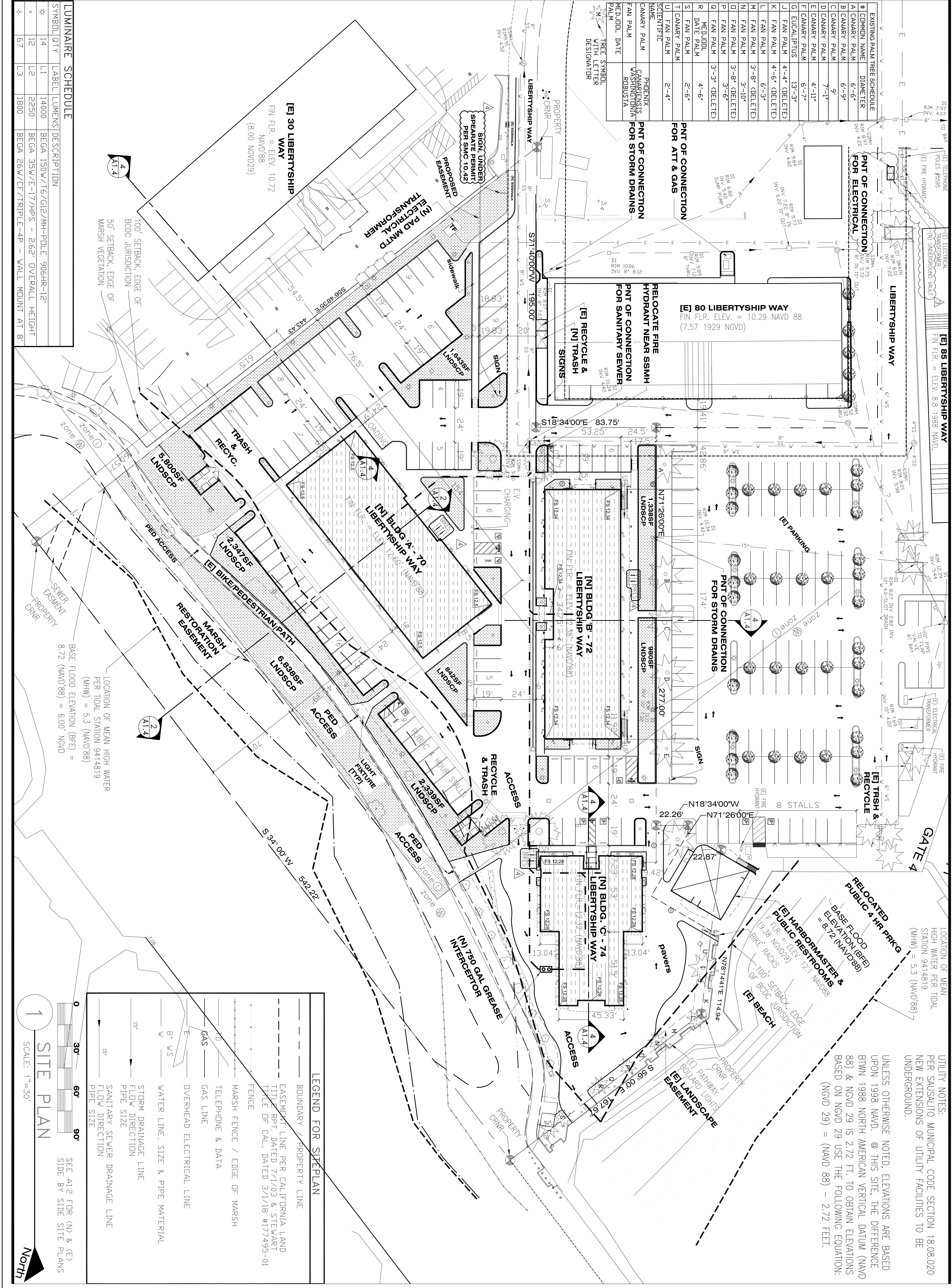


LIBERTYSHIP II PARTNERSHIP 70 - 74 LIBERTYSHIP WAY SAUSALITO, CA APN: 063-080-06

Table with columns: Project Number, Date, Revision/Issue, etc.

#	COMMON NAME	DIA/MT/TER
A	CANARY PALM	6'-6"
B	CANARY PALM	6'-9"
C	CANARY PALM	9'
D	CANARY PALM	7'-1"
E	CANARY PALM	4'-11"
F	CANARY PALM	6'-7"
G	EUCALYPTUS	13'-3"
H	FAN PALM	4'-4" (DELETED)
I	FAN PALM	4'-6" (DELETED)
J	FAN PALM	6'-3"
K	FAN PALM	3'-8" (DELETED)
L	FAN PALM	3'-8" (DELETED)
M	FAN PALM	3'-10"
N	FAN PALM	3'-8" (DELETED)
O	FAN PALM	3'-8" (DELETED)
P	FAN PALM	3'-6"
Q	FAN PALM	3'-3" (DELETED)
R	MEDJUDL	4'-6"
S	DATE PALM	2'-6"
T	CANARY PALM	2'-4"
U	FAN PALM	2'-4"
V	SCIENTIFIC	
W	CANARY PALM	
X	CANARY PALM	
Y	WASHINGTONIA	
Z	ROBUSTIA	

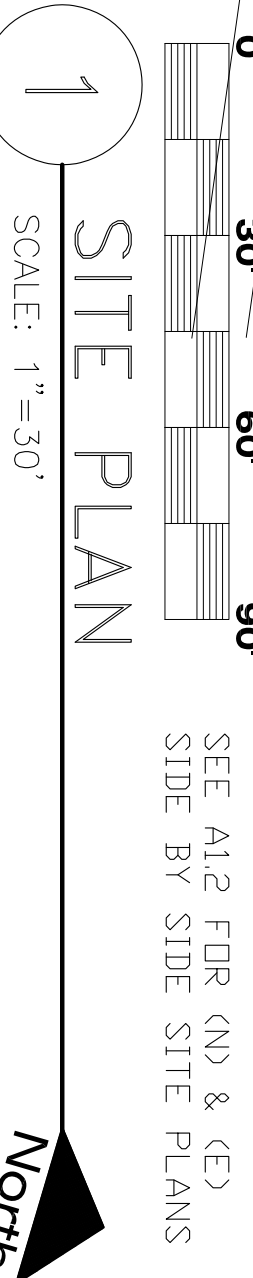
EXISTING PALM TREE SCHEDULE	EXISTING PALM TREE SCHEDULE
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
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83	83
84	84
85	85
86	86
87	87
88	88
89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100



UTILITY NOTES:  
 PER SAUSALITO MUNICIPAL CODE SECTION 18.08.020  
 NEW EXTENSIONS OF UTILITY FACILITIES TO BE  
 UNDERGROUND.

UNLESS OTHERWISE NOTED, ELEVATIONS ARE BASED  
 UPON 1988 NAVD. @ THIS SITE, THE DIFFERENCE  
 BTWN 1988 NORTH AMERICAN VERTICAL DATUM (NAVD  
 88) & NAVD 29 IS 2.72 FT. TO OBTAIN ELEVATIONS  
 BASED ON NAVD 29 USE THE FOLLOWING EQUATION:  
 (NGVD 29) = (NAVD 88) - 2.72 FEET.

LEGEND FOR SITE PLAN	
---	BOUNDARY / PROPERTY LINE
---	EASEMENT LINE PER CALIFORNIA LAND TITLE RPT. DATED 7/1/03 & STEWART TITLE OF CAL., DATED 3/1/18 #177495-01
---	FENCE
---	MARSH FENCE / EDGE OF MARSH
---	TELEPHONE & DATA
---	GAS LINE
---	OVERHEAD ELECTRICAL LINE
---	WATER LINE, SIZE & PIPE MATERIAL
---	STORM DRAINAGE LINE
---	FLOW DIRECTION
---	PIPE SIZE
---	SANITARY SEWER DRAINAGE LINE
---	PIPE SIZE



LUMINAIRE SCHEDULE	
SYMBOL QTY	LABEL LUMENS DESCRIPTION
14	L1 14000 BEGA 150W/76/G12/MH-POLE 906HR-12'
12	L2 2250 BEGA 35W/E-17/HPS - 2.62' OVERALL HEIGHT
67	L3 1800 BEGA 26W/CF/7R/PLE-4P - WALL MOUNT AT 8'

**ONDA ROSA**

Architecture  
 Urban Design  
 Space Planning  
 Interior Design

129 ASPER PLACE  
 STE. CA 94133  
 415.562.7441

LICENSED ARCHITECT  
 BRN# 1 W00040  
 C - 24017  
 DEC 31, 2019  
 STATE OF CALIFORNIA

**LIBERTYSHIP II PARTNERSHIP**

**70 - 74 LIBERTYSHIP WAY SAUSALITO, CA**

APN: 063-080-06

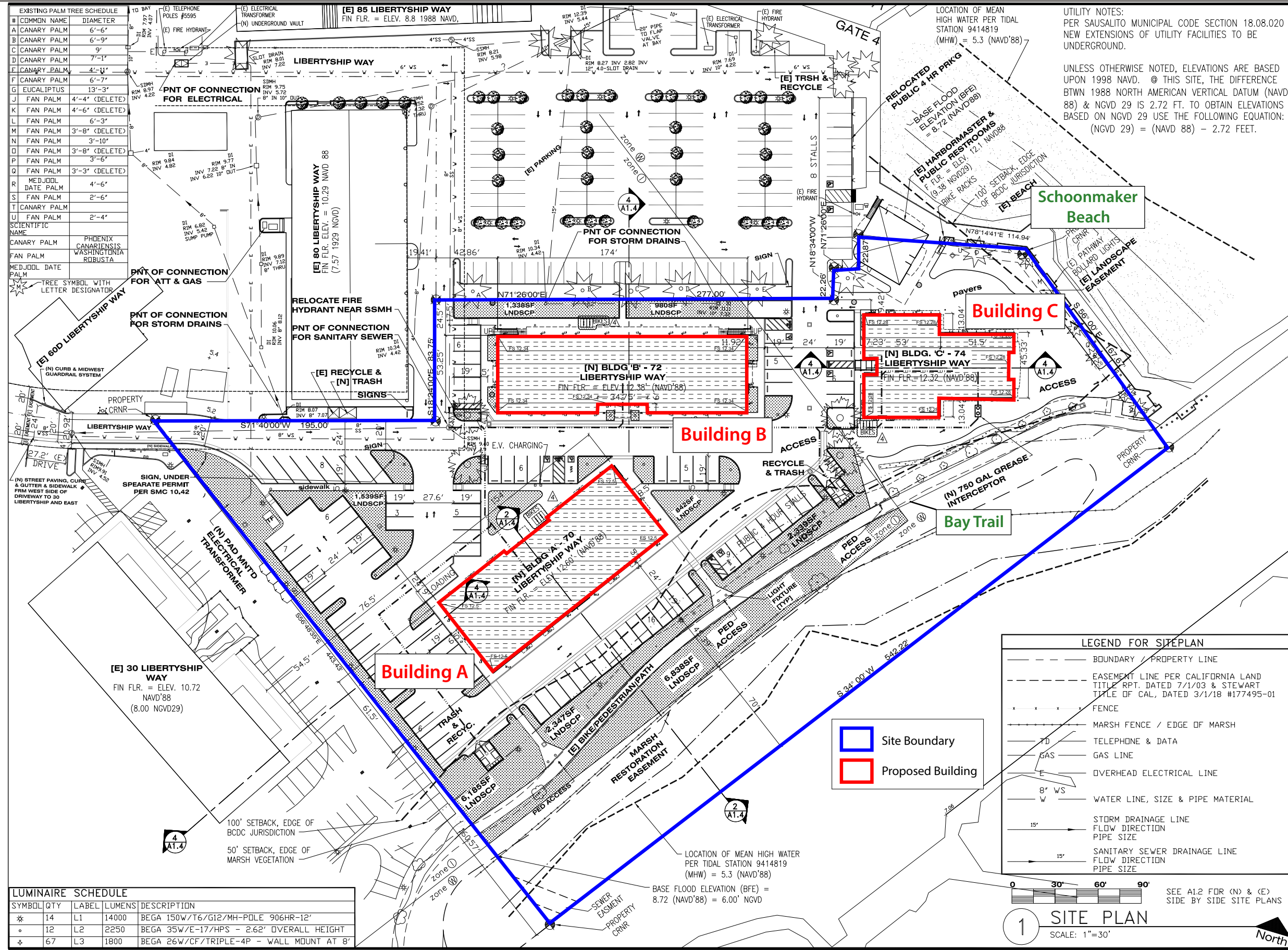
PLNG/PW RESPONSE	09/20/18
PLNG/PW RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPV	1/2/19
PLNG RESPONSE	8/01/19
Project Number	2015.11
Drawn by	BLM
Scale	1" = 30'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

**ILLUSTRATIVE SITE PLAN**

**A 1.1**

ARCHITECTURE PAGE 2 OF 18



EXISTING PALM TREE SCHEDULE

#	COMMON NAME	DIAMETER
A	CANARY PALM	6'-6"
B	CANARY PALM	6'-9"
C	CANARY PALM	9"
D	CANARY PALM	7'-1"
E	CANARY PALM	4'-11"
F	CANARY PALM	6'-7"
G	EUCALIPTUS	13'-3"
J	FAN PALM	4'-4" (DELETE)
K	FAN PALM	4'-6" (DELETE)
L	FAN PALM	6'-3"
M	FAN PALM	3'-8" (DELETE)
N	FAN PALM	3'-10"
O	FAN PALM	3'-8" (DELETE)
P	FAN PALM	3'-6"
Q	FAN PALM	3'-3" (DELETE)
R	MED. JDDL DATE PALM	4'-6"
S	FAN PALM	2'-6"
T	CANARY PALM	
U	FAN PALM	2'-4"

SCIENTIFIC NAME  
CANARY PALM PHOENIX CANARIENSIS  
FAN PALM WASHINGTONIA ROBUSTA  
MED. JDDL DATE PALM

TREE SYMBOL WITH LETTER DESIGNATOR

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	LUMENS	DESCRIPTION
*	14	L1	14000	BEGA 150W/T6/G12/MH-POLE 906HR-12'
o	12	L2	2250	BEGA 35W/E-17/HPS - 2.62' OVERALL HEIGHT
+	67	L3	1800	BEGA 26W/CF/TRIPLE-4P - WALL MOUNT AT 8'

UTILITY NOTES:  
PER SAUSALITO MUNICIPAL CODE SECTION 18.08.020  
NEW EXTENSIONS OF UTILITY FACILITIES TO BE UNDERGROUND.

UNLESS OTHERWISE NOTED, ELEVATIONS ARE BASED UPON 1988 NAVD. @ THIS SITE, THE DIFFERENCE BTWN 1988 NORTH AMERICAN VERTICAL DATUM (NAVD 88) & NGVD 29 IS 2.72 FT. TO OBTAIN ELEVATIONS BASED ON NGVD 29 USE THE FOLLOWING EQUATION:  
(NGVD 29) = (NAVD 88) - 2.72 FEET.

LEGEND FOR SITEPLAN

- BOUNDARY / PROPERTY LINE
- - - EASEMENT LINE PER CALIFORNIA LAND TITLE RPT. DATED 7/1/03 & STEWART TITLE OF CAL, DATED 3/1/18 #177495-01
- x x x x FENCE
- MARSH FENCE / EDGE OF MARSH
- TD TELEPHONE & DATA
- GAS GAS LINE
- E OVERHEAD ELECTRICAL LINE
- 8" WS WATER LINE, SIZE & PIPE MATERIAL
- 15" STORM DRAINAGE LINE  
FLOW DIRECTION  
PIPE SIZE
- 15" SANITARY SEWER DRAINAGE LINE  
FLOW DIRECTION  
PIPE SIZE

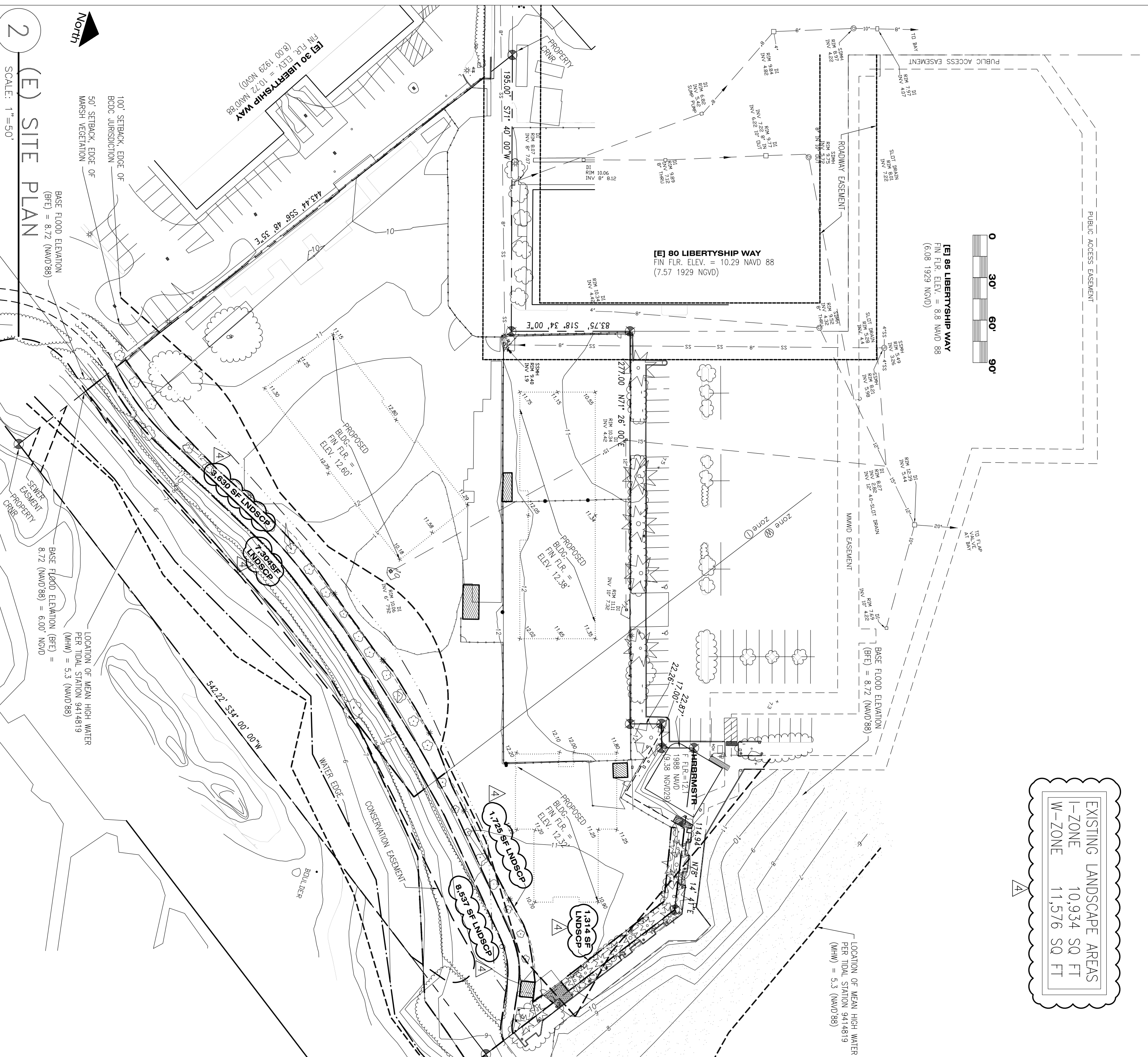
1 SITE PLAN  
SCALE: 1"=30'

SEE A1.2 FOR (N) & (E) SIDE BY SIDE SITE PLANS

FIGURE 4  
Overall Site Plan  
70-74 Liberty Ship Way Project

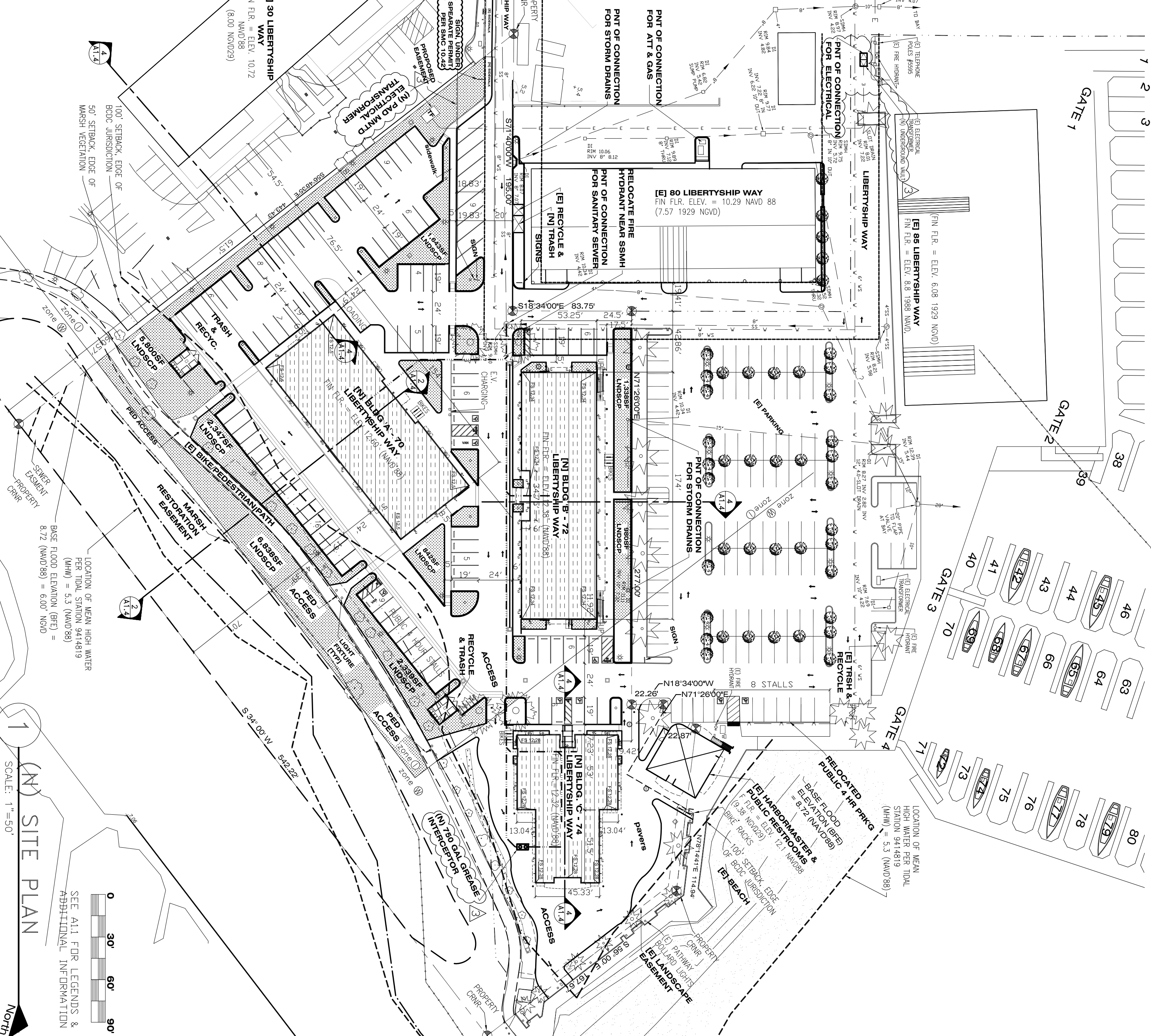
REQUIREMENTS OF SOUTHERN MARIN FIRE PROTECTION DISTRICT (SMFD) IN ACCORDANCE W/CURRENT REQUIREMENTS OF THE 2013 CALIFORNIA FIRE CODE & SMFD ORDINANCE & STANDARDS.

1. FIRE HYDRANT(S). PRIOR TO FRAMING, BLDGS EQUIPPED WITH A STANDPIPE SYSTEM INSTALLED IN ACCORDANCE W/SECTION 905 OF THE CBC SHALL HAVE A FIRE HYDRANT WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION & SHALL BE CAPABLE OF PROVIDING A FLOW OF 1,500 GALLONS PER MINUTE. DTLS OF HYDRANT PLACEMENT (INCLUDING WATER MAIN EXTENSION) SHALL BE REVIEWED & APPROVED BY THE SOUTHERN MARIN FIRE DISTRICT & THE MARIN MUNICIPAL WATER DISTRICT.
2. ALL BUILDINGS SHALL BE FIRE SPRINKLERED:
  - A. ALL NEW CONSTRUCTION.
  - B. FIRE SPRINKLER COVERAGE SHALL BE PROVIDED THROUGH THE ENTIRE STRUCTURE ACCORDING TO CHAPTER 9 OF THE CALIFORNIA FIRE CODE.
  - C. FIRE SPRINKLER SYSTEM SHALL BE INSTALLED ACCORDING TO NFPA 13 AND SOUTHERN MARIN FIRE STANDARD 401.
  - D. PLANS FOR FIRE SPRINKLER SYSTEM DESIGN AND HYDRAULIC CALCULATIONS SHALL BE COMPLETED BY A LICENSED C-16 SPRINKLER CONTRACTOR AND SUBMITTED TO THE SOUTHERN MARIN FIRE DISTRICT FIRE PREVENTION BUREAU FOR APPROVAL PRIOR TO INSTALLATION. FIRE SPRINKLER SYSTEM DESIGN AND INSTALLATION SHALL CONFORM TO THE PROVISIONS OF THE SOUTHERN MARIN FIRE DISTRICT STANDARD 401 AND N.F.P.A. STANDARD(S) 13, 130 OR 138.
  - E. COMMERCIAL FIRE SPRINKLERS AND ALARM SYSTEMS SHALL BE MONITORED 24/7 FOR FIRE AND TROUBLE BY AN APPROVED U.L. CENTRAL STATION.
  3. PROVIDE A U.L. LISTED KEY BOX AS REQUIRED BY THE SOUTHERN MARIN FIRE PROTECTION DISTRICT.
  4. THE ADDRESS SHALL BE POSTED IN ACCORDANCE WITH REQUIREMENTS OF THE CALIFORNIA FIRE CODE AND SMFD STANDARD 205 (PREMISES IDENTIFICATION).
  5. ALL NEW ROOFS SHALL BE NON-COMBUSTIBLE. NOTE: A "NON-COMBUSTIBLE" ROOF IS A CLASS A OR CLASS A ASSEMBLY AS DEFINED IN THE CALIFORNIA BUILDING CODE.
  6. THIS PROJECT SHALL CONVEY WITH CALIFORNIA FIRE CODE CHAPTER 33 - FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. THESE REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO: TEMPORARY HEATING EQUIPMENT, PRECAUTIONS AGAINST FIRE, FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE GASES, OWNERS RESPONSIBILITY FOR FIRE PROTECTION, FIRE REPORTING, ACCESS FOR FIRE FIGHTING, MEANS OF EGRESS, WATER SUPPLY FOR FIRE PROTECTION, STANDPIPES, AUTOMATIC FIRE SPRINKLER SYSTEMS, PORTABLE FIRE EXTINGUISHERS, MOTORIZED CONSTRUCTION EQUIPMENT, AND SAFEGUARDING ROOFING OPERATIONS.
  7. FIRE ACCESS TO THE PROJECT AS WELL AS THE OTHER SURROUNDING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. UNAPPROVED RESTRICTIONS IN ROADWAY ACCESS SHALL RESULT IN CITATIONS AND VEHICLES BEING TOWED AT THE OWNERS EXPENSE.
- ALL ON-SITE IMPROVEMENTS, SUCH AS WATER MAIN EXTENSIONS, HYDRANTS AND ACCESS ROADS, MUST BE SERVICEABLE PRIOR TO FRAMING THE STRUCTURE. FINAL OCCUPANCY APPROVAL SHALL NOT BE GRANTED/RELEASED UNTIL AUTHORIZATION TO THE COMMUNITY DEVELOPMENT AGENCY HAS BEEN RECEIVED FROM THE FIRE DISTRICT.



NOTES

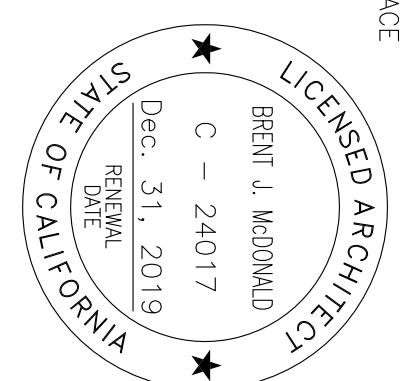
- 1) DISTANCES SHOWN ARE IN FEET & DECIMALS THEREOF.
- 2) HORIZONTAL DATUM & BOUNDARY SHOWN HEREON IS BASED ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 23 OF MAPS, PAGE 54 & A CORNER RECORD DATED 7/17/06 OF ASSessor PARCEL #063-080-06, MARIN COUNTY RECORDS.
- 3) VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER OPUS SOLUTION ON FILE IN THE OFFICE OF CSW/STUBER-STROCH.
- 4) TOPOGRAPHY SHOWN WAS PERFORMED BY FIELD SURVEY IN JANUARY OF 2018.
- 5.1) LOCATION OF MEAN HIGH WATER SHOWN HEREON WAS ACHIEVED BY PLOTTING THE 5.3' CONTOUR. SAUSALITO TIDE STATION 9414619 DATUM SHOWS MEAN HIGH WATER TO BE 15.97' AND NAVD88 TO BE 10.67' ON THE TIDE GAUGE. THE DIFFERENCE IN DATUMS IS 5.3', WHICH WAS PLOTTED HEREON. A 100' SETBACK WAS ADDED FROM THE 5.3' CONTOUR AS THE OPEN WATER BODC SETBACK.
- 5.2) EDGE OF VEGETATION ON THE SOUTHERLY END OF THE PROJECT FOLLOWS THE SAUSALITO MUNICIPAL CODE.
- 6) EDGE OF VEGETATION ON THE SOUTHERLY END OF THE PROJECT FOLLOWS THE SOUTHERLY FENCE A 50' SETBACK FROM VEGETATION LINE IS SHOWN HEREON PER SAUSALITO MUNICIPAL CODE.
- 7) AT THIS PROJECT SITE, THE DIFFERENCE BETWEEN THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88) AND NAVD29 IS 2.72 FEET. TO OBTAIN ELEVATIONS BASED ON NAVD 29 USE THE FOLLOWING EQUATION: (NAVD 29) = (NAVD88) - 2.72 FEET.



ONDA ROSA

Architecture  
Urban Design  
Space Planning  
Interior Design

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LIBERTYSHIP II PARTNERSHIP

70 - 74 LIBERTYSHIP WAY SAUSALITO, CA

APN: 063-080-06

SIDE BY SIDE (N) & (E) SITE PLANS

A.1.2 ARCHITECTURE PAGE 3 OF 18

PLNG/PW RESPONSE	09/20/18
PLNG/PW RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPV	1/2/19
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STORY POLE TABLE

IDENTIFIER	ELEV.	POLE LENGTH ABV FIN. FLR.
S.P. A1	39.64	27.04
S.P. A2	39.64	27.04
S.P. A3	43.49	30.89
S.P. A4	39.64	27.04
S.P. A5	39.64	27.04
S.P. A6	43.49	30.89
S.P. B1	43.16	30.78
S.P. B2	43.30	30.92
S.P. B3	43.16	30.78
S.P. B4	43.30	30.92
S.P. B5	36.41	24.03
S.P. B6	27.88	15.3
S.P. B7	27.88	15.3
S.P. B8	43.16	30.78
S.P. B9	27.88	15.3
S.P. B10	27.88	15.3
S.P. B11	35.86	23.48
S.P. B12	35.86	23.48
S.P. B13	27.88	15.3
S.P. B14	27.88	15.3
S.P. B15	43.16	30.78
S.P. B16	27.88	15.3
S.P. B17	27.88	15.3
S.P. B18	36.41	24.03

[N] BLDG. 'A' - 70  
LIBERTYSHIP WAY  
FIN FLR ELEV. = 12.60  
AVE NAT. GRD = 11.49  
MAX HGT = 43.49'

[N] BLDG. 'B' - 72  
LIBERTYSHIP WAY  
FIN FLR ELEV. = 12.38  
AVE NAT. GRD = 11.30  
MAX HGT = 43.30'

- CITY OF SAUSALITO STORY POLE REQUIREMENTS:
- STORY POLES SHALL BE INSTALLED WHERE THERE IS ANY CHANGE IN BUILDING FOOTPRINT, ROOF ELEVATION OR BUILDING BULK.
  - STORY POLES SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR OR CIVIL ENGINEER, OTHER QUALIFIED PROFESSIONALS, SUCH AS AN ARCHITECT, MAY VERIFY THE LOCATION OF THE STORY POLES IF SUCH VERIFICATION IS MADE FROM A POINT WHICH IS KNOWN TO BE CORRECT AND THE STORY POLES ARE NOT CONNECTED BY A BRIDGE OR COVERED TAPE IN SUCH A MANNER AS TO OBTAIN THE INSTALLED STORY POLES SHALL BE CONNECTED BY A BRIDGE OR COVERED TAPE IN SUCH A MANNER AS TO OBTAIN THE FORM. ROOF OUTLINES SHALL INCLUDE ROOFLINE CONNECTING TO EACH BUILDING CORNER AT FINISH ROOF ELEVATION. APPENDICES SUCH AS DOWNERS, BAYS & DECKS NEED NOT BE SHOWN UNLESS, IN THE OPINION OF STAFF, THEY HAVE THE POTENTIAL TO IMPACT NEIGHBORING PROPERTIES. STORY POLES AT DECK LOCATIONS SHALL EXTEND TO THE TOP OF THE RAILINGS.
  - THE STORY POLE PLAN SHALL SHOW THE LOCATION OF THE CONNECTING TAPE & RESPECTIVE ELEVATIONS.
  - STORY POLES SHALL BE INSTALLED AT LEAST 14 DAYS BEFORE A NOTICED PUBLIC HEARING ON THE APPLICATION AND BE REMOVED TO DAYS AFTER A FINAL APPROVAL OR DENIAL OF THE APPLICATION, OR WITHIN 60 DAYS OF NO ACTION MADE BY THE REVIEW AUTHORITY.
  - STORY POLES SHALL BE MARKED IN 1 FOOT INCREMENTS.
  - THE VERTICAL DIMENSION IS BASED OFF OF NVD029.

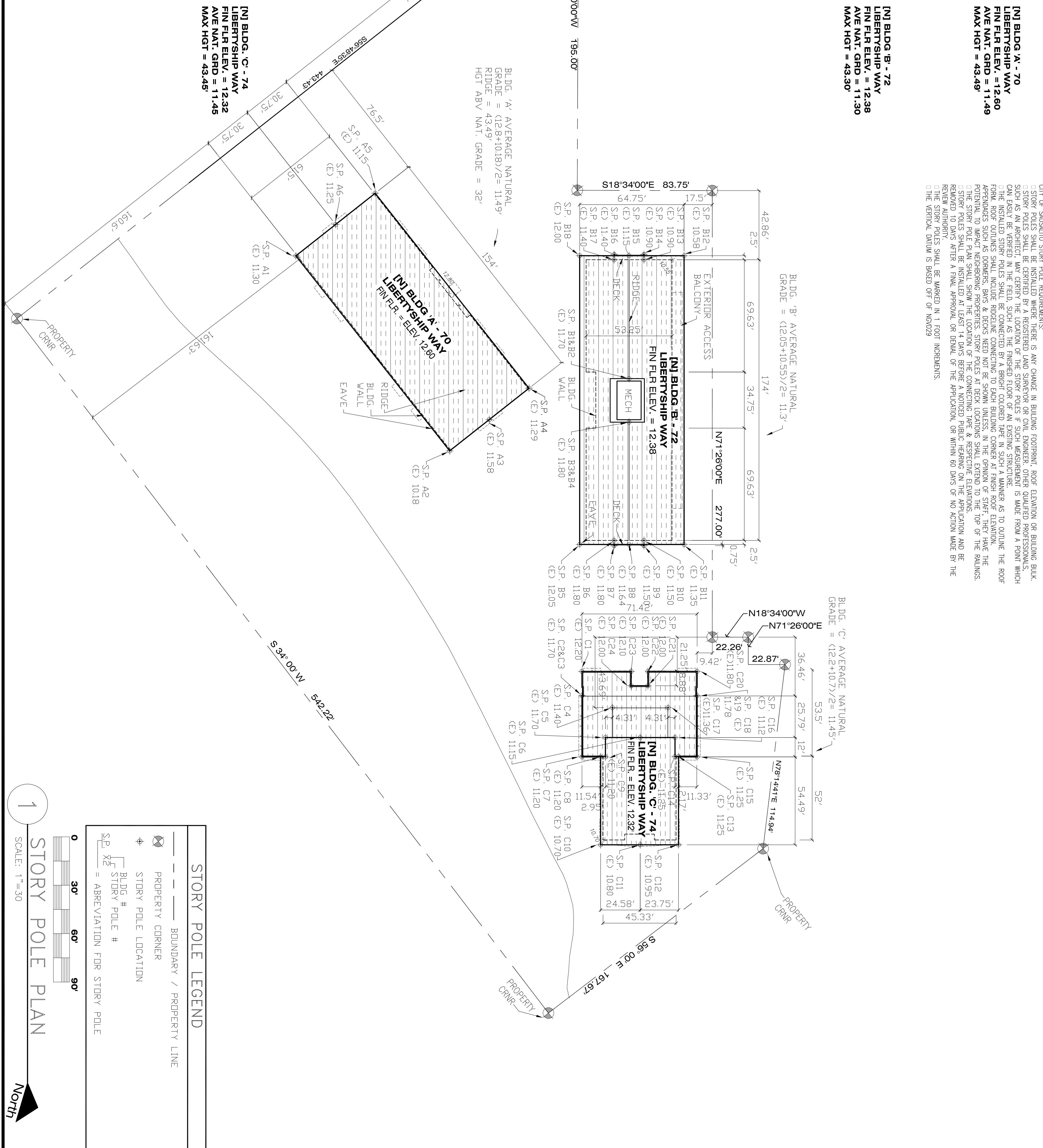
**MAX STORY POLE LENGTH 32'**  
**ELEVATION HGTS ARE SHOWN IN NAVD88**

THIS PROJECT USES THE DEFINITION OF NATURAL AVERAGE GRADE AND THE MEASUREMENT CRITERIA FROM 10.4.00.00.01. THE HEIGHT LIMITS PER TABLE 10.28-1 WHICH LIMITS THE HEIGHT TO 32 ABOVE NATURAL AVERAGE GRADE.

10.4.00.00 HEIGHT REQUIREMENTS. BUILDINGS SHALL BE LIMITED TO 32' IN HEIGHT. BUILDING HEIGHT IS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE NATURAL GROUND SURFACE UNDER THE BUILDING TO THE HIGHEST POINT OF THE BUILDING OR STRUCTURE. TO DETERMINE THE HEIGHT OF A BUILDING, THE HIGHEST AND LOWEST POINTS OF CONTACT WITH THE NATURAL GRADE ARE IDENTIFIED AND THE AVERAGE OF THESE TWO ELEVATIONS IS THE POINT FROM WHICH THE PERMITTED MAXIMUM HEIGHT IS MEASURED. THE HIGHEST AND LOWEST POINTS OF CONTACT ARE DETERMINED WHERE THE MAXIMUM VERTICAL PROJECTIONS OF THE FRAMEWORK STRUCTURE ARE MEASURED FROM THE NATURAL GROUND SURFACE. THE FRAMEWORK STRUCTURE IS MEASURED FROM THE NATURAL GROUND SURFACE. THE PERMITTED HEIGHT SHALL BE INDIVIDUALLY COMPUTED FOR EACH DETACHED STRUCTURE, BALCONIES, DECKS AND SIMILAR APPURTENANCES AND PROJECTIONS SHALL NOT BE INCLUDED IN MEASURING THE PRIMARY STRUCTURES BUILDING HEIGHT.

STORY POLE TABLE

IDENTIFIER	ELEV.	POLE LENGTH ABV FIN. FLR.
S.P. C1	36.70	24.38
S.P. C2	34.85	24.38
S.P. C3	38.12	25.80
S.P. C4	41.70	29.38
S.P. C5	38.12	25.80
S.P. C6	43.45	31.13
S.P. C7	38.12	25.80
S.P. C8	36.64	24.32
S.P. C9	38.12	25.80
S.P. C10	36.64	24.32
S.P. C11	43.45	31.13
S.P. C12	36.64	24.32
S.P. C13	36.64	24.32
S.P. C14	38.12	25.80
S.P. C15	38.12	25.80
S.P. C16	36.27	26.75
S.P. C17	41.70	29.38
S.P. C18	38.12	25.80
S.P. C19	36.70	24.38
S.P. C20	36.70	24.38
S.P. C21	36.70	24.38
S.P. C22	36.70	24.38
S.P. C23	36.70	24.38
S.P. C24	36.70	24.38



**STORY POLE LEGEND**

- BOUNDARY / PROPERTY LINE
- PROPERTY CORNER
- STORY POLE LOCATION
- BLDG. #
- STORY POLE #
- S.P. X# = ABBREVIATION FOR STORY POLE

**1** STORY POLE PLAN

SCALE: 1"=30'

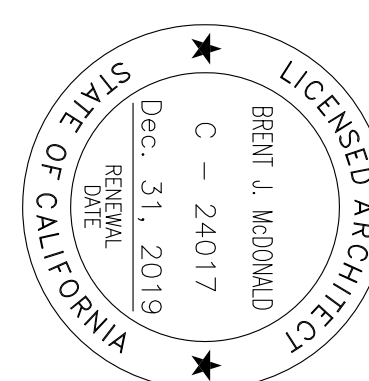
0 30' 60' 90'

North

**ONDA ROSA**

Architecture  
Urban Design  
Space Planning  
Interior Design

129 JASPER PLACE  
S.F. CA 94133  
415.362.7441



**LIBERTYSHIP II PARTNERSHIP**

**70 - 74**  
**LIBERTYSHIP WAY**  
**SAUSALITO, CA**  
**APN: 063-080-06**

PERMITS RESPONSE	07/09/18
PLNG/PW RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPV	1/2/19
PLNG RESPONSE	8/01/19
Project Number	2018.11
Scale	1"=30'-0"
Drawn by	BLM

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**STORY POLE PLAN**

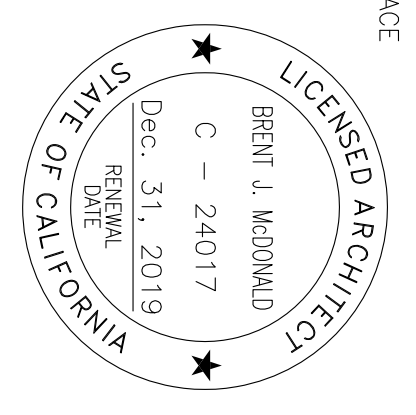
**A.1.3**

ARCHITECTURE PAGE 4 OF 18

UNLESS OTHERWISE NOTED, ELEVATIONS ARE BASED UPON 1988 NAVD. @ THIS SITE. THE DIFFERENCE BETWEEN 1988 NORTH AMERICAN VERTICAL DATUM (NAVD 88) & NAVD 29 IS 2.72 FT. TO OBTAIN ELEVATIONS BASED ON NAVD 29 USE THE FOLLOWING EQUATION: (NAVD 88) - 2.72 FEET.

# ONDA ROSA

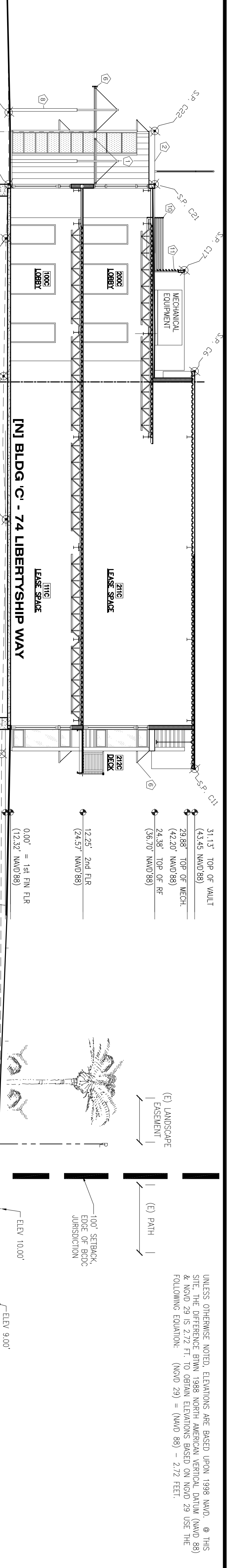
129 JASPER PLACE  
S.E. OX 94133  
415.562.7441



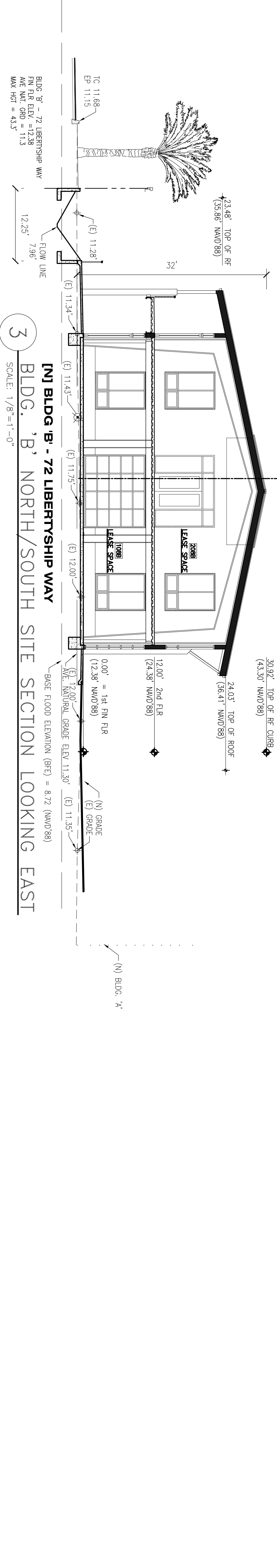
## LIBERTYSHIP II PARTNERSHIP

## 70 - 74 LIBERTYSHIP WAY SAUSALITO, CA

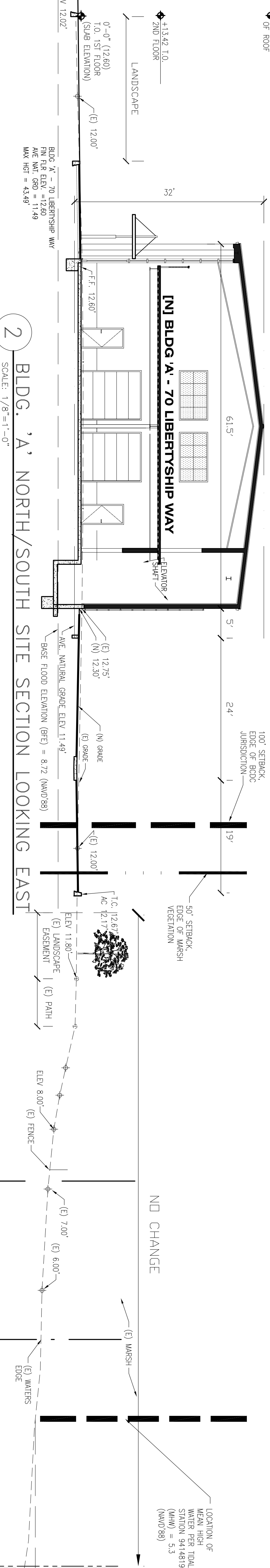
APN: 063-080-06



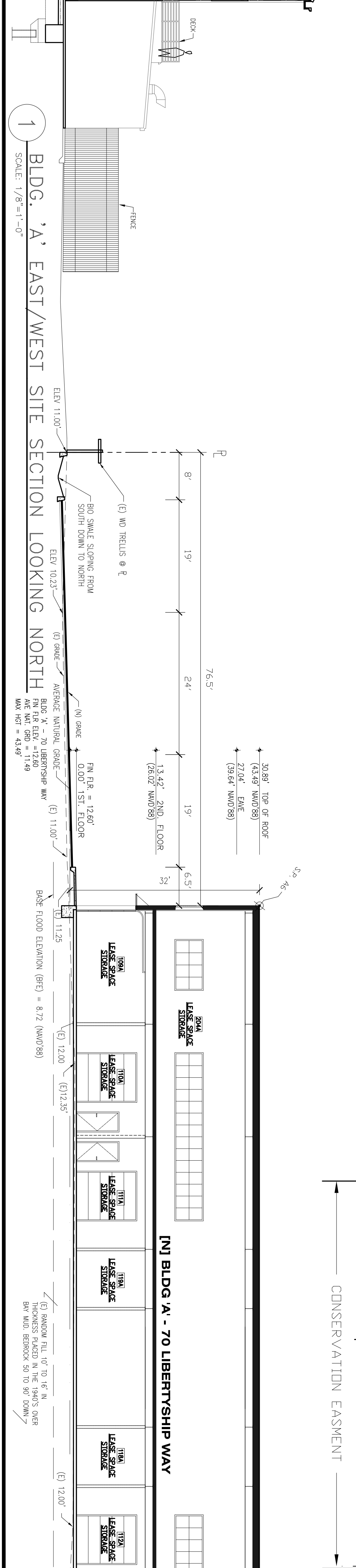
4 BLDG. 'C' EAST/WEST SITE SECTION LOOKING NORTH  
SCALE: 1/8"=1'-0"



3 BLDG. 'B' NORTH/SOUTH SITE SECTION LOOKING EAST  
SCALE: 1/8"=1'-0"



2 BLDG. 'A' NORTH/SOUTH SITE SECTION LOOKING EAST  
SCALE: 1/8"=1'-0"



1 BLDG. 'A' EAST/WEST SITE SECTION LOOKING NORTH  
SCALE: 1/8"=1'-0"

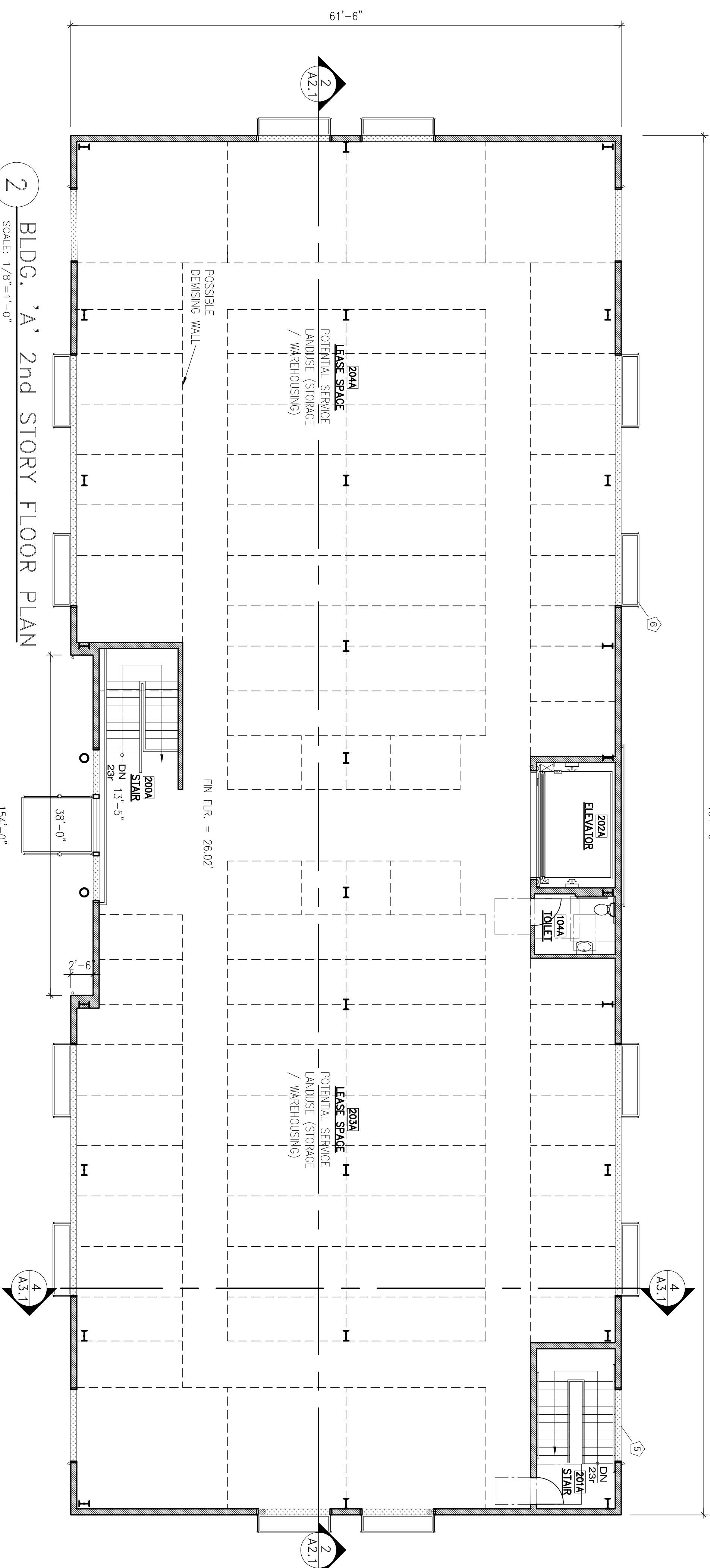
PLNG/PW RESPONSE	09/20/18
PLNG/PW RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPV	1/2/19
PLNG RESPONSE	8/01/19
Project Number	2015.11
Scale	1"=10'-0"
Drawn by	BLM

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### SITE SECTIONS PLAN

A 1.4

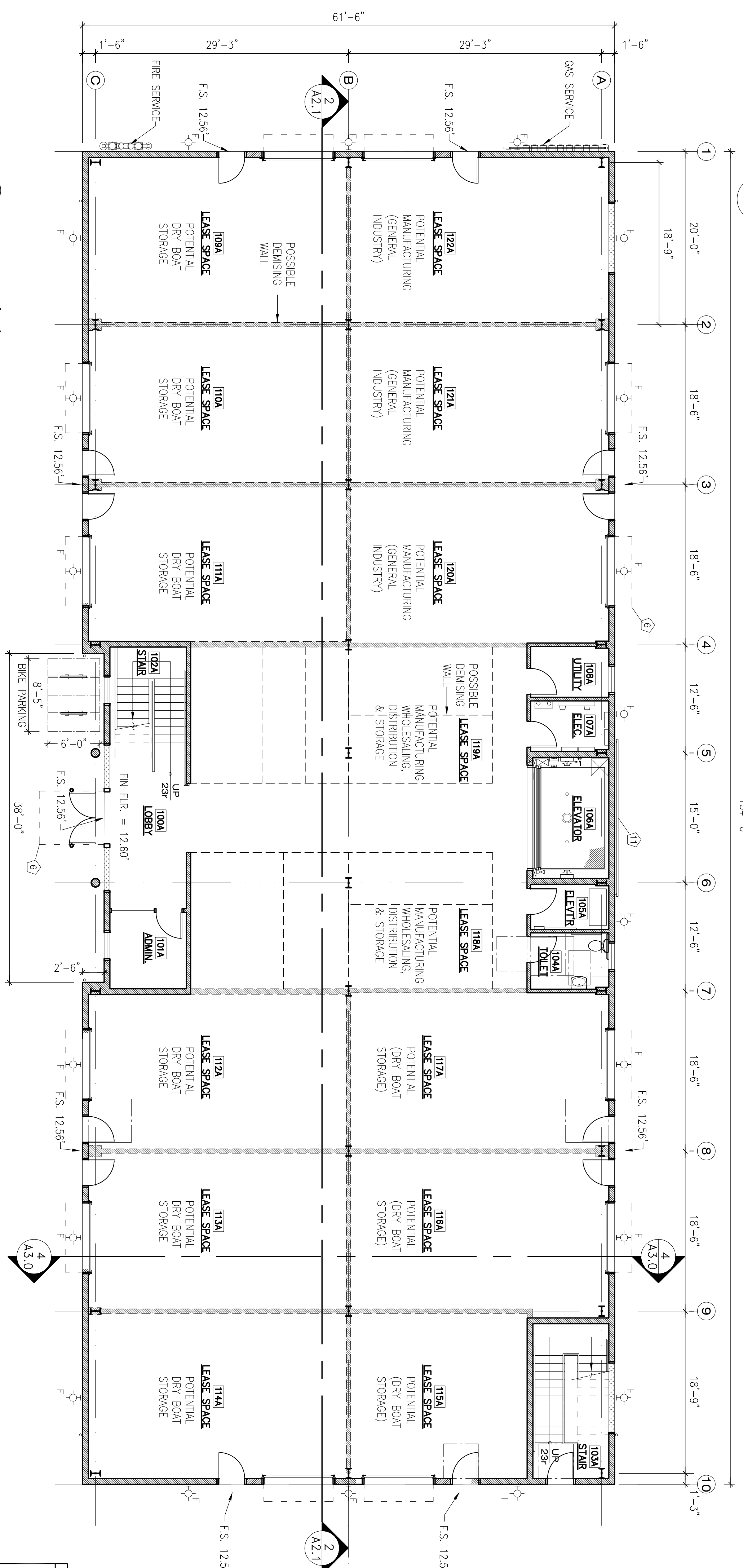
154'-0"



**2** BLDG. 'A' 2nd STORY FLOOR PLAN  
SCALE: 1/8"=1'-0"

MATERIALS SCHEDULE	
1	PAINTED METAL SING
2	PAINTED METAL ROOFING
3	COLORB CONCRETE
4	PAINTED INSULATED METAL WINDOWS
5	KALWALL TRANSLUCENT WALL PANEL
6	METAL AND TRANSLUCENT LAMINATED GLASS CANOPY
7	PAINTED METAL DOOR
8	PAINTED STEEL COLUMN
9	LIGHT FIXTURE
10	STRUCTURAL STEEL FRAME
11	WALL MOUNTED METAL TRELLIS

**BLDG. 'A' 2nd STORY FLOOR AREAS**  
GROSS 9,376 S.F.  
DEDUCTED 8,719 S.F.



**1** BLDG. 'A' 1st STORY FLOOR PLAN  
SCALE: 1/8"=1'-0"

**BLDG. 'A' 1st STORY FLOOR AREAS**  
GROSS 9,376 S.F.  
DEDUCTED 8,960 S.F.

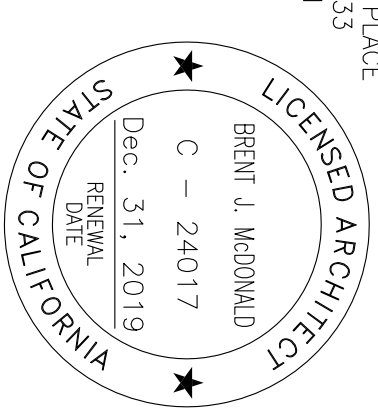
PARTITION LEGEND	
(N) PARTITIONS	
KALWALL TRANSLUCENT WALL PANEL	
POSSIBLE DEMISING WALL	
POSSIBLE DEMISING WALL	
OVERHEAD CONSTRUCTION	

70 LIBERTYSHIP WAY (BLDG 'A')

**ONDA ROSA**

Architecture  
Urban Design  
Space Planning  
Interior Design

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**LIBERTYSHIP II  
PARTNERSHIP**

**70 - 74**

**LIBERTYSHIP WAY  
SAUSALITO, CA**

**APN: 063-080-06**

PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18

SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19

Project Number	2018/11
Scale	1/8" = 1'-0"
Drawn by	BAW

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**1st & 2nd  
FLOOR PLANS**

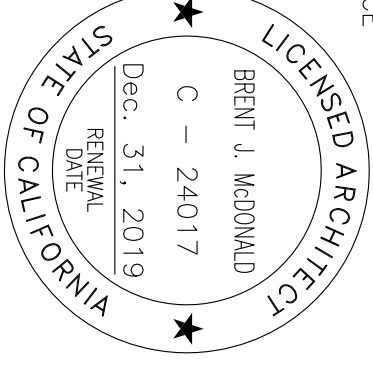
**BLDG 'A'**

**A.2.0 (BLDG A)**

# ONDA ROSA

Architecture  
Urban Design  
Space Planning  
Interior Design

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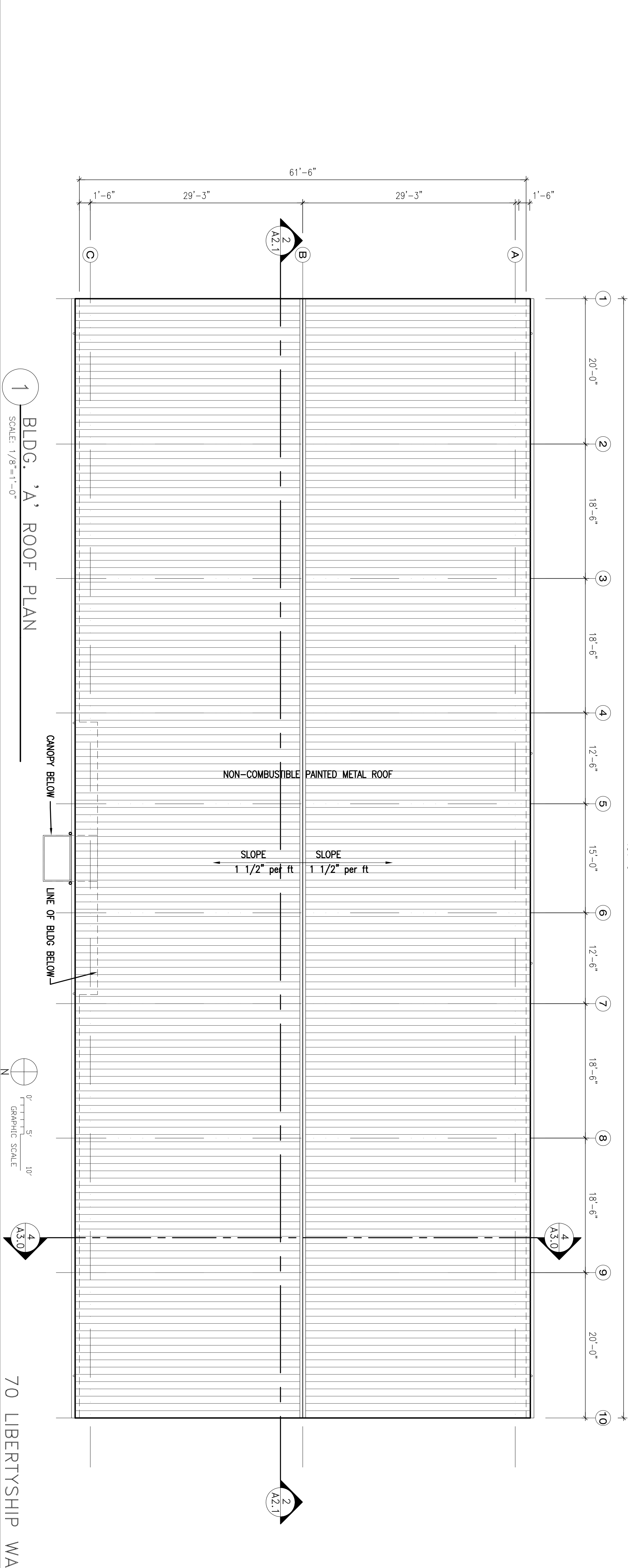
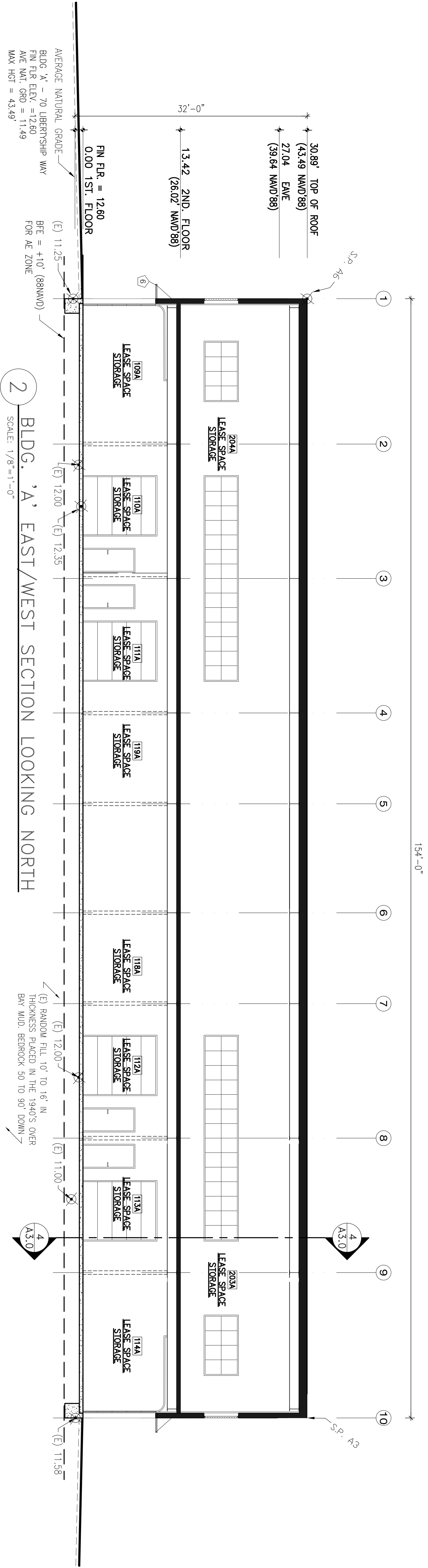


## LIBERTYSHIP II PARTNERSHIP

## 70 - 74

## LIBERTYSHIP WAY SAUSALITO, CA

APN: 063-080-06



1 BLDG. 'A' ROOF PLAN  
SCALE: 1/8"=1'-0"

70 LIBERTYSHIP WAY (BLDG. 'A')  
BLDG. 'A' LOT COVERAGE  
9,376 SF.

2 BLDG. 'A' EAST/WEST SECTION LOOKING NORTH  
SCALE: 1/8"=1'-0"

2 A2.1

4 A3.0

4 A3.0

2 A2.1

0' 5' 10'  
GRAPHIC SCALE

BLDG. 'A' LOT COVERAGE  
9,376 SF.

70 LIBERTYSHIP WAY (BLDG. 'A')

PLNG/P/W RESPONSE 09/20/18  
PLNG/P/W RESPONSE 11/04/18  
S.M.F.D. 11/12/18  
SAUSALITO DPW 1/2/19  
PLNG RESPONSE 8/01/19

Project Number 201511  
Scale 1/8" = 1'-0"  
Drawn by BJM  
Date Revision/Issue

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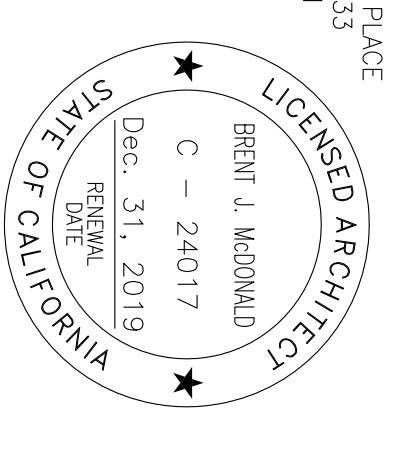
ROOF PLAN

BLDG. 'A'

A.2.1 (BLDG. A)

ARCHITECTURE PAGE 9 OF 18  
THIS PAGE HAS BEEN REDUCED IF IS IS LESS THEN 24x36





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**LIBERTYSHIP II  
 PARTNERSHIP**

**70 - 74  
 LIBERTYSHIP WAY  
 SAUSALITO, CA**

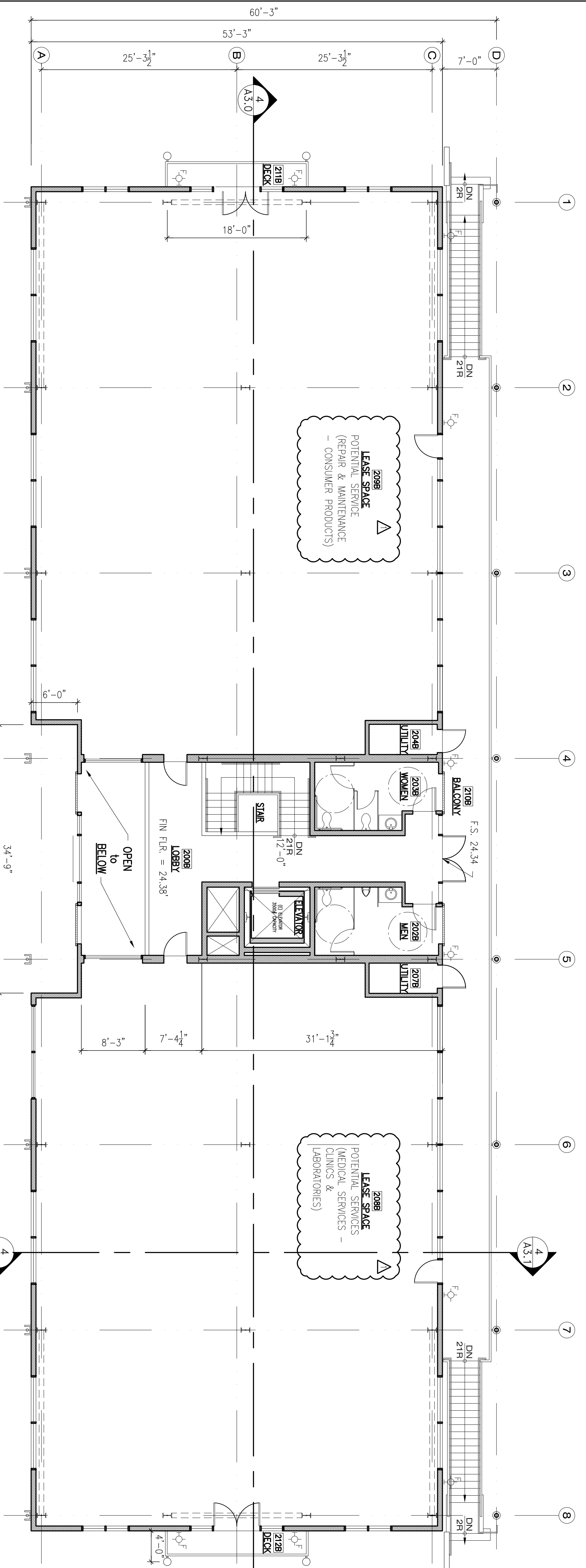
APN: 063-080-06

**BLDG. 'B' 2nd STORY FLOOR AREAS**  
 GROSS 8,574 S.F.  
 DEDUCTED 8,500 S.F.  
 NOT INCLUDED ABV  
 BALCONY 210B = 787 S.F.  
 DECK 211B = 54 S.F.  
 DECK 212B = 54 S.F.

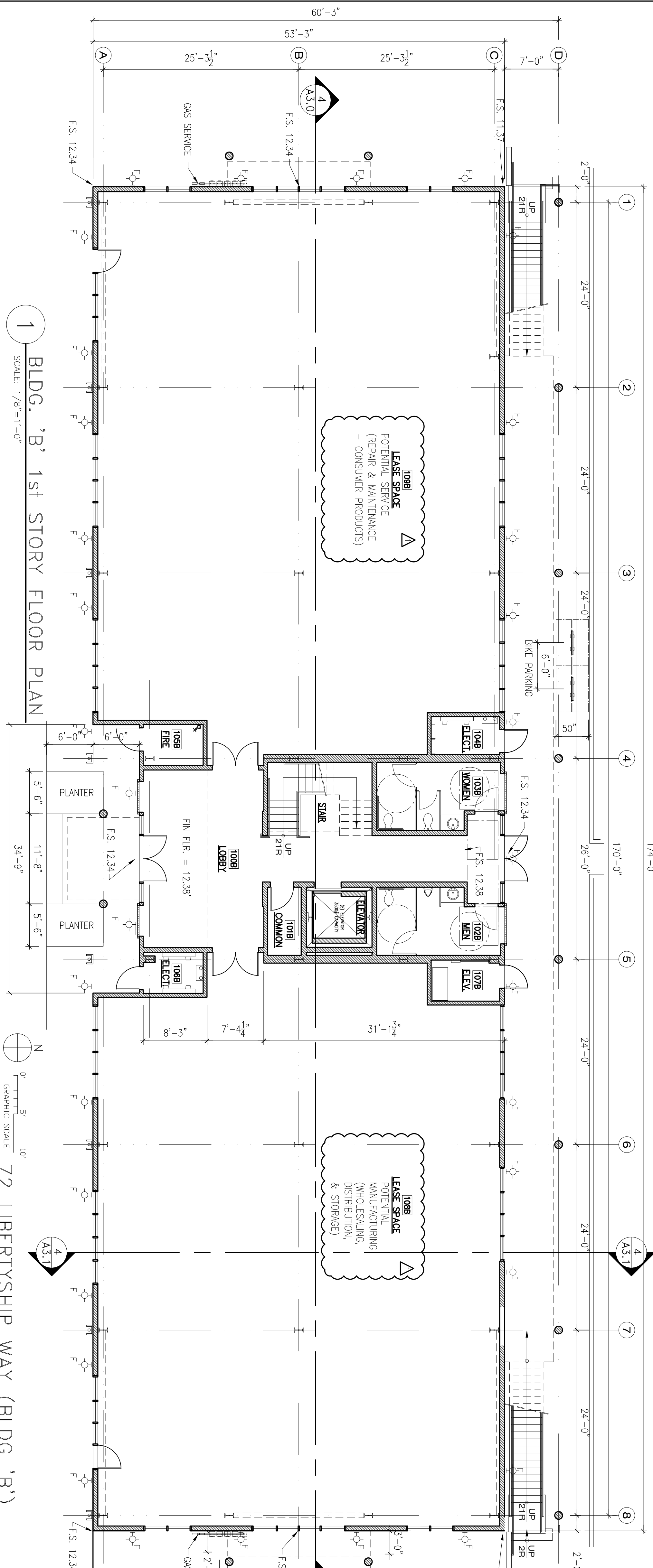
MATERIALS SCHEDULE

⑤	LIGHT FIXTURE
---	---------------

**2 BLDG. 'B' 2nd STORY FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



**1 BLDG. 'B' 1st STORY FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



**BLDG. 'B' 1st STORY FLOOR AREAS**  
 GROSS 9,057 S.F.  
 DEDUCTED 8,670 S.F.

**PARTITION LEGEND**

(N)	PARTITIONS
---	KALWALL TRANSLUCENT WALL PANEL
---	POSSIBLE DEMISING WALL
---	POSSIBLE DEMISING WALL
---	OVERHEAD CONSTRUCTION

PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19

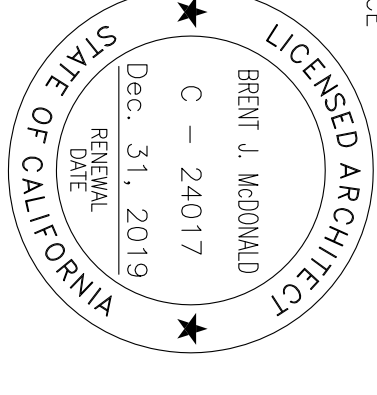
Project Number	2018/11	Scale	1"=1'-0"
Drawn by	BM	Date	1/8/19

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**1st & 2nd  
 FLOOR PLANS**

**BLDG 'B'**

**A.22(BLDG B)**

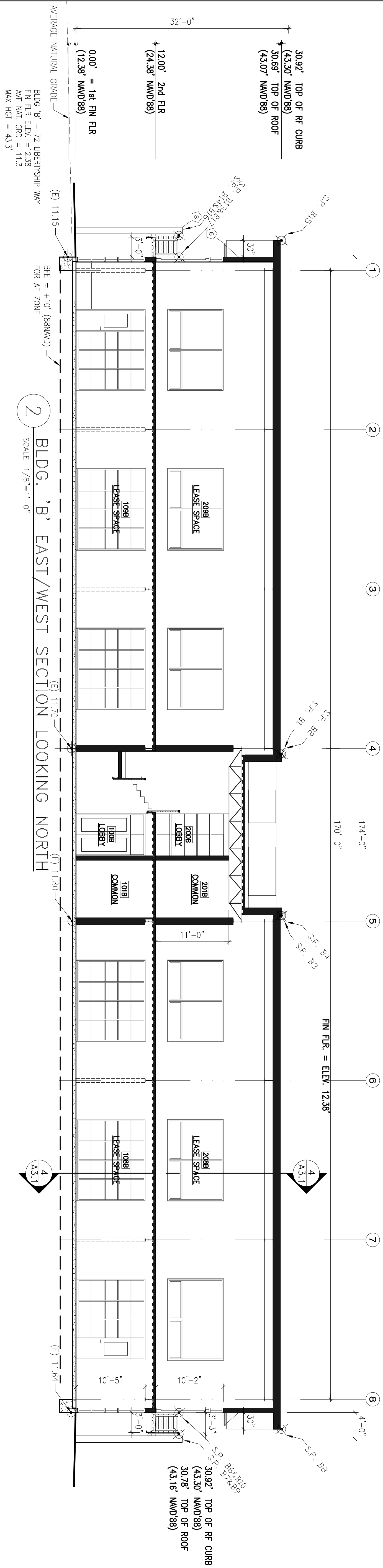


**LIBERTYSHIP II  
PARTNERSHIP**

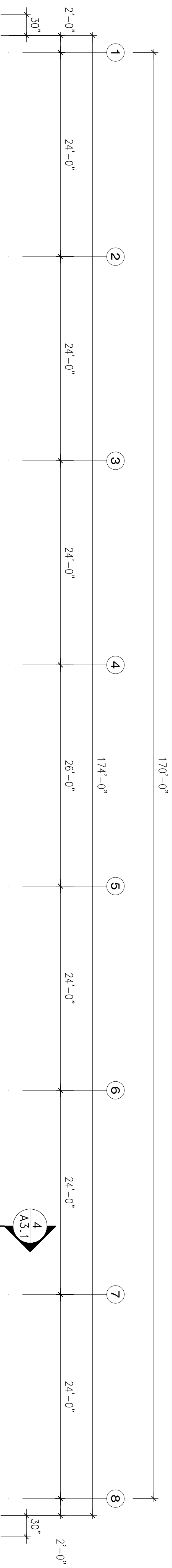
**70 - 74**

**LIBERTYSHIP WAY  
SAUSALITO, CA**

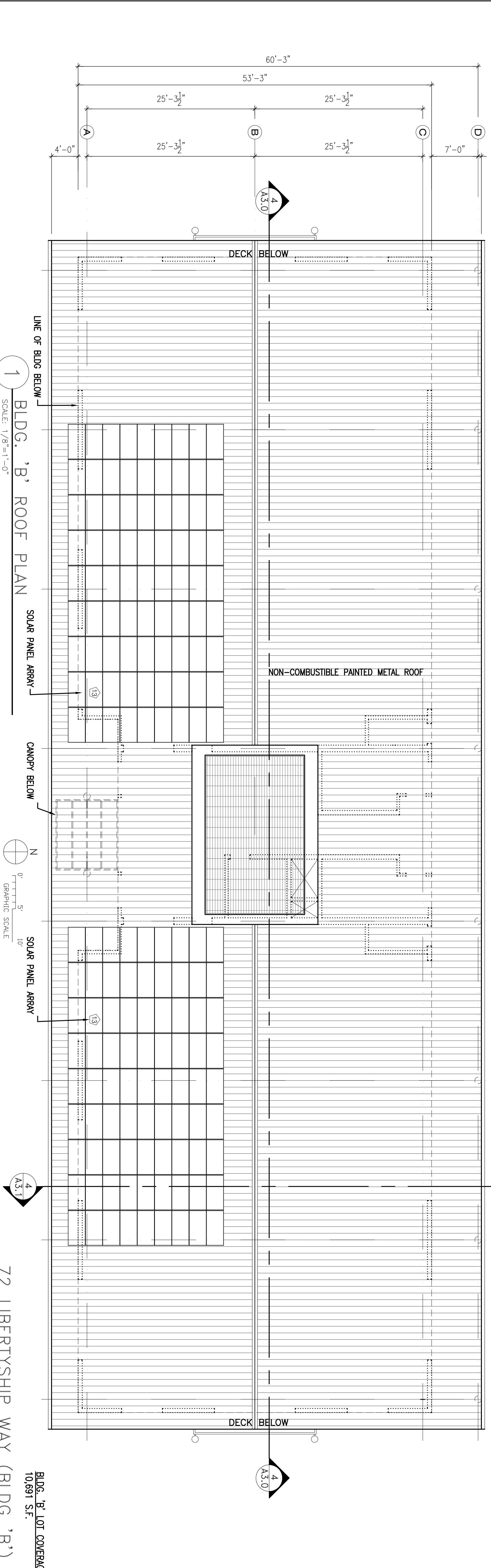
**APN: 063-080-06**



**2 BLDG. 'B' EAST/WEST SECTION LOOKING NORTH**  
SCALE: 1/8"=1'-0"



**1 BLDG. 'B' ROOF PLAN**  
SCALE: 1/8"=1'-0"



**72 LIBERTYSHIP WAY (BLDG. 'B')**

PLNG/P/W RESPONSE 09/20/18

PLNG/P/W RESPONSE 11/04/18

S.M.F.D. 11/12/18

SAUSALITO DPW 1/2/19

PLNG RESPONSE 8/01/19

No. Date Revision/Issue

Project Number 201811 Scale 1/8"=1'-0"

Drawn by BJM

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**ROOF PLAN**

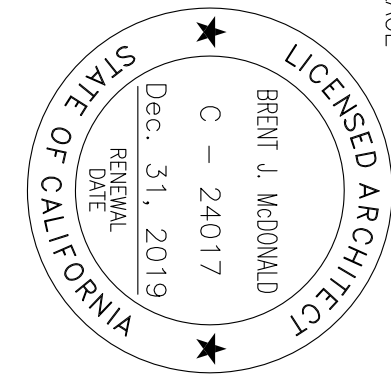
**BLDG 'B'**

**A.2.3 (BLDG B)**

# ONDA ROSA

Architecture  
Urban Design  
Space Planning  
Interior Design

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## LIBERTYSHIP II PARTNERSHIP

## 70 - 74

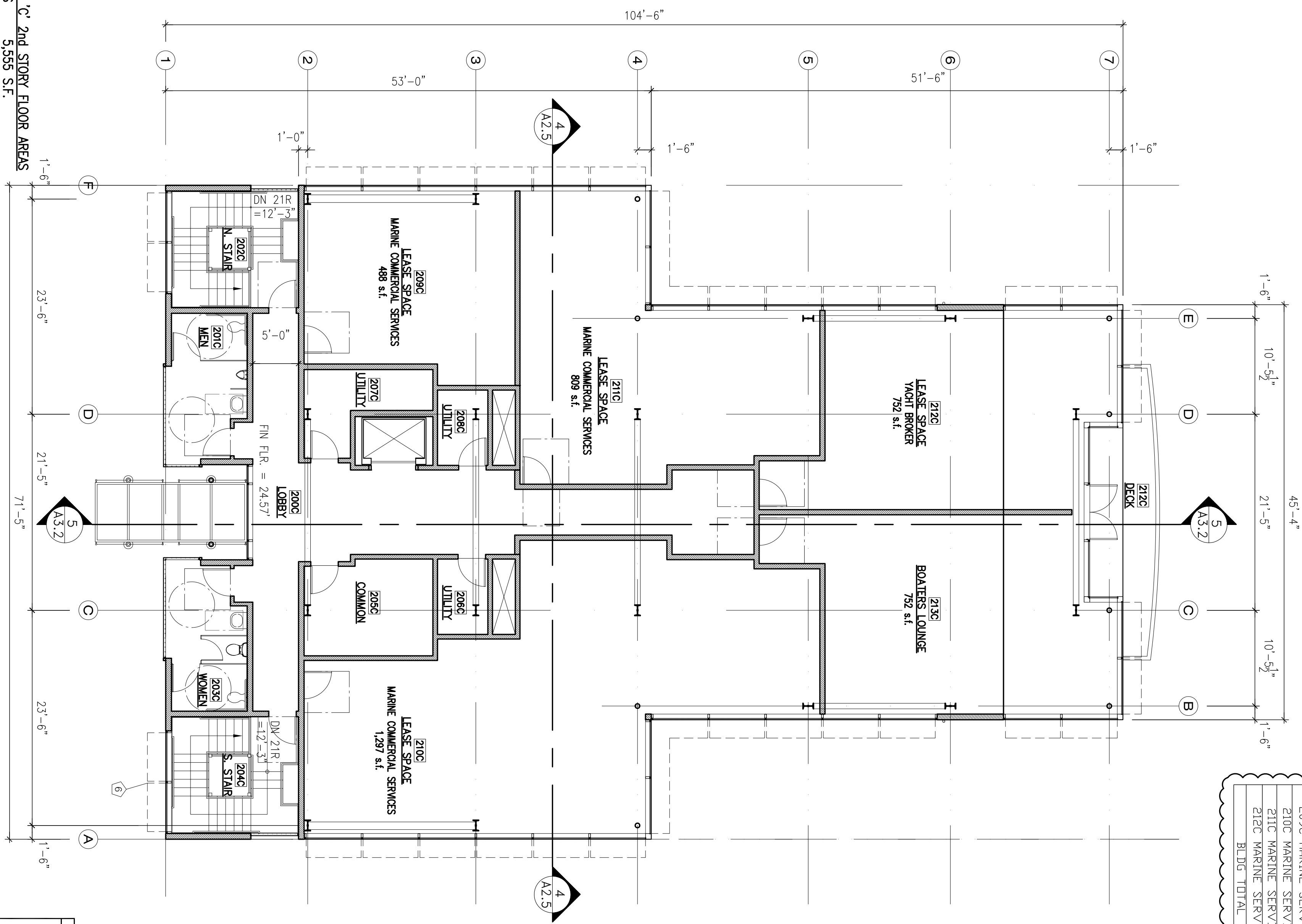
## LIBERTYSHIP WAY SAUSALITO, CA

APN: 063-080-06

### MATERIALS SCHEDULE

LIGHT FIXTURE

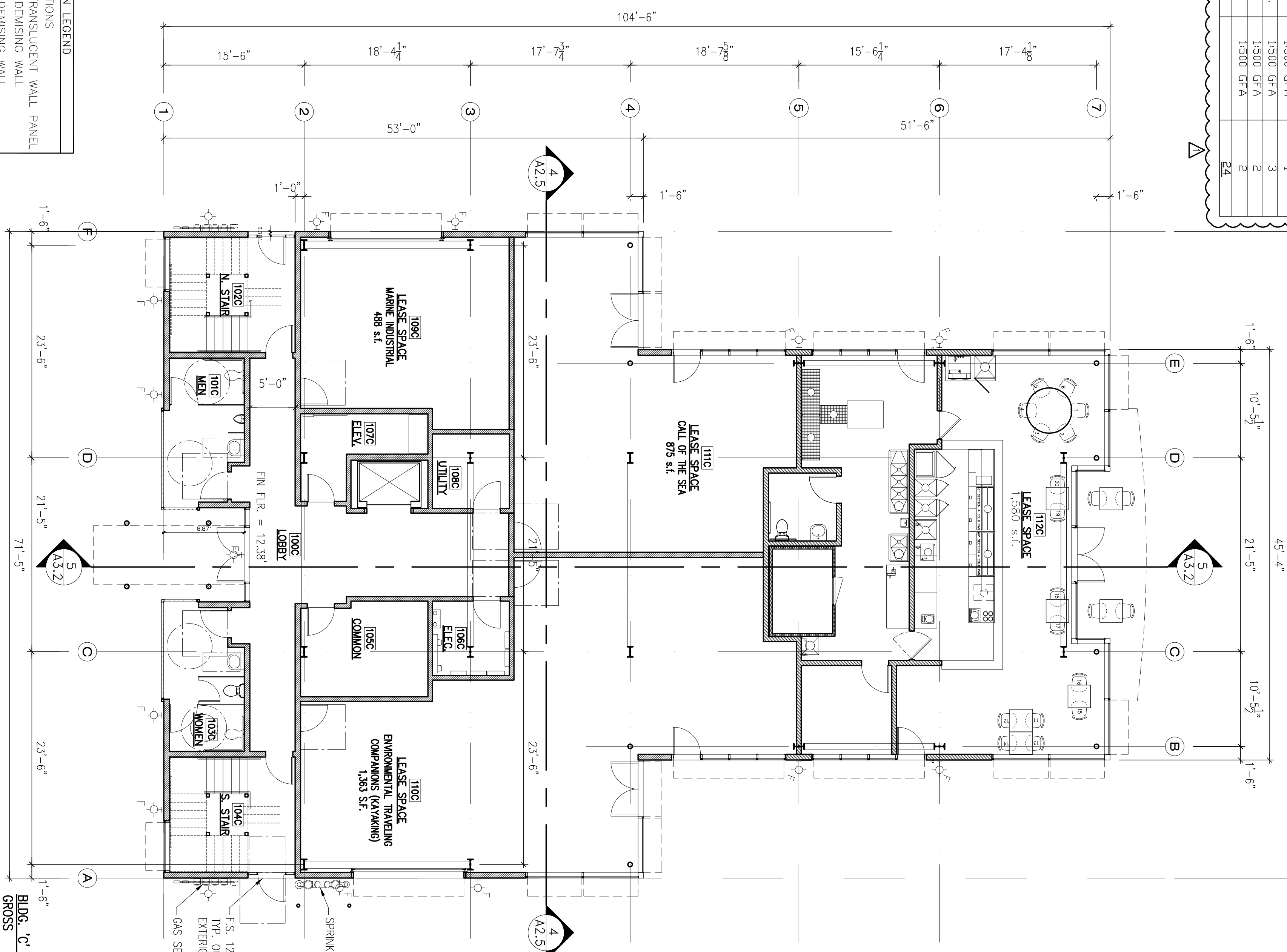
SPACE	SQ. FT./G.	PARKING REQUIREMENT	# OF CARS
RETAIL TRADE LAND USES			
112C RESTAURANT (LIMITED TO 20 SEATS)	1,580 S.F.	14 DINING AREA	5
RECREATION, EDUCATION AND PUBLIC ASSEMBLY			
213C BOATERS LOUNGE	752 S.F.	1100 S.T. DP	8
MANUFACTURING AND PROCESSING USES			
109C MARINE SERVICES	488 S.F.	11,000 GFA	1
110C KAYAKING	1,363 S.F.	11,000 GFA	1
111C CALL OF THE SEA SERVICE COMMERCIAL BUSINESS & MARINE SERVICES	875 S.F.	11,000 GFA	1
209C MARINE SERVICES	488 S.F.	1,500 GFA	1
210C MARINE SERVICES	1,297 S.F.	1,500 GFA	3
211C MARINE SERVICES	809 S.F.	1,500 GFA	2
212C MARINE SERVICES	752 S.F.	1,500 GFA	2
<b>BLDG TOTAL</b>			<b>24</b>



**PARTITION LEGEND**

- (N) PARTITIONS
- KALWALL TRANSLUCENT WALL PANEL
- POSSIBLE DEMISING WALL
- POSSIBLE DEMISING WALL
- OVERHEAD CONSTRUCTION

**2 BLDG. 'C' 2nd STORY FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**1 BLDG. 'C' 1st STORY FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**BLDG. 'C' 1st STORY FLOOR AREAS**  
GROSS 5,963 S.F.  
DEDUCTED 5,674 S.F.

PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19
Project Number	201811
Drawn by	BAM
Scale	1"=10'
Date	1/8/19

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## 1st & 2nd FLOOR PLANS

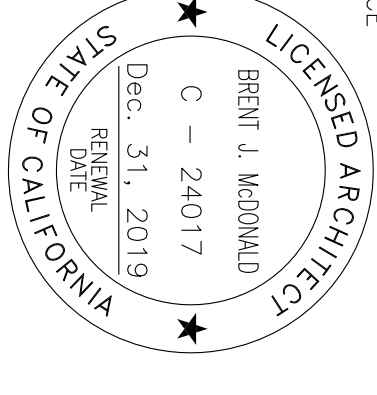
### BLDG 'C'

### A.24(BLDG C)

ARCHITECTURE PAGE 12 OF 18  
THIS PAGE HAS BEEN REDUCED IF IS IS LESS THEN 24x36

**BLDG. 'C' 2nd STORY FLOOR AREAS**  
GROSS 5,555 S.F.  
DEDUCTED 5,303 S.F.

170 S.F. DECK NOT INCLUDED ANY



**LIBERTYSHIP II  
PARTNERSHIP**

**70 - 74**

**LIBERTYSHIP WAY  
SAUSALITO, CA**

**APN: 063-080-06**

PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19

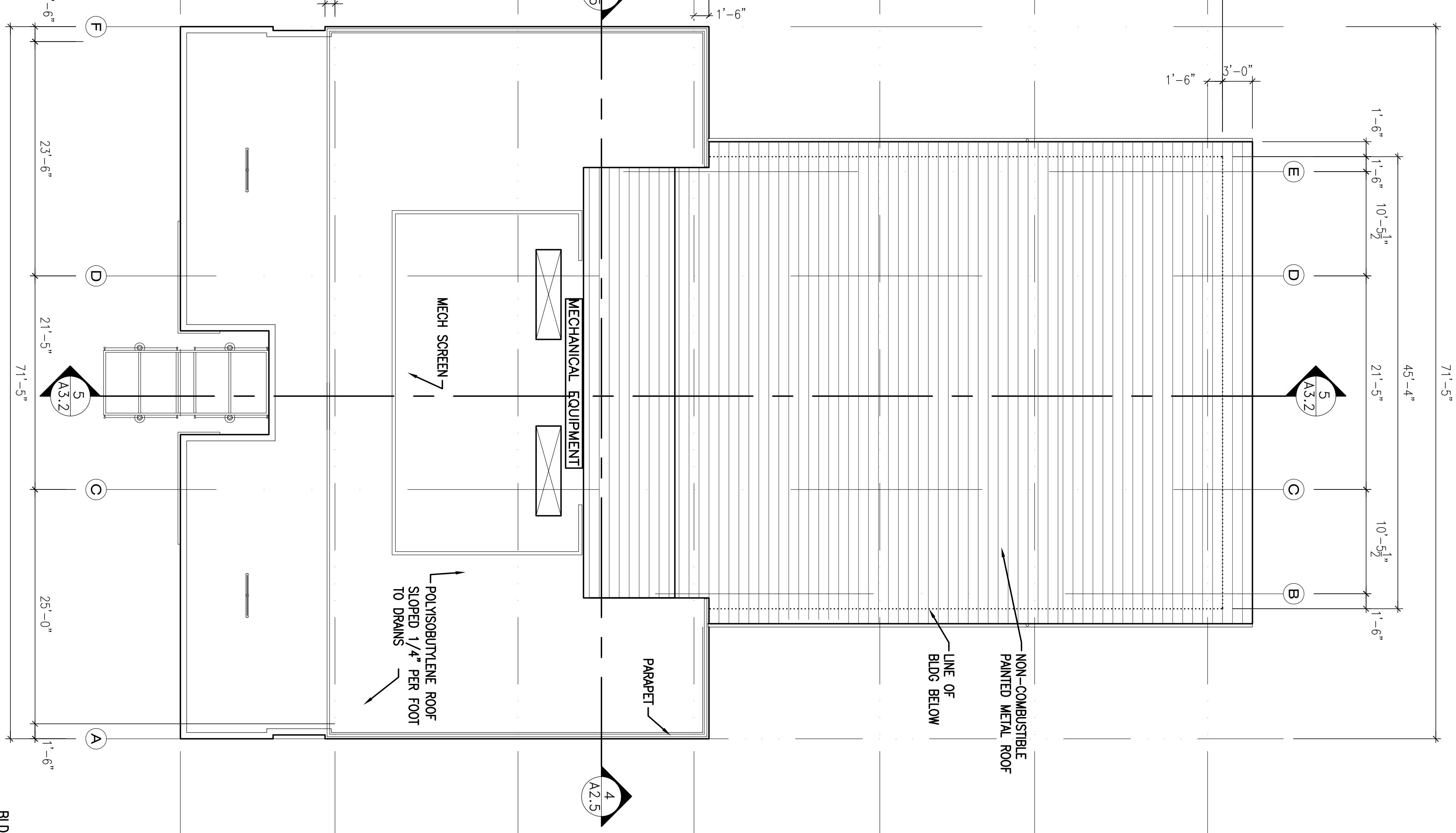
Project Number	201511	Scale	1/8" = 1'-0"
Drawn by	BAM		
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.			

**ROOF PLAN**

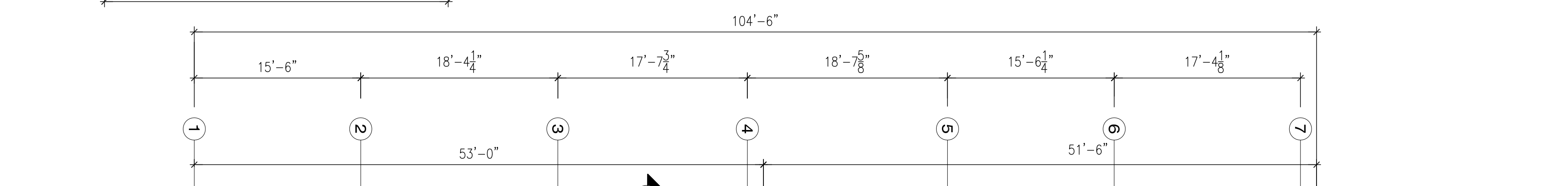
**BLDG 'C'**

**A.2.5 (BLDG C)**

ARCHITECTURE PAGE 13 OF 18  
THIS PAGE HAS BEEN REDUCED IF IS IS LESS THAN 24x36



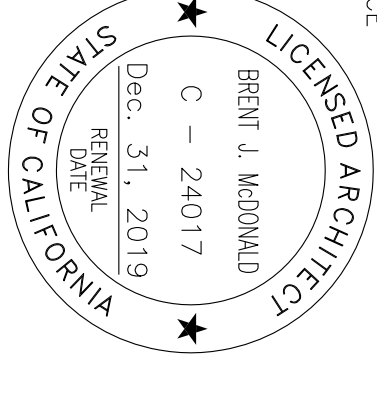
**1 BLDG. 'C' ROOF PLAN**  
SCALE: 1/8"=1'-0"



**2 BLDG. 'C' NORTH/SOUTH SECTION LOOKING EAST**  
SCALE: 1/8"=1'-0"

31.13' TOP OF VAULT (43.45 NAVD88)	29.88' TOP OF MECH. (42.20' NAVD88)	24.38' TOP OF RF (36.70' NAVD88)	12.25' 2nd FLR (24.57' NAVD88)	0.00' = 1st FIN FLR (12.32' NAVD88)
---------------------------------------	--	-------------------------------------	-----------------------------------	--

AVERAGE NATURAL GRADE -  
BLDG 'C' - 74 LIBERTYSHIP WAY  
FIN FLR ELEV. = 12.32  
AVE NAT. GRD = 11.45  
MAX HGT = 43.45'

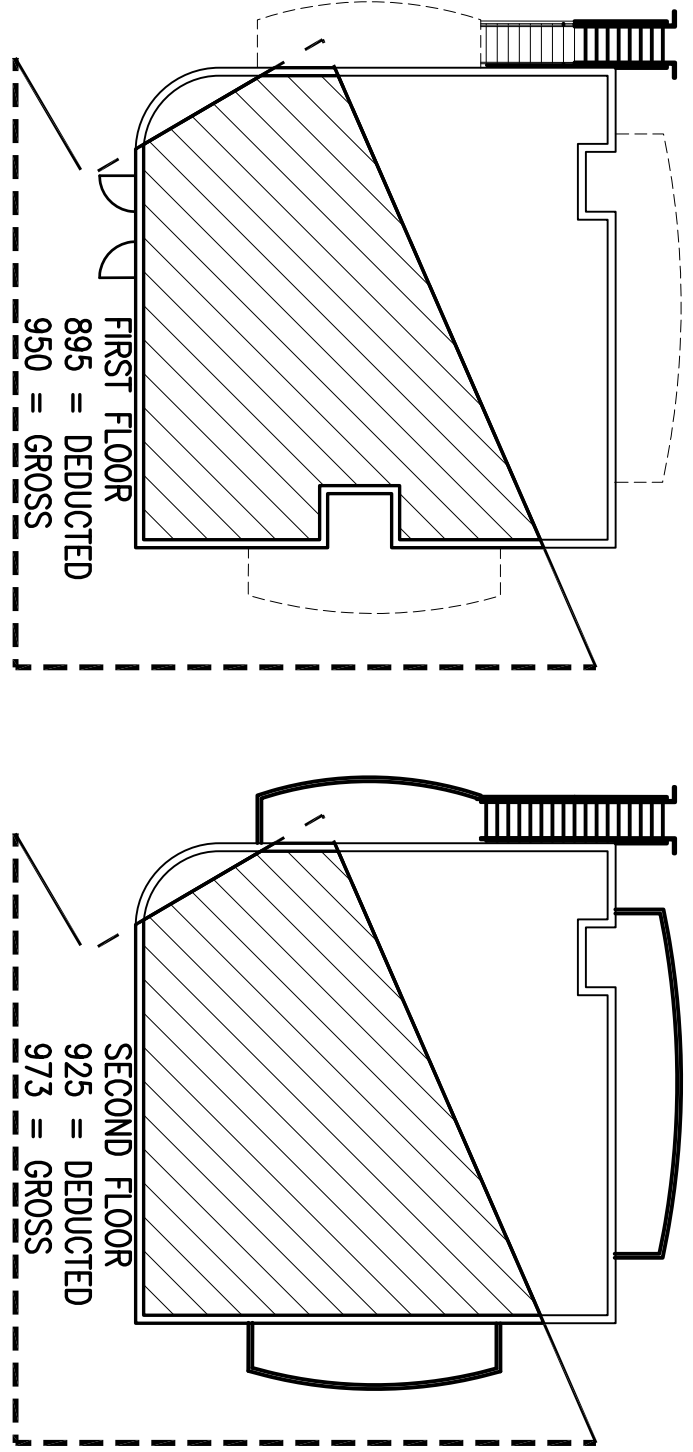


**LIBERTYSHIP II  
PARTNERSHIP**

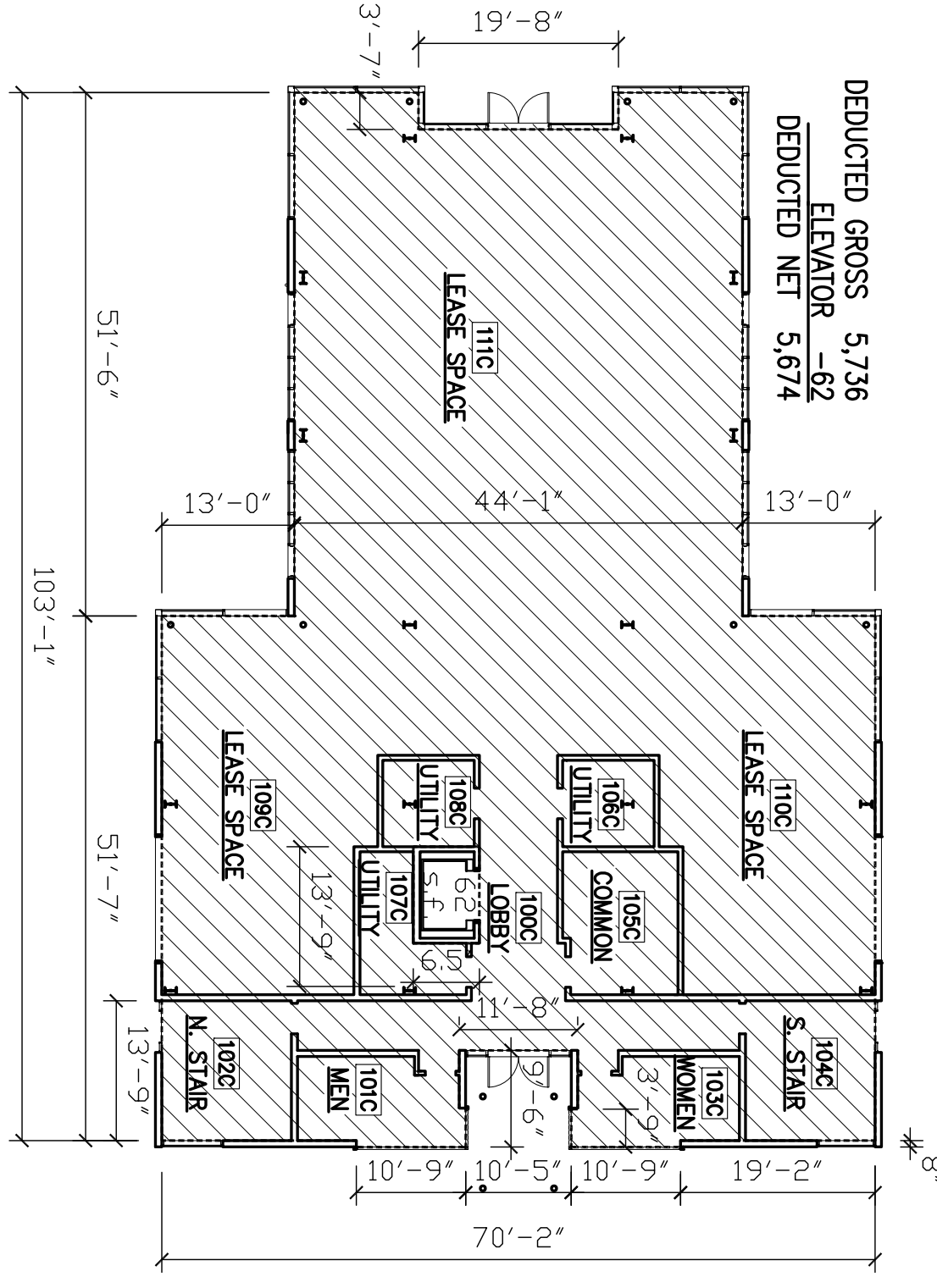
**70 - 74**

**LIBERTYSHIP WAY  
SAUSALITO, CA**

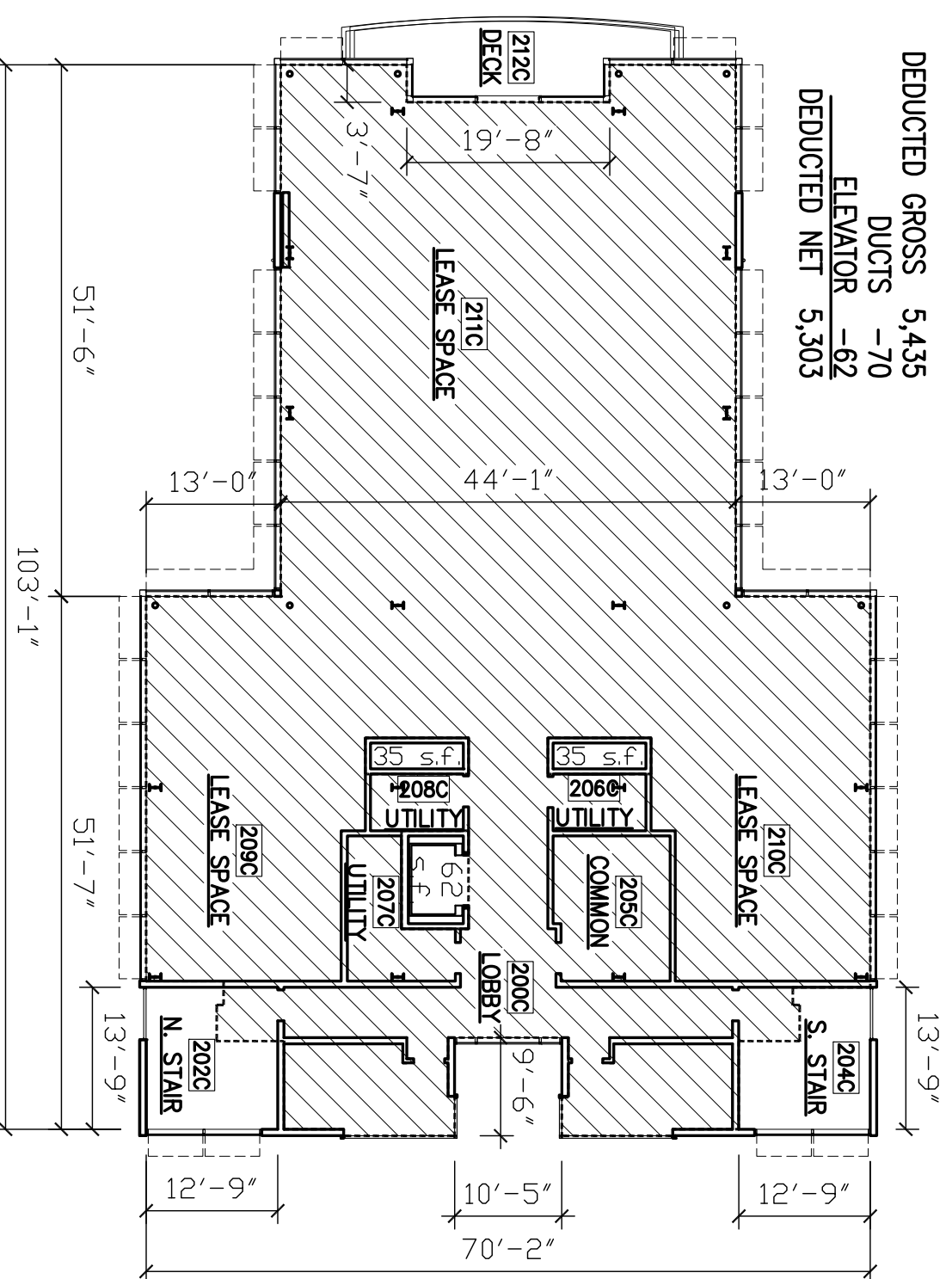
APN: 063-080-06



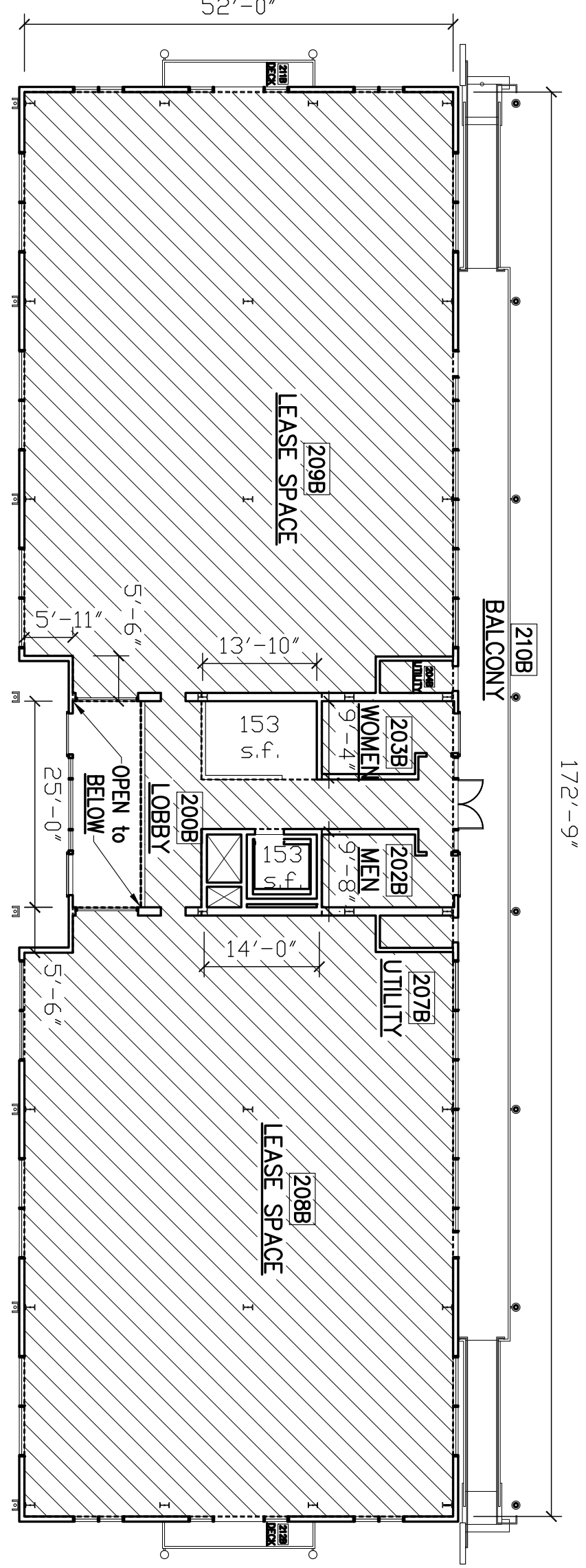
**D HARBOR MASTER DEDUCTED AREA FLOOR PLAN**  
DEDUCTED AREA = 1,820 SQ. FT. = DEFINITION OF FLOOR AREA PER 10.40.04.0.B



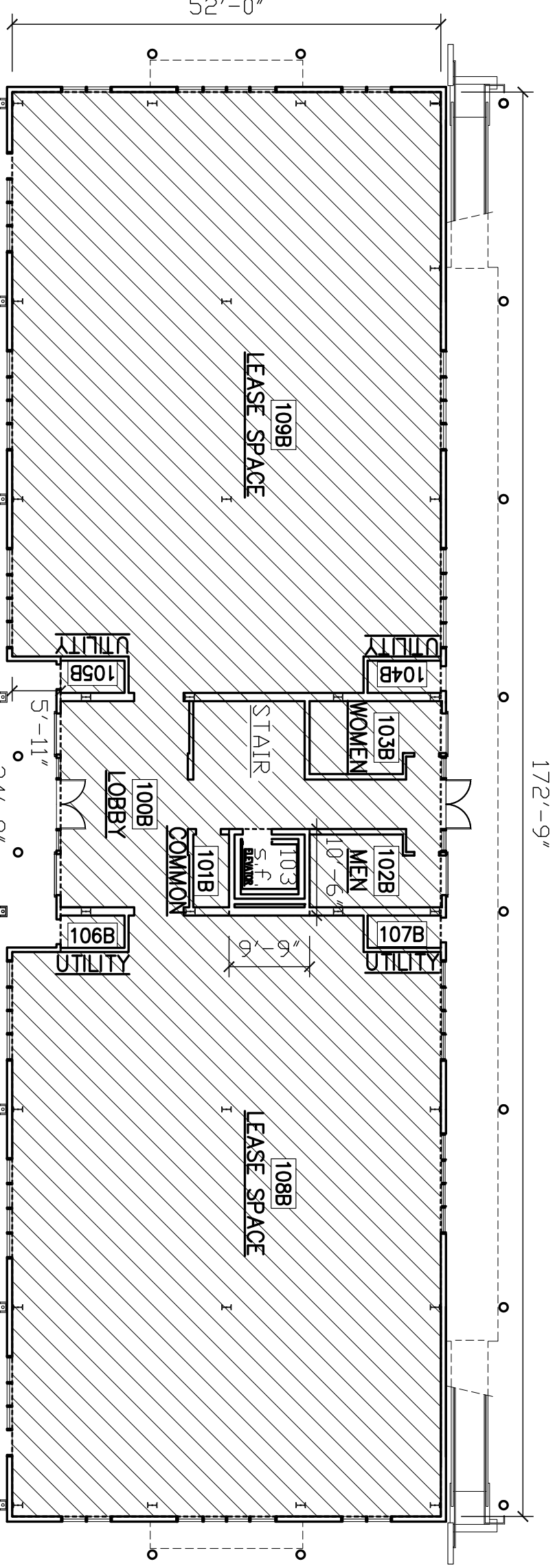
**C1 BLDG. 'C' 1st STORY DEDUCTED AREA FLOOR PLAN**  
DEDUCTED AREA = 5,674 SQ. FT. = DEFINITION OF FLOOR AREA PER 10.40.04.0.B



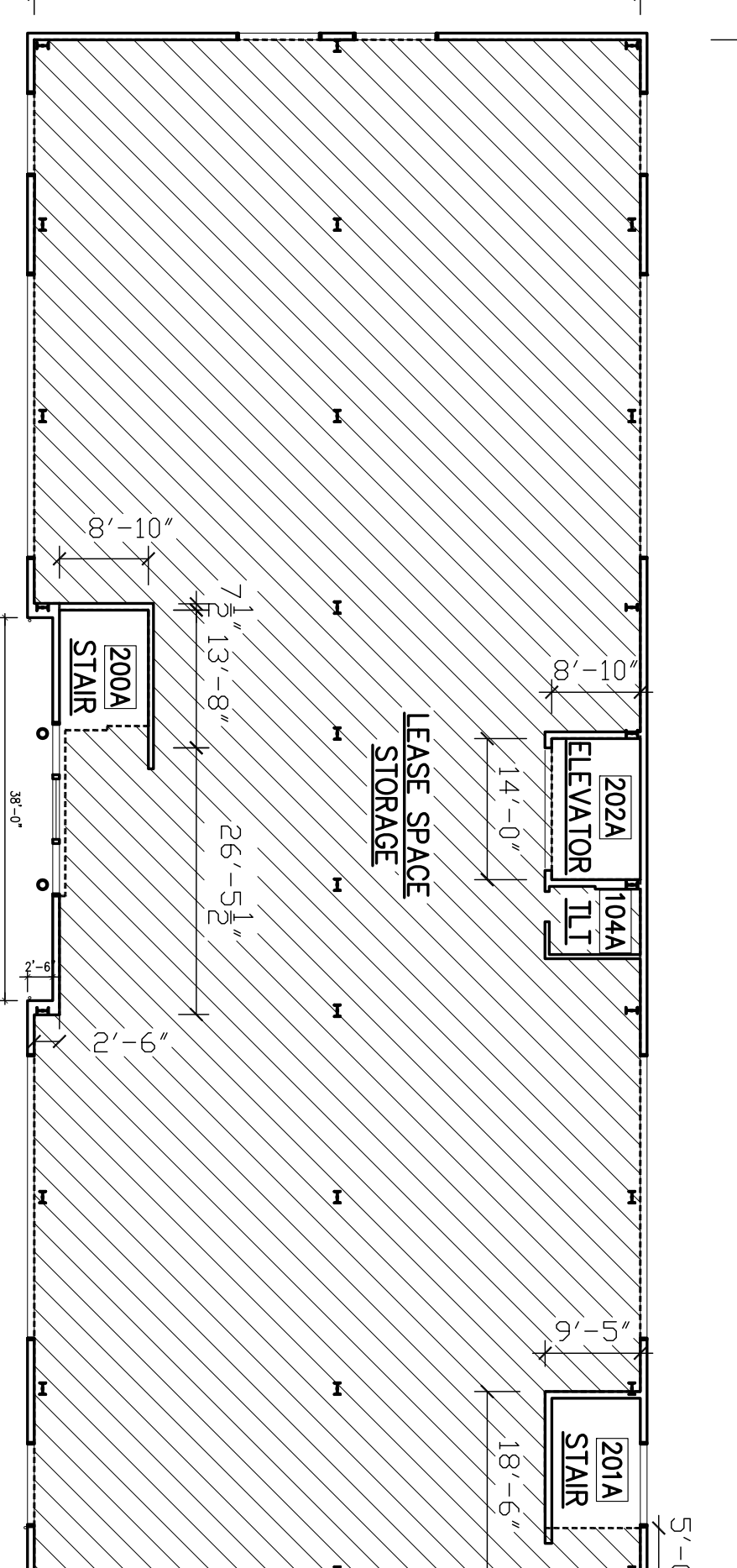
**C2 BLDG. 'C' 2nd STORY DEDUCTED AREA FLOOR PLAN**  
DEDUCTED AREA = 5,303 SQ. FT. = DEFINITION OF FLOOR AREA PER 10.40.04.0.B



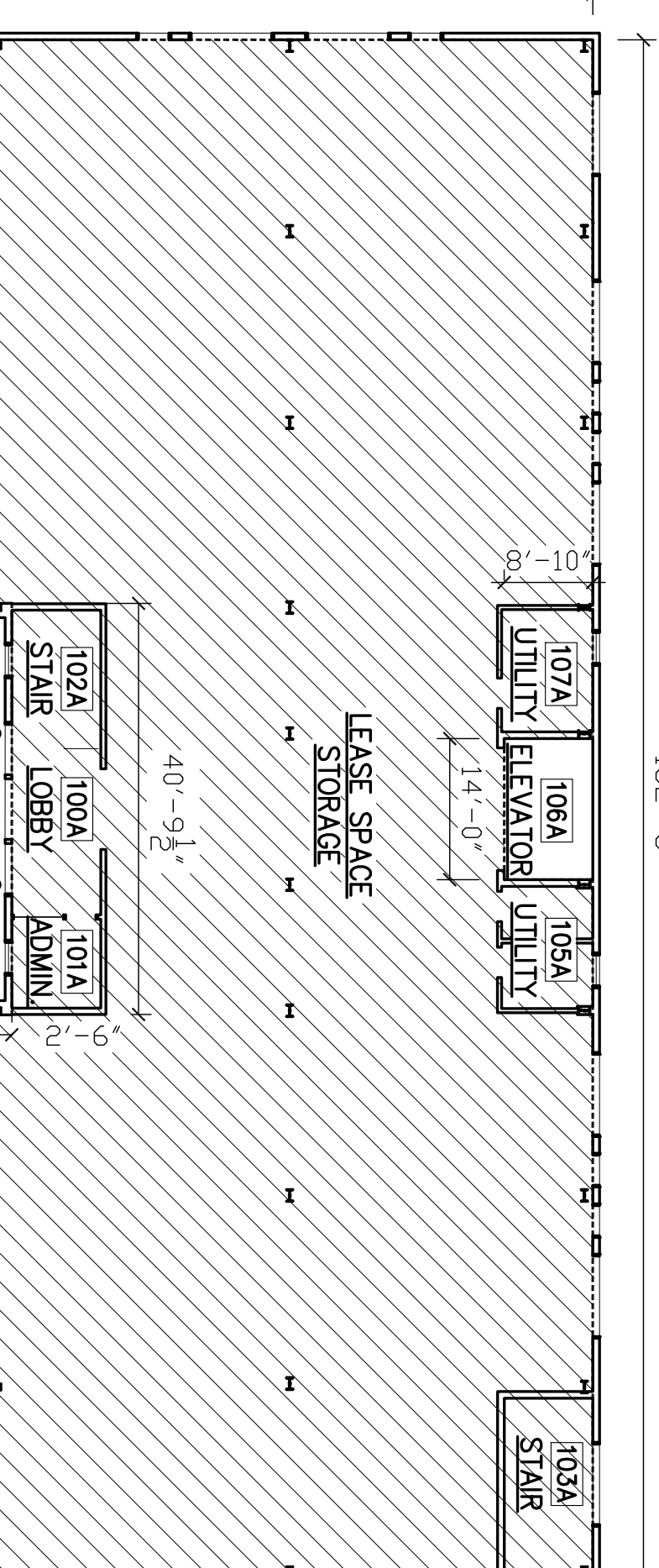
**B2 BLDG. 'B' 2nd STORY DEDUCTED AREA FLOOR PLAN**  
DEDUCTED AREA = 8,300 SQ. FT. = DEFINITION OF FLOOR AREA PER 10.40.04.0.B



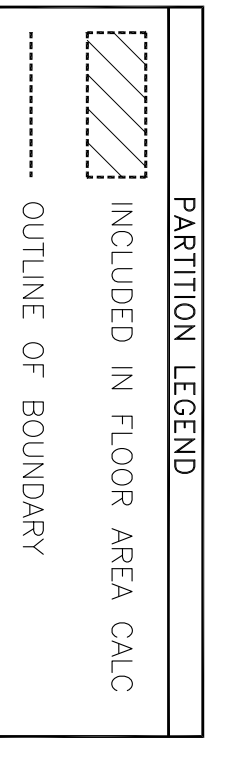
**B1 BLDG. 'B' 1st STORY FLOOR PLAN**  
DEDUCTED AREA = 8,670 SQ. FT. = DEFINITION OF FLOOR AREA PER 10.40.04.0.B



**A2 BLDG. 'A' 2nd STORY DEDUCTED AREA FLOOR PLAN**  
DEDUCTED AREA = 8,719 SQ. FT. = DEFINITION OF FLOOR AREA PER 10.40.04.0.B



**A1 BLDG. 'A' 1st STORY DEDUCTED AREA FLOOR PLAN**  
DEDUCTED AREA = 8,960 SQ. FT. = DEFINITION OF FLOOR AREA PER 10.40.04.0.B



10.40.04.0.B - MEASUREMENT OF FLOOR AREA. THE SUM OF THE GROSS HORIZONTAL SURFACES OF ALL ENCLOSED BUILDINGS AND ANY COVERED PATIO, BALCONY, DECK, FLOOR AREA SHALL BE MEASURED FROM THE INTERIOR FACES OF THE EXTERIOR WALLS AND SHALL EXCLUDE VENT, UTILITY AND ELEVATOR SHAFTS, INNER COURTS, AND SHALL INCLUDE ATTICS, CRAWL SPACES AND OTHER CONFINED SPACES WITH A CEILING HEIGHT GREATER THAN 5'-11" WHERE SUCH SPACE HAS A FINISHED FLOOR, CONTINUOUS STAIRCASES (E.G., STACKED) SHALL BE MEASURED AS FLOOR AREA ON ONE FLOOR ONLY.

DEDUCTED ELEMENTS:  
ELEVATOR 202A  
STAIR 200A  
STAIR 201A

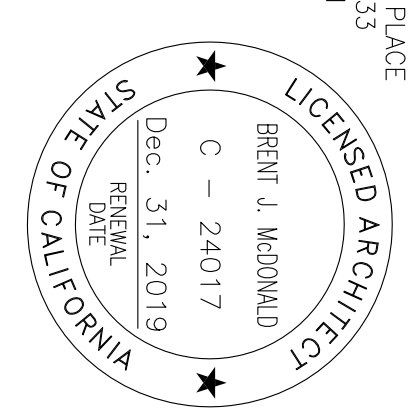
DEDUCTED ELEMENTS:  
ELEVATOR 106A

PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19
Project Number	Scale
201811	1/16" = 1'-0"
Drawn by	BM

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**BUILDING NET  
AREAS**

**A.26 (ALL BLDG'S)**

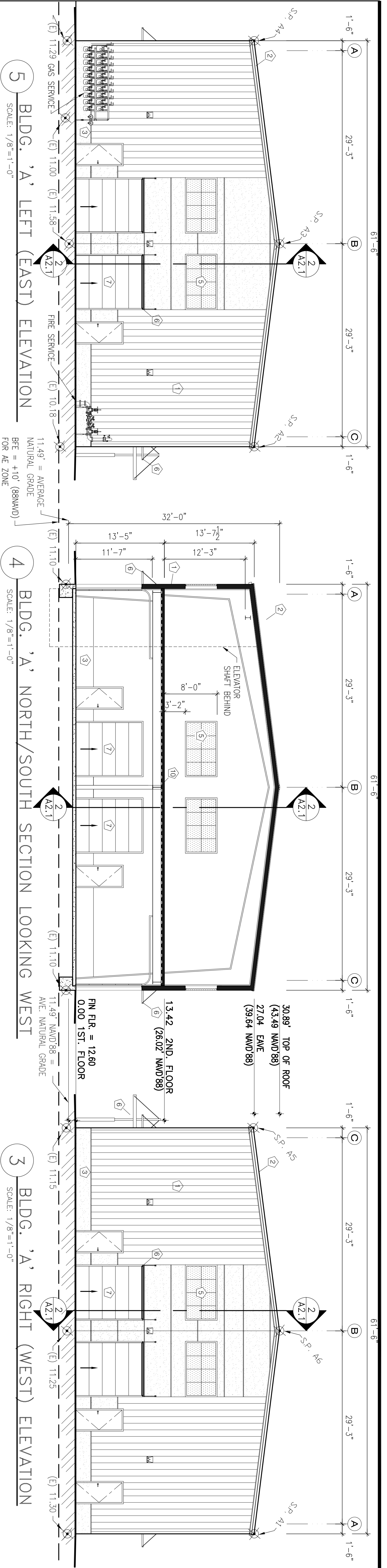


**LIBERTYSHIP II  
 PARTNERSHIP**

**70 - 74  
 LIBERTYSHIP WAY**

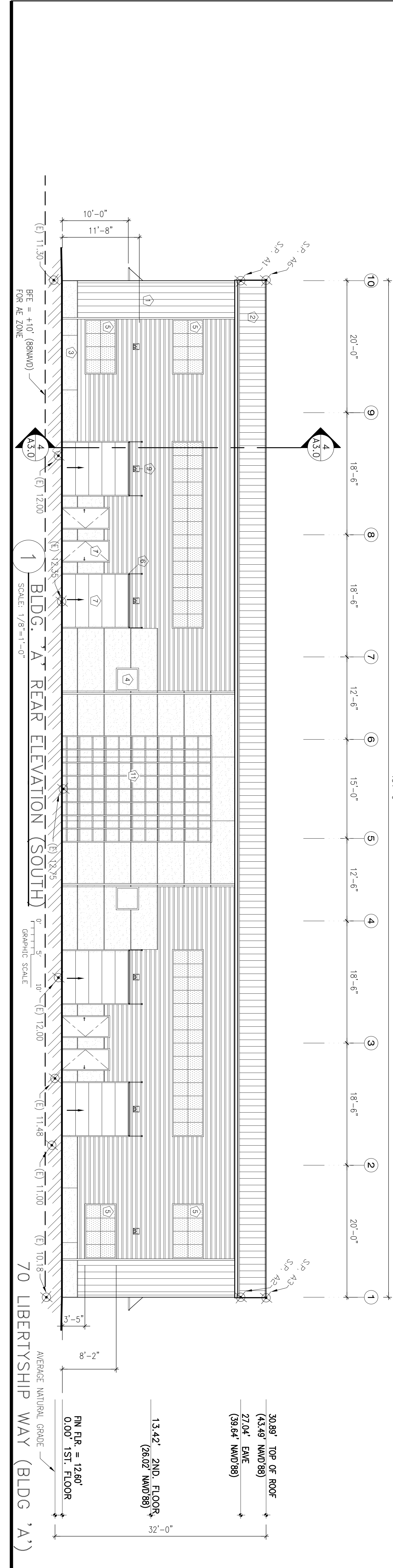
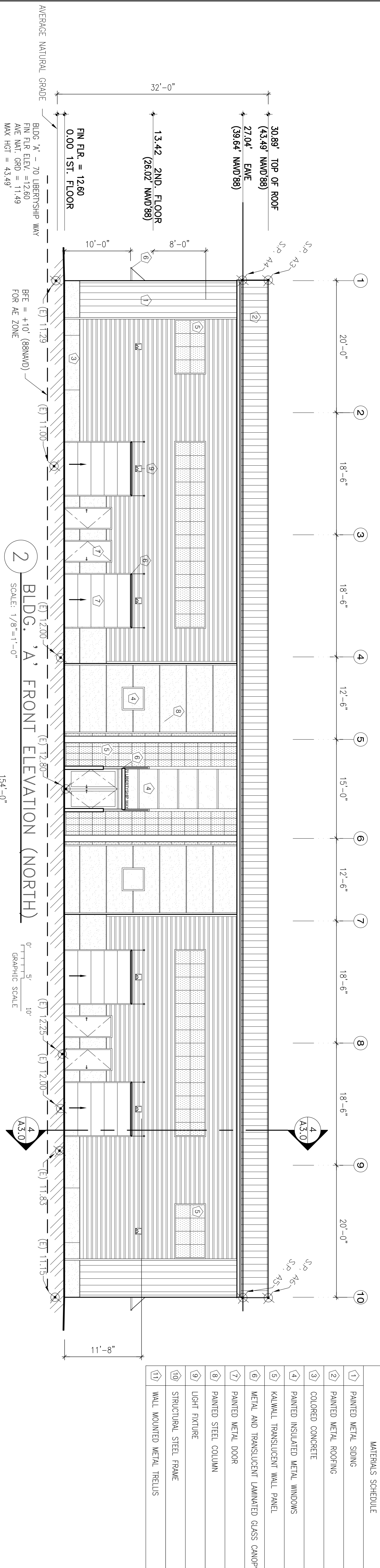
**SAUSALITO, CA**

APN: 063-080-06



**MATERIALS SCHEDULE**

1	PAINTED METAL SIDING
2	PAINTED METAL ROOFING
3	COLORLED CONCRETE
4	PAINTED INSULATED METAL WINDOWS
5	KAWALL TRANSLUCENT WALL PANEL
6	METAL AND TRANSLUCENT LAMINATED GLASS CANOPY
7	PAINTED METAL DOOR
8	PAINTED STEEL COLUMN
9	LIGHT FIXTURE
10	STRUCTURAL STEEL FRAME
11	WALL MOUNTED METAL TRELLIS



**PLNG/P/W RESPONSE** 09/20/18

**PLNG/P/W RESPONSE** 11/04/18

**S.M.F.D.** 11/12/18

**SAUSALITO DPW** 1/2/19

**PLNG RESPONSE** 8/01/19

**Project Number** Scale = 1"-0"

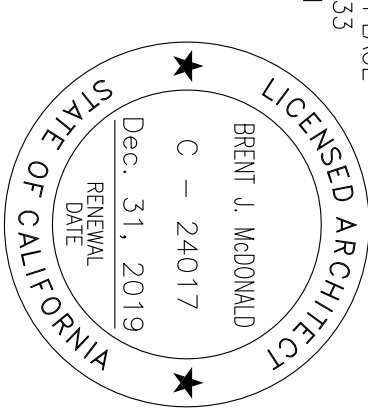
**Drawn by** 2015/11 1/8

**Drawn by** BAW

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**EXTERIOR  
 ELEVATIONS &  
 BLDG. SECTION  
 BLDG 'A'**

**A.3.0 (BLDG A)**

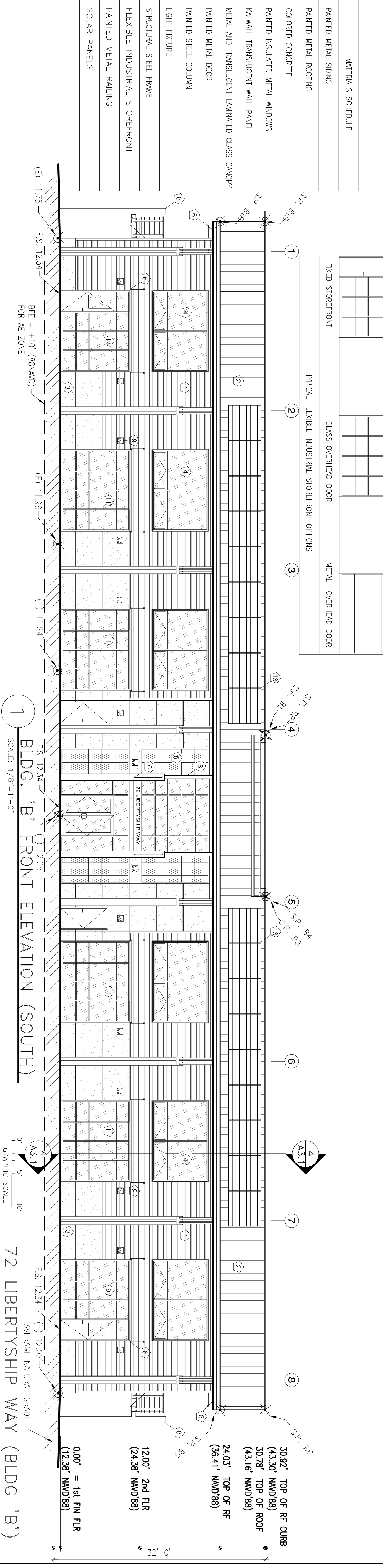
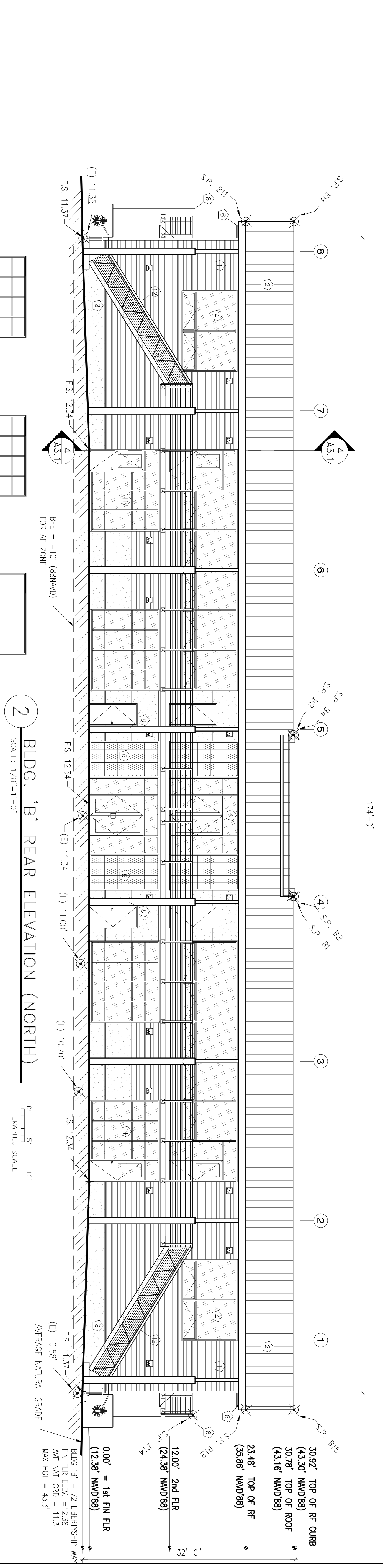
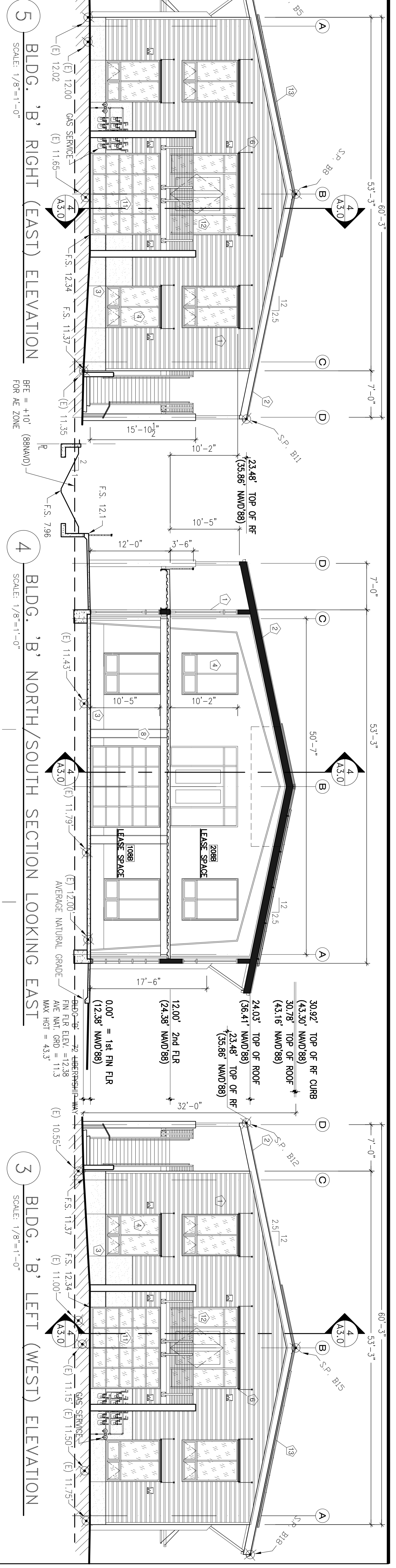


129 JASPER PLACE  
 S.F., CA 94133  
 415.562.7441

**LIBERTYSHIP II  
 PARTNERSHIP**

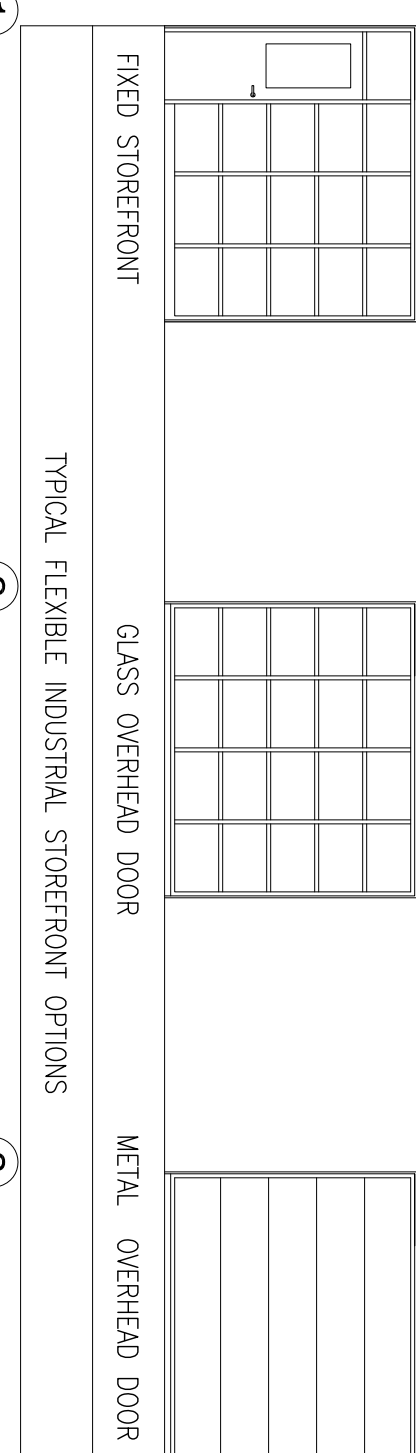
**70 - 74  
 LIBERTYSHIP WAY  
 SAUSALITO, CA**

APN: 063-080-06



**MATERIALS SCHEDULE**

1	PAINTED METAL SIDING
2	PAINTED METAL ROOFING
3	COLORED CONCRETE
4	PAINTED INSULATED METAL WINDOWS
5	KALWALL TRANSLUCENT WALL PANEL
6	METAL AND TRANSLUCENT LAMINATED GLASS CANOPY
7	PAINTED METAL DOOR
8	PAINTED STEEL COLUMN
9	LIGHT FIXTURE
10	STRUCTURAL STEEL FRAME
11	FLEXIBLE INDUSTRIAL STOREFRONT
12	PAINTED METAL RAILING
13	SOLAR PANELS

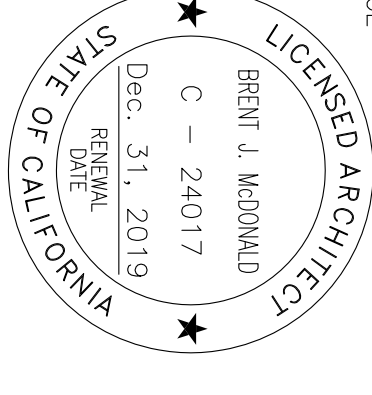


PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19
Project Number	201801
Scale	1/8" = 1'-0"
Drawn by	BJM

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**EXTERIOR  
 ELEVATIONS &  
 BLDG. SECTION  
 BLDG 'B'**

**A3.1 (BLDG B)**



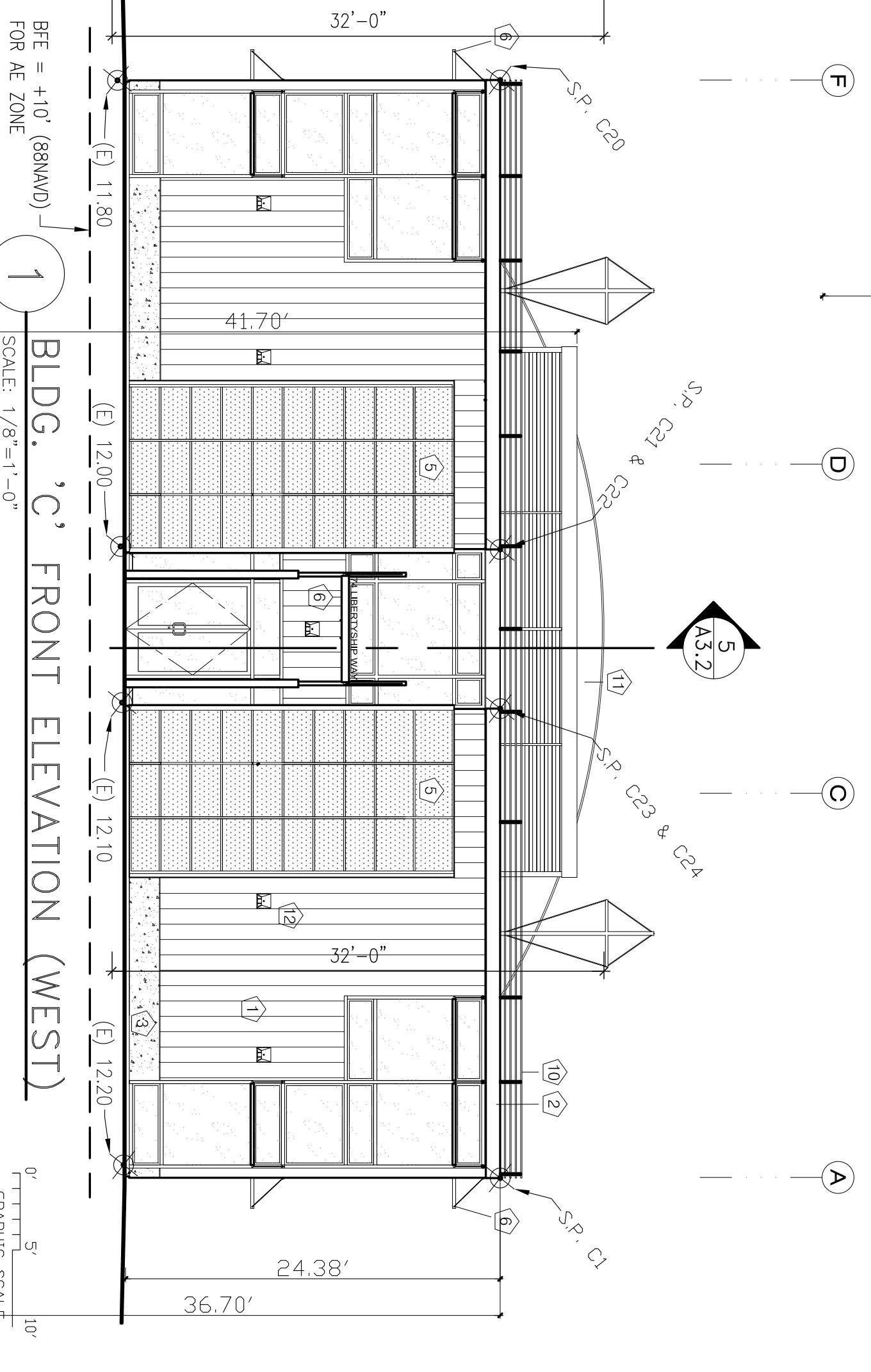
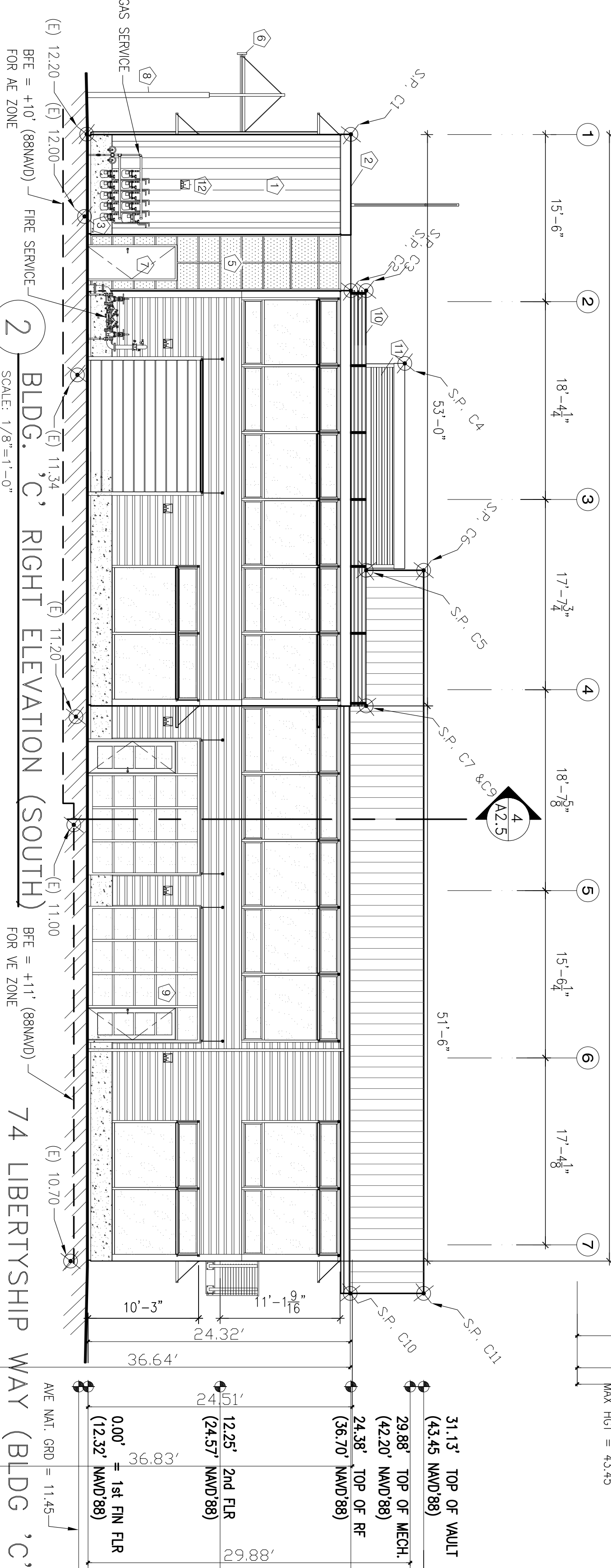
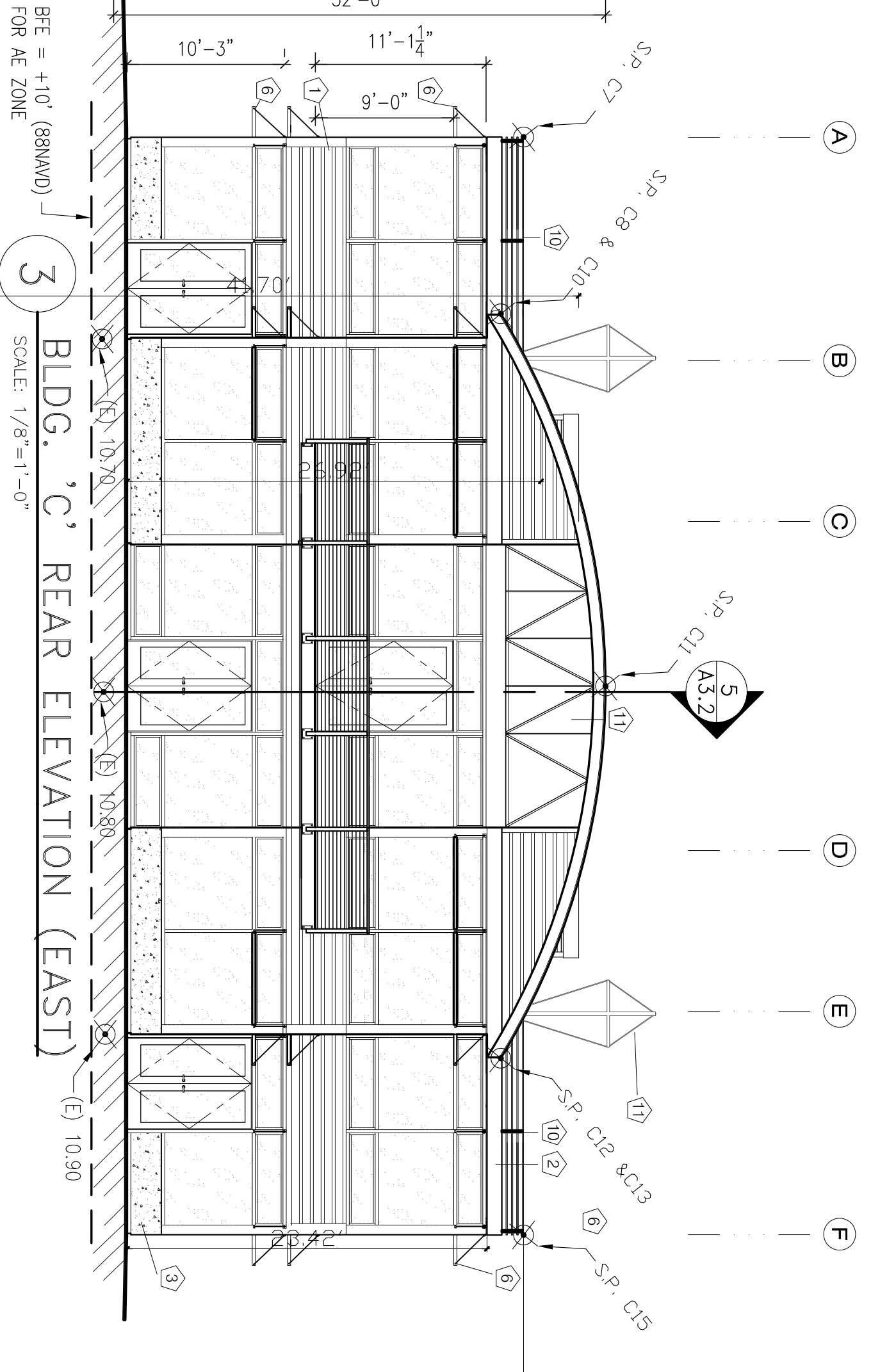
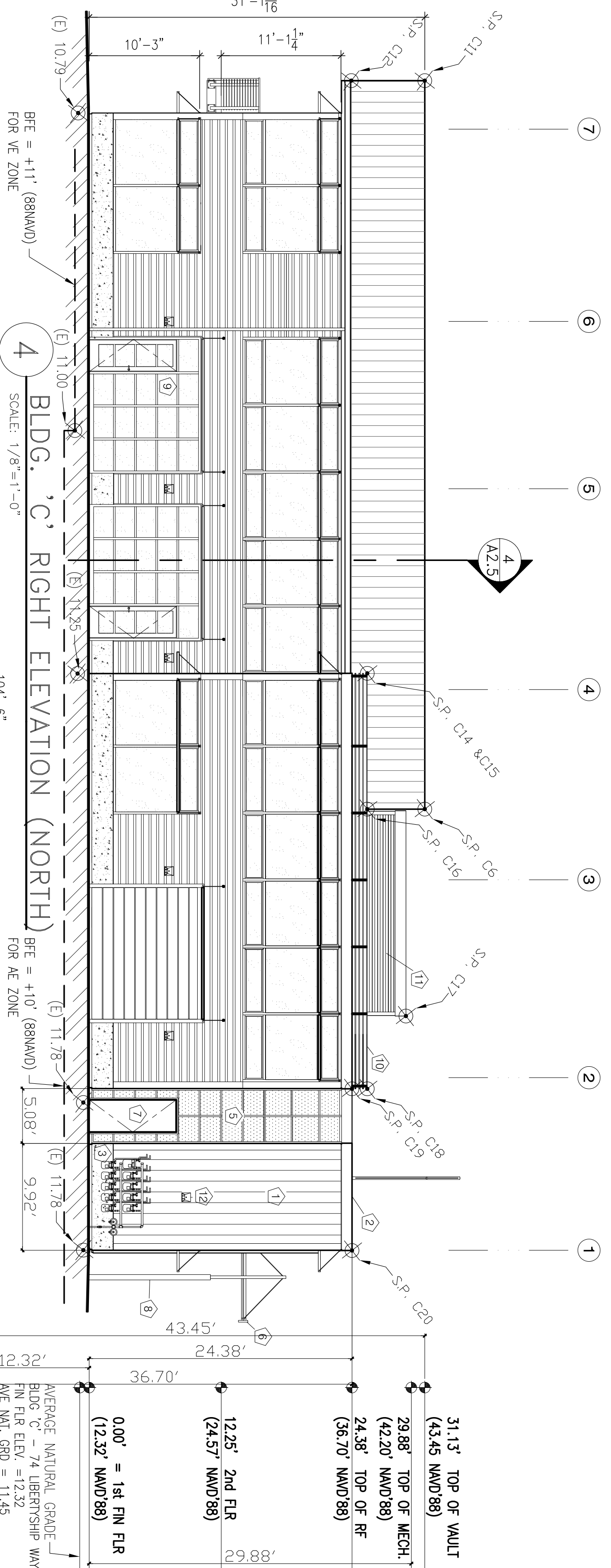
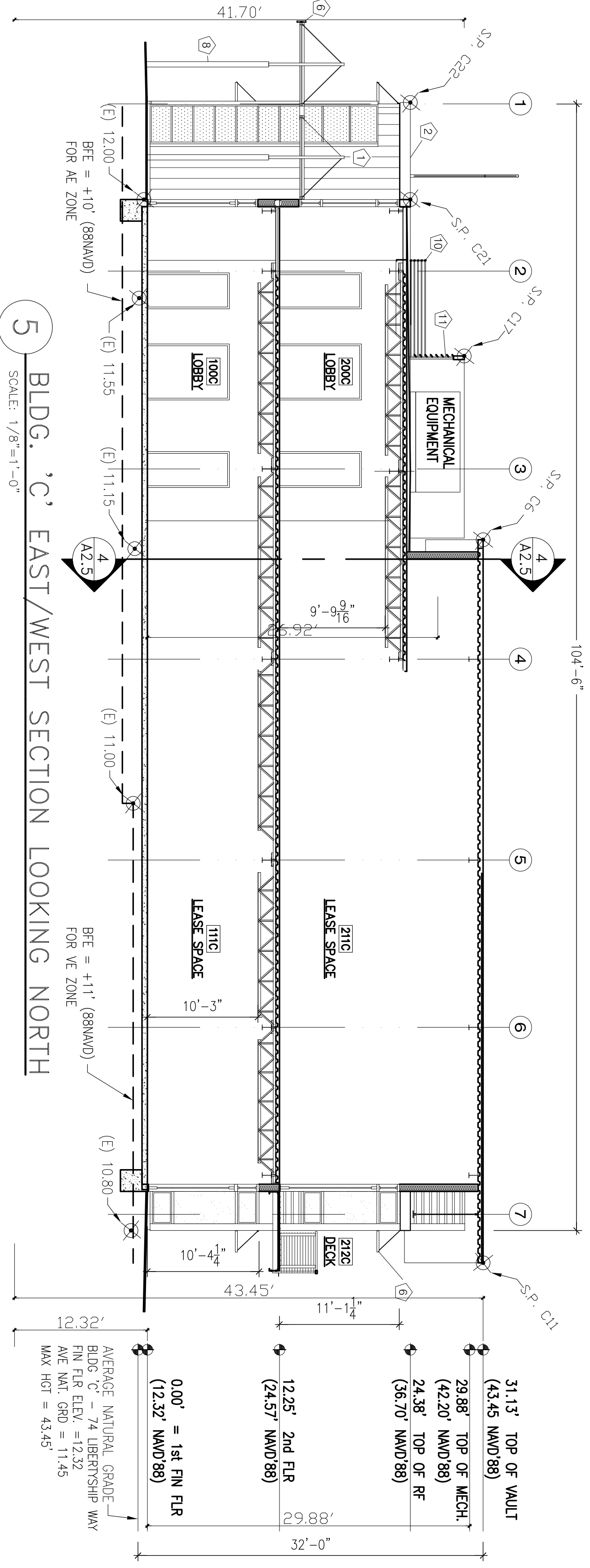
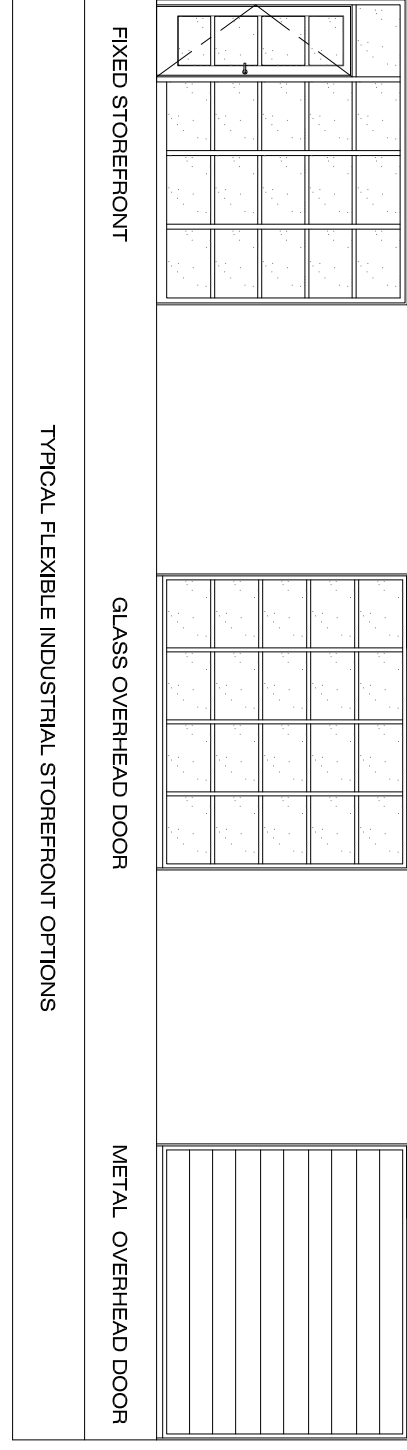
**LIBERTYSHIP II  
PARTNERSHIP**

**70 - 74  
LIBERTYSHIP WAY**

**SAUSALITO, CA**

APN: 063-080-06

MATERIALS SCHEDULE	
1	PAINTED METAL SIDING
2	PAINTED METAL FASCIA
3	COLORED CONCRETE
4	PAINTED INSULATED METAL WINDOWS
5	KALWALL TRANSLUCENT WALL PANEL
6	METAL AND TRANSLUCENT LAMINATED GLASS CANOPY
7	PAINTED METAL DOOR
8	PAINTED STEEL COLUMN
9	FLEXIBLE INDUSTRIAL STOREFRONT
10	PAINTED METAL RAILING
11	PAINTED LOWERED MECH ENCLOSURE
12	LIGHT FIXTURE



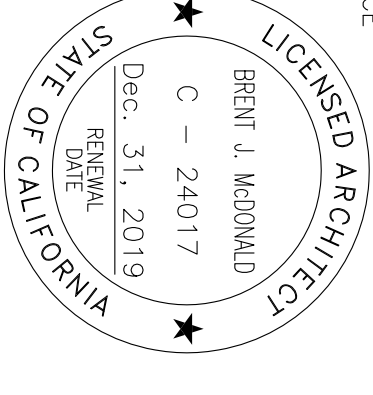
PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19

Project Number	2018/11	Scale	1"=10'
Drawn by	BAM	Date	1/8"=1'-0"
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**EXTERIOR  
ELEVATIONS &  
BLDG. SECTION  
BLDG 'C'**

**A.3.2 (BLDG C)**

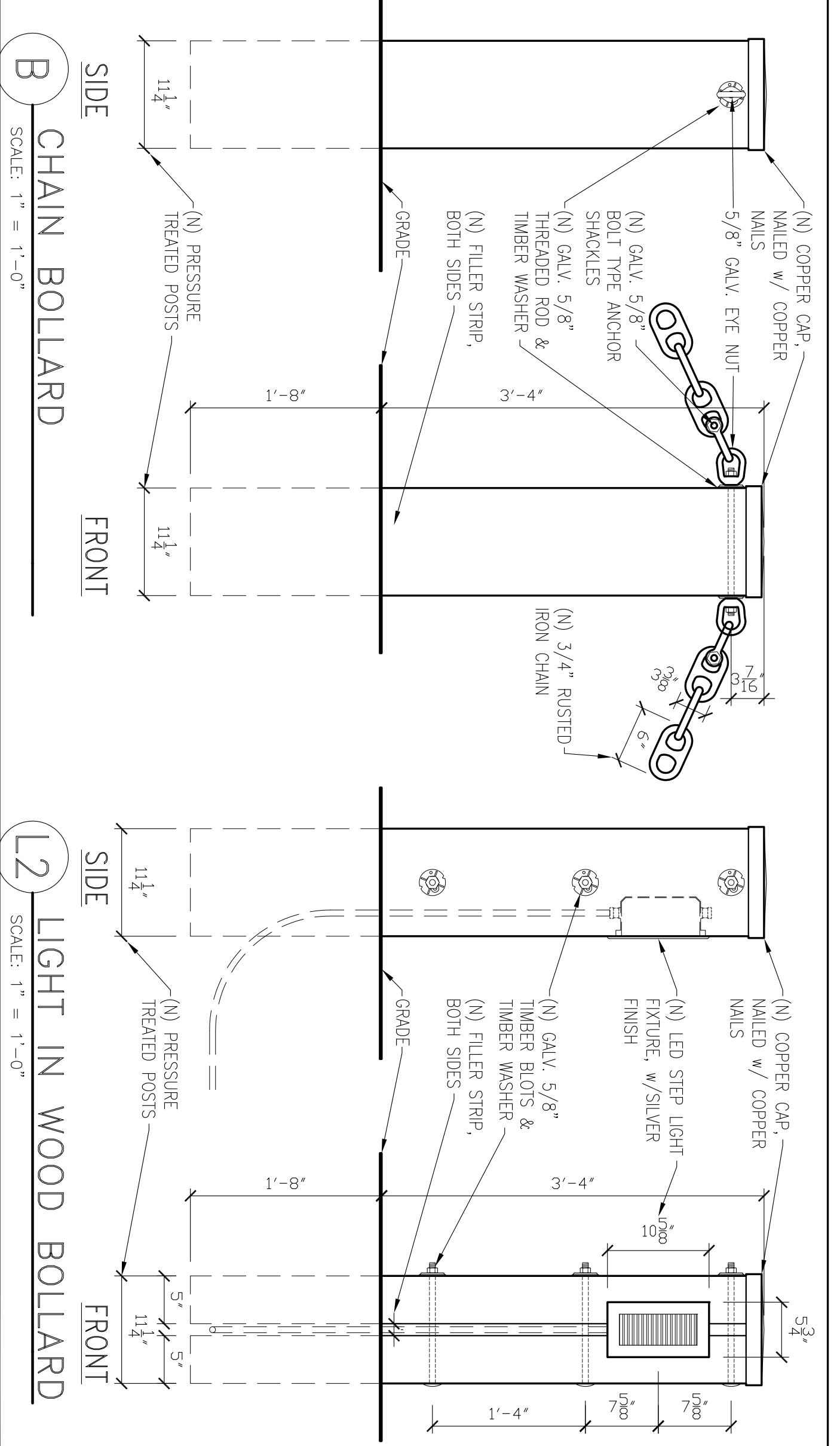
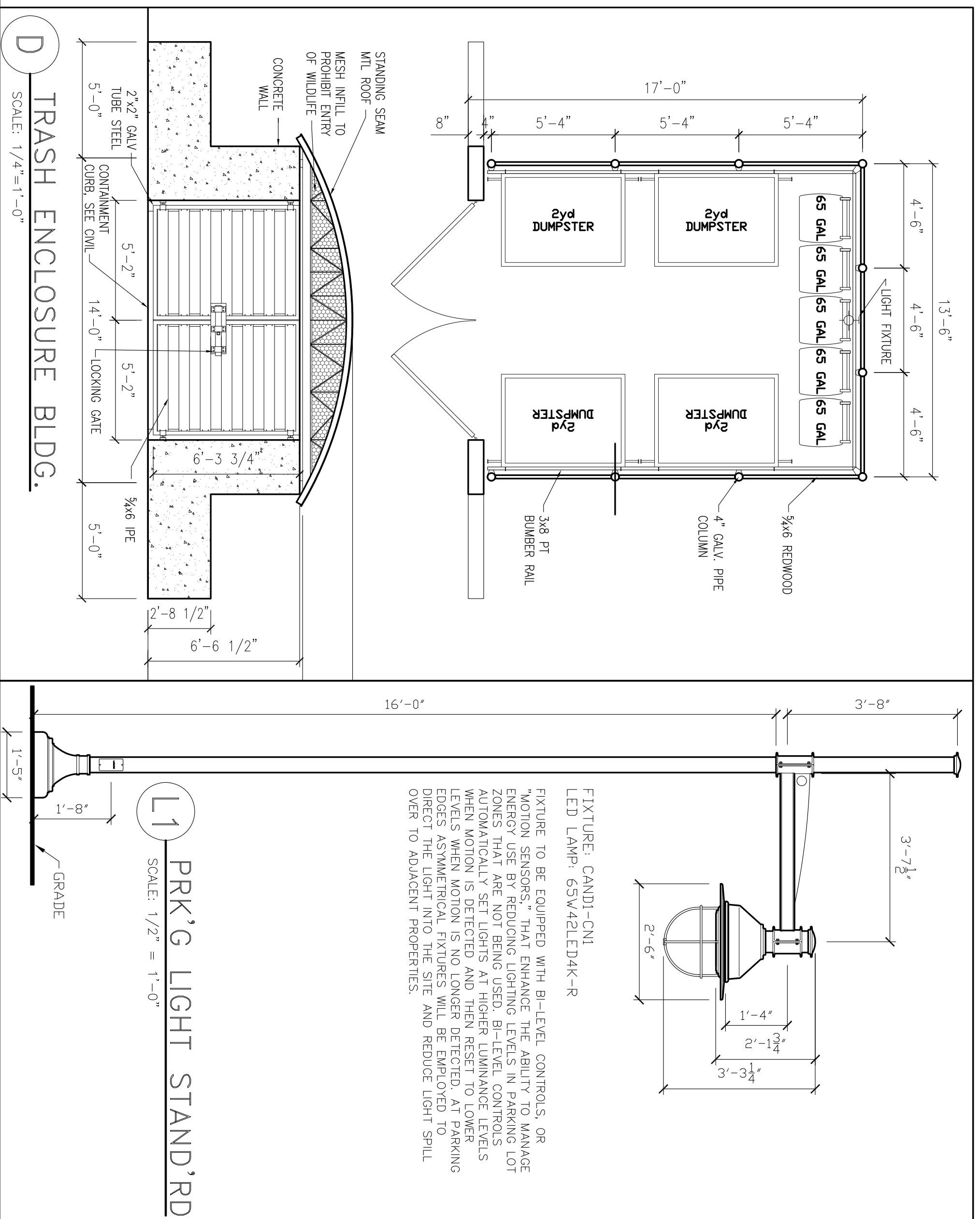




**LIBERTYSHIP II  
PARTNERSHIP**

**70 - 74  
LIBERTYSHIP WAY  
SAUSALITO, CA**

APN: 063-080-06



PLNG/P/W RESPONSE	09/20/18
PLNG/P/W RESPONSE	11/04/18
S.M.F.D.	11/12/18
SAUSALITO DPW	1/2/19
PLNG RESPONSE	8/01/19

Project Number	201811	Scale	AS NOTED
Drawn by	BAM		

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**ACCESSORIES**

**A.4.0**