

**SAUSALITO PLANNING  
COMMISSION RESOLUTION NO.  
2022-10**

**APPROVAL OF A DESIGN REVIEW PERMIT TO RENOVATE AND EXPAND AN EXISTING  
SINGLE-FAMILY STRUCTURE, LOCATED AT 11 BONITA STREET  
(APN 065-083-03)  
DR 2020-00075**

---

**WHEREAS**, an application has been filed by applicant Todd Osborn, requesting Planning Commission approval of a Design Review Permit to renovate and expand an existing single-family structure located at 11 Bonita Street (APN: 065-083-03) (the "Project"); and

**WHEREAS**, the project site is located within the Medium High Density land use designation of the General Plan and Two-Family Residential (R-2-2.5) zoning district; and

**WHEREAS**, the Historic Preservation Commission reviewed the Historic Resource Determination Information Packet (HRDIP) on August 19, 2021 and determined that the subject property does not satisfy any of the qualifying criteria for a historical resource; and

**WHEREAS**, the Planning Commission conducted a duly-noticed public hearing on April 20, 2022, at which time all interested persons were given an opportunity to be heard; and

**WHEREAS**, the Planning Commission has reviewed and considered the Project plans titled "11 Bonita Street", date-stamped May 24, 2021, and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed Project; and

**WHEREAS**, the Planning Commission finds that the proposed Project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Code as described in the staff report dated April 20, 2022; and

**WHEREAS**, the Project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines as it is the renovation of one, single-family residence, in a residential zone; and

**WHEREAS**, the Planning Commission finds that, as conditioned herein, the Project is consistent with the General Plan and complies with the requirements of the Zoning Code and Subdivision Regulations.

**NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:**

1. The Project is categorically exempt from CEQA pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines.
2. The Design Review Permit for the Project is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as

shown in the project plans titled "11 Bonita Street", date-stamped May 24, 2021 (Attachment 3).

**RESOLUTION PASSED AND ADOPTED**, at the regular meeting of the Sausalito Planning Commission on the 20<sup>th</sup> day of April, 2022, by the following vote:

AYES:           Commissioner:  
NOES:           Commissioner:  
ABSENT:        Commissioner:  
ABSTAIN:       Commissioner:



---

Daniel Hortert  
Secretary to the Planning Commission

Exhibits

- 1       Sausalito Municipal Code Findings
- 2       Conditions of Approval
- 3       Project Plans, date stamped May 24, 2021

**SAUSALITO PLANNING COMMISSION NO. 2022-10**  
**APRIL 20, 2022**  
**11 BONITA STREET**  
**DR 2020-00075**

**EXHIBIT A**  
**FINDINGS FOR APPROVAL OF A**  
**DESIGN REVIEW PERMIT**

**1. DESIGN REVIEW PERMIT FINDINGS**

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

1. The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

*Comment: As the Project includes only the addition of a one-level, 360 square foot addition to the rear of a single-family structure and the enclosure of a 25 square foot front porch, the proposed Project would be consistent with the intent of the General Plan by maintaining the density of the parcel and neighborhood and would be consistent with the general scale of nearby structures and surrounding parcels.*

2. The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

*Comment: The area includes a variety of architectural styles, including modern, traditional, and coastal, with a variety of materials, including stucco, wood shingle siding, and horizontal siding as well as a variety of roof styles, including ridged and flat. The proposed addition on the project site would maintain the prevailing design character of the neighborhood by utilizing materials that are consistent with surrounding structures*

3. The proposed project's use is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

*Comment: The existing single-family structure is approximately 25 feet in height and the proposed Project is a minor addition to the single-family residence and would be a maximum of 12 feet in height at the rear of the structure. The block contains structures ranging from one level to four levels. The design and scale of addition is consistent with the size and general scale of surrounding structures. The proposed Project is consistent with the neighborhood.*

4. The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

*Comment The Project would be located at the rear of an existing 25-foot tall, single-family structure and be a maximum of 12 feet in height, therefore, the addition would be minimally visible from the street and no views would be impacted.*

5. The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

*Comment: The subject parcel is not located along a ridgeline and thus the Project will not result in a prominent building profile above a ridgeline; further, the addition would be located at the rear of the existing residence and minimally visible from the street.*

6. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

*Comment: Existing landscaping located around the 360 square-foot addition would remain.*

7. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

*Comment: The proposed addition would reduce the rear yard setback from approximately 50 feet to 35 feet, therefore, the majority of the open space at the rear of the lot would remain, providing light and air for the project site and adjacent properties.*

8. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.

*Comment: The Project does not include the addition of exterior mechanical equipment and exterior lighting would be appropriately designed and located for a residential area.*

9. The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck, and patio configurations.

*Comment: The location of proposed windows on the north wall addition include windows located close to the top of the wall, therefore the design minimizes windows and doors that would have potential privacy impacts to or from neighboring properties.*

10. Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

*Comment: No impacts from traffic or other circulation are expected because the Project would comply with maximum allowable zoning and density requirements and the Project includes one, on-site parking space for the existing use.*

11. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

*Comment: The proposed Project is consistent with this finding because there are no significant natural features on the and no protected trees would be removed.*

12. The project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings).

*Comment: The Project would result in a FAR of 0.46 where 0.65 FAR is allowed, which would not exceed 80 percent of the maximum allowed FAR. The total square footage of the proposed renovation and would be 1,835 feet. With a proposed FAR coverage of 0.46, neither the maximum site coverage of 0.50 is exceeded nor does the Project exceed the 80 percent threshold to require heightened review. Therefore heightened review does not apply to this Project..*

13. The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include, but are not limited to, stepping upper levels back from the first level, incorporating façade articulations and divisions (such as building wall off-set), and using varying rooflines.

*Comment: The Project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties by meeting density, height, and FAR requirements. The addition would be a maximum of 12 feet in height, approximately half the height of the original structure, and maintain required setbacks.*

**SAUSALITO RESOLUTION NO. 2022-10  
APRIL 20, 2022  
11 BONITA STREET  
DR 2020-00075**

**EXHIBIT B: CONDITIONS OF APPROVAL**

These conditions apply to the project plans prepared by entitled “11 Bonita Street” and date-stamped May 24, 2021.

**COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION CONDITIONS OF APPROVAL:**

**General Items:**

1. It shall be the applicant's/property owner's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit/entitlement. This shall include establishing the approved use within the time limits set forth by the applicable chapter(reference SMC 10.50.120).
2. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
3. Exterior lighting shall be shielded and downward facing.
4. The Applicant/Property Owners shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City), and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project.
5. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
6. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 9%) shall be paid.
7. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit. This shall include establishing the approved use/implementing the permit within the time limits set forth by the applicable chapter.
8. The Design Review Permit shall expire two years following the effective date of the permit if the Project entitlement has not been implemented, provided no extension has been filed prior to the expiration date. The Project entitlement pursuant to the Design Review Permit

is determined to be implemented if the applicable Conditions of Approval prerequisite to construction have been satisfied and any required construction permits have been issued.

9. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code Section 12.16.130 (Machinery, equipment, fans, and air conditioning).
10. At the time of building permit application, the applicant shall file a reasonable estimate of the value of the Project, and based thereon, a construction time limit shall be established for the Project in accordance with the criteria set forth in SMC Section 10.54.100. The following conditions apply:
  - a) The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the Project such documentation may include without limitation an executed construction contract.
  - b) The time for completion of the construction shall also be indicated on the construction permit.
  - c) For projects exceeding \$500,000 in project valuation, a detailed GANTT chart (or other graphic display acceptable to the Community Development Director) depicting the sequence of steps necessary for completion of the project, including detailed information on the critical path of the project, duration of critical tasks, and predicted inspection dates, shall be submitted prior to the issuance of any construction permit.
  - d) Once approved, the property owner shall provide the City with written quarterly job progress reports consistent with the approved chart.

**DEPARTMENT OF PUBLIC WORKS CONDITIONS OF APPROVAL:**

Prior to the issuance of a Building Permit the applicant shall address the following:

**Grading and Drainage**

11. The applicant shall obtain a grading permit from the Department of Public Works prior to performing any demolition or grading at the site.
12. The applicant shall install all erosion control measures prior to any demolition and grading occurring at the site.

**General**

13. Under, Section 18.12.100 and 18.12.110 of the Sausalito Municipal Code when there is a property sale / or proposed construction project of \$50,000 or more the sewer lateral of any building in the City of Sausalito must be inspected by closed circuit televising from the building to its final termination point at the publicly maintained sanitary sewer system.
14. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
15. The applicant shall indemnify the City for any and all costs, including without limitation

attorneys' fees, in defending this Project or any portion of this Project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

16. Frontage Improvements plans shall be prepared by a registered Civil Engineer and subject to the review by the City Engineer or designee.
17. Prior to issuance of a Certificate of Occupancy, applicant shall repair or replace, at no expense to the City, damage to public facilities that results from applicant's construction activities.
18. Applicant is advised that applicant's contractor shall save and protect all existing facilities not designated for removal or modification within the public right-of-way.

### **SOUTHERN MARIN FIRE PROTECTION DISTRICT**

19. Fire is required to perform a formal review during the building permit submittal review.
20. WUI Requirements: This property is located within the Wildland Urban Interface (WUI) and shall be noted on the title sheet of the plans. The materials used in construction on the exterior of the structure shall comply with building standards in Chapter 7A of the California Building Code and/or section 337 of the California Residential Code.
21. Fire sprinkler system required in: The current scope of work appears to be less than 50% of the existing structure, and fire sprinklers are not required. However, if further plan review, change in scope of work, or site visit reveals that the work is in excess of 50% of the existing structure, then the requirement for fire sprinklers will be re-evaluated, and sprinklers may be required as noted below.
22. A fire sprinkler system shall be provided for:
  - a. If the combination of the addition, alteration or remodeling exceeds 50% of the floor area of the existing structure, the project is considered a "substantial remodel" \*\* (see end for definition)
  - b. Existing Buildings. In any building with an existing automatic sprinkler system, protection shall be extended to any all of alteration, repair, remodel or addition, regardless of job size so that 100% coverage is maintained.
  - c. In any building found to have OMEGA sprinkler heads identified as part of the U.S. Consumer Products Safety Commission recall, all sprinkler heads subject to this recall shall be replaced with listed and approved heads.
23. Fire sprinkler coverage shall be provided through the entire structure according to Chapter 9 of the California Fire Code. Fire sprinkler system shall be installed according to NFPA 13D and Southern Marin Fire Standard 401. Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District, Fire Prevention Bureau for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District Standard 401 and N.F.P.A. Standard(s) 13, 13D or 13R.
24. A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).



25. The property owner shall comply with California Fire Code Section 304.1.2 and Local Ordinance Section 109.3.2 Abatement of Clearance of Flammable Brush or Flammable Vegetative Growth from Structures.
  - a. A minimum clearance of 30 feet from the structure or to the property line, 10 feet from roads and property lines and any tree which extends within 10 feet of any chimney or stovepipe shall be kept clear of flammable brush, tree limbs and grasses.
  - b. A list of flammable (pyrophytic) plants and non-flammable (fire resistive) plants can be found on the University of California Cooperative Extension: Pyrophytic vs. Fire Resistive Plants list. This is available at [firesafemarin.org](http://firesafemarin.org)
  - c. Exception: Vegetation Management Plan for the property has been submitted and approved by the Fire Code Official.
26. The applicant shall comply with California Fire Code and Public Resource Code 4291 requirements relating to the clearance of flammable brush and weeds. A minimum clearance of 30' from structures and 10' from roads and property lines shall be maintained.
27. Final occupancy approval shall not be granted/released until authorization to the Community Development Agency has been received from the Fire District.

**Advisory Notes**

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

28. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
29. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.
30. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
31. Encroachment permit, grading permit, third party review fees (cost plus 10%) fees shall be paid.
32. Grading/drainage permit(s), if necessary shall, be obtained from the Department Public Works for earthwork of 50 cubic yards or more.
33. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any Building Permits, unless the requirement is waived pursuant to Section 8.54.050.
34. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.

35. Pursuant to Sausalito Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500-foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.

Saturdays – Between 9:00 a.m. and 5:00 p.m.


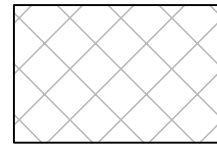
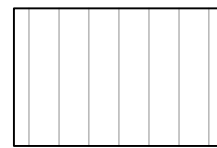
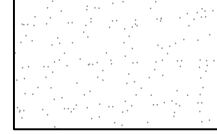
Sundays – Prohibited City holidays (not including Sundays) – Prohibited.

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

**SAUSALITO PLANNING COMMISSION NO. 2022-10  
APRIL 20, 2022  
11 BONITA STREET  
DR 2020-00075**

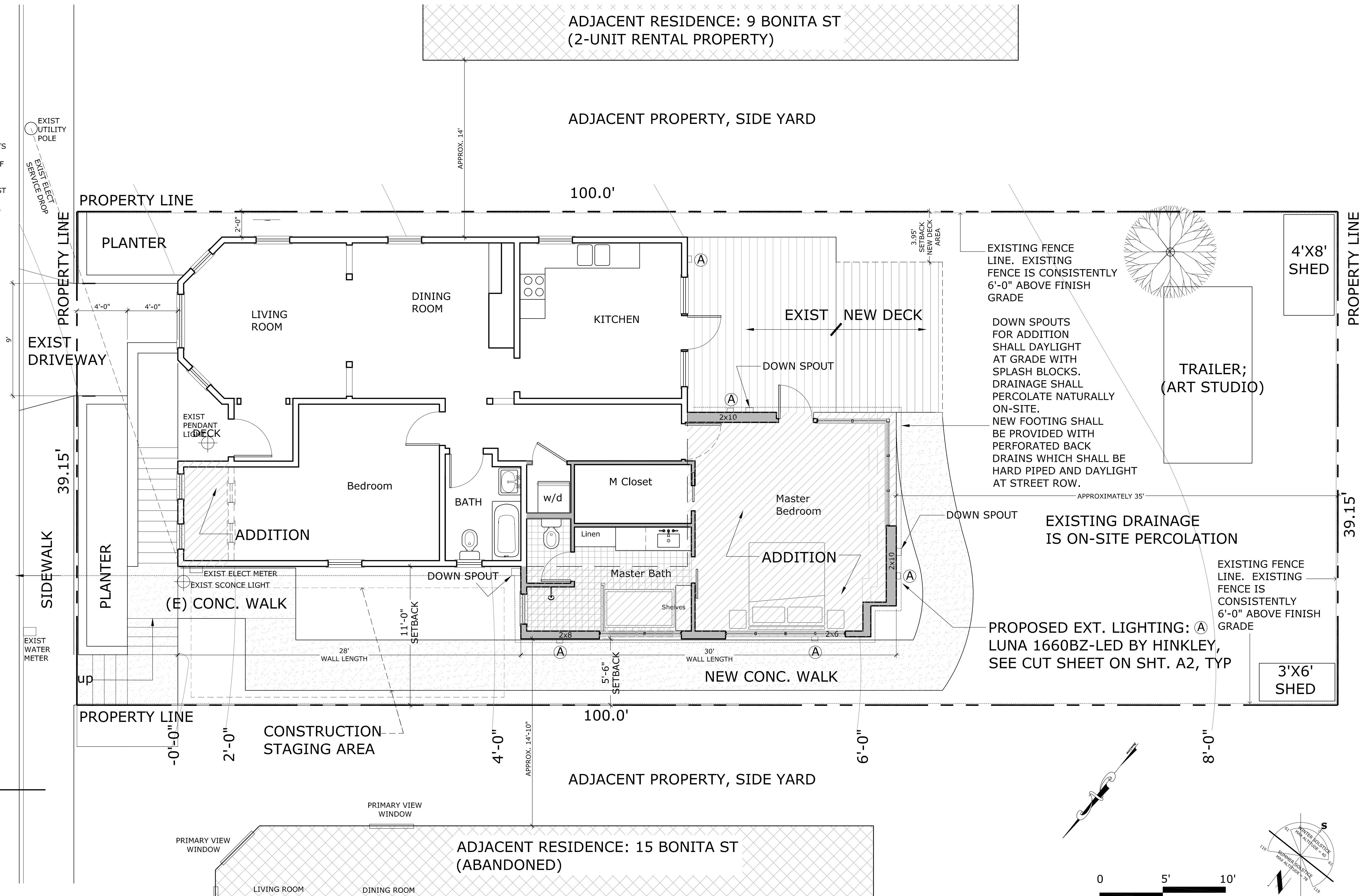
**EXHIBIT C: PROJECT PLANS**

**LEGEND**

-  ADDITION TO EXISTING RESIDENCE
-  EXISTING NEIGHBORING RESIDENCE
-  DECK; NEW OR EXISTING
-  CONCRETE PAVING

NOTE: EXISTING FIRE HYDRANTS ARE LOCATED ON CORNER OF BONITA ST & JOHNSON ST AND BONITA ST & PINE ST, EACH APPROX. 100' FROM SUBJECT PROPERTY

**BONITA STREET**



**4 VICINITY MAP**



**PROJECT LOCATION**

**1 PROPOSED SITE PLAN - FIRST FLOOR PLAN**

**3 BUILDING DATA**


APN	065-083-03
LOT AREA:	3,915 SQ.FT.
ZONING:	R 2 2.5
<b>MAXIMUM FLOOR AREA: (.59)</b>	<b>2,310 sq ft</b>
EXISTING FLOOR AREA:	1,450 sq ft
(includes Upper and Lower Floor where heights are 6'-0" or greater)	
EXISTING GARAGE AREA:	200 sq ft
PROPOSED NEW FLOOR AREA:	385 sq ft
TOTAL PROPOSED FLOOR AREA:	1,835 sq ft

<b>MAXIMUM BUILDING COVERAGE: (.45)</b>	<b>1,761 sq ft</b>	<b>SETBACKS PER ZONING</b>
EXISTING SITE COVERAGE:	1,000 sq ft	FRONT: 0 feet
PROPOSED SITE COVERAGE:	1,350 sq ft	SIDE: 5 feet
		REAR: 15 feet
<b>MAXIMUM IMPERVIOUS AREA: (.73)</b>	<b>2,857 sq ft</b>	<b>SETBACKS EXISTING</b>
EXISTING IMPERVIOUS AREA:	1,800 sq ft	FRONT: 0 feet
PROPOSED IMPERVIOUS AREA:	2,418 sq ft	SIDE: 2 feet & 11 feet
		REAR: 57 feet
		<b>SETBACKS PROPOSED</b>
		FRONT: 0 feet
		SIDE: 2 feet & 5'-6"
		REAR: 35 feet

**2 LIST OF SHEETS**

A1	PROJECT DATA & PROPOSED SITE PLAN
A2	PROPOSED FLOOR PLANS
A3	PROPOSED & EXISTING EXTERIOR ELEVATIONS
A4	PROPOSED & EXISTING EXTERIOR ELEVATIONS
A5	EXISTING/DEMO SITE / FLOOR PLANS
A6	PROPOSED & EXISTING SITE PLAN & STORY POLE PLAN
S1	SECTION DRAWING

This document is the sole property of the Architect, and is not to be used or reproduced without written consent.

ROBERT W. HAYES, ARCHITECT  
SAUSALITO, CA 94965  
 (415)-332-0999

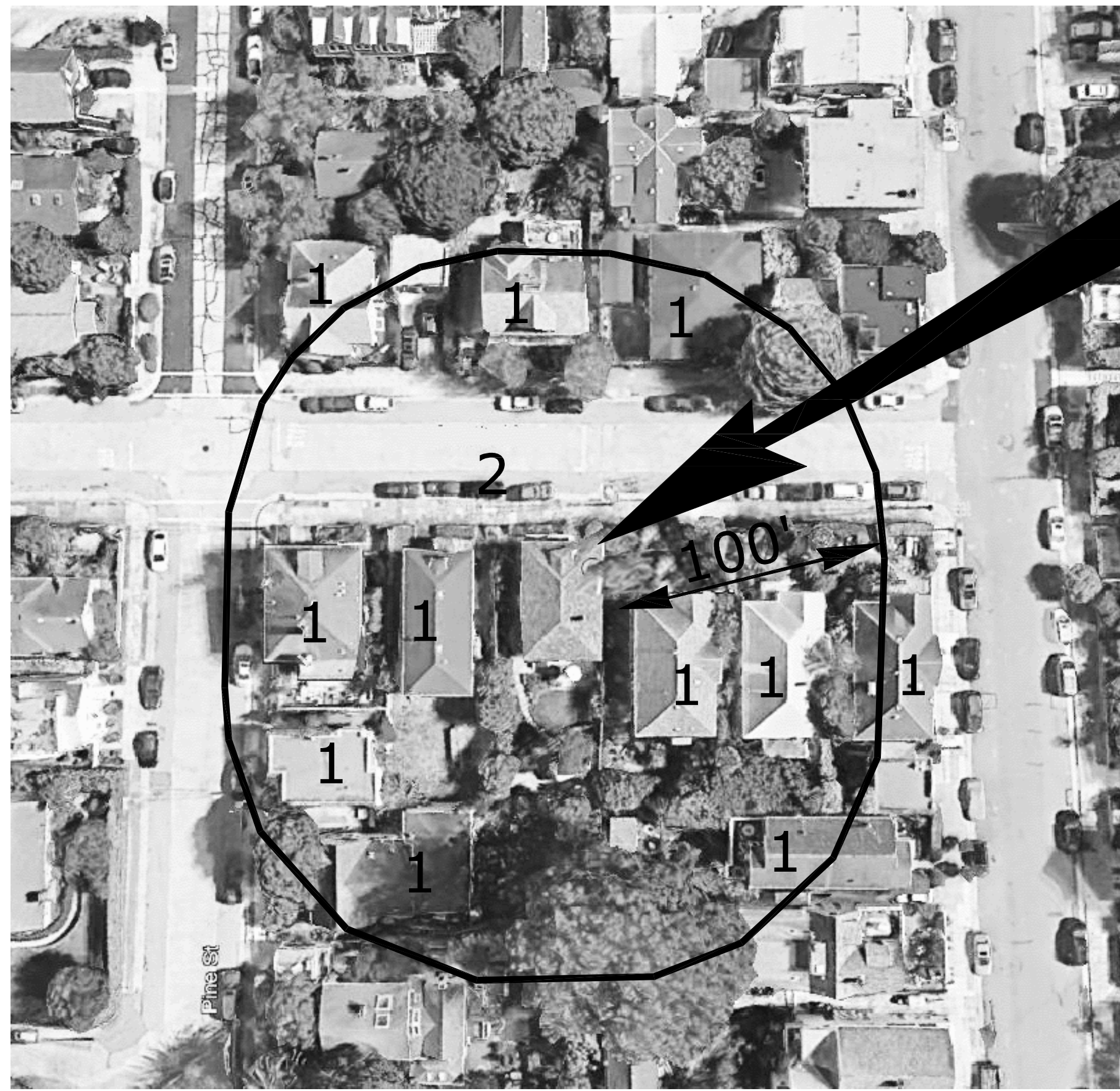
OWNER:  
Todd Osborn  
11 Bonita Ave.  
Sausalito California 94965

PROJECT:  
Osborn Residence Renovation  
11 Bonita Ave.  
Sausalito California 94965  
AP # 065-083-03

SHEET TITLE:  
PROPOSED SITE PLAN & PROJECT DATA

JOB NO. 14-29  
SCALE AS NOTED  
DATE SEPT 24, 2020  
PLANNING SUBMISSION #1  
APRIL 30, 2021  
PLANNING SUBMISSION #2  
MAY 24, 2021  
PLANNING SUBMISSION #3

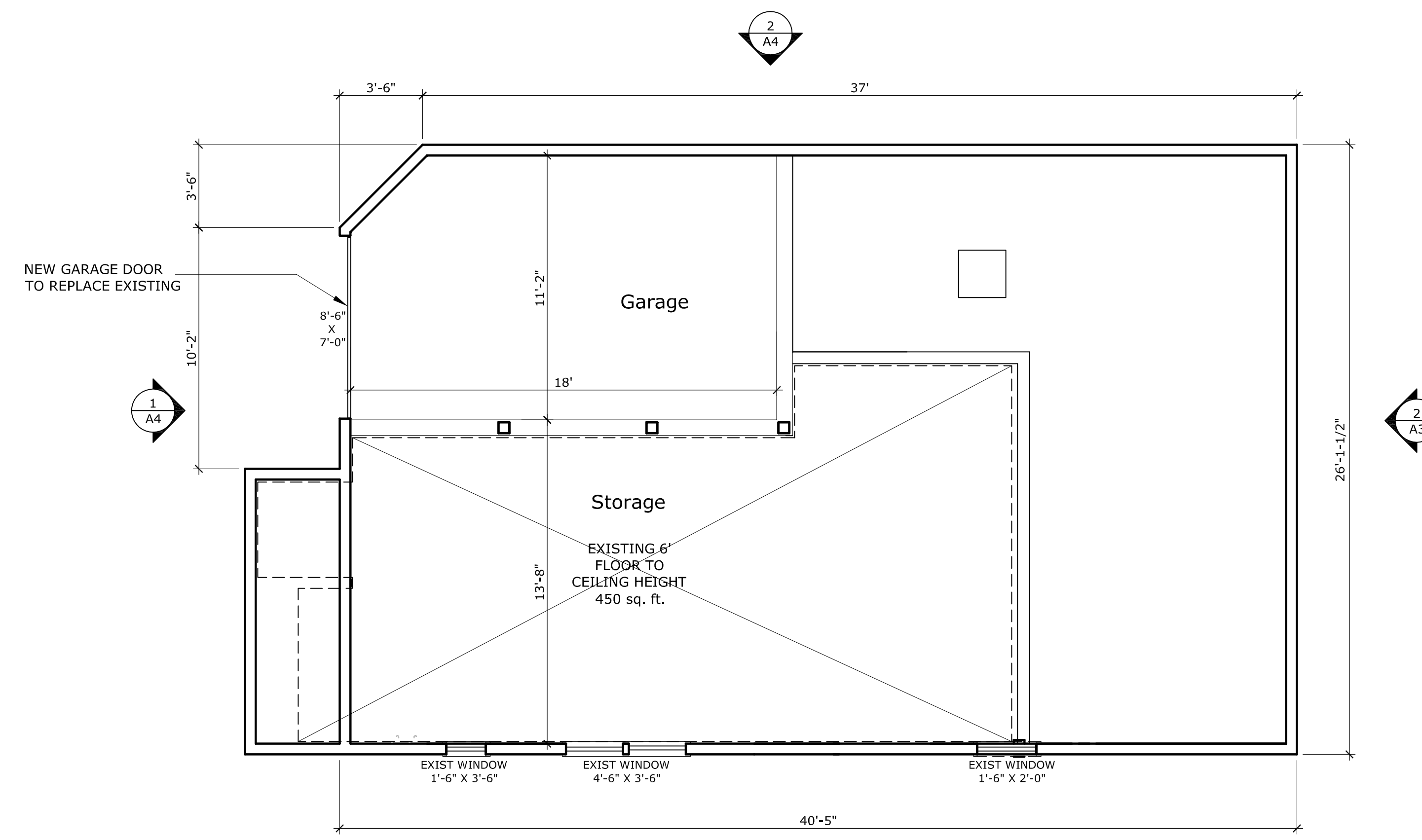
**A1**  
SHEET OF



**11 BONITA STREET  
PROJECT LOCATION**

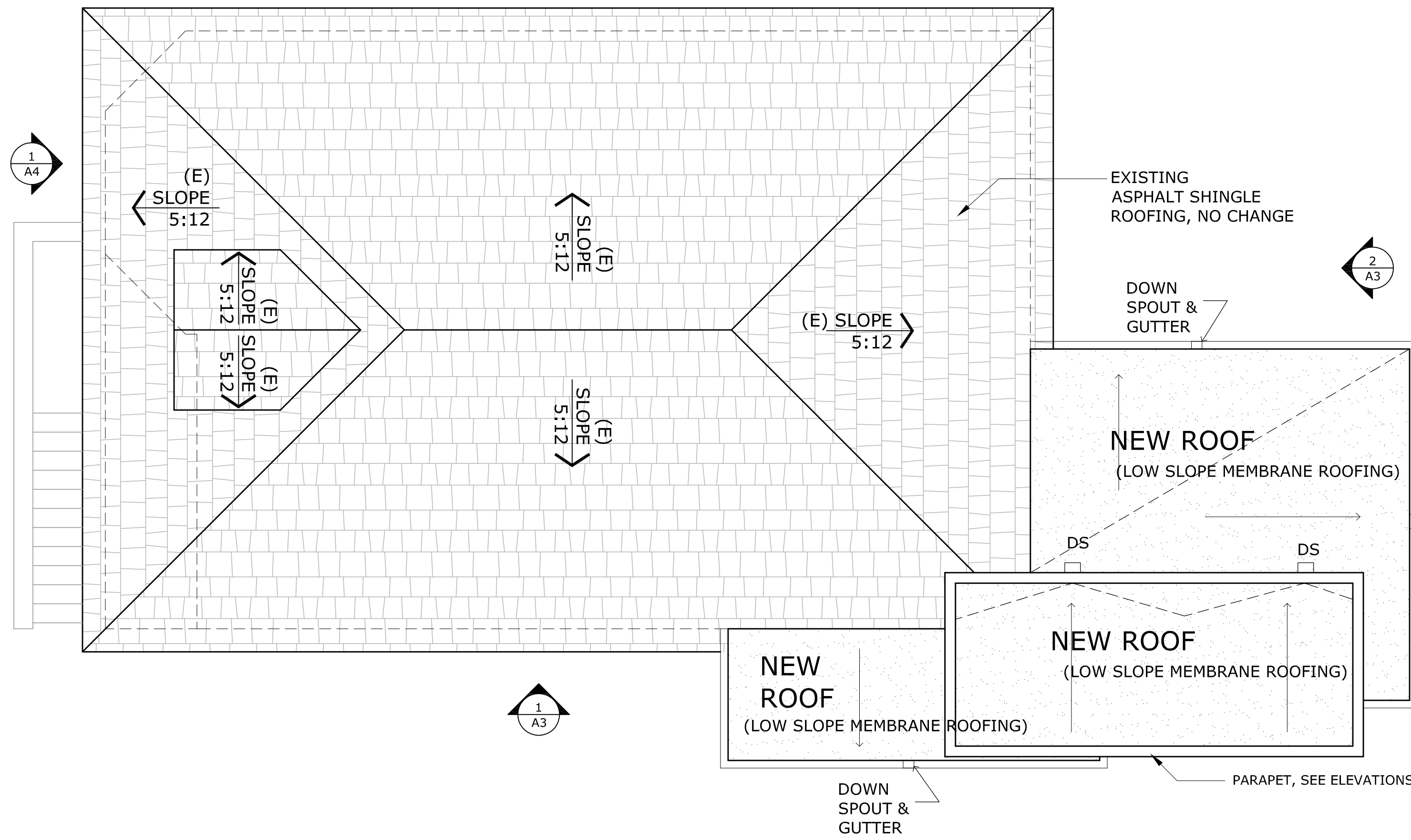
**LEGEND OF USES**

- 1. RESIDENTIAL
- 2. STREET & PARKING



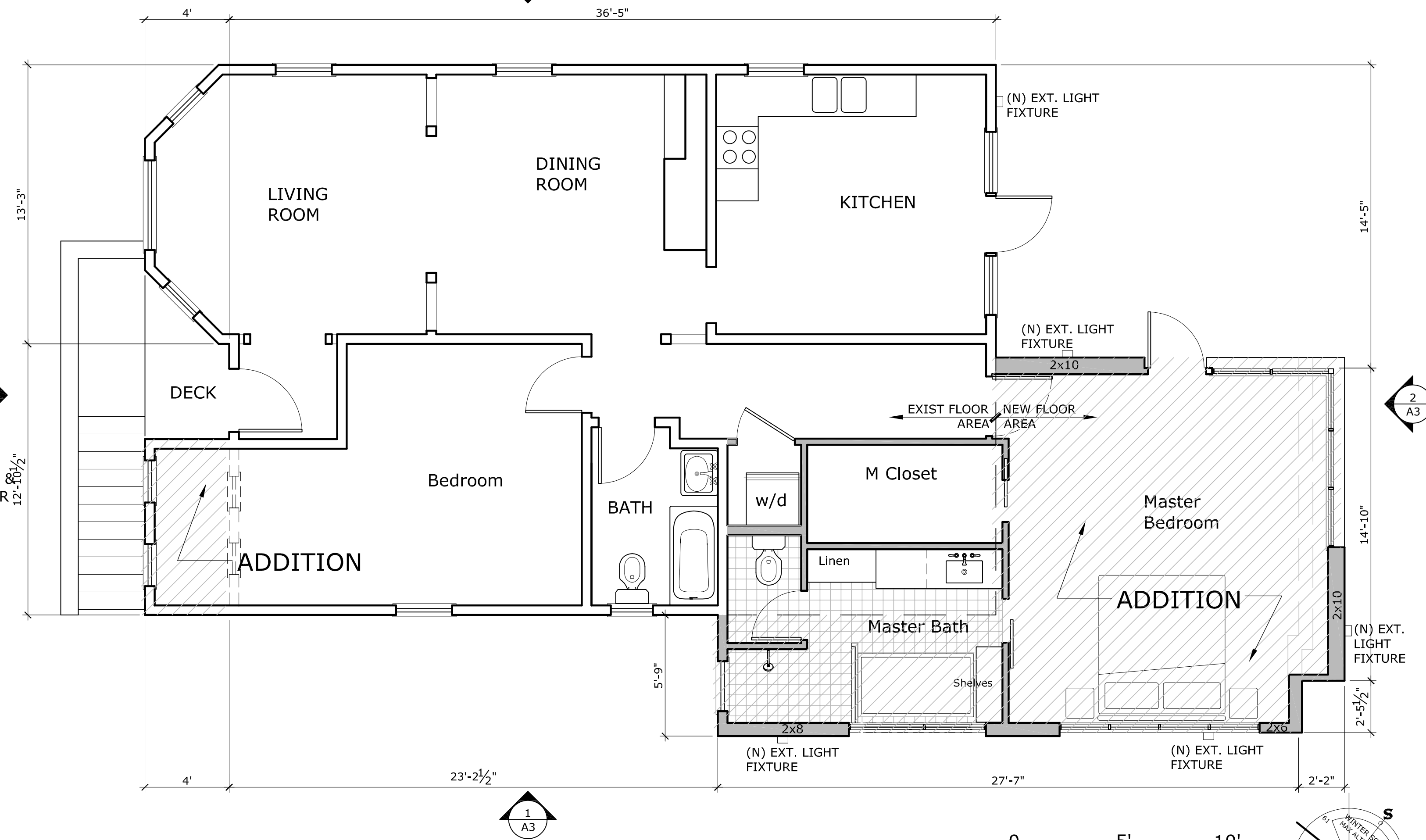
**PROPOSED LOWER FLOOR PLAN;  
GARAGE & EXISTING STORAGE AREA**

SCALE: 1" = 4'-0"



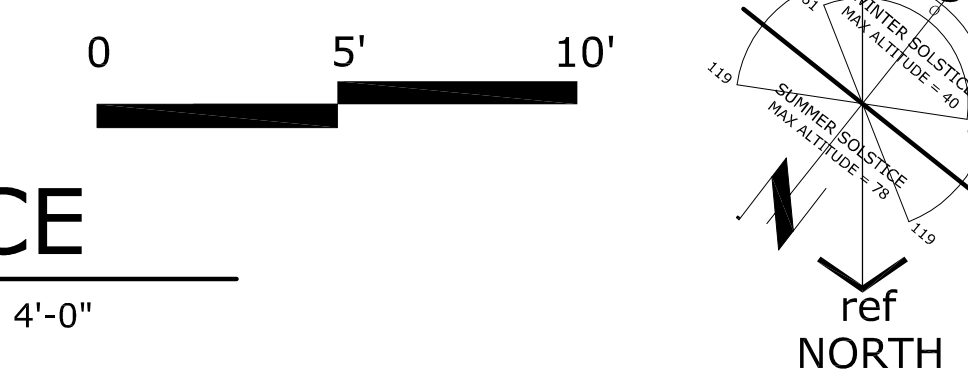
**PROPOSED ROOF PLAN; RESIDENCE**

SCALE: 1" = 4'-0"



**PROPOSED FIRST FLOOR PLAN; RESIDENCE**

SCALE: 1" = 4'-0"



This document is the sole property of the Architect, and is not to be used or reproduced without written consent.

ROBERT W. HAYES, ARCHITECT  
SAUSALITO, CA 94965



(415)-332-0999

**OWNER:**  
Todd Osborn  
11 Bonita Ave.  
Sausalito California 94965

**PROJECT:**  
Osborn Residence Renovation  
11 Bonita Ave.  
Sausalito California 94965  
AP # 065-083-03

**SHEET TITLE:**  
PROPOSED FLOOR PLANS

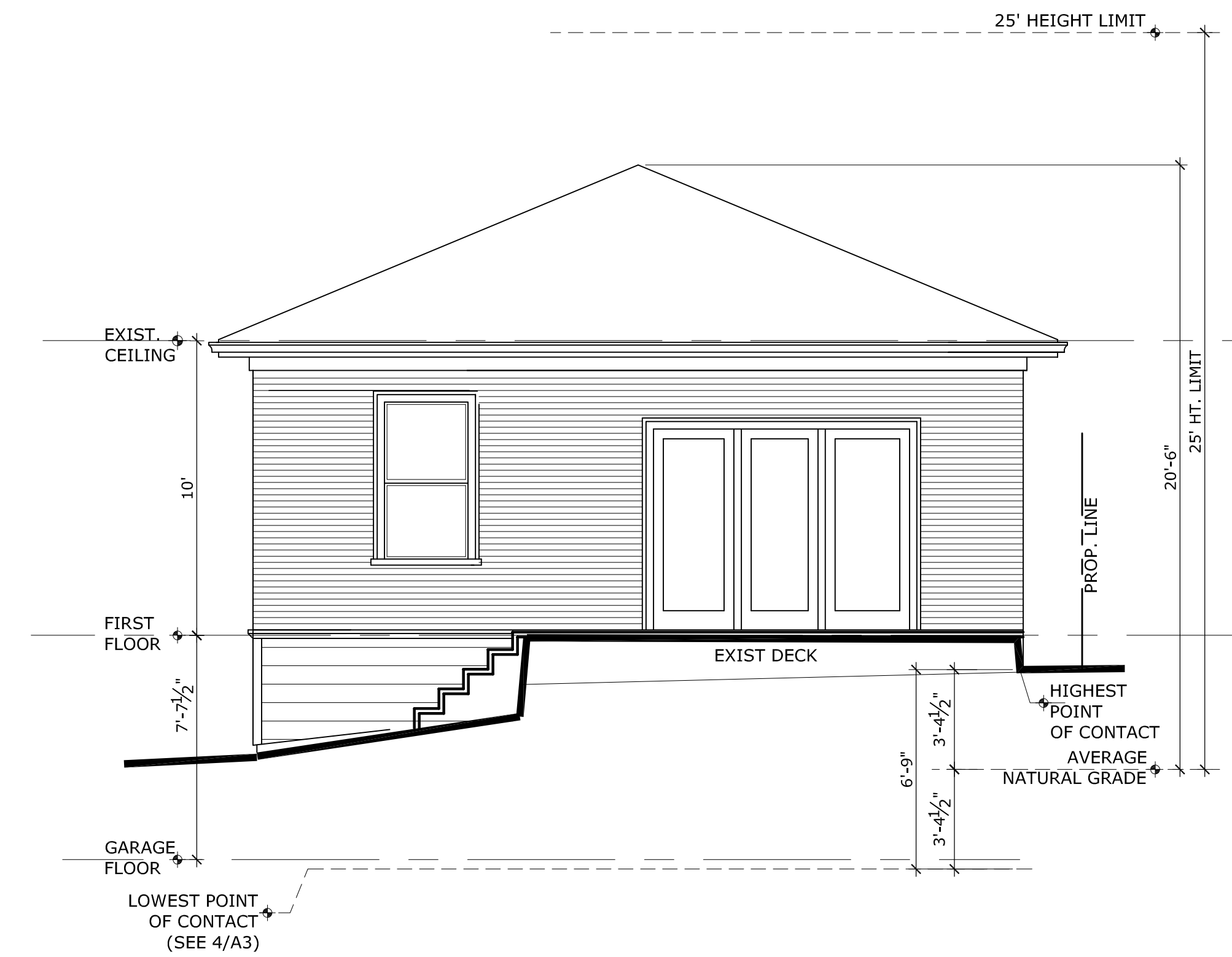
**JOB NO. 14-29**  
**SCALE AS NOTED**  
**DATE** SEPT 24, 2020  
PLANNING SUBMISSION  
APRIL 30, 2021  
PLANNING SUBMISSION #2  
MAY 24, 2021  
PLANNING SUBMISSION #3

**A2**

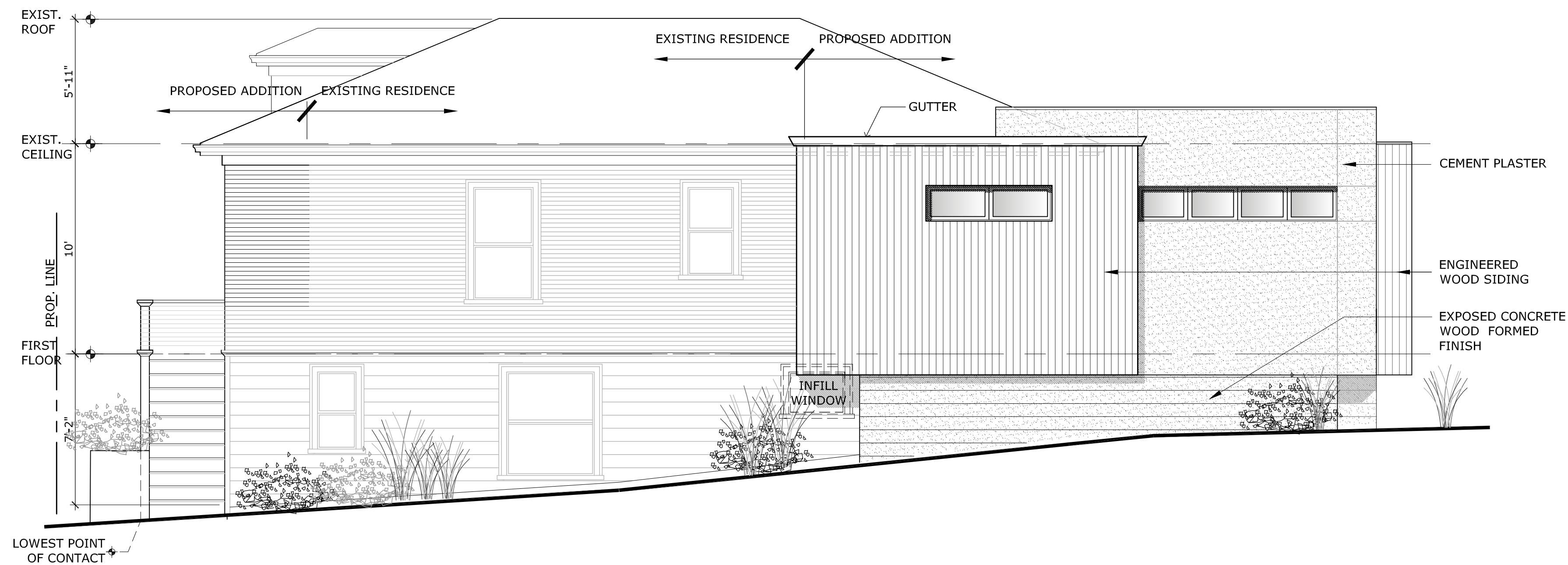
SHEET OF



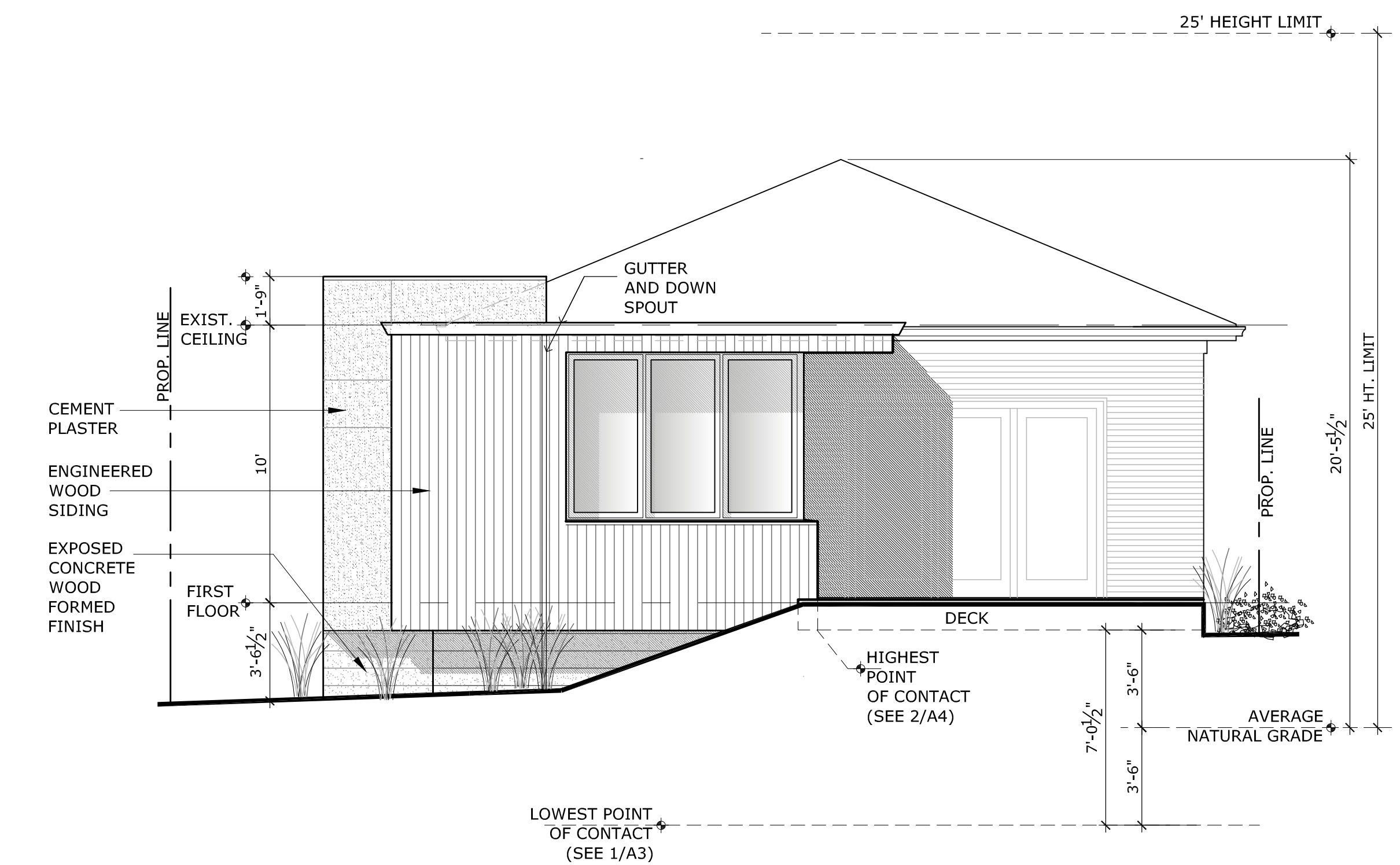
4 EXISTING NORTH ELEVATION



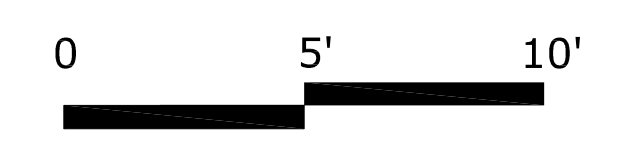
3 EXISTING WEST ELEVATION  
SCALE: 1" = 4'-0"



1 PROPOSED NORTH ELEVATION  
SCALE: 1" = 4'-0"



2 PROPOSED WEST ELEVATION  
SCALE: 1" = 4'-0"



This document is the sole property of the Architect, and is not to be used or reproduced without written consent.

ROBERT W. HAYES, ARCHITECT  
SAUSALITO, CA 94965



(415)-332-0999

OWNER:  
Todd Osborn  
11 Bonita Ave.  
Sausalito California 94965

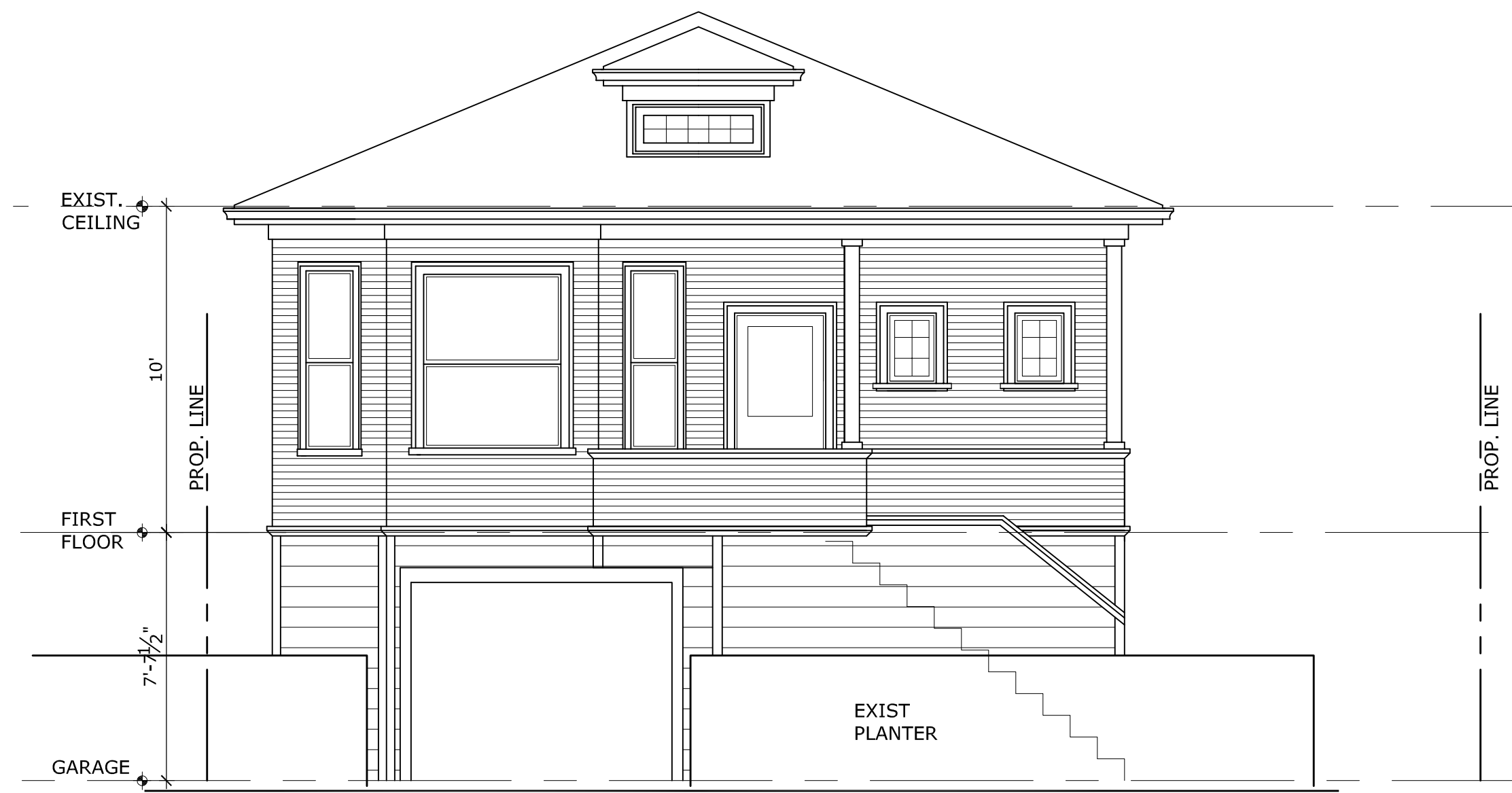
PROJECT:  
Osborn Residence Renovation  
11 Bonita Ave.  
Sausalito California 94965  
AP # 065-083-03

SHEET TITLE:  
PROPOSED & EXISTING EXTERIOR ELEVATIONS

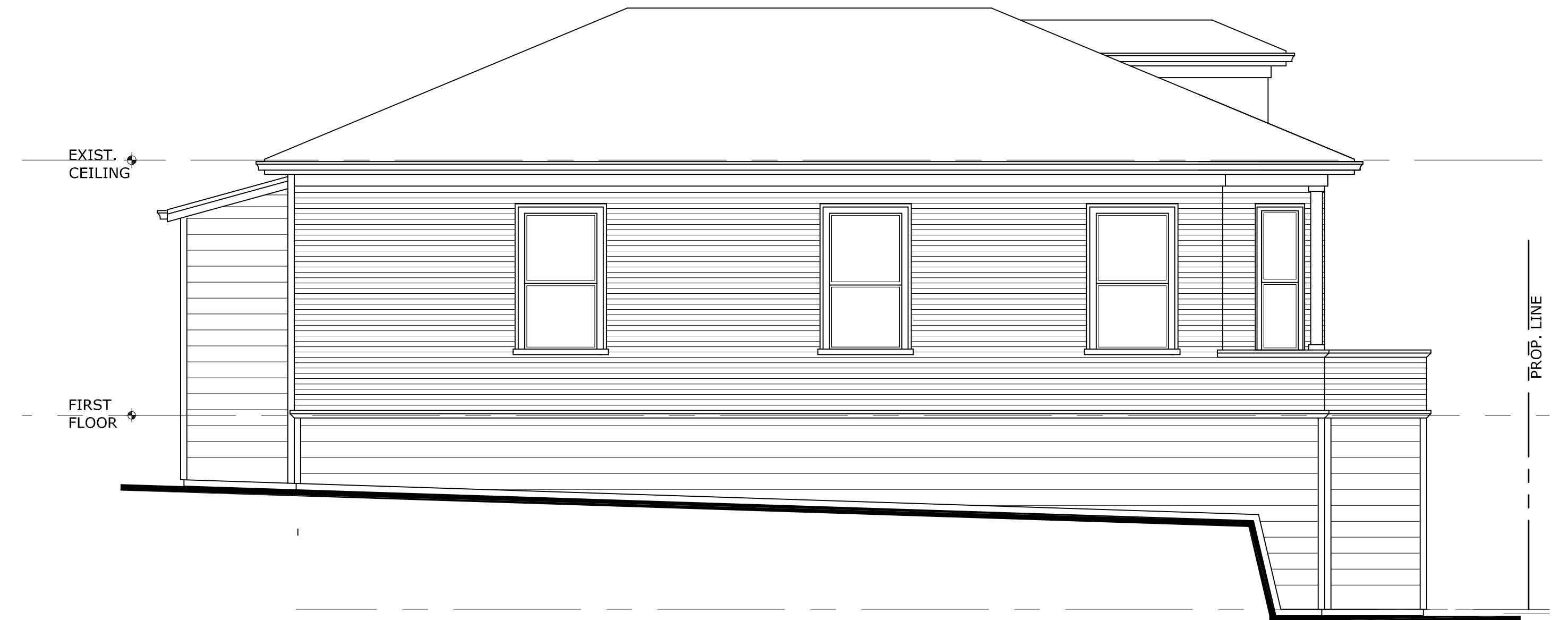
JOB NO. 14-29  
SCALE AS NOTED  
DATE SEPT 24, 2020  
PLANNING SUBMISSION  
APRIL 30, 2021  
PLANNING SUBMISSION #2  
MAY 24, 2021  
PLANNING SUBMISSION #3

A3

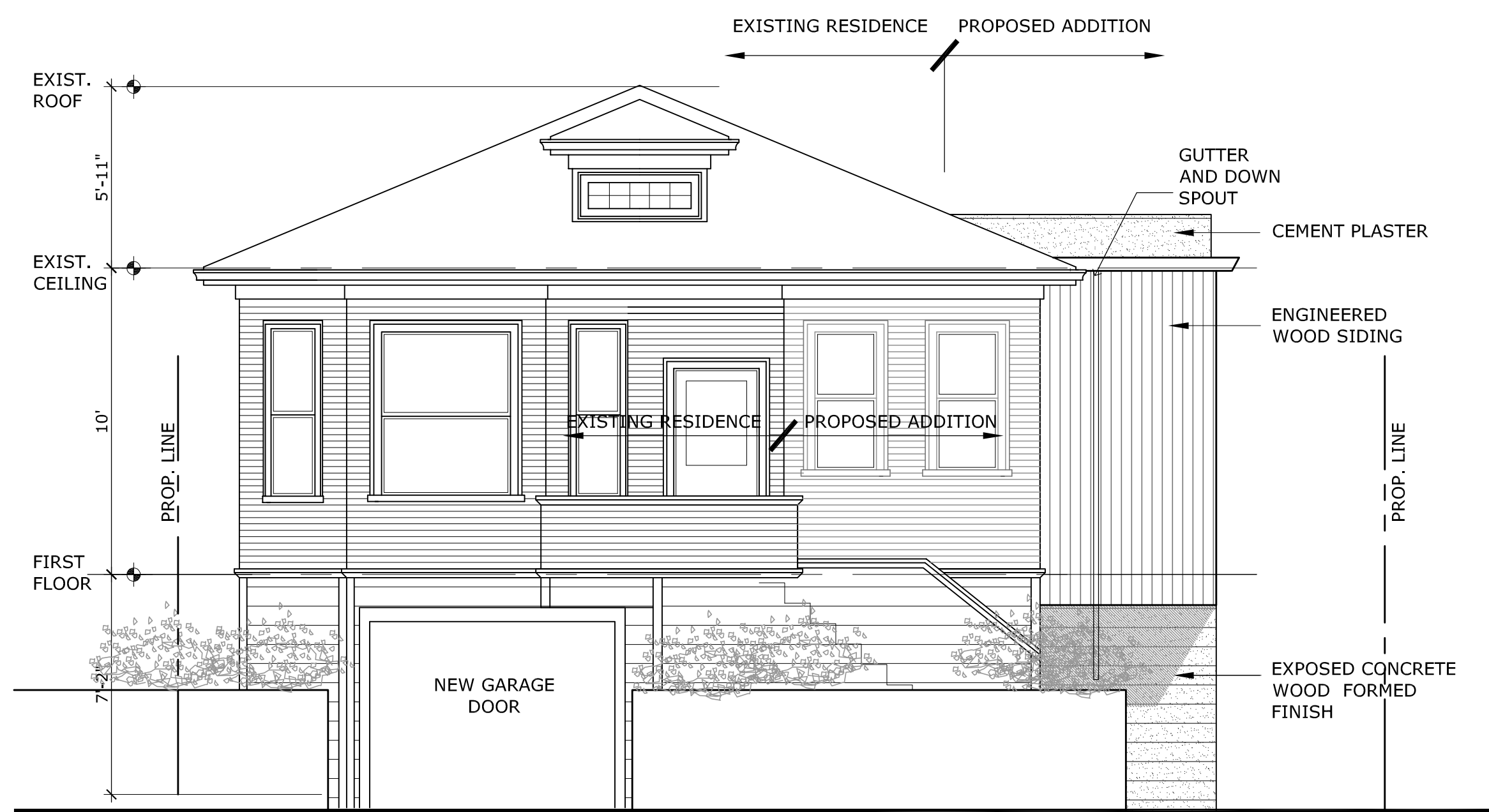
SHEET OF



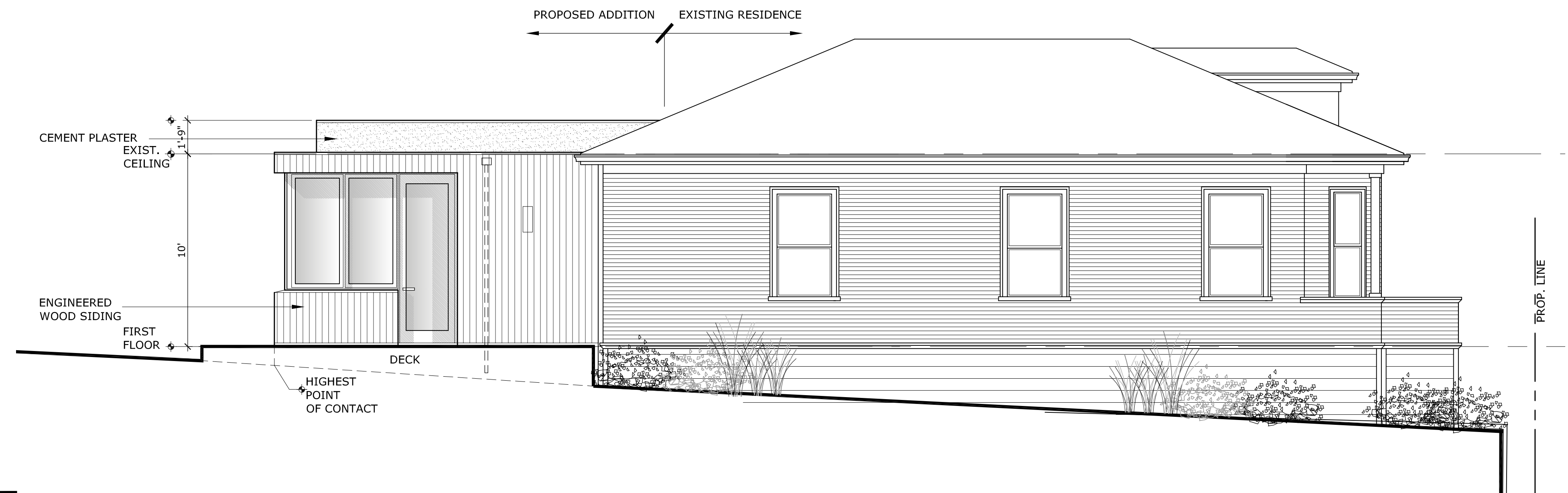
4 EXISTING EAST ELEVATION



3 EXISTING SOUTH ELEVATION  
SCALE: 1" = 4'-0"



1 PROPOSED EAST ELEVATION  
SCALE: 1" = 4'-0"



2 PROPOSED SOUTH ELEVATION  
SCALE: 1" = 4'-0"



This document is the sole property of the Architect, and is not to be used or reproduced without written consent.

ROBERT W. HAYES, ARCHITECT  
SAUSALITO, CA 94965



(415)-332-0999

OWNER:  
Todd Osborn  
11 Bonita Ave.  
Sausalito California 94965

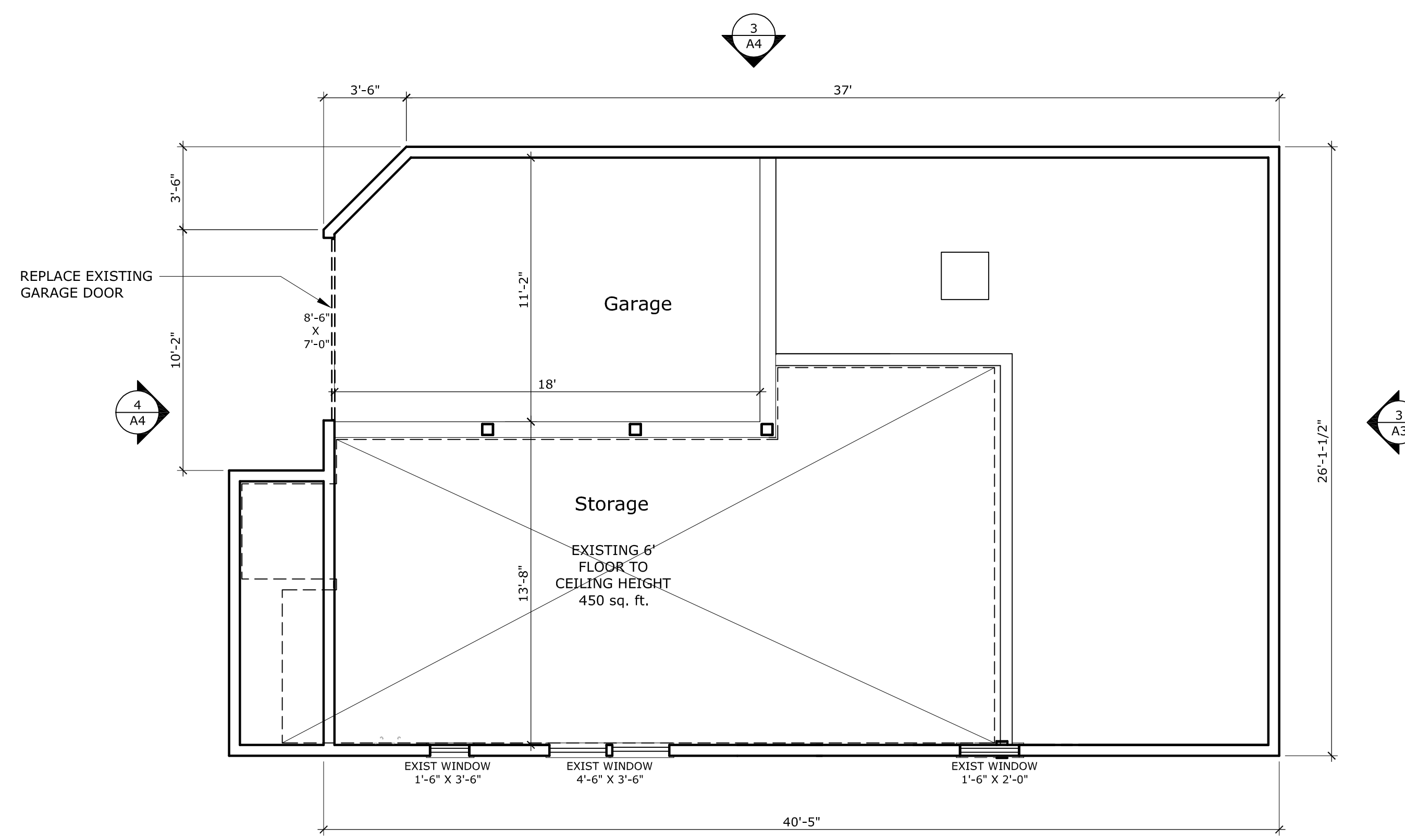
PROJECT:  
Osborn Residence Renovation  
11 Bonita Ave.  
Sausalito California 94965  
AP # 065-083-03

SHEET TITLE:  
PROPOSED & EXISTING EXTERIOR ELEVATIONS

JOB NO. 14-29  
SCALE AS NOTED  
DATE SEPT 24, 2020  
PLANNING SUBMISSION  
APRIL 30, 2021  
PLANNING SUBMISSION #2  
MAY 24, 2021  
PLANNING SUBMISSION #3

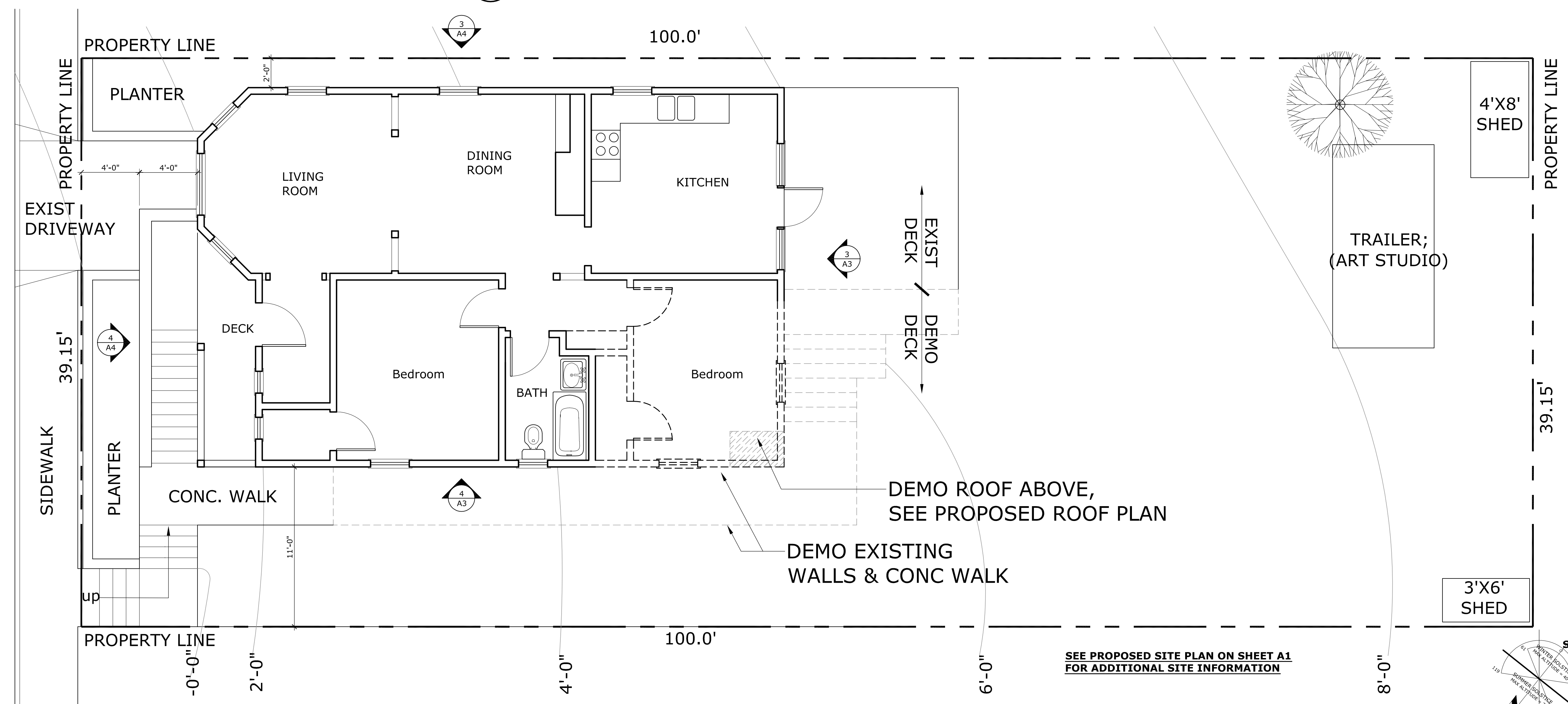
A4

SHEET OF



**2** EXISTING/DEMO LOWER FLOOR / GARAGE PLAN

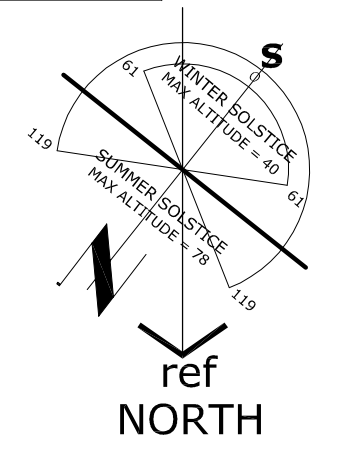
SCALE: 1" = 4'-0"



**1** EXISTING/DEMO SITE / FIRST FLOOR PLAN; RESIDENCE

SEE PROPOSED SITE PLAN ON SHEET A1 FOR ADDITIONAL SITE INFORMATION

0 5' 10'



This document is the sole property of the Architect, and is not to be used or reproduced without written consent.

ROBERT W. HAYES, ARCHITECT  
 11 BONITA AVE.  
 SAUSALITO, CA 94965  
 (415)-332-0999

OWNER:  
 Todd Osborn  
 11 Bonita Ave.  
 Sausalito California 94965

PROJECT:  
 Osborn Residence Renovation  
 11 Bonita Ave.  
 Sausalito California 94965  
 AP # 065-083-03

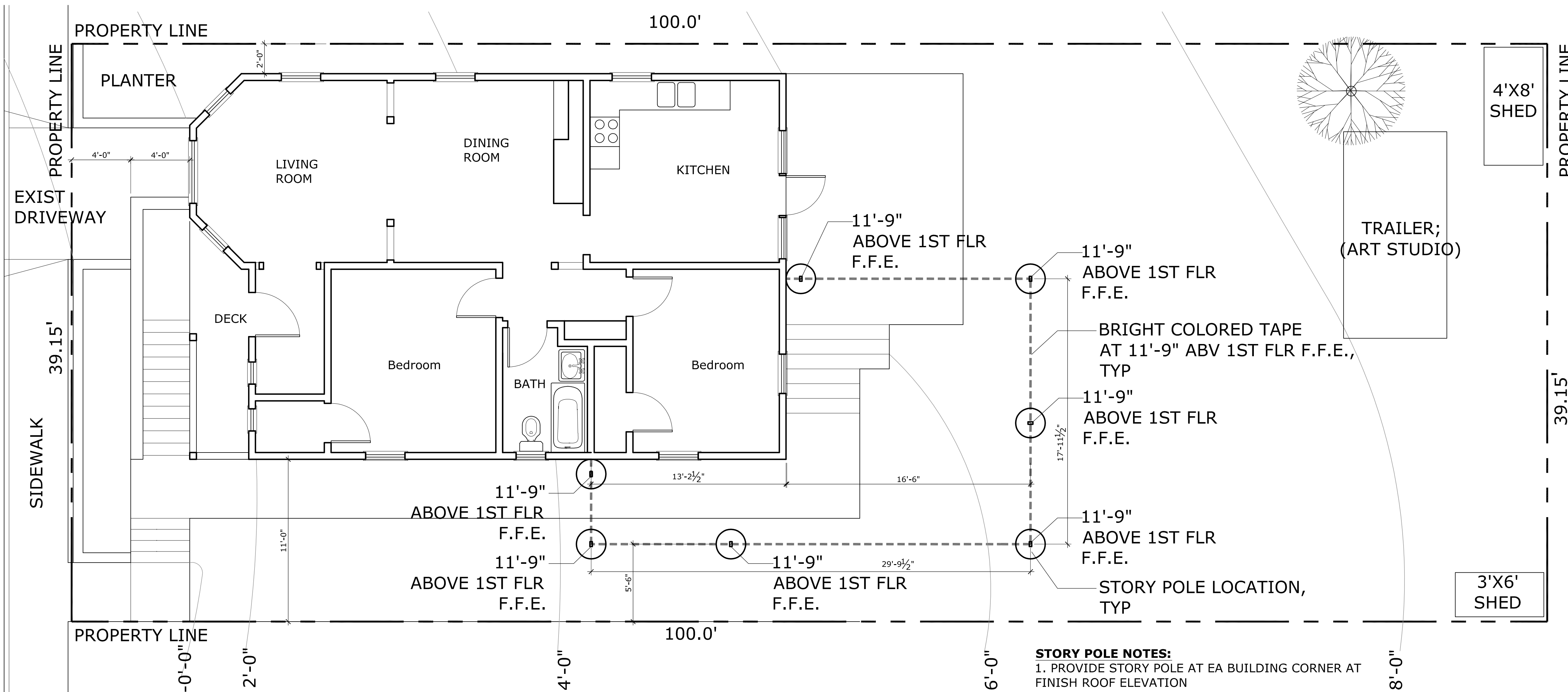
SHEET TITLE:  
 EXISTING / DEMOLITION FLOOR PLANS

JOB NO. 14-29  
 SCALE AS NOTED  
 DATE SEPT 24, 2020  
 PLANNING SUBMISSION  
 APRIL 30, 2021  
 PLANNING SUBMISSION #2  
 MAY 24, 2021  
 PLANNING SUBMISSION #3

**A5**  
 SHEET OF



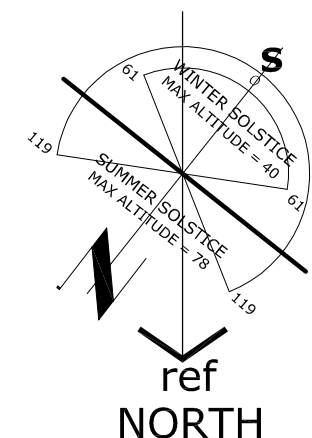
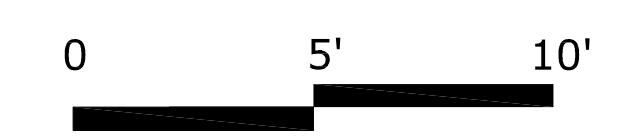
BONITA STREET



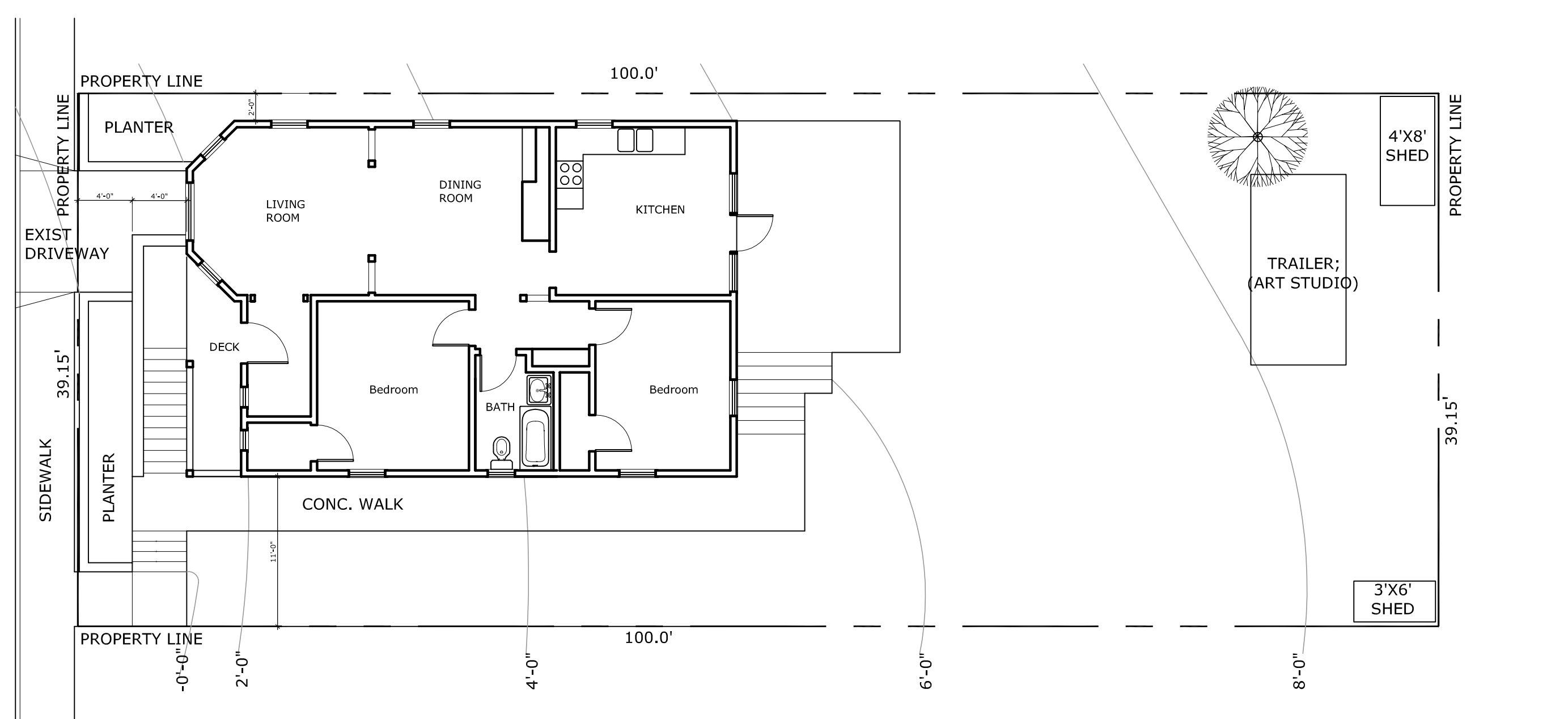
1 PROPOSED STORY POLE PLAN

SCALE: 1" = 4'-0"

- STORY POLE NOTES:**
1. PROVIDE STORY POLE AT EA BUILDING CORNER AT FINISH ROOF ELEVATION
  2. CONNECT STORY POLES WITH BRIGHT-COLORED TAPE AT FINISH ROOF ELEVATION AROUND PERIMETER OF PROPOSED ADDITION
  3. STORY POLES SHALL BE MARKED IN 1' INCREMENTS
  4. INSTALL STORY POLES AT LEAST 10 DAYS BEFORE NOTICED PUBLIC HEARING ON THE APPLICATION AND REMOVE NOT LESS THAN 10 DAYS AFTER FINAL APPROVAL OF THE APPLICATION.

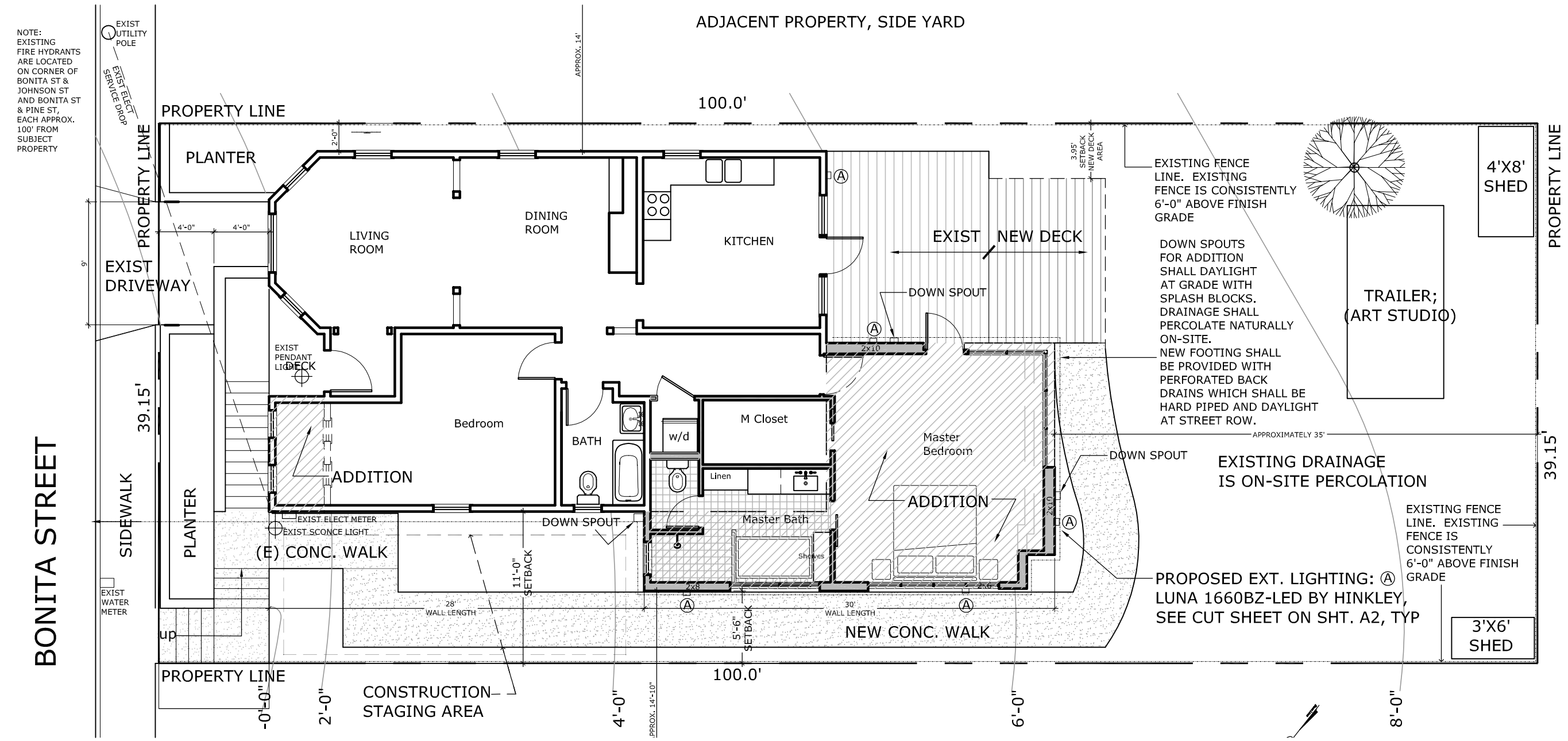


BONITA STREET



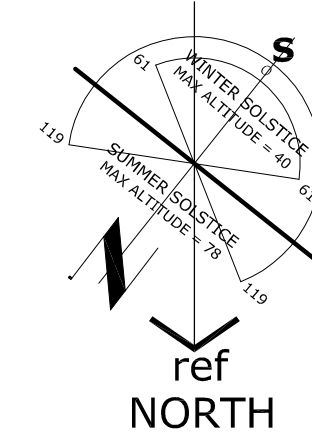
2 EXISTING SITE PLAN - FIRST FLOOR PLAN  
SEE 1/A5 FOR SITE PLAN INFORMATION

SCALE: 1" = 8'-0"



1 PROPOSED SITE PLAN - FIRST FLOOR PLAN  
SEE 1/A1 FOR SITE PLAN INFORMATION

SCALE: 1" = 8'-0"



This document is the sole property of the Architect, and is not to be used or reproduced without written consent.

ROBERT W. HAYES, ARCHITECT  
SAUSALITO, CA 94965



(415)-332-0999

OWNER:  
Todd Osborn  
11 Bonita Ave.  
Sausalito California 94965

PROJECT:  
Osborn Residence Renovation  
11 Bonita Ave.  
Sausalito California 94965  
AP # 065-083-03

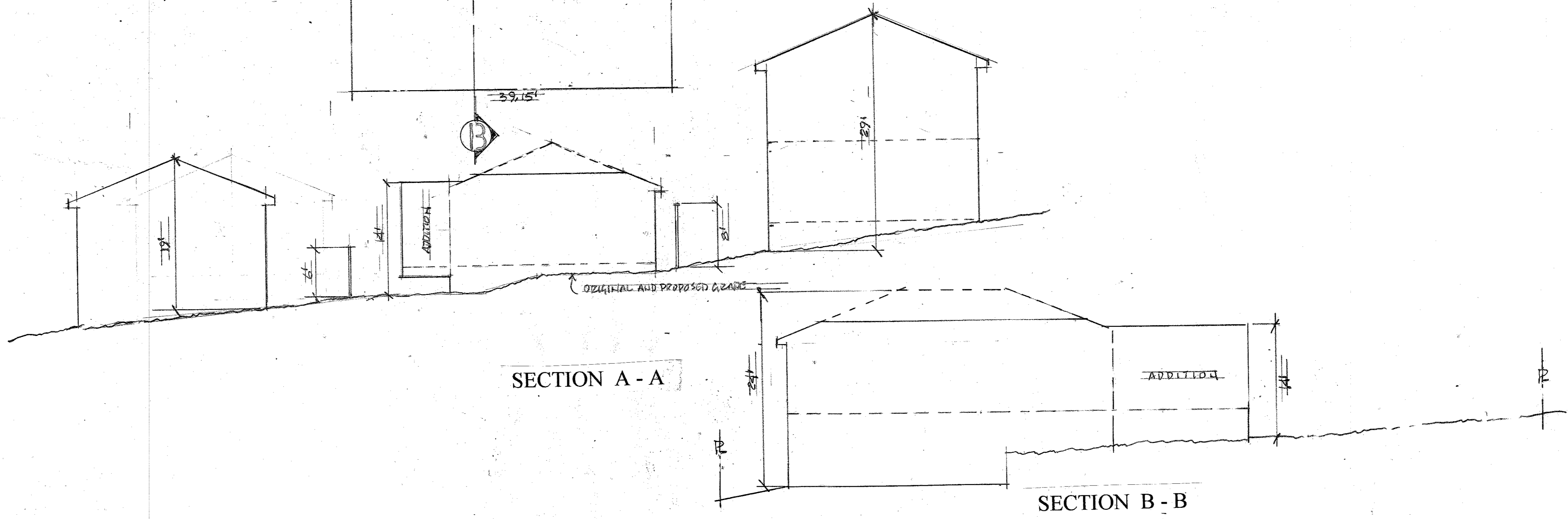
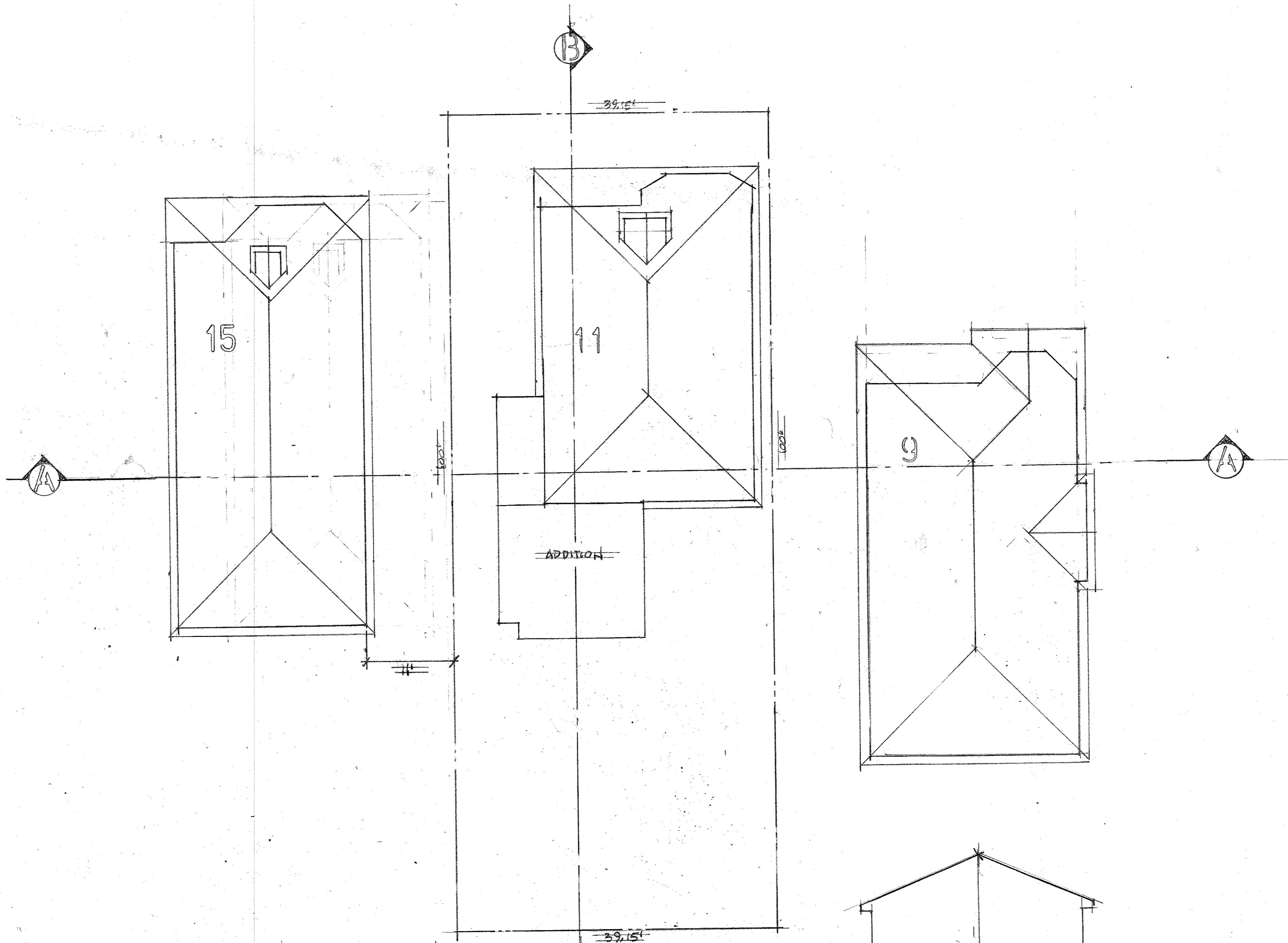
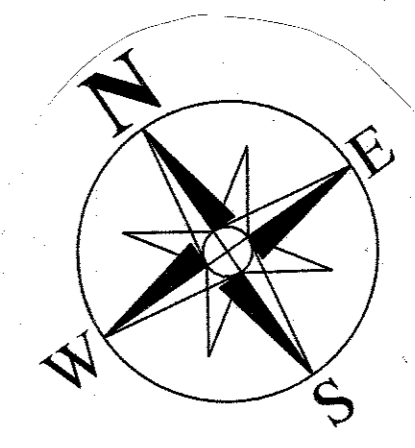
SHEET TITLE:  
PROPOSED & EXISTING SITE PLANS & STORY POLE PLAN

JOB NO. 14-29  
SCALE AS NOTED  
DATE SEPT 24, 2020  
PLANNING SUBMISSION  
APRIL 30, 2021  
PLANNING SUBMISSION #2  
MAY 24, 2021  
PLANNING SUBMISSION #3

A6

SHEET OF

REVISIONS	BY



SECTION A - A

SECTION B - B

Date 4-28-21  
Scale 1/8" = 1'-0"  
Drawn  
Job  
Sheet S-1  
Of Sheets