

**SAUSALITO PLANNING
COMMISSION RESOLUTION NO.
2022-16**

**APPROVAL OF A DESIGN REVIEW PERMIT, CONDITIONAL USE PERMIT AND
VARIANCE TO DEMOLISH AND EXISTING ONE-STORY, SINGLE-FAMILY RESIDENCE,
CONSTRUCT ONE NEW ONE-STORY SINGLE-FAMILY RESIDENCE, AND REMODEL AND
EXISTING A-FRAME STUDIO STRUCTURE, LOCATED AT 52 VARDA LANDING ROAD
(APN 063-010-15)
DR/CUP/V DR2019-00284**

WHEREAS, an application has been filed by applicants, Matt Innins of Ehrlich, Yanai, Rhee, Chaney architects, on behalf of the property owner, Max Houtzager, requesting Planning Commission approval of a Design Review, Conditional Use and Variance Permits to demolition an existing one-story, single-family residence, new construction of a one-story, single-family residence, and the remodel and an existing A-frame studio structure at 52 Varda Landing Road (APN 063-010-15) (the "Project"); and

WHEREAS, the project site is located within the Houseboats (H) and Houseboat Marinship (M) zoning district; and

WHEREAS, the Historic Preservation Commission reviewed the Historic Resource Determination Information Packet (HRDIP) on September 16, 2021 and determined that the subject property does not satisfy any of the qualifying criteria for a historical resource; and

WHEREAS, the Planning Commission conducted a duly-noticed public hearings on May 18, 2022, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the project plans titled "52 Varda Landing Road" and date-stamped June 25, 2021, and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed Project; and

WHEREAS, the Planning Commission finds that the proposed Project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report dated May 18, 2022; and

WHEREAS, the Project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines as it is the demolition of one, single-family residence, new construction of a single-family dwelling unit and remodel of an existing A-frame studio, in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption; and

WHEREAS, the Planning Commission finds that, as conditioned herein, the Project is consistent with the General Plan and complies with the requirements of the Zoning Ordinance

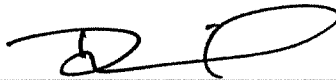
and Subdivision Regulations.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Project is categorically exempt from CEQA pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines.
2. The Design Review Permit for the Project is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the Project plans titled "52 Varda Landing Road" date-stamped June 25, 2021, (Attachment 3).
3. The Conditional Use Permit for the Project is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the Project plans titled "52 Varda Landing Road" date-stamped June 25, 2021 (Attachment 3).
4. The Variance Permit for the Project is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the Project plans titled "52 Varda Landing Road" date-stamped June 25, 2021 (Attachment 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 6TH day of July, 2022, by the following vote:

AYES: Commissioner:
NOES: Commissioner:
ABSENT: Commissioner:
ABSTAIN: Commissioner:



Daniel Hortert, AICP
Secretary to the Planning Commission

Exhibits

- 1 Sausalito Municipal Code Findings
- 2 Conditions of Approval
- 3 Project Plans, date stamped June 25, 2021.

SAUSALITO PLANNING COMMISSION NO. 2022-16
JULY 6, 2022
52 VARDA LANDING ROAD
DR/CUP/V DR2019-00284

EXHIBIT A
FINDINGS FOR APPROVAL OF A
DESIGN REVIEW, CONDITIONAL USE AND VARIANCE PERMITS

1. DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

1. The proposed Project is consistent with the General Plan, any applicable specific plans and this chapter.

Comment: Staff Comment: The proposed Project would be consistent with the intent of the General Plan by replacing one, detached single-family structure and an existing A-frame studio and would maintain the density of the parcel and neighborhood. The maximum density for residential uses in the H zoning district is one dwelling unit per 10,000 square feet. The subject property contains 27,937 square feet and would accommodate two residential structures. The Project would meet the intent of the General Plan and be consistent with the general scale of nearby structures and surrounding parcels.

2. The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

Comment: Common materials proposed for both structures include concrete base, double glazed clear performance glass windows, bronze anodized aluminum window frames, Shou Sugi Ban siding and screen, red western cedar board and batten siding and stairs and Shou Sugi Ban shingles. The residential building would have a flat roof, and the A-frame studio would be a ridged-roof.

The area includes a variety of land uses; therefore, the neighborhood includes a variety of architectural styles, including modern and industrial, mid-century residential and traditional coastal, with a variety of materials, including stucco, wood siding and aluminum siding as well as a variety of roof style, including ridged and flat. The proposed structures on the project site would maintain the prevailing design character of the neighborhood by utilizing materials that are consistent with surrounding residential structures including Shou Sugi Ban siding and screen, red western cedar board and batten siding and stairs and Shou Sugi Ban shingles. The Project is replacing structures that is similar in size to other structures within the area and both structures would be in the style of modern architectural design, characterized by its emphasis on form over ornament and appreciation of materials and structure.

3. The proposed project's use is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

Comment: The proposed Project is similar in size any of the surrounding residences and would have a height less than the maximum allowable for this district. The block contains structures ranging from

one level to two levels and are approximately 10 feet in height to 32 feet in height. The design and scale of development is consistent with the size and general scale of surrounding residential structures. The proposed Project is also consistent with the neighborhood as many surrounding parcels include a variety land uses, including marine-related businesses.

4. The proposed Project has been located and designed to minimize obstruction of public views and primary views from private property.

Comment: The proposed residential replacement structure would be generally placed on the same footprint of the original structure, along the west side property line, and add approximately six (6) feet in height to the structure. The replacement of the A-frame structure would also be placed in the same location, along the east side property line, on the parcel and does not include an increase in height. Further, there would be a minimum of 15 feet of open space between the two structures, creating a view corridor through the center of the lot, therefore, there would be no additional negative visual impact of public views from nearby private property.

5. The proposed Project will not result in a prominent building profile (silhouette) above a ridgeline.

Comment: The subject parcel is not located along a ridgeline and thus the Project will not result in a prominent building profile above a ridgeline; further, the height of the Project would not be substantially increased from the original structures.

6. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

Comment: The Project includes a substantial installation of on-site plant material and landscaping, including the installation of approximately 18 container trees, ground cover and hardscaping for pedestrian pathways.

7. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

Comment: Due to the unusual configuration of the project site, the residential structure would encroach into the eastern side yard setback and requires the approval of a Variance and the renovated A-frame studio would be set back 15'-5" from the residential structure. The existing shed, located along the western side property line would be permanently removed. The locations and size of the structures would provide ample light and air circulation for the site as well as adjacent properties.

8. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.

Comment: The Project does not include the addition exterior mechanical equipment and exterior lighting would be appropriately designed and located for a residential area.

9. The Project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck, and patio configurations.

Comment: The site and floor plan minimizes windows and doors that would have potential privacy impacts to or from neighboring properties by existing and proposed landscaping along property lines. The largest expanse of windows face the rear of the subject site and existing and proposed landscaping, along both side property lines, would be maintained to enhance privacy.

10. Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

Comment: The Project includes two, on-site residential parking spaces for the residents of the proposed residential structure. The Project requires the approval of a Conditional Use permit to allow on-site parking to be partially located on the adjacent parcel, at 60 Varda Landing Road. The relocation of an existing easement has been agreed to between property owners to allow the adjacent parking area. No impacts from traffic or other circulation are expected, and staff from the Department of Public Works expressed no concerns regarding the Project's circulation.

11. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

Comment: The proposed Project is not located on any significant natural features on the site and no Protected trees would be removed.

12. The Project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings)

Comment: Design features include minimum setbacks from property lines and a comfortable setback between the main residential structure and the remodeled A-frame studio and despite substantial physical site constraints, the Project would result in a Floor Area Ratio of 0.05 where 0.25 is allowed, which would not exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage; therefore, heightened review does not apply to this Project.

13. The Project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include, but are not limited to stepping upper levels back from the first level, incorporating façade articulations and divisions (such as building wall off-set), and using varying rooflines.

Comment: The Project would include one-story structures and has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties by meeting density, height and FAR requirements. Due to the unusual configuration of the Project site and the lack of a front property line, the Project requires a Variance to encroach into the side yard setback by five (5) feet. Design features include minimum setbacks from property lines and a comfortable setback between the main residential structure and the remodeled A-frame studio.

2. CONDITIONAL USE PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.60 (Conditional Use Procedures), the Conditional Use Permit is approved based on the following findings:

A. The proposed use is allowed with issuance of a conditional use permit, pursuant to Chapters 10.20 through 10.28 SMC (Zoning Districts Regulations), or SMC 10.46.040 (Conditional uses), Chapter 10.44 SMC (Specific Use Requirements) or any other applicable section of this title.

Comment: The Project meets the density, height and FAR requirements and due to the unusual configuration of the Project site and the lack of a front property line, the parcel is not able to fully provide sufficient area for on-site parking. The zoning ordinance requires two, on-site, parking spaces for

residential uses within this zoning district. The subject property side property lines come to a point, where a front yard would be located, therefore, the Project site does not contain a front yard. A portion of the required on-site parking would be located within the adjacent parcel and requires the approval of a Conditional Use permit. Upon approval of the required permits, the Project would comply with applicable sections of the zoning ordinance.

- B. The proposed use is consistent with the general plan, the purposes of the Zoning Ordinance, and the purposes of the applicable zoning district.

Comment: The Project would be consistent with the zoning district and intent of the General Plan by maintaining compatible uses and density of the parcel and neighborhood. The Project would be consistent with the general scale of nearby residential structures and surrounding parcels.

- C. The proposed use, together with the applicable conditions, will not be detrimental to the public health, safety, or general welfare of the City.

Comment: The proposed Project would demolish an on-site deteriorated shed and renovate and update an existing deteriorated, single-family structure and detached A-frame studio and substantially upgrade the subject site and would be consistent with the zoning district and intent of the General Plan by maintaining compatible uses and density of the parcel and neighborhood; therefore, the proposed use would not be detrimental to the public health, safety, or general welfare of the City.

- D. The proposed use complies with each of the applicable provisions of the Zoning Ordinance.

Comment: The Project requires the approval of a Design Review Permit for new construction and renovation and a Variance to allow encroachment into the side yard setback area. Mentioned above, due to the parcels' lack of a front yard or front property line, the Conditional Use Permit to allow on-site tandem parking and on-site parking on the adjacent parcel is required to meet the requirements of the zoning ordinance. Upon approval of required permits, the Project would comply with all applicable provisions of the Zoning Ordinance.

- E. The proposed use or facility is properly located relative to the community as a whole and to land uses and transportation and service facilities in the vicinity.

Comment: The Project includes residential and artist studio uses and would be in the Marinship, zone 3, parcel map 10B, an area where an artist studio and one residential use is permitted. The Project is located approximately 1,800 feet from Highway 101 and approximately 900 feet to the Bridgeway & Gate 5 Road bus stop for bus lines 17, 17X, 30, 61, and 617. Therefore, the Project is appropriately located within the community.

- F. The size and shape of the subject property is adequate to provide features needed to ensure reasonable compatibility with land uses normally permitted in the surrounding area. Features may include but not be limited to yards, open spaces, walls and fences, parking, loading, landscaping, and such features as may be required by this title or the Commission.

Comment: The Project site is a level, narrow, irregularly shaped parcel with no legal frontage and contains 27,937 square-feet (0.64 acres). The parcel is landlocked, containing several sides, coming to a point to the west, and is a legal, non-conforming lot. All buildings on site would be built with finished floors at an elevation of 11'-0", which is not only above the 10'-0" FEMA Flood AE but also roughly 3'-0" above grade. The design is intended not to resist rising waters, but instead to

remain resilient to floods as the water naturally gathers on site in strategic areas and flows then back to the bay. The Project site's shape, and location require an easement through a neighboring parcel for access. Due to the subject property's irregular configuration and access, the approval of a Use Permit is required to allow parking to be tandem and to be partially located on the adjacent parcel. A condition of approval would require a deed restriction for the neighboring parcel, consistent with SMC Section 10.40.120.B.2.

G. Public utilities and facilities are or will be adequate to serve the proposed use, including streets and highways paved (and of adequate width) for the quantity and type of traffic it will generate.

Comment: The Project is required to comply with all building code and applicable utility codes to ensure adequate services to the site.

H. The proposed use will not materially adversely affect nearby properties or their permitted uses.

Comment: The proposed tandem parking, partially located on the adjacent property, would not be expected to materially adversely affect neighboring properties. Allowing the parking as proposed would decrease potential off-site parking and the adjacent property owner, where the Project parking would be located, has agreed to the arrangement and is in favor of the easement modification.

I. Findings required by Chapter 10.44 SMC (Specific Use Requirements) for the approval of specific uses are made. [Ord. 1167 § 2, 2003.]

Comment: The general purposes of Chapter 10.44 SMC, is to establish special standards for certain land uses that may affect adjacent properties, the neighborhood, or the community, beyond the uniform zoning standards, establish appropriate standards for the location, design and operation of specific land uses, ensure compatibility with adjacent land uses, avoid incompatibility and hazards stemming from the uses; and ensure consistency with the general plan.

The Project requires the approval of a conditional use permit to allow required parking to be located on an adjacent parcel. The required residential parking for the new structure would be partially located on the adjacent parcel, at 60 Varda Landing Road and requires the relocation of an existing access easement between 40 Varda Landing Road and 52 Varda Landing Road. Adjacent property owners are in support of the easement modification, to allow on-site parking at 60 Varda Landing Road. The proposed Project was evaluated for neighborhood compatibility, compliance with the General Plan as well as the Marinship Specific Plan, compliance with design review and CEQA. Based upon the discussion within the staff report, staff believes the Planning Commission can make the required findings for the Conditional Use Permit.

3. VARIANCE PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.68, the Variance is approved based on the following findings:

A. There are exceptional or extraordinary circumstances or conditions applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same district.

Comment: The Project site is a narrow, irregularly shaped parcel with no legal frontage and contains 27,937 square-feet (0.64 acres). The parcel is landlocked, containing several sides and comes to a point to the west, therefore, the subject site does not contain a front yard or front property line and

is a legal, non-conforming lot. Although the Project site is surrounded by other landlocked parcels, the subject property is the only parcel with this specific unusual configuration, which limits where structures can be placed on site.

- B. Owing to such exceptional or extraordinary circumstances the literal enforcement of the provisions of the title would result in practical difficulty or unnecessary hardship.

Comment: The level site is approximately 550 feet deep and ranges in width between zero feet and 65.5 feet, at the widest location and comes to a point to the west of the site. The subject property is the only parcel in the area without a front yard and containing this configuration, therefore, exceptional circumstances exist on the Project site wherein literal enforcement of the provisions of the title would result in practical difficulty or unnecessary hardship.

- C. Such variance is necessary for the preservation of a substantial property right of the petitioner, possessed by other property in the same district.

Comment: The majority of the parcels within this area are more traditionally configured and/or contain more square footage, therefore, the Variance is necessary for the preservation of a substantial property right of the petitioner, possessed by other property in the same district.

- D. The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvement in the vicinity or in the district in which the subject property is located.

Comment: The proposed Project would demolish an on-site deteriorated shed and an existing deteriorated, single-family structure, construct a new single-story single family residence, and renovate and update a detached A-frame studio and substantially upgrade the subject site and would be consistent with the zoning district. The proposed structures and uses would be consistent with, and further the intent of, the General Plan and Marinship Specific Plan with residential and artist studio uses ; therefore, the proposed use not be detrimental to the public health, safety, or general welfare of the City.

- E. The granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

Comment: The majority of the parcels within this area are more traditionally configured and/or contain more square footage, therefore, due to the irregular configuration of the subject property, the approval of the Variance would not constitute a granting of special privilege.

- F. The granting of such variance will be in harmony with the general purpose and intent of this title and the general plan. [Ord. 1167 § 2, 2003.]

Comment: The Project would be consistent with the zoning district and intent of the General Plan by maintaining compatible uses and density of the parcel and neighborhood and would, therefore, be in harmony with the purpose and intent of the title.

**SAUSALITO RESOLUTION NO. 2022-16
JULY 6, 2022
52 VARDA LANDING ROAD
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EXHIBIT B: CONDITIONS OF APPROVAL

These conditions apply to the Project plans prepared by entitled “52 Varda Landing Road” and date-stamped June 25, 2021.

COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION CONDITIONS OF APPROVAL:

General Items:

1. It shall be the applicant's/property owner's responsibility to diligently proceed to carry out the conditions of approval and implement any approved permit/entitlement. This shall include establishing the approved use within the time limits set forth by the applicable chapter(reference SMC 10.50.120).
2. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
3. Conditions of Approval shall be restated on the demolition plans as well as the construction plans.
4. A demolition permit shall not be issued prior to the building permit.
5. Prior to issuance of the building permit applicant shall submit documentation reasonably acceptable to the Community Development Director indicating that they have worked with the Sausalito Sea Level Rise and Subsidence Task Force to have modeling performed and that modeling is included as part of the public record. The applicant shall submit that documentation prior to issuance of the building permit.
6. The Project shall be designed as shown in the set of plans, submitted as “Attachment 2 52 Varda Landing PC Reso Final 7.6.22.” The applicant shall submit updated plans to show consistent dates on each plan sheet.
7. Plants used must be permitted by South Marin Fire from its list of acceptable plants. The size and maturity of any trees proposed as substitutions must match the intent of the original landscape plan.
8. A working group of two Planning Commissioners shall work with the applicant to finalize the exterior siding color of the structure, which will not return to the Planning Commission.
9. Any changes to this project, other than the siding color, shall return to the Planning Commission for the review and not be handled ministerially.
10. The A-frame on-site structure will be maintained as a studio and not utilized as a

residence.

11. Exterior lighting shall be shielded and downward facing.
12. The Applicant/Property Owners shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City) and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the Project or any portion of the Project.
13. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the Project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire Project shall be reviewed by the City and substitute conditions may be imposed.
14. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 9%) shall be paid.
15. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit. This shall include establishing the approved use/implementing the permit within the time limits set forth by the applicable chapter.
16. The Design Review Permit shall expire two years following the effective date of the permit if the Project entitlement has not been implemented, provided no extension has been filed prior to the expiration date. The Project entitlement pursuant to the Design Review Permit is determined to be implemented if the applicable conditions of approval prerequisite to construction have been satisfied and any required construction permits have been issued.
17. Any mechanical equipment installed in connection with this Project shall be subject to Sausalito Municipal Code section 12.16.130 - Machinery, equipment, fans, and air conditioning.
18. At the time of building permit application, the applicant shall file a reasonable estimate of the value of the Project, and based thereon, a construction time limit shall be established for the Project in accordance with the criteria set forth in SMC Section 10.54.100. The following conditions apply:
 - a) The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the Project such documentation may include without limitation an executed construction contract.
 - b) The time for completion of the construction shall also be indicated on the construction permit.
 - c) For projects exceeding \$500,000 in project valuation, a detailed GANTT chart (or other graphic display acceptable to the Community Development Director) depicting the sequence of steps necessary for completion of the Project, including detailed information on the critical path of the Project, duration of critical tasks, and predicted inspection dates, shall be submitted prior to the issuance of any construction permit.

- d) Once approved, the property owner shall provide the City with written quarterly job progress reports consistent with the approved chart.

DEPARTMENT OF PUBLIC WORKS CONDITIONS OF APPROVAL:

Prior to the issuance of a Building Permit the applicant shall address the following:

19. The Geotech shall review the plan and provide a letter to the city that the final building permit set complies with the soils report.
20. Prior to the issuance of a building permit the applicant shall submit plans identifying the Datum utilized to set the finished floor elevation in order to be in compliance with FEMA standards. DPW acknowledges Level 1 elevations for both residences are 11.0 and BFE is 10.
21. Prior to the issuance of a building permit the applicant shall submit plans *showing the location of the 6" pipe through "Foundation Openings" to include calculations to justify the size of the openings. To comply with FEMA regulations to appropriately size the openings and show these on the section or profile plan sheets for the buildings. Plans must include calculations that the vents satisfy FEMA requirements.*
22. "Standard Utility Trench" plans shall comply with county standards.
23. Prior to the issuance of a building permit the applicant shall submit plans showing the new gas connection does not include a propane tank.
24. "Sanitary Sewer Lift" station: Prior to the issuance of a building permit the applicant shall submit plans showing proposed footprint, depth, and type of foundation for this system that will not float move or settle in the bay mud subsurface.
25. Prior to the issuance of a building permit the applicant shall submit plans showing all utility easements.
26. Prior to the issuance of a building permit the applicant shall submit plans showing location and dimensions of proposed parking spaces.
27. Prior to the issuance of a building permit the applicant shall submit a letter of agreement from the property owner of 60 Varda Landing Road, to relocate the 40 Varda Landing Road easement to 60 Varda Landing Road, to allow on-site parking on 60 Varda Landing Road.
28. Prior to the issuance of a building permit the applicant shall submit a survey, completed by a California licensed engineer, showing all utility easements on the subject property.
29. The limits of excavation shall be shown on the site plan. No grading shall extend past the property line without written consent, provided to the City, from the adjacent neighbor.
30. The sequence of construction shall be noted on the plan set in order to not conflict with similar work. Tieback or helical anchors for the retaining walls shall not impact the installation of piles or the passive resistance associated with the foundations of these improvements.
31. The applicant shall obtain a grading permit from the Department of Public Works prior to performing any demolition or grading at the site.

32. The applicant shall install all erosion control measures prior to any demolition and grading occurring at the site.

General

33. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this Project or any portion of this Project and shall reimburse the City for any costs incurred by the City's defense of the approval of the Project.
34. Prior to issuance of a Certificate of Occupancy, applicant shall repair or replace, at no expense to the City, damage to public facilities that results from applicant's construction activities.
35. Applicant is advised that applicant's contractor shall save and protect all existing facilities not designated for removal or modification within the public right of way.

Storm Water Protection Program

36. Prior to issuance of a Building Permit the developer's civil engineer or contractor shall submit a detailed erosion control plan, including cost estimate, for review and approval by the Department of Public Works. Erosion control plan shall incorporate guidelines and measures from the Marin County Stormwater Pollution Prevention Program's (MCSTOPPP) publication "Minimum Erosion/Sediment Control Measures for Small Construction Projects". [http://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-_2015.pdf?la=en]
37. Applicant is advised that applicant's contractor shall be required to implement and maintain erosion control measures per the approved erosion control plan for the duration of the Project.

SOUTHERN MARIN FIRE DISTRICT CONDITIONS OF APPROVAL:

38. Occupancy Type: The new proposed living unit shall be identified as an R-3 occupancy. The A-Frame structure shall be classified as a U occupancy, as no living units or plumbing are identified in the unit. If any plumbing is installed in the U-structure, this may require the building to be equipped with a fire sprinkler system. Please identify on the title sheet prior to building permit submittal the occupancy type for each structure.
39. Varda Landing Road shall be required to be paved from beginning of the road to the access point on to the property (Easement at 60 Varda Landing). All access roads serving a dwelling(s) shall be a minimum of 20 feet in width and be paved. The surface shall be designed and maintained per CA Fire Code and SMFD Standard 210.
40. Deferred Submittals: Please note on the cover sheet of the drawings all deferred submittals that will be required by Southern Marin Fire District.
 - a. Fire Sprinklers
41. Fire sprinkler system requirements:

An automatic fire sprinkler system shall be required to be installed in the R-3 occupancy

during the construction portion of this Project. An automatic sprinkler system shall be required in the A-frame structure if not classified as a U-occupancy. The system shall comply with the following:

A fire sprinkler system shall be provided for:

- a. All new construction.

Fire sprinkler coverage shall be provided through the entire structure according to Chapter 9 of the California Fire Code.

Fire sprinkler system shall be installed according to NFPA **13D** and Southern Marin Fire Standard 401.

Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District, Fire Prevention Bureau for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District Standard 401 and N.F.P.A. Standard(s) 13, 13D or 13R.

42. A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).
43. The property owner shall comply with California Fire Code Section 304.1.2 and Local Ordinance Section 109.3.2 Abatement of Clearance of Flammable Brush or Flammable Vegetative Growth from Structures.
 - a. A minimum clearance of 30 feet from the structure or to the property line, 10 feet from roads and property lines and any tree which extends within 10 feet of any chimney or stovepipe shall be kept clear of flammable brush, tree limbs and grasses.
 - b. A list of flammable (pyrophytic) plants and non-flammable (fire resistive) plants can be found on the University of California Cooperative Extension: Pyrophytic vs. Fire Resistive Plants list. This is available at firesafemarin.org.

Exception: Vegetation Management Plan for the property has been submitted and approved by the Fire Code Official.

44. This Project shall comply with California Fire Code Chapter 33 – *Fire Safety During Construction and Demolition*. These requirements include but are not limited to: Temporary Heating Equipment, Precautions Against Fire, Flammable and Combustible Liquids, Flammable Gases, Owners Responsibility for Fire Protection, Fire Reporting, Access for Fire Fighting, Means of Egress, Water Supply for Fire Protection, Standpipes, Automatic Fire Sprinkler Systems, Portable Fire Extinguishers, Motorized Construction Equipment, and Safeguarding Roofing Operations.
45. Fire access to the Project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the

items listed below.

46. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
47. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.
48. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
49. Encroachment permit, grading permit, third party review fees (cost plus 10%) fees shall be paid.
50. Grading/drainage permit(s) if necessary shall be obtained from the Department Public Works for earthwork of 50 cubic yards or more.
51. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any Building Permits, unless the requirement is waived pursuant to Section 8.54.050.
52. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
53. Pursuant to Sausalito Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500-foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.
Saturdays – Between 9:00 a.m. and 5:00 p.m.
Sundays – Prohibited City holidays (not including Sundays) – Prohibited.

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

SAUSALITO PLANNING COMMISSION NO. 2022-16

JULY 6, 2022

52 VARDA LANDING ROAD

DR/LLA/DR 2020-00006

EXHIBIT C: PROJECT PLANS



SHEET INDEX

SHEET NUMBER	SHEET NAME
GENERAL	
G0.00	COVER SHEET
SURVEY	
SV-001	TOPOGRAPHIC AND BOUNDARY SURVEY
SV-002	RECORD OF SURVEY
SV-003	RECORD OF SURVEY
SV-004	RECORD OF SURVEY
CIVIL	
C-001	NOTES AND ABBREVIATIONS
C-100	SITE AND UTILITY IMPROVEMENTS PLAN
C-200	GRADING AND DRAINAGE PLAN
C-300	STORMWATER MANAGEMENT PLAN
C-400	DETAILS
ARCHITECTURE	
A1.01	SITE PLAN
A1.11	DEMOLITION PLAN
A1.21	CONSTRUCTION STAGING PLAN
A1.22	STORY POLE PLAN
A2.01	PROPOSED LEVEL 1 FLOOR PLAN - OVERALL
A2.01A	PROPOSED LEVEL 1 ENLARGED FLOOR PLANS - NEW RESIDENCE AND REFINISHED A-FRAME
A2.03	PROPOSED ROOF PLAN - OVERALL
A2.03A	PROPOSED ENLARGED ROOF PLANS - NEW RESIDENCE AND REFINISHED SHED
A4.01	EXISTING EXTERIOR ELEVATIONS - RESIDENCE TO BE DEMOLISHED
A4.02	EXISTING EXTERIOR ELEVATIONS - SHED TO BE DEMOLISHED
A4.03	PROPOSED EXTERIOR ELEVATIONS - NEW RESIDENCE
A4.04	EXISTING EXTERIOR ELEVATIONS - A-FRAME TO BE REFINISHED
A4.05	PROPOSED EXTERIOR ELEVATIONS - REFINISHED A-FRAME
A5.01	PROPOSED SECTIONS
A7.01	EXTERIOR MATERIALS
A10.01	PERSPECTIVES
A10.02	PERSPECTIVES
LANDSCAPE	
L1.00	LANDSCAPE PLAN
L2.00	PLANTING PLAN

**EHRlich
YANAI
RHEE
CHANEY**

ARCHITECTS

10865 Washington Blvd
Culver City CA 90232
eyrc.com

☎ 310 838 9700
F 310 838 9737

NOT FOR CONSTRUCTION

ISSUE DATES

NO.	DATE	REVISION
1	10/09/2019	PLANNING PERMIT SUBMITTAL
2	05/04/2020	PLANNING PERMIT REVISION 1
3	12/18/2020	PLANNING PERMIT REVISION 2
4	6/25/2021	PLANNING PERMIT REVISION 3

APPLICABLE CODES

SAUSALITO MUNICIPAL CODE, TITLE VIII, BUILDINGS AND CONSTRUCTION
2016 CALIFORNIA BUILDING CODE (PART 2 OF TITLE 24)
2016 CALIFORNIA RESIDENTIAL CODE (PART 2.5 OF TITLE 24, SECTION R327)
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE TITLE 24, PART 6, CURRENT EDITION
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
2016 CALIFORNIA FIRE CODE
NFPA 13D, CURRENT EDITION (AUTOMATIC FIRE SPRINKLER SYSTEMS)

SCOPE OF WORK

PROJECT DESCRIPTION:
THE CONSTRUCTION OF A NEW 1-STORY SINGLE-FAMILY RESIDENCE WITH AN ATTACHED STUDIO SPACE AND THE REMODEL OF AN EXISTING A-FRAME AT 52 VARDA LANDING ROAD. THE DEMOLITION OF TWO EXISTING 1-STORY STRUCTURES AND A CONCRETE RETAINING WALL.

SEPARATE PERMITS

SEPARATE PERMIT AND APPLICATION SHALL BE REQUIRED FOR THE FOLLOWING:
AUTOMATIC FIRE SPRINKLERS

PROJECT INFORMATION

PROJECT ADDRESS: 52 VARDA LANDING ROAD
SAUSALITO, CA 94965

APN: 063-010-15

ZONING: H - HOUSEBOAT

TOTAL LOT AREA: (per survey)
27,937 SF

SETBACKS:
FRONT: 0' - 0"
SIDE: HALF OF BLDG HEIGHT FROM AVG. NATURAL GRADE
REAR: 15' - 0"

HEIGHT LIMIT:
MAX. HEIGHT LIMIT:
32' - 0"
EXISTING HEIGHT:
20' - 5"
PROPOSED HEIGHT:
20' - 5"

FLOOR AREA:
MAX. FLOOR AREA:
6,984 SF (25%)
EXISTING TOTAL FLOOR AREA:
2,251 SF (8%)
PROPOSED TOTAL FLOOR AREA:
2,294 SF (8%)

BUILDING COVERAGE:
MAX. BUILDING COVERAGE:
6,984 SF (25%)
EXISTING BUILDING COVERAGE:
3,074 SF (11%)
PROPOSED BUILDING COVERAGE:
2,646 SF (9%)

IMPERVIOUS SURFACE AREA:
MAX. IMPERVIOUS SURFACE AREA:
17,460 SF (62.5%)
EXISTING IMPERVIOUS SURFACE AREA:
3,976 SF (14%)
PROPOSED IMPERVIOUS SURFACE AREA:
4,878 SF (17%)

PARKING:
REQUIRED PARKING:
2 SPACES
EXISTING PARKING:
2 SPACES
PROVIDED PARKING:
2 SPACES

OCCUPANCY: R - RESIDENTIAL

CONSTRUCTION: TYPE V-B

FEMA FLOOD ZONE: AE, 10.0' BASE FLOOD ELEVATION

6/25/2021 10:16:19 AM BIM_360/Varda_Landing/659_Varda_Landing_52_Varda_Landing_Road.rvt

52 VARDA LANDING

52 VARDA LANDING ROAD, SAUSALITO, CA 94965
APN: 063-010-15

6/25/2021

PLANNING PERMIT REVISION 3

52 VARDA LANDING
52 VARDA LANDING ROAD,
SAUSALITO, CA 94965

APN: 063-010-15

PROJECT DIRECTORY

CLIENT / OWNER:
MAX HOUTZAGER
MARCEL HOUTZAGER
265 GATE 5 ROAD
SAUSALITO, CA 94965
E: mhoutzager@gmail.com

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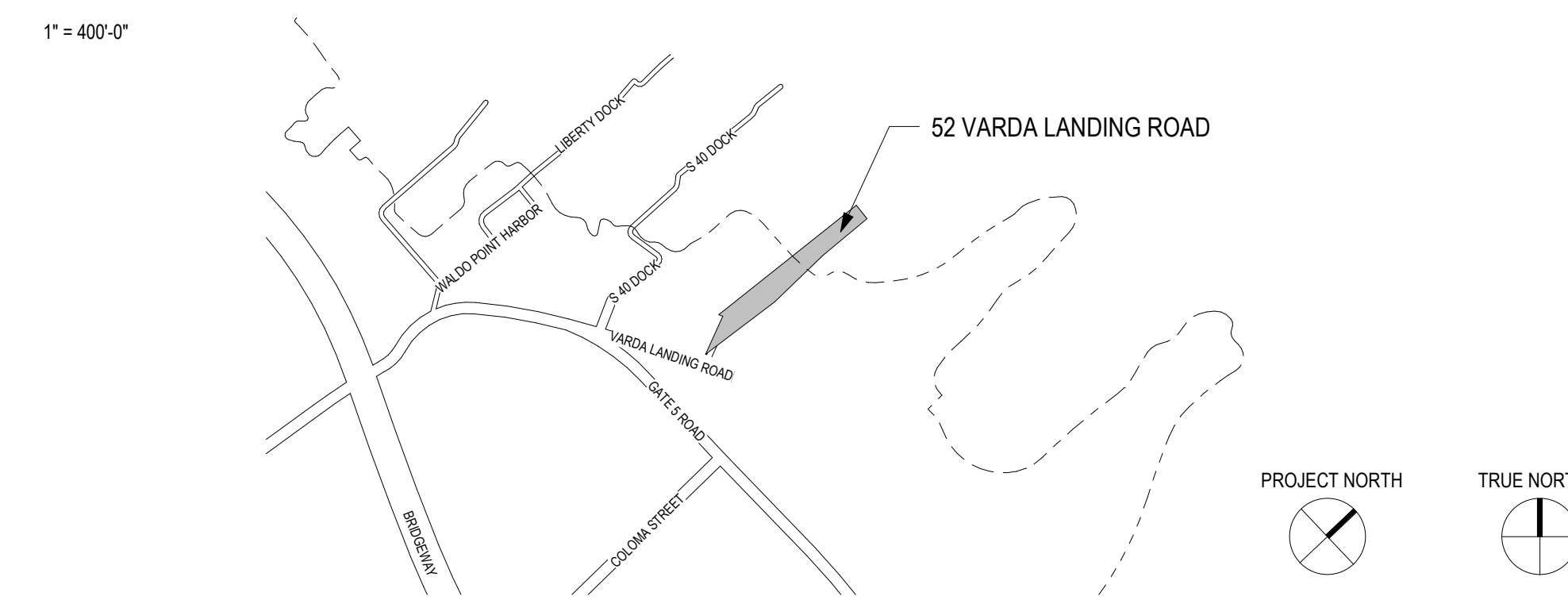
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TERREMOTO LANDSCAPE
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E: alain@terremoto.la

VICINITY MAP

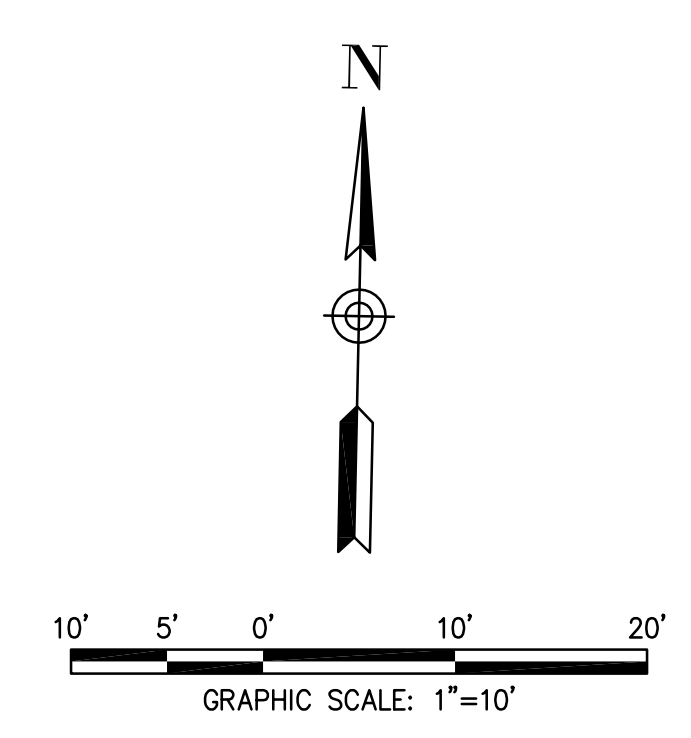
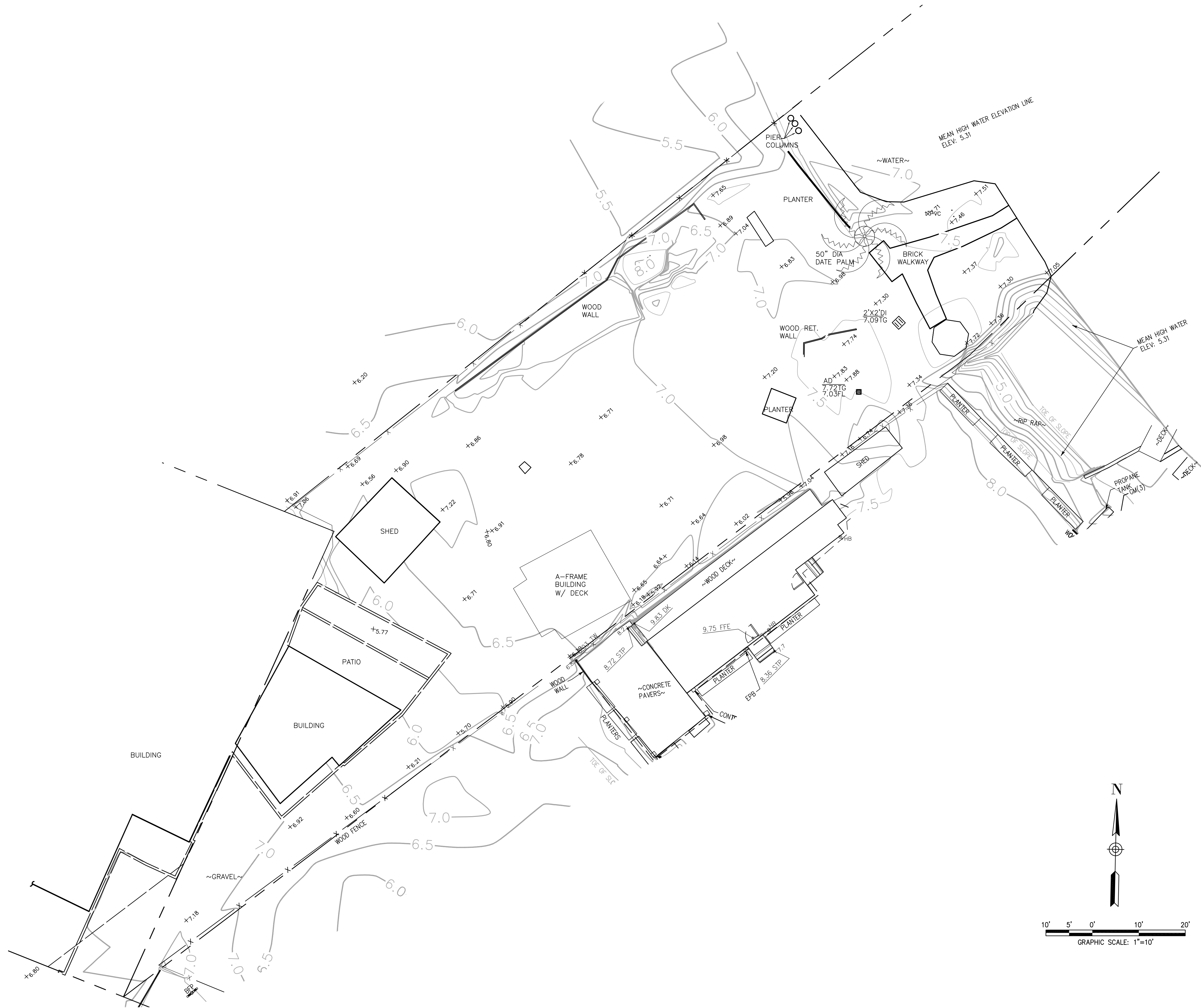


The plans and specifications prepared by Ehrlich Yanai Rhee Chaney Architects, LLP are protected from unauthorized modification, reuse and/or release under California Business & Professions Code section 20304.4, Health & Safety Code Section 18611(a), and Education Code Section 17116.

JOB NUMBER: 659

DATE: 6/25/2021

G0.00



1
2
3
4
5

OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.
 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945
 PHONE (415) 897-2800
 WWW.OBERKAMPER.COM

CALIFORNIA
 MARIN COUNTY

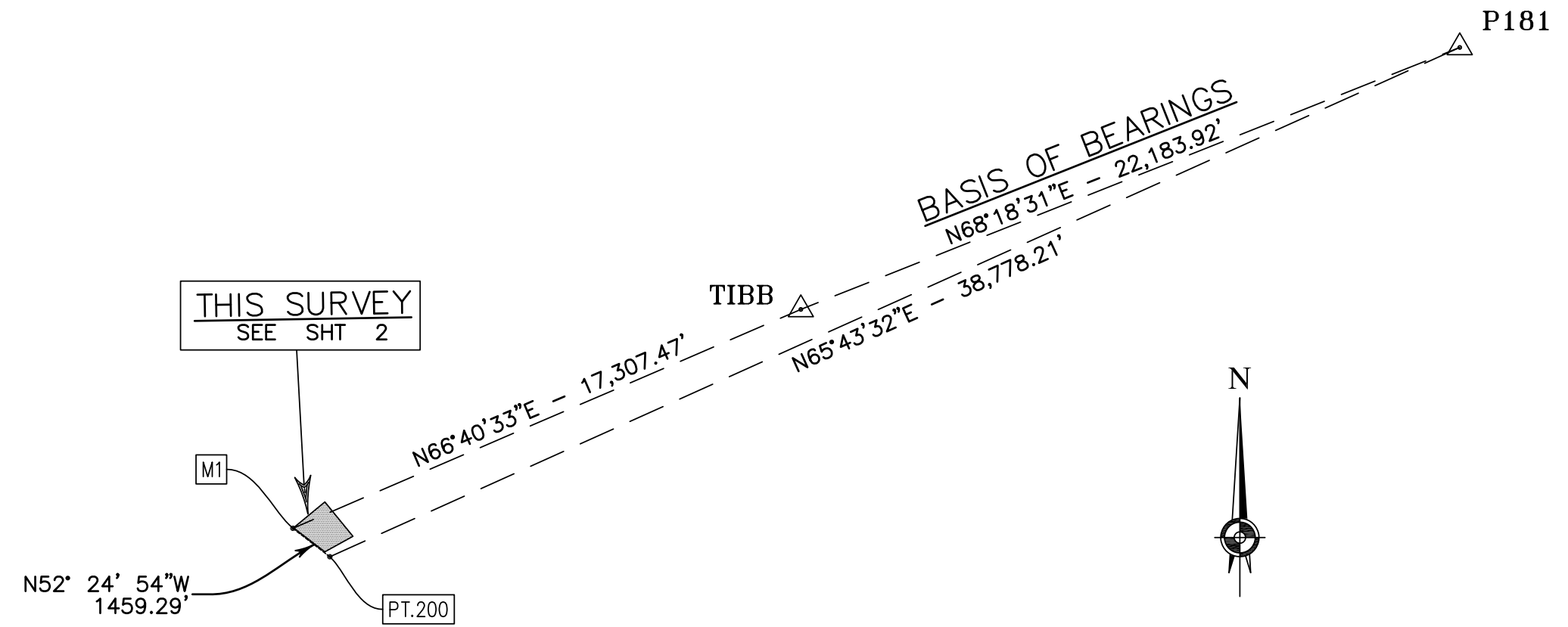
TOPOGRAPHIC & BOUNDARY SURVEY
52 VARDA LANDING RD (APN. 063-010-15)
 CITY OF SANJUALITO

Scale: 1"=10'
 Drawn by: TOR
 Field Crew: SWR/TCR
 Checked by: SWR
 Date: JANUARY 22, 2019

SHEET
 SV-001
 OF 1
 18-135

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), EPOCH 2010.00, DETERMINED LOCALLY [CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 3] BY THE LINE BEARING S68°18'30"W BETWEEN CONTINUOUSLY OPERATING REFERENCE STATIONS "TIBB" (PID: D02389) AND "P181" (PID: D11085) AS DERIVED FROM GEODETIC VALUES PUBLISHED BY NATIONAL GEODETIC SURVEY (NGS) PER THEIR CURRENT DATA SHEETS.



CONTROL DIAGRAM
NOT TO SCALE

ACCURACY STATEMENT:

HORIZONTAL COORDINATES SHOWN HEREON LIE BETWEEN THE 2 CENTIMETER AND 5 CENTIMETER ACCURACY CLASSIFICATIONS OF THEIR TRUE VALUES AT THE 95% CONFIDENCE LEVEL AS CALCULATED USING MICROSURVEY STARNET LEAST SQUARES ADJUSTMENT SOFTWARE, ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE GEOSPATIAL POSITIONING ACCURACY STANDARDS (TABLE 2.1), PER DOCUMENT FGDC-STD-007.2-1998 RELATIVE TO THE NATIONAL SPATIAL REFERENCE SYSTEM (NSRS).

SURVEY CONTROL COORDINATE TABLE							
MONUMENT	NORTHING	EASTING	LATITUDE (N)	LONGITUDE (W)	DESCRIPTION	CONVERGENCE ANGLE	COMBINED SCALE FACTOR
TIBB	2152696.69	5999690.59	37-53-27.14	122-26-51.32	CORS STATION "TIBB" (PID:D02389)	01°11'32.6"	0.99993532
P181	2160896.07	6020303.55	37-54-52.35	122-22-36.27	CORS STATION "P181" (PID:D11085)	-01°08'56.4"	0.99993323
M1	2145844.092	5983797.498	37-52-16.089	122-30-07.713	FD. 1" IRON PIPE RCE11181	01°14'57"	0.99994747
PT. 200	2144954.016	5984953.906	37-52-07.431	122-29-59.292	FD 3" BRASS DISC (ELEV=6.85) NAVD 88, GEOID 12B	01°13'27.6"	0.99993604

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF: AOBA, L.L.C. AND THEODORE & ELIZABETH ROSE IN OCTOBER 2018.



SHANE RAUCH
PLS 9471

DATE

COUNTY SURVEYOR'S STATEMENT:

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS _____ DAY OF _____ 2020.



TRACY W. PARK, PLS 8176 - MARIN COUNTY SURVEYOR

DAVID O. KNELL, PLS 5301, DEPUTY COUNTY SURVEYOR

RECORDER'S STATEMENT:

FILED THIS _____ DAY OF _____, 2020 IN BOOK _____ OF MAPS AT PAGE(S) _____, AT THE REQUEST OF THE MARIN COUNTY DEPARTMENT OF PUBLIC WORKS.

COUNTY RECORDER

BY DEPUTY

RECORD OF SURVEY

OF THE LANDS OF THEODORE & ELIZABETH ROSE AS DESCRIBED IN DOCUMENT NO. 2002-0068815, RECORDED AUGUST 08, 2002; AND THE LANDS OF AOBA LLC., DOCUMENT NO. 2017-023564, RECORDED JUNE 13, 2017 & DOCUMENT NO. 2017-016232, RECORDED APRIL 21, 2017, IN THE OFFICE OF THE MARIN COUNTY RECORDER.

CITY OF SAUSALITO COUNTY OF MARIN STATE OF CALIFORNIA

FEBRUARY 2019

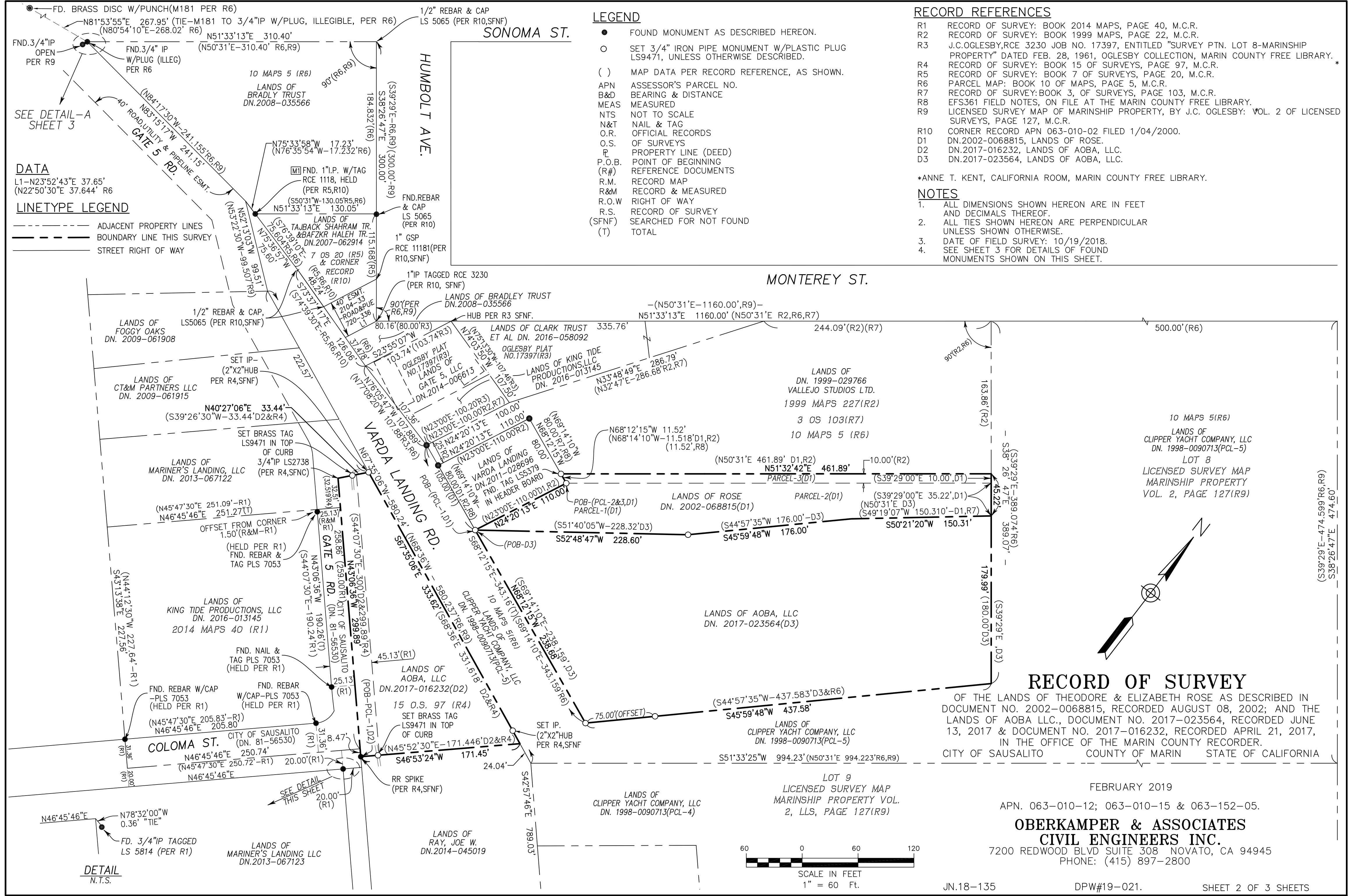
APN. 063-010-12; 063-010-15 & 063-152-05.

OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.
7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945
PHONE: (415) 897-2800

JN.18-135

DPW#19-021.

SHEET 1 OF 3 SHEETS



LEGEND

- FOUND MONUMENT AS DESCRIBED HEREON.
- SET 3/4" IRON PIPE MONUMENT W/PLASTIC PLUG LS9471, UNLESS OTHERWISE DESCRIBED.
- () MAP DATA PER RECORD REFERENCE, AS SHOWN.
- APN ASSESSOR'S PARCEL NO.
- B&D BEARING & DISTANCE
- MEAS MEASURED
- NTS NOT TO SCALE
- N&T NAIL & TAG
- O.R. OFFICIAL RECORDS
- O.S. OF SURVEYS
- P PROPERTY LINE (DEED)
- P.O.B. POINT OF BEGINNING
- (R#) REFERENCE DOCUMENTS
- R.M. RECORD MAP
- R&M RECORD & MEASURED
- R.O.W. RIGHT OF WAY
- R.S. RECORD OF SURVEY
- (SFNF) SEARCHED FOR NOT FOUND
- (T) TOTAL

RECORD REFERENCES

- R1 RECORD OF SURVEY: BOOK 2014 MAPS, PAGE 40, M.C.R.
- R2 RECORD OF SURVEY: BOOK 1999 MAPS, PAGE 22, M.C.R.
- R3 J.C. OGLESBY, RCE 3230 JOB NO. 17397, ENTITLED "SURVEY PTN. LOT 8-MARINSHIP PROPERTY" DATED FEB. 28, 1961, OGLESBY COLLECTION, MARIN COUNTY FREE LIBRARY.
- R4 RECORD OF SURVEY: BOOK 15 OF SURVEYS, PAGE 97, M.C.R.
- R5 RECORD OF SURVEY: BOOK 7 OF SURVEYS, PAGE 20, M.C.R.
- R6 PARCEL MAP: BOOK 10 OF MAPS, PAGE 5, M.C.R.
- R7 RECORD OF SURVEY: BOOK 3, OF SURVEYS, PAGE 103, M.C.R.
- R8 EFS361 FIELD NOTES, ON FILE AT THE MARIN COUNTY FREE LIBRARY.
- R9 LICENSED SURVEY MAP OF MARINSHIP PROPERTY, BY J.C. OGLESBY: VOL. 2 OF LICENSED SURVEYS, PAGE 127, M.C.R.
- R10 CORNER RECORD APN 063-010-02 FILED 1/04/2000.
- D1 DN.2002-0068815, LANDS OF ROSE.
- D2 DN.2017-016232, LANDS OF AOBA, LLC.
- D3 DN.2017-023564, LANDS OF AOBA, LLC.

*ANNE T. KENT, CALIFORNIA ROOM, MARIN COUNTY FREE LIBRARY.

NOTES

1. ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
2. ALL TIES SHOWN HEREON ARE PERPENDICULAR UNLESS SHOWN OTHERWISE.
3. DATE OF FIELD SURVEY: 10/19/2018.
4. SEE SHEET 3 FOR DETAILS OF FOUND MONUMENTS SHOWN ON THIS SHEET.

DATA
 L1-N23°52'43"E 37.65'
 (N22°50'30"E 37.644' R6)

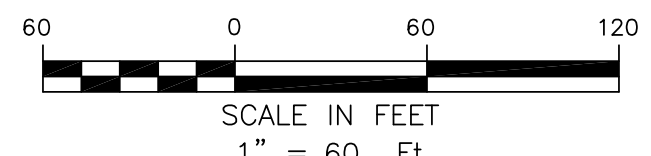
LINETYPE LEGEND
 - - - ADJACENT PROPERTY LINES
 - - - BOUNDARY LINE THIS SURVEY
 - - - STREET RIGHT OF WAY

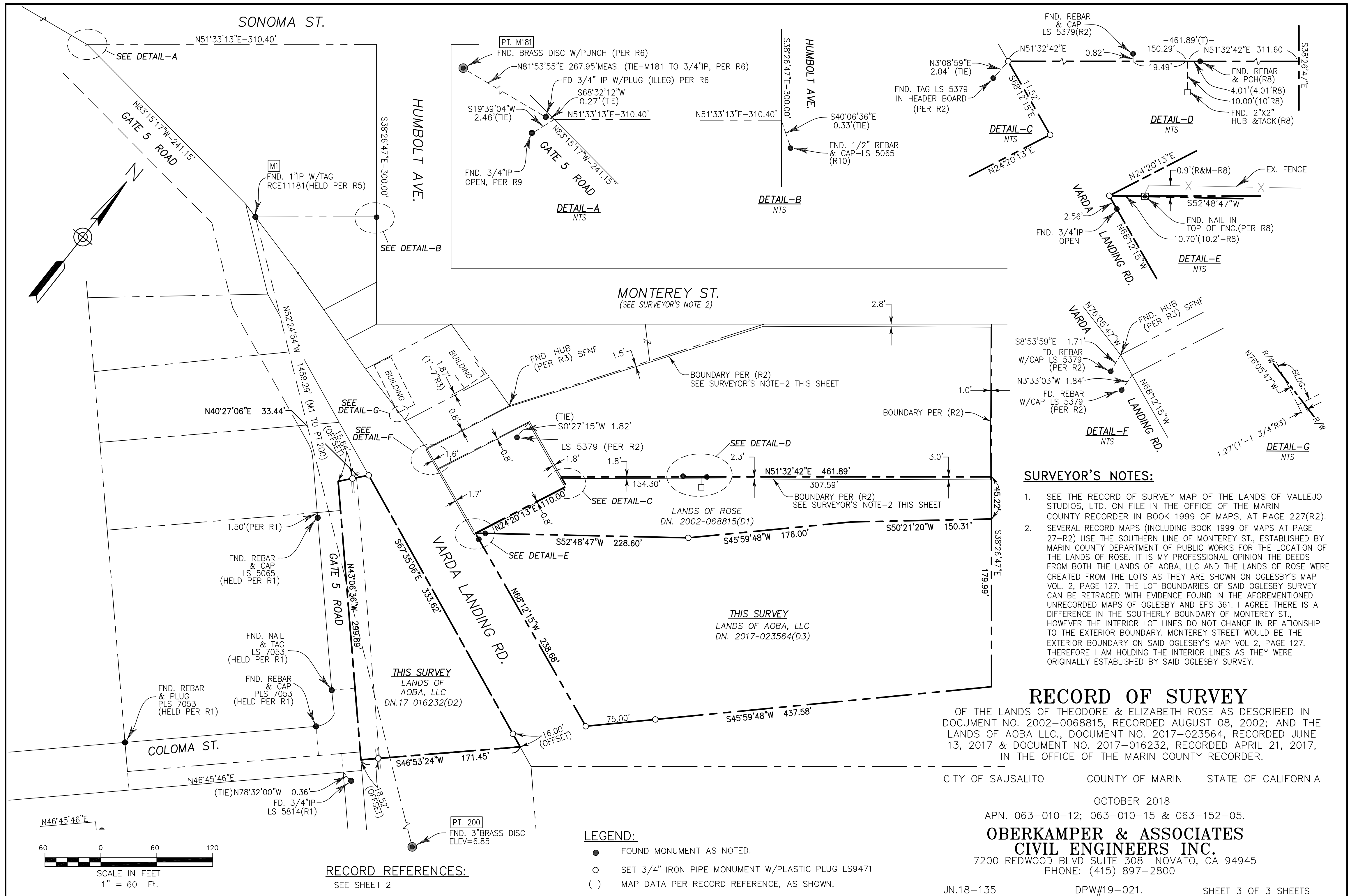
RECORD OF SURVEY

OF THE LANDS OF THEODORE & ELIZABETH ROSE AS DESCRIBED IN DOCUMENT NO. 2002-0068815, RECORDED AUGUST 08, 2002; AND THE LANDS OF AOBA LLC., DOCUMENT NO. 2017-023564, RECORDED JUNE 13, 2017 & DOCUMENT NO. 2017-016232, RECORDED APRIL 21, 2017, IN THE OFFICE OF THE MARIN COUNTY RECORDER.
 CITY OF SAUSALITO COUNTY OF MARIN STATE OF CALIFORNIA

FEBRUARY 2019
 APN. 063-010-12; 063-010-15 & 063-152-05.

OBERKAMPER & ASSOCIATES
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SURVEYOR'S NOTES:

- SEE THE RECORD OF SURVEY MAP OF THE LANDS OF VALLEJO STUDIOS, LTD. ON FILE IN THE OFFICE OF THE MARIN COUNTY RECORDER IN BOOK 1999 OF MAPS, AT PAGE 227(R2).
- SEVERAL RECORD MAPS (INCLUDING BOOK 1999 OF MAPS AT PAGE 27-R2) USE THE SOUTHERN LINE OF MONTEREY ST., ESTABLISHED BY MARIN COUNTY DEPARTMENT OF PUBLIC WORKS FOR THE LOCATION OF THE LANDS OF ROSE. IT IS MY PROFESSIONAL OPINION THE DEEDS FROM BOTH THE LANDS OF Aoba, LLC AND THE LANDS OF ROSE WERE CREATED FROM THE LOTS AS THEY ARE SHOWN ON OGLESBY'S MAP VOL. 2, PAGE 127. THE LOT BOUNDARIES OF SAID OGLESBY SURVEY CAN BE RETRACED WITH EVIDENCE FOUND IN THE AFOREMENTIONED UNRECORDED MAPS OF OGLESBY AND EFS 361. I AGREE THERE IS A DIFFERENCE IN THE SOUTHERLY BOUNDARY OF MONTEREY ST., HOWEVER THE INTERIOR LOT LINES DO NOT CHANGE IN RELATIONSHIP TO THE EXTERIOR BOUNDARY. MONTEREY STREET WOULD BE THE EXTERIOR BOUNDARY ON SAID OGLESBY'S MAP VOL 2, PAGE 127. THEREFORE I AM HOLDING THE INTERIOR LINES AS THEY WERE ORIGINALLY ESTABLISHED BY SAID OGLESBY SURVEY.

RECORD OF SURVEY

OF THE LANDS OF THEODORE & ELIZABETH ROSE AS DESCRIBED IN DOCUMENT NO. 2002-0068815, RECORDED AUGUST 08, 2002; AND THE LANDS OF Aoba LLC., DOCUMENT NO. 2017-023564, RECORDED JUNE 13, 2017 & DOCUMENT NO. 2017-016232, RECORDED APRIL 21, 2017, IN THE OFFICE OF THE MARIN COUNTY RECORDER.

CITY OF SAUSALITO COUNTY OF MARIN STATE OF CALIFORNIA

OCTOBER 2018
 APN. 063-010-12; 063-010-15 & 063-152-05.

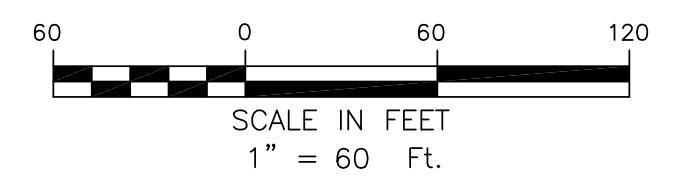
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 PHONE: (415) 897-2800

JN.18-135 DPW#19-021. SHEET 3 OF 3 SHEETS

LEGEND:

- FOUND MONUMENT AS NOTED.
- SET 3/4" IRON PIPE MONUMENT W/PLASTIC PLUG LS9471
- () MAP DATA PER RECORD REFERENCE, AS SHOWN.

RECORD REFERENCES:
 SEE SHEET 2



VARDA LANDING-BERTH 52

SAUSALITO, CALIFORNIA

GENERAL NOTES

- WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THE GEOTECHNICAL REPORT IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS AND ALL EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED THEREIN.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OR HERSELF WITH THE GEOTECHNICAL REPORT, ENTITLED "GEOTECHNICAL INVESTIGATION PROPOSED MARINSHIP STUDIOS, 265 GATE 5 ROAD, 52 VARDA LANDING ROAD, AND 60 VARDA LANDING ROAD SAUSALITO, CALIFORNIA" BY ROCKRIDGE GEOTECHNICAL DATED JANUARY 2019 AND KEEP A COPY OF THIS REPORT ON SITE.
- SHOULD IT APPEAR THAT THE WORK OUTLINED ON THESE PLANS IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PROCEEDING WITH THE WORK IN QUESTION AND REQUEST CLARIFICATION.
- WHEN SPECIFICATIONS OR STANDARDS FROM DIFFERENT AUTHORITIES DIFFER FOR THE SAME SUBJECT MATTER, NOTIFY OWNER FOR CLARIFICATION.
- CONSTRUCTION STAKING SHALL BE PERFORMED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
- UTILITIES AND UNDERGROUND FACILITIES INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES AND /OR FIELD INVESTIGATION.
- THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT ONE CALL PROGRAM 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER 811. EXCAVATION IS DEFINED AS REMOVING MATERIAL 18 INCHES OR MORE BELOW EXISTING GRADE.
- THE CONTRACTOR SHALL ADJUST TO FINAL GRADE EXISTING AND/OR NEW MANHOLES, CURB INLETS, CATCH BASINS, VALVES, VAULTS, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA TO FINAL GRADE IN PAVEMENT AND LANDSCAPE AREAS, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL POST ON SITE EMERGENCY TELEPHONE NUMBERS FOR AMBULANCE, POLICE, FIRE DEPARTMENTS, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF THE JOB SITE.
- THE CONTRACTOR SHALL MAINTAIN ON-SITE AND IN ALL VEHICLES A COPY OF THE SPILL PREVENTION AND RESPONSE PLAN AND SHALL BE KNOWLEDGEABLE OF THE REPORTING REQUIREMENTS AND PROCEDURES.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.
- CONTRACTOR SHALL COMPLY WITH STATE, COUNTY AND CITY LAWS AND ORDINANCES; AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING 24-HOUR PER DAY DUST CONTROL. DUST CONTROL MEASURES SHALL BE APPLIED AS NECESSARY, OR AS DIRECTED BY [THE CITY] TO PREVENT THE TRANSPORT OFF-SITE OF ANY DUST OR OTHER AIRBORNE NUISANCE.
- TREE PROTECTION FENCING SHALL BE PROVIDED AT THE DRIP LINE AROUND TREES TO REMAIN. ANY EXCAVATION REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE BY HAND EXCAVATION OR AIR ONLY AND THE CONTRACTOR SHALL AVOID DAMAGE TO THE TREE'S ROOTS. WHEN CUTTING ROOTS IS UNAVOIDABLE, THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS OF THE PROJECT ARBORIST.
- TRUCKS HAULING DIRT AND DEBRIS SHALL BE COVERED TO REDUCE WINDBLOWN DUST SPILLS.
- ON-SITE STOCKPILES OF IMPORTED AND EXCAVATED MATERIAL TO BE LEFT IN PLACE FOR MORE THAN 24 HOURS SHALL BE COVERED AND WATERED TO PREVENT DUST AND RUNOFF.
- DURING CONSTRUCTION, THE PUBLIC STREETS SHALL BE CLEANED AS OFTEN AS REQUIRED TO REMOVE ACCUMULATION OF MUD AND DEBRIS RESULTING FROM CONSTRUCTION. IF IMPORT OR EXPORT OF DIRT IS NECESSARY, THE CONTRACTOR SHALL OBTAIN AN APPROVAL FROM THE HAULING ROUTE FROM THE [TOWN BUILDING DEPARTMENT]. THE HAULING ROUTES SHALL BE STRICTLY ADHERED TO BY THE CONTRACTOR AND SUBCONTRACTORS.
- STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT ON CITY STREETS WILL NOT BE PERMITTED.
- CONSTRUCTION EQUIPMENT, TOOLS, ETC. SHALL NOT BE CLEANED OR RINSED INTO A STREET, GUTTER, OR STORM DRAIN.
- TRAFFIC CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL MAINTAIN THE WORKSITE AND ADJACENT AREAS IN A CLEAN AND ORGANIZED MANNER THROUGHOUT THE PROJECT DURATION.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING SITE FEATURES/STRUCTURES NOT SPECIFICALLY SHOWN TO BE REMOVED. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL MITIGATION TO DAMAGED SITE FEATURES/STRUCTURES.
- THE COST OF PROTECTION AND/OR REPAIR OF THE CONTRACTOR'S WORK AS AFFECTED BY STORMWATER DURING A STORM EVENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY UNTIL THE IMPROVEMENTS HAVE BEEN ACCEPTED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES OR IMPROVEMENTS AS A RESULT OF NOT PROTECTING SUCH AREAS FROM STORMWATER FLOWING BEYOND THE WORK AREA.
- THE COST OF CORRECTIVE WORK REQUIRED FOR COMPLETION AND/OR ACCEPTANCE OF THE WORK NECESSITATED BECAUSE OF UNSATISFACTORY WORKMANSHIP OR MATERIALS OR DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE WORK SITE SHALL BE CLEANED AND LEFT FREE OF CONSTRUCTION WASTE AND RUBBISH OF ANY NATURE BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- ARTICLE 87 OF THE UNIFORM FIRE CODE SHALL BE FOLLOWED FOR AREAS UNDER CONSTRUCTION. CONTACT THE [INSERT CITY/COUNTY FIRE DEPARTMENT] FOR SPECIFIC REQUIREMENTS FOR BUILDINGS UNDER CONSTRUCTION.
- THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF [INSERT STATE] CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES.



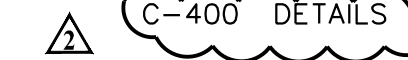
VICINITY MAP - NTS

SURVEY

- GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CONSTRUCTION STAKING SHALL BE PERFORMED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CA.

SHEET INDEX

- C-001 COVER, NOTES AND ABBREVIATIONS
- C-100 SITE AND UTILITY PLAN
- C-200 GRADING AND DRAINAGE PLAN
- C-300 STORMWATER MANAGEMENT PLAN
- C-400 DETAILS



ABBREVIATIONS

ABD	ABANDONED	MH	MANHOLE
AC	ASPHALT CONCRETE	MIN	MINIMUM
AD	AREA DRAIN	N	NORTH
ADA	AMERICANS WITH DISABILITIES ACT	NTS	NOT TO SCALE
BS	BOTTOM OF STEP	OC	ON CENTER
BW	BOTTOM OF WALL / BACK OF WALK	(P)	PROPOSED
C&G	CURB & GUTTER	PL	PROPERTY LINE
CB	CATCH BASIN	POC	POINT OF CONNECTION
CL	CENTERLINE	PUE	PUBLIC UTILITY EASEMENT
CO	CLEAN OUT	PWT	PAVEMENT
CONC	CONCRETE	R, RAD	RADIUS
DEMO	DEMOLISH	REQ'D	REQUIRED
DI	DRAINAGE INLET	RET	RETAINING
DS	DOWN SPOUT	RIM	TOP OF STRUCTURE GRATE/ COVER
DW	DOMESTIC WATER	S	SLOPE
E	EAST	SAP	SEE ARCHITECTURAL PLANS
(E)	EXISTING	SD	STORM DRAIN
EL, ELEV	ELEVATION	SDFM	STORM DRAIN FORCE MAIN
ELEC	ELECTRIC	SDMH	STORM DRAIN MANHOLE
EP	EDGE OF PAVEMENT	SLP	SEE LANDSCAPE PLANS
EVA	EMERGENCY VEHICLE ACCESS	SS	SANITARY SEWER
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEAN OUT
FFE	FINISHED FLOOR ELEVATION	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	STD	STANDARD
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOWLINE	TB	TOP OF BANK
FS	FINISH SURFACE	TC	TOP OF CURB
FW	FIRE WATER	TD	TRENCH DRAIN
G	GAS	TEL	TELEPHONE
GB	GRADE BREAK	TEMP	TEMPORARY
GM	GAS METER	TC	TOP OF GRATE
HDPE	HIGH-DENSITY POLYETHYLENE	TS	TOP OF STEP
HP	HIGH POINT/ HINGE POINT	TW	TOP OF WALL
INV	INVERT OF PIPE OR CHANNEL	TYP	TYPICAL
IRR	IRRIGATION	UG	UNDERGROUND
JB	JUNCTION BOX	U.O.N.	UNLESS OTHERWISE NOTED
JP	JOINT POLE	VIF	VERIFY IN FIELD
LA	LANDSCAPE ARCHITECT	W	WATER
LP	LOW POINT	WM	WATER METER
MAX	MAXIMUM	WS	WATER SURFACE

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2	4/20/20	REVISION 2
3	6/25/21	REVISION 3

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NOTES AND ABBREVIATIONS

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C-001

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SITE AND UTILITY IMPROVEMENTS

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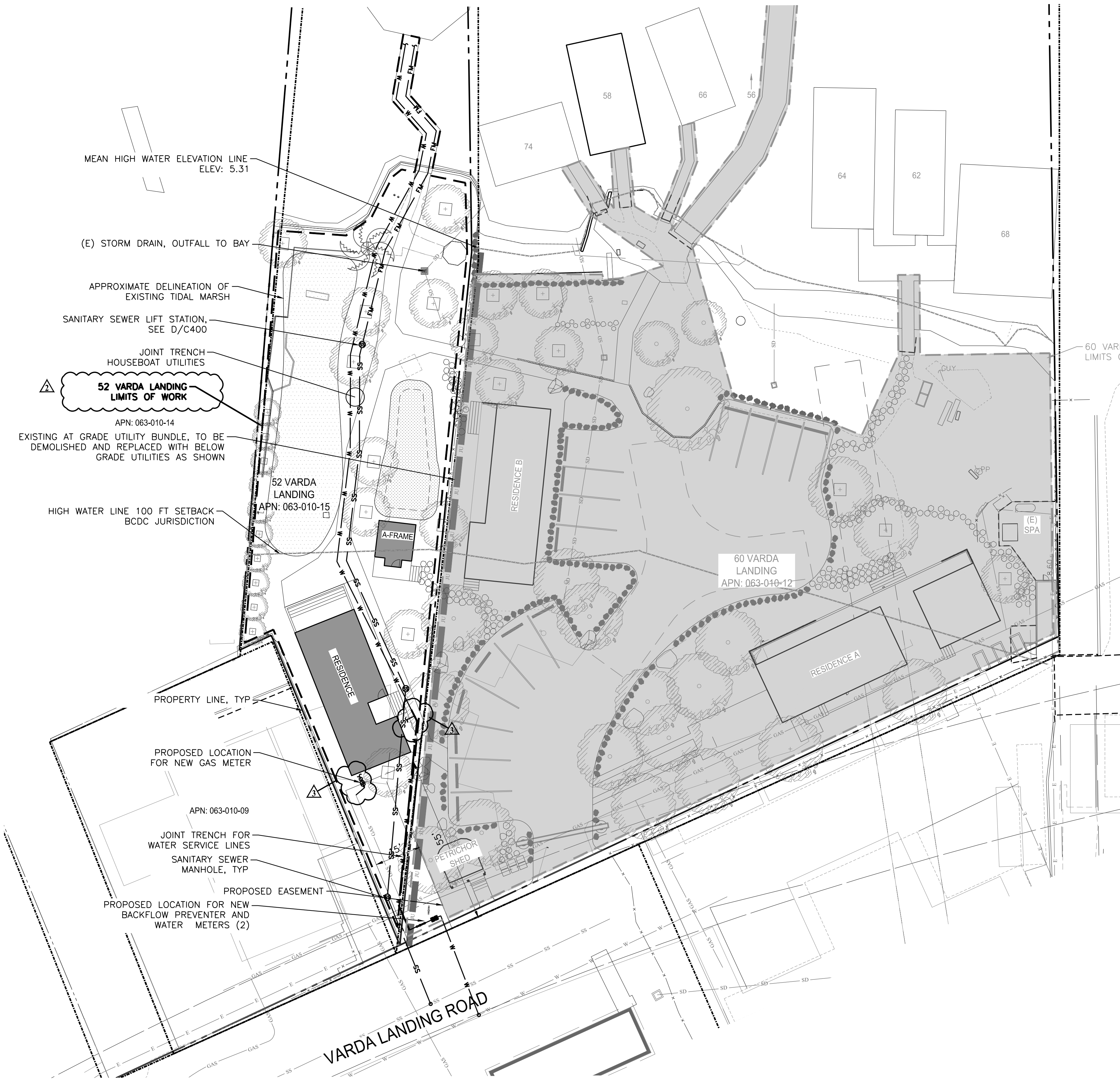
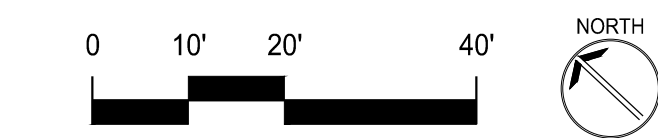
C-100

UTILITY NOTES

- UTILITY MATERIALS SHALL BE AS FOLLOWS:
 - UNLESS OTHERWISE NOTED, PIPE MATERIALS SHALL BE AS FOLLOWS:
 - DOMESTIC WATER - [AWWA C900, CLASS 235 PVC (BLUE) WITH BELL AND SPIGOT, PUSH-ON JOINTS WITH FACTORY INSTALLED ELASTOMERIC GASKET PER ASTM F477]
 - STORM DRAIN - [CORRUGATED PE DRAINAGE PIPE AND FITTINGS PER AASHTO M252M/M294M, TYPE S WITH SMOOTH WATERWAY; SILTTIGHT PE COUPLINGS WITH ASTM D 1056, TYPE 2, CLASS A GRADE 2 GASKET MATERIAL THAT MATES WITH PIPE AND FITTINGS]
 - SANITARY SEWER - [VITRIFIED CLAY PIPE (VCP), CONFORMING TO ASTM D700 WITH PUSH-ON TYPE FACTORY FABRICATED BELL/SPIGOT JOINTS WITH RIDGED CONFORMABLE COMPRESSION JOINT AND WATER TIGHT SEAL.
- PIPE TRENCHES SHALL BE EXCAVATED INTO UNDISTURBED NATIVE SOIL OR ENGINEERED AND COMPACTED FILL. IN NO EVENT SHALL PIPE BE INSTALLED IN A PROPOSED SLOPE WITH FILL PLACED OVER IT.
- PIPE TRENCHES SHALL BE OF ADEQUATE WIDTH TO PERMIT COMPACTION TO THE REQUIRED RELATIVE DENSITY UNDER THE HAUNCH OF THE PIPE.
- ALL PIPE SHALL BE PLACED ON COMPETENT SOIL, AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER, SUCH THAT THE FULL LENGTH OF PIPE REST ON THE TRENCH BOTTOM. HAND EXCAVATE AT THE JOINTS AND FITTINGS WHERE REQUIRED TO AVOID POINT LOADING.
- GRANULAR BEDDING SHALL BE PLACED TO A DEPTH INDICATED IN THE DRAWINGS WHERE ROCKY OR POORLY DRAINING SOILS ARE FOUND. CONTRACTOR SHALL USE ONLY MATERIALS THAT HAVE BEEN SUBMITTED TO AND APPROVED BY THE GEOTECHNICAL ENGINEER FOR BEDDING AND BACKFILL MATERIAL AND MAY INCLUDE NATIVE SOIL IF IT MEETS PROJECT REQUIREMENTS.
- BACKFILL PIPE TRENCHES AS FOLLOWS:
 - PIPE ZONE: ACCEPTABLE PIPE ZONE BACKFILL MATERIAL SHALL BE POORLY GRADED GRANULAR MATERIAL FREE OF CLAY, ORGANICS, FINES OR CLUMPS/STONES LARGER THAN 3-INCHES BELOW THE HAUNCH. HAND PLACE APPROVED PIPE ZONE BACKFILL MATERIAL AND COMPACT BY HAND TAMPING TO FILL ALL VOIDS TO THE EXTENT PRACTICAL.
 - SPRINGLINE TO 12-INCHES ABOVE THE PIPE. HAND PLACE ACCEPTABLE PIPE ZONE BACKFILL MATERIAL AND COMPACT USING HAND METHODS. DO NOT DROP FILL ONTO PIPE. DO NOT USE WHEELED METHODS TO COMPACT.
 - TRENCH BACKFILL TO 12-INCHES ABOVE THE PIPE. BACKFILL WITH SUITABLE MATERIAL IN LIFTS NOT EXCEEDING 8-INCHES. COMPACT TO THE RELATIVE DENSITY REQUIRED. BACKFILL EVENLY ON BOTH SIDES OF THE PIPE SO AS TO AVOID DISPLACEMENT OF THE PIPE. DO NOT ALLOW WHEELED COMPACTION METHODS OVER THE PIPE UNTIL BACKFILL REACHES AT LEAST 3-FT ABOVE TOP OF PIPE.
 - TOP ZONE: PLACE AND COMPACT MATERIAL TO FINAL GRADE ACCORDING TO THE PROPOSED SURFACE TREATMENT. IN PAVED AREAS, PLACE APPROPRIATE SUBBASE; IN LANDSCAPE AREAS, PLACE TOPSOIL PER LANDSCAPE PLANS, ETC.
- GRAVITY SYSTEMS SHALL BE INSTALLED TO THE LINE AND GRADE INDICATED. IF A CONFLICT IS IDENTIFIED, THE CONTRACTOR SHALL PROPOSE A SOLUTION TO THE ENGINEER AND WILL STOP WORK ON THE PIPE UNTIL THE ENGINEER ISSUES NEW ALIGNMENT OR ACCEPTS THE CONTRACTOR'S PROPOSED RESOLUTION IN WRITING.
- GRAVITY PIPE SHALL BE INSTALLED BEGINNING AT THE LOW POINT OF EACH RUN AND PROCEEDING UPHILL.
- ALL PIPE BENDS SHALL BE PRE-FABRICATED FITTINGS UNLESS SPECIAL FABRICATION IS APPROVED IN ADVANCE BY THE ENGINEER. NO FIELD-CONSTRUCTED FITTINGS SHALL BE INCORPORATED INTO THE WORK WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- ALL STRUCTURE RIMS (EXISTING AND PROPOSED) SHALL BE SET OR ADJUSTED TO BE FLUSH WITH ADJACENT PAVEMENT OR FINISHED GRADE, UNLESS OTHERWISE NOTED.
- METALIC PIPES SHALL BE SLEEVED, COATED OR PROVIDED WITH OTHER CATHODIC PROTECTION PER DIRECTION FROM THE CORROSION ENGINEER WHERE PLACED IN CORROSIVE SOILS. THE CONTRACTOR SHALL CONFIRM WITH THE GEOTECHNICAL ENGINEER THAT CORROSIVE SOILS ARE PRESENT IN THE PROJECT AREA.
- IF A UTILITY PROVIDER REQUIRES THAT WORK ASSOCIATED WITH THEIR FACILITIES BE PERFORMED BY ITS OWN OR ANOTHER UTILITY-CERTIFIED CONTRACTOR, THE CONTRACTOR SHALL PROVIDE INFORMATION AND FACILITATE COORDINATION TO ACCOMPLISH THE REQUIRED WORK EFFECTIVELY.
- ALL EXISTING UTILITIES TO BE CONFIRMED WITH AN UNDERGROUND SURVEY. CONCEPT PLAN HAS BEEN DEVELOPED WITH LIMITED INFORMATION AND IS SUBJECT TO CHANGE.
- THE EXISTING WATER SERVICE WILL BE USED IF ADEQUATE IN CAPACITY TO SERVE THE PROPOSED BUILDING(S). OTHERWISE, THE PROPOSED SERVICE AS SHOWN SHALL BE INSTALLED.

LEGEND

	EXISTING	PROPOSED
COMMUNICATIONS CONDUIT	— E — E — E —	— COMM —
ELECTRICAL CONDUIT	— E — E — E —	— E — E — E —
GAS LINE	— GAS — GAS —	— GAS — GAS —
SANITARY SEWER LINE	— SS — SS —	— SS — SS —
WATER SERVICE	— W — W — W —	— W — W — W —
FIRE WATER LINE	— FW — FW — FW —	— FW — FW — FW —
JOINT WET UTILITY TRENCH	■ ■ ■ ■ ■ ■ ■ ■	■ ■ ■ ■ ■ ■ ■ ■
BACKFLOW PREVENTER		⊠
WATER METER		⊠
FIRE HYDRANT		⊠
SANITARY SEWER MANHOLE		⊠
SANITARY SEWER FORCE MAIN		— FM — FM —
PROPERTY LINE	---	---
LIMITS OF WORK	---	---
HIGH WATER LINE	---	---



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GRADING AND DRAINAGE PLAN

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C-200

DRAINAGE NOTES

- CONTRACTOR TO PROVIDE STORM DRAIN PIPES OF SIZE, LENGTH AND SLOPE INDICATED ON THE DRAWINGS. UNLABELED PIPES ARE 6 INCH DIAMETER AT [2%] MIN SLOPE, LENGTH AS SCALED, UNLESS OTHERWISE NOTED.
- BIORETENTION BASINS SHALL BE CONSTRUCTED PER DETAILS PROVIDED AND CONSTRUCTED TO SHAPE, DIMENSIONS AND DETENTION VOLUMES INDICATED. PONDING SURFACE DEPTHS AND FREEBOARD REQUIRE LEVEL GRADES AT TOP AND TOE OF SWALE AND BASIN EMBANKMENTS. NO ADJUSTMENTS TO GRADES ARE ALLOWED WITHOUT EXPRESS WRITTEN DIRECTION FROM THE ENGINEER.
- SOILS INCORPORATED INTO BIOSWALES AND BIORETENTION BASINS SHALL BE AS SPECIFIED AND APPROVED BY THE ENGINEER WITHOUT EXCEPTION.
- THE CONTRACTOR IS RESPONSIBLE TO OPERATE AND MAINTAIN ALL DRAINAGE STRUCTURES AND FEATURES UNTIL FINAL ACCEPTANCE BY THE OWNER. FEATURES SUCH AS BIOSWALES AND OTHER LOW-IMPACT DEVELOPMENT (LID) ELEMENTS SHALL NOT BE USED FOR IMPOUNDMENT OR EROSION/SEDIMENT CONTROL DURING CONSTRUCTION UNLESS THOROUGHLY PROTECTED FROM SILT-UP OR CLOGGING. CLEAN UP OR REPLACEMENT OF SOILS IMPACTED BY CONSTRUCTION ACTIVITIES OR RUNOFF PRIOR TO HAND-OVER SHALL BE REPLACED PER ORIGINAL DESIGN AT THE CONTRACTOR'S EXPENSE.

GRADING NOTES

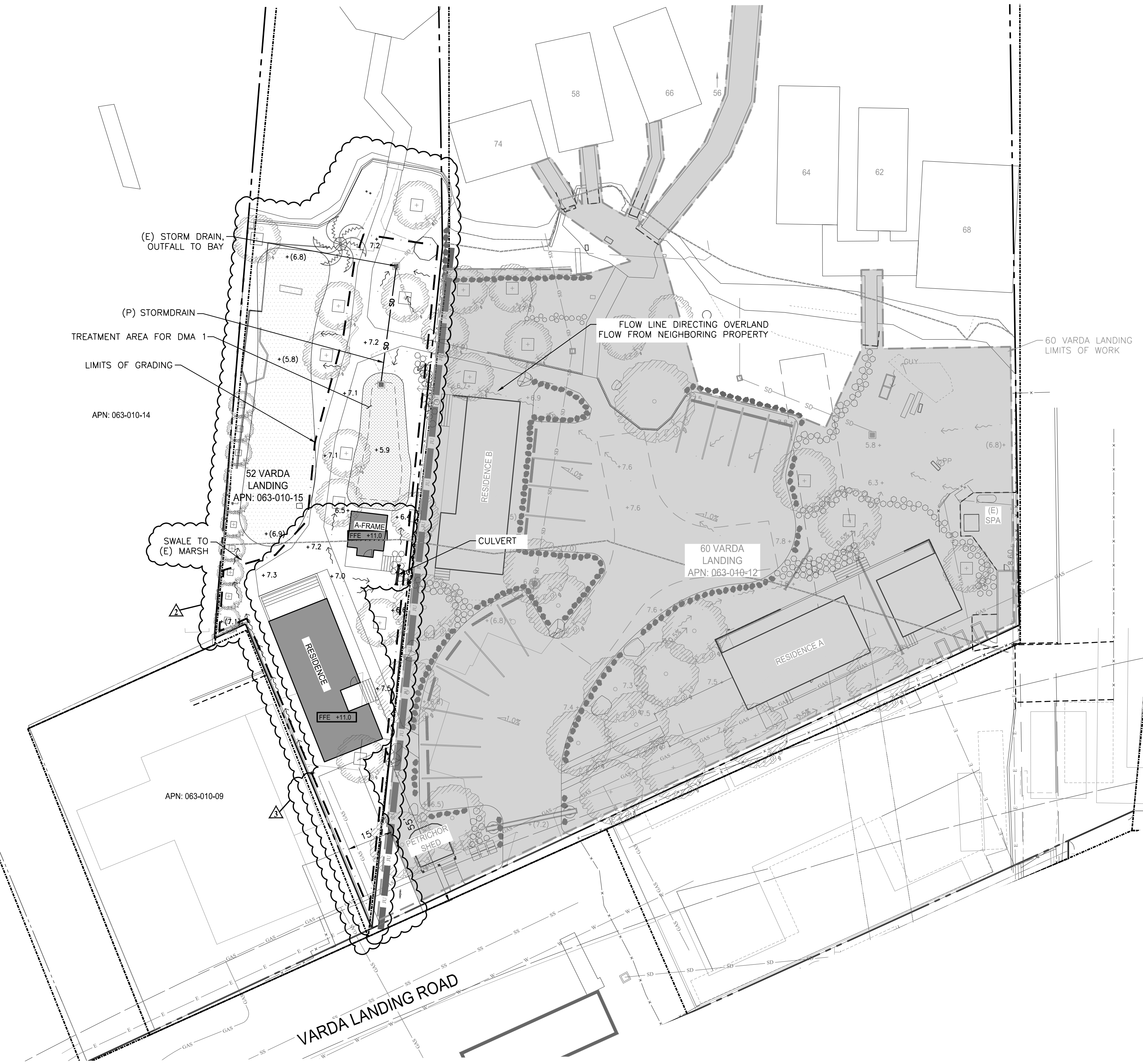
- ALL GRADING SHALL COMPLY WITH APPLICABLE PERMITS, LOCAL ORDINANCES AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT REFERENCED UNDER GENERAL NOTES.
- SEDIMENT AND EROSION CONTROL MEASURES, AS SPECIFIED IN THE PROJECT SWPPP SHALL BE INSTALLED PRIOR TO START OF GRADING ACTIVITIES.
- WHEN GRADING ACTIVITIES COMMENCE MORE THAN 30 DAYS AFTER GRUBBING ACTIVITIES, THE AREA SHALL BE SEEDED WITH PLANT MATERIAL TO CONTROL EROSION. ROOT DEPTH OF SUCH PLANT MATERIAL NOT TO EXCEED 4 INCHES.
- ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING INSPECTIONS.
- PROVIDE FINISHED GRADE AS SHOWN ON PLANS. MAINTAIN MIN. 3% SLOPE AWAY FROM BUILDING IN SOFTSCAPE OR 1.5% AWAY FROM BUILDING IN HARDSCAPE.
- PROVIDE MIN. SOIL COMPACTION OF 90% RELATIVE COMPACTION FOR FILLS BENEATH PROPOSED FLATWORK; AND REFER TO LANDSCAPE PLANS FOR LANDSCAPE; UNLESS OTHERWISE NOTED.

ADA NOTES

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH [TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE AND WITH] THE AMERICANS WITH DISABILITIES ACT.
- A 2% MAXIMUM SLOPE LANDING SHALL BE PROVIDED AT PRIMARY ENTRANCES OF THE BUILDINGS. THE LANDINGS SHALL HAVE A MINIMUM DEPTH OF 60" WHEN THE DOOR OPENS INTO THE BUILDING OR 42" PLUS THE WIDTH OF THE DOOR WHEN THE DOOR OPEN ONTO THE LANDING.
- ENTRANCE RAMPS TO BUILDINGS SHALL NOT EXCEED A SLOPE OF 1:20 (5%), UNLESS RAILINGS ARE PROVIDED PER THE ARCHITECTURAL/LANDSCAPE PLANS. RAMP SLOPE SHALL NOT EXCEED 1:12 (8.33%).
- RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN THE SLOPES OF 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A 2% MAXIMUM CROSS SLOPE. RAMPS EXCEEDING A VERTICAL RISE OF 2'-6" SHALL HAVE INTERMEDIATE LANDINGS WITH A 2% MAXIMUM SLOPE, IN ANY DIRECTION, AND A MINIMUM LENGTH OF 60" IN THE DIRECTION OF TRAVEL. BOTTOM LANDINGS AND LANDINGS AT CHANGES IN RAMP DIRECTION SHALL HAVE A MINIMUM LENGTH OF 72". ALL RAMPS SHALL HAVE HANDRAILS (SEE ARCHITECTURAL PLANS).
- MAXIMUM CROSS SLOPE ON ANY SIDEWALK OR RAMP SHALL BE 2% SLOPE.
- CURB RAMPS SHALL NOT EXCEED A SLOPE OF 1:12 (8.33%).
- MAXIMUM 2% SLOPE, IN ANY DIRECTION, WITHIN FULL EXTENTS OF ACCESSIBLE PARKING STALLS AND ACCESS AISLES.

LEGEND

	(E) STORM DRAIN LINE
	(P) STORM DRAIN LINE
	UNDERDRAIN
	CATCH BASIN
	JUNCTION BOX
	AREA DRAIN
	DRAINAGE ARROW
	FLOWLINE
	SLOPE HARDSCAPE
	SLOPE SOFTSCAPE
	FINISH FLOOR ELEVATION
	SPOT GRADE
	SPOT GRADE EXISTING



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STORMWATER MANAGEMENT NOTES

STORMWATER QUALITY NOTE: IMPROVEMENTS AS PART OF BERTH 52 INCLUDE THE INSTALLATION OF A BIORETENTION BASIN. THIS BASIN IS SIZED TO ADDRESS WATER QUALITY FOR BOTH BIRTH 52 AND A PORTION OF BERTH 60. A SECOND BIORETENTION BASIN IS PROPOSED AS PART OF BERTH 60 IMPROVEMENTS TO ADDRESS WATER QUALITY FOR THE REMAINDER AREA. BOTH PROPERTIES ARE OWNED BY THE SAME PROPERTY OWNER.

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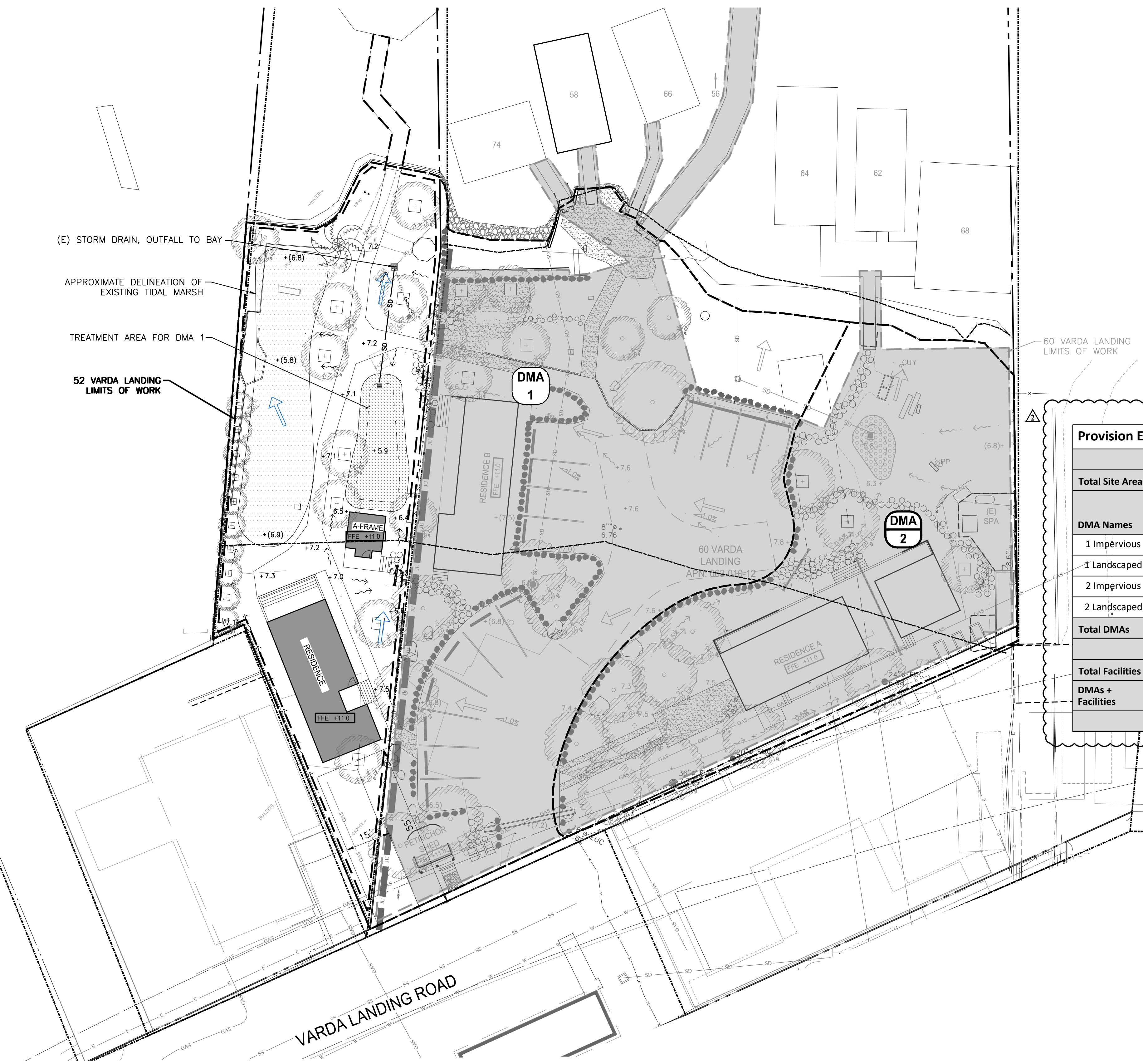
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STORMWATER MANAGEMENT PLAN

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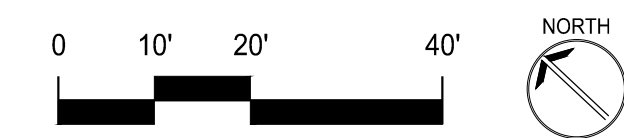
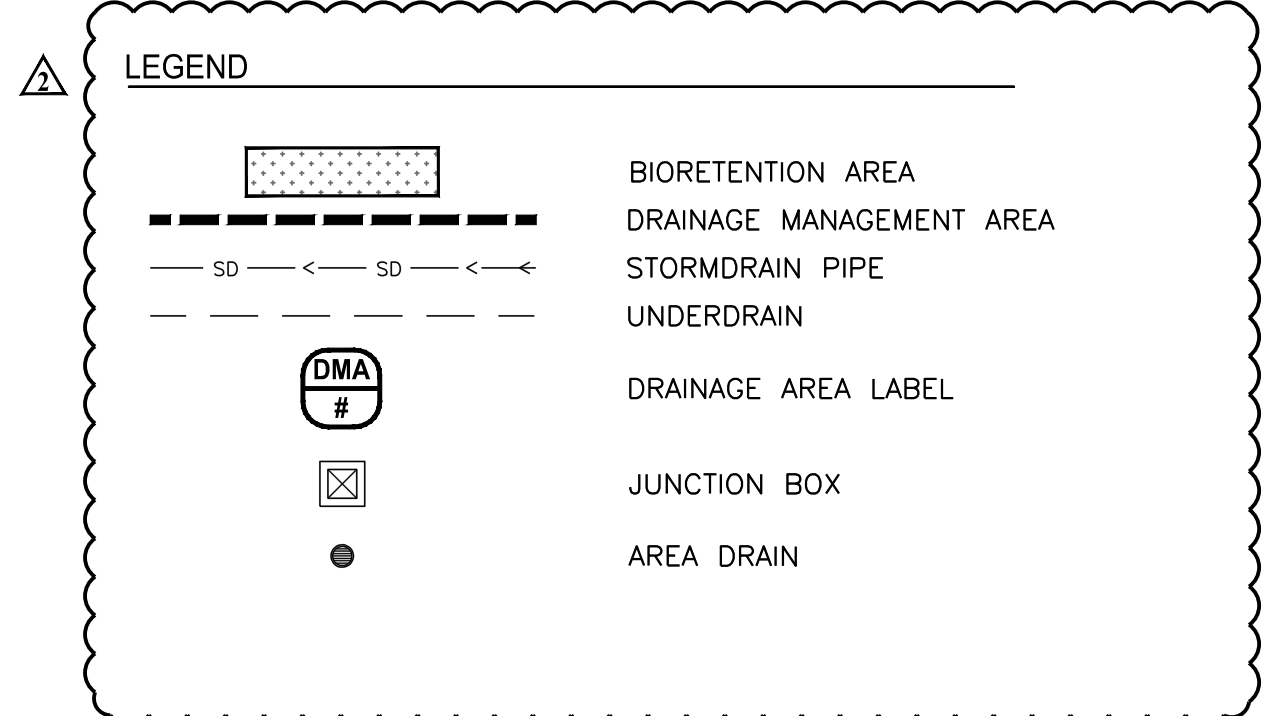
C-300



Provision E.12 Sizing Calculator - Varda Landing - 52 & 60 Varda Landing Rd

Version 0.3, 2015-12-02.

DMA Names	Square Feet	Self-Treating	Self-Retaining	Runoff Factor	Drains to Self-Retaining	BIORETENTION FACILITIES	
						Treatment Area for DMA 1	Treatment Area for DMA 2
1 Impervious	16,604			1.0		16,604	
1 Landscaped	16,013			0.1		1,601	
2 Impervious	3,388			1.0			3,388
2 Landscaped	9,532			0.1			953
Total DMAs	45,537	0	0		0	18,205	4,341
Sizing Factor						4%	4%
Total Facilities						988	174
DMAs + Facilities						46,525	214
Footprint on Exhibit						774	214
						OK	OK



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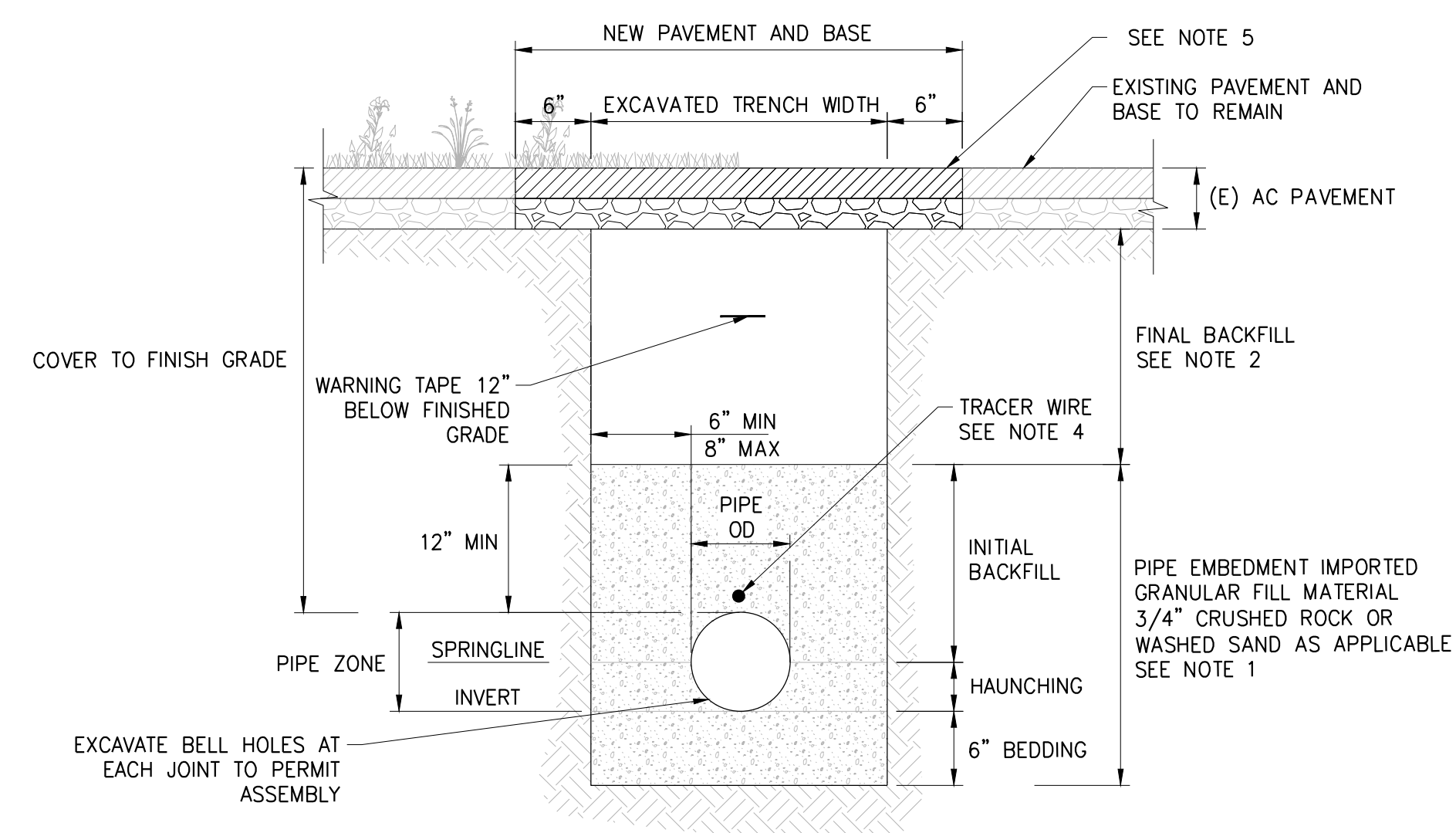
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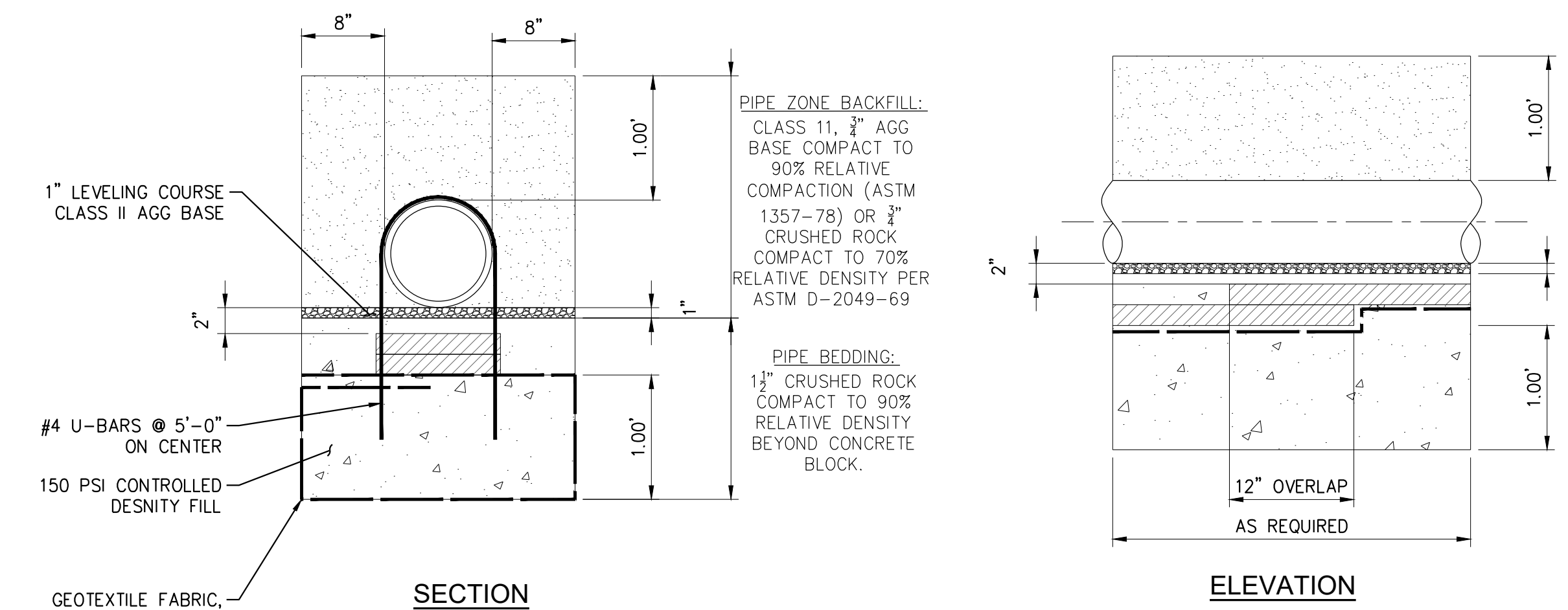
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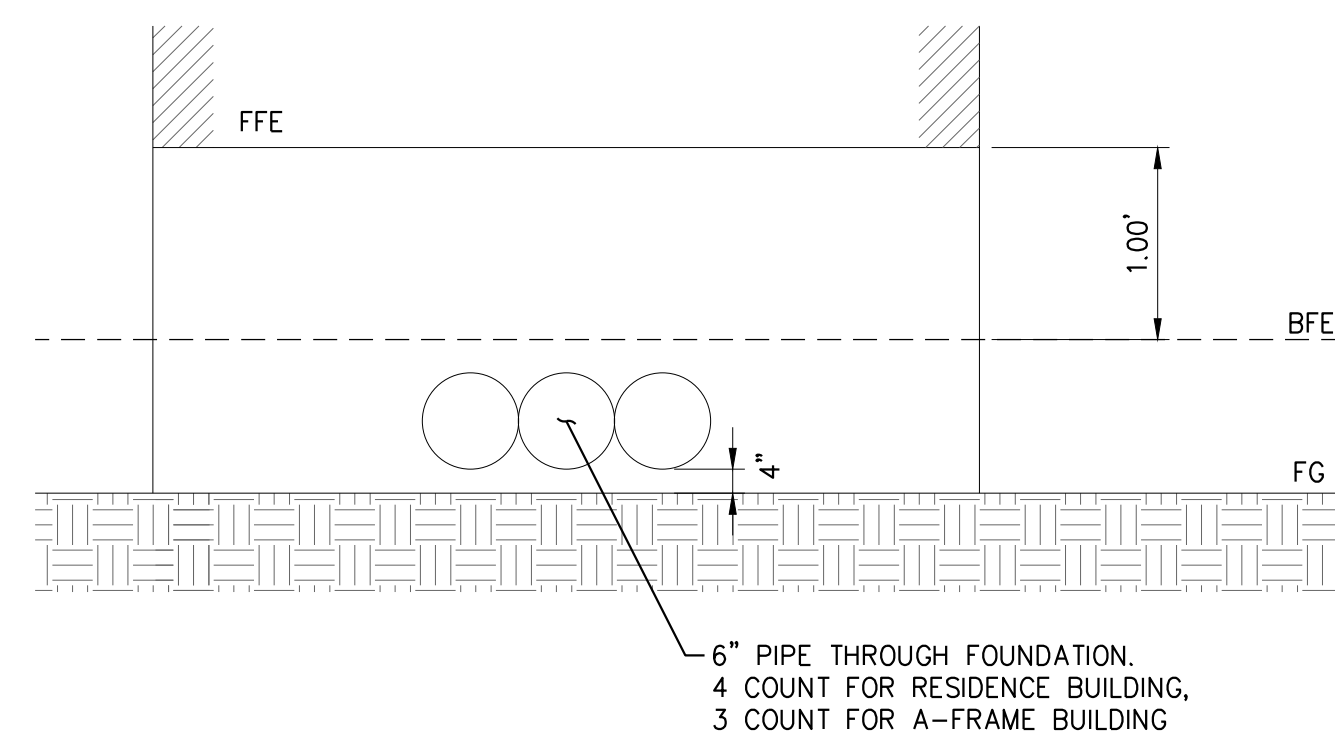
NOTES

- FOR WATER AND FIRE WATER USE WASHED SAND AND FOR STORM DRAIN AND SANITARY SEWER USE GRANULAR FILL MATERIAL. 3/4" CRUSHED ROCK FOR BEDDING, HAUNCHING AND INITIAL BACKFILL MATERIAL. SAND MATERIAL SHALL BE COMPACTED TO 90% PROCTOR DENSITY. REFER TO PROJECT SPECIFICATIONS ACCORDINGLY.
- FINAL BACKFILL SHALL CONSIST OF EXCAVATED NATIVE SOIL WHERE SUITABLE FOR FILL, COMPACTED TO 90% PROCTOR DENSITY IN NON-TRAFFIC AREAS. IF EXCAVATED MATERIAL IS NOT SUITABLE, USE IMPORTED GRANULAR MATERIAL. 3/4" CRUSHED ROCK AS APPROVED BY GEOTECHNICAL ENGINEER.
- BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" MAXIMUM.
- FOR WATER AND FIRE WATER MAINS INSTALL SINGLE STRAND 12" COPPER WIRE.
- REMOVE A MINIMUM 6" OF PAVEMENT SURFACE BEYOND EDGE OF TRENCH WHEN INSTALLING UTILITY UNDER EXISTING SURFACE WHERE APPLICABLE PER PLAN.

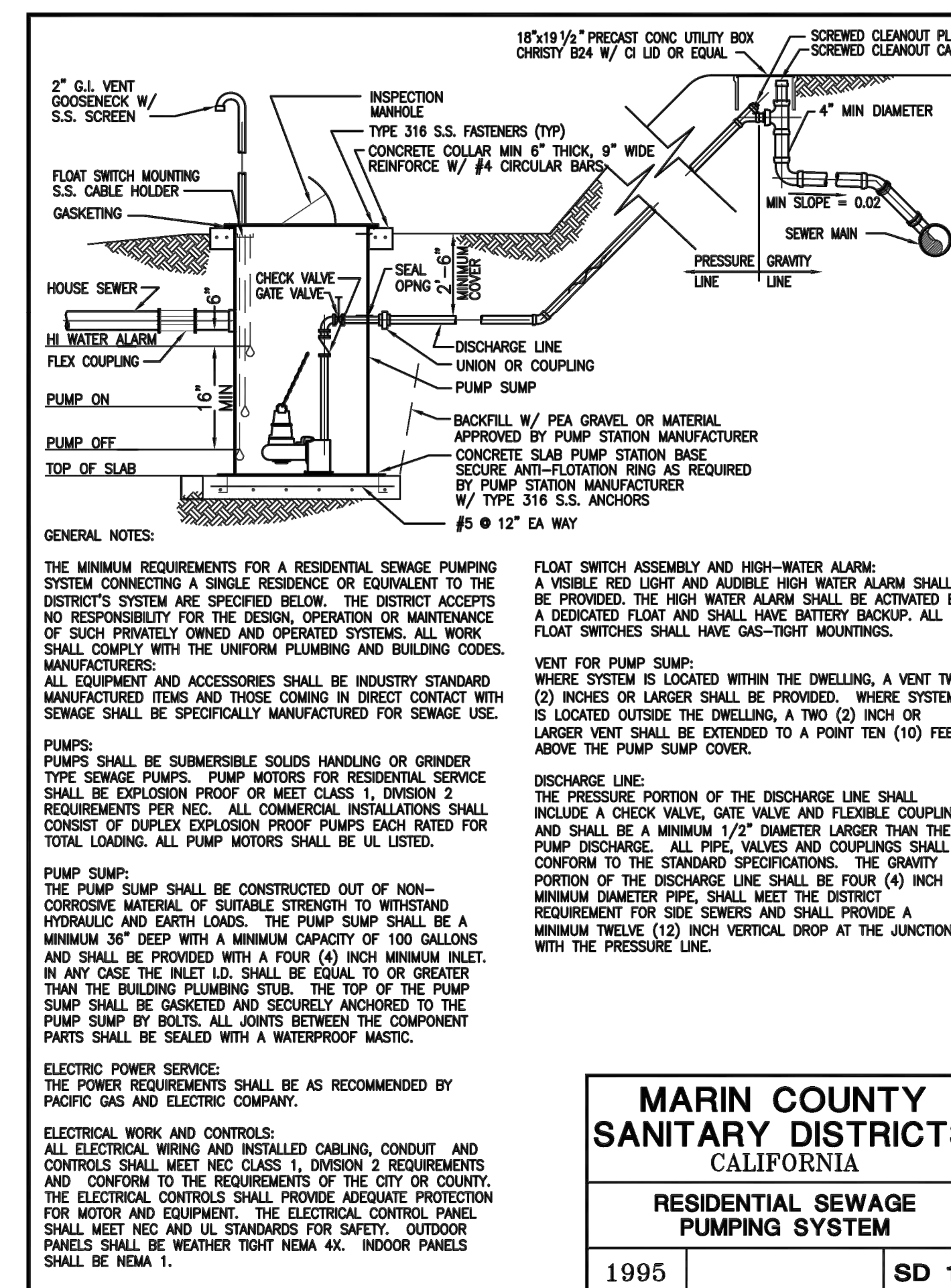
A STANDARD UTILITY TRENCH
SCALE: NTS



B UTILITY TRENCH - FLOOD MITIGATION
SCALE: NTS



C FOUNDATION OPENINGS
SCALE: NTS



D SEWER LIFT STATION
MARIN COUNTY STANDARD DETAIL

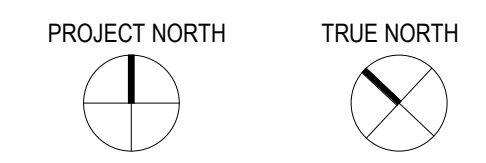
MARIN COUNTY SANITARY DISTRICTS CALIFORNIA	
RESIDENTIAL SEWER PUMPING SYSTEM	
1995	SD 17

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BUILDING	EXISTING AREA	PROPOSED AREA	EXISTING COVERAGE	PROPOSED COVERAGE	EXISTING IMPERVIOUS SURFACES	PROPOSED IMPERVIOUS SURFACES
GAZEBO (HOUSEBOAT)	1,260 SF	1,260 SF	1,180 SF	1,180 SF		
RESIDENCE	551 SF	909 SF	1,194 SF	1,241 SF		
SHED	315 SF	0 SF	353 SF	0 SF		
A-FRAME	125 SF	125 SF	347 SF	225 SF		
TOTAL	2,251 SF	2,294 SF	3,074 SF	2,646 SF	3,976 SF	4,878 SF

1 SITE PLAN
SCALE: 1/32" = 1'-0"



NOTES

REQUIRED PARKING SPACES		
BUILDING	TYPE	SPACES REQD
GAZEBO (HOUSEBOAT)	2 BEDROOM (SFD)	0
RESIDENCE	1 BEDROOM (SFD)	2
TOTAL SPACES REQUIRED		2
TOTAL EXISTING SPACES		2 (TANDEM)
TOTAL SPACES PROPOSED		2 (TANDEM)

ALL PARKING SPACES 9'-0" X 19'-0", UNLESS OTHERWISE NOTED

EXTERIOR LIGHT FIXTURE (A)



BEGA LED WALL WASHER
EXTERIOR, SURFACE-MOUNTED WALL WASHING LED LIGHT

LEGEND

□ = NOT IN SCOPE

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4	6/25/2021	PLANNING PERMIT REVISION 3

52 VARDA LANDING
52 VARDA LANDING ROAD,
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APN: 063-010-15

SITE PLAN

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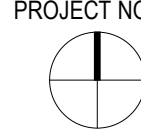

JOB NUMBER: 659
DATE: 6/25/2021

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6/25/2021 10:57:07 AM BIM 360://Varda Landing/659_Varda_Landing_52_Varda_Landing_Road.rvt



BUILDING	EXISTING AREA	PROPOSED AREA	EXISTING COVERAGE	PROPOSED COVERAGE	EXISTING IMPERVIOUS SURFACES	PROPOSED IMPERVIOUS SURFACES
GAZEBO (HOUSEBOAT)	1,260 SF	1,260 SF	1,180 SF	1,180 SF		
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SHED	315 SF	0 SF	353 SF	0 SF		
A-FRAME	125 SF	125 SF	347 SF	225 SF		
TOTAL	2,251 SF	2,294 SF	3,074 SF	2,646 SF	3,976 SF	4,878 SF

1 DEMOLITION PLAN
 SCALE: 1/32" = 1'-0"
 PROJECT NORTH  TRUE NORTH 

NOTES

REQUIRED PARKING SPACES		
BUILDING	TYPE	SPACES REQD
GAZEBO (HOUSEBOAT)	2 BEDROOM (SFD)	0
RESIDENCE	1 BEDROOM (SFD)	2
TOTAL SPACES REQUIRED		2
TOTAL EXISTING SPACES		2 (TANDEM)
TOTAL SPACES PROPOSED		2 (TANDEM)

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DEMOLITION PLAN

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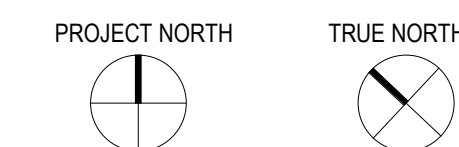
JOB NUMBER: 659

DATE: 6/25/2021

A1.11



1 CONSTRUCTION STAGING PLAN
SCALE: 1/32" = 1'-0"



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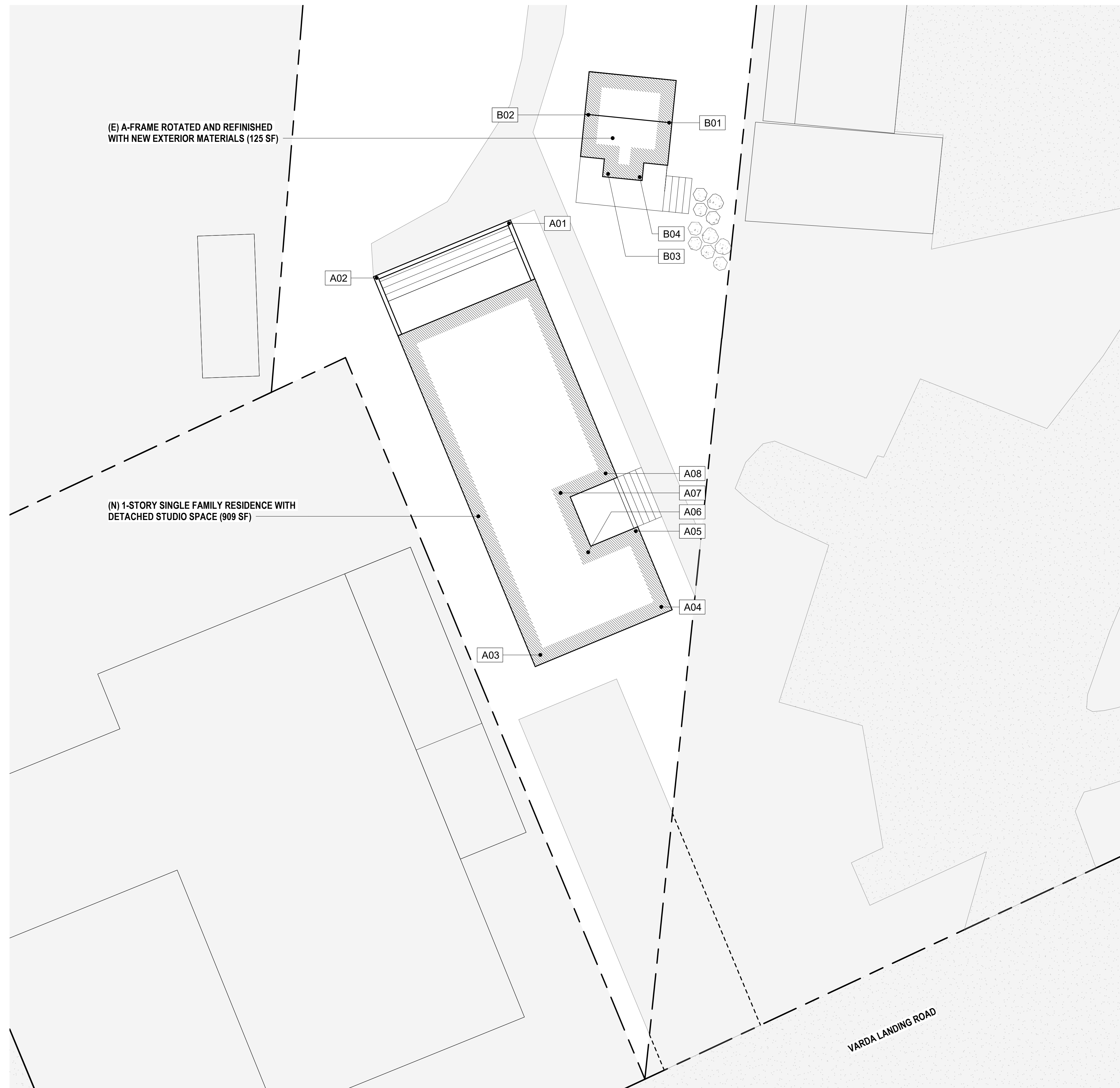
**CONSTRUCTION STAGING
PLAN**

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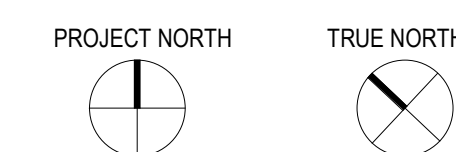
JOB NUMBER: 659

DATE: 12/18/2020

A1.21



1 STORY POLE PLAN
SCALE: 1/8" = 1'-0"



NOTES

STORY POLE SCHEDULE

COTTAGE	
Name	Elevation
A01	23'-0"
A02	23'-0"
A03	23'-0"
A04	23'-0"
A05	23'-0"
A06	23'-0"
A07	23'-0"
A08	23'-0"

SHED	
Name	Elevation
B01	27'-0"
B02	27'-0"
B03	18'-6"
B04	18'-6"

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STORY POLE PLAN

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JOB NUMBER: 659

DATE: 05/04/2020

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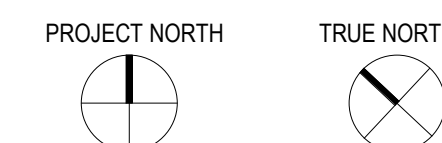
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BUILDING	EXISTING AREA	PROPOSED AREA	EXISTING COVERAGE	PROPOSED COVERAGE	EXISTING IMPERVIOUS SURFACES	PROPOSED IMPERVIOUS SURFACES
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1 PROPOSED LEVEL 1 FLOOR PLAN - OVERALL

SCALE: 1/8" = 1'-0"



NOTES

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EXTERIOR LIGHT FIXTURE (A)



BEGA LED WALL WASHER
EXTERIOR, SURFACE-MOUNTED WALL WASHING LED LIGHT

LEGEND

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PROPOSED LEVEL 1
FLOOR PLAN - OVERALL

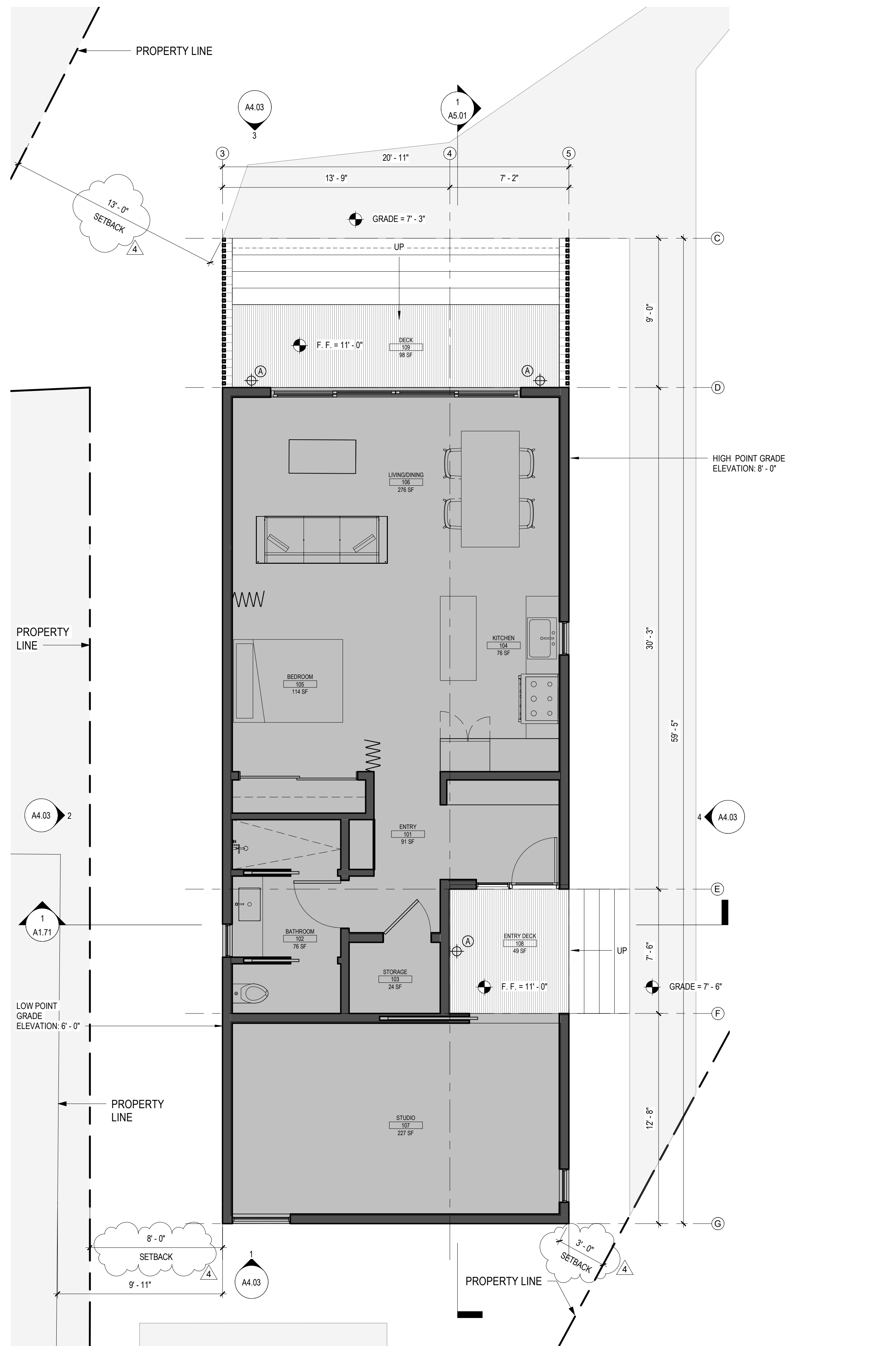
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DATE: 6/25/2021

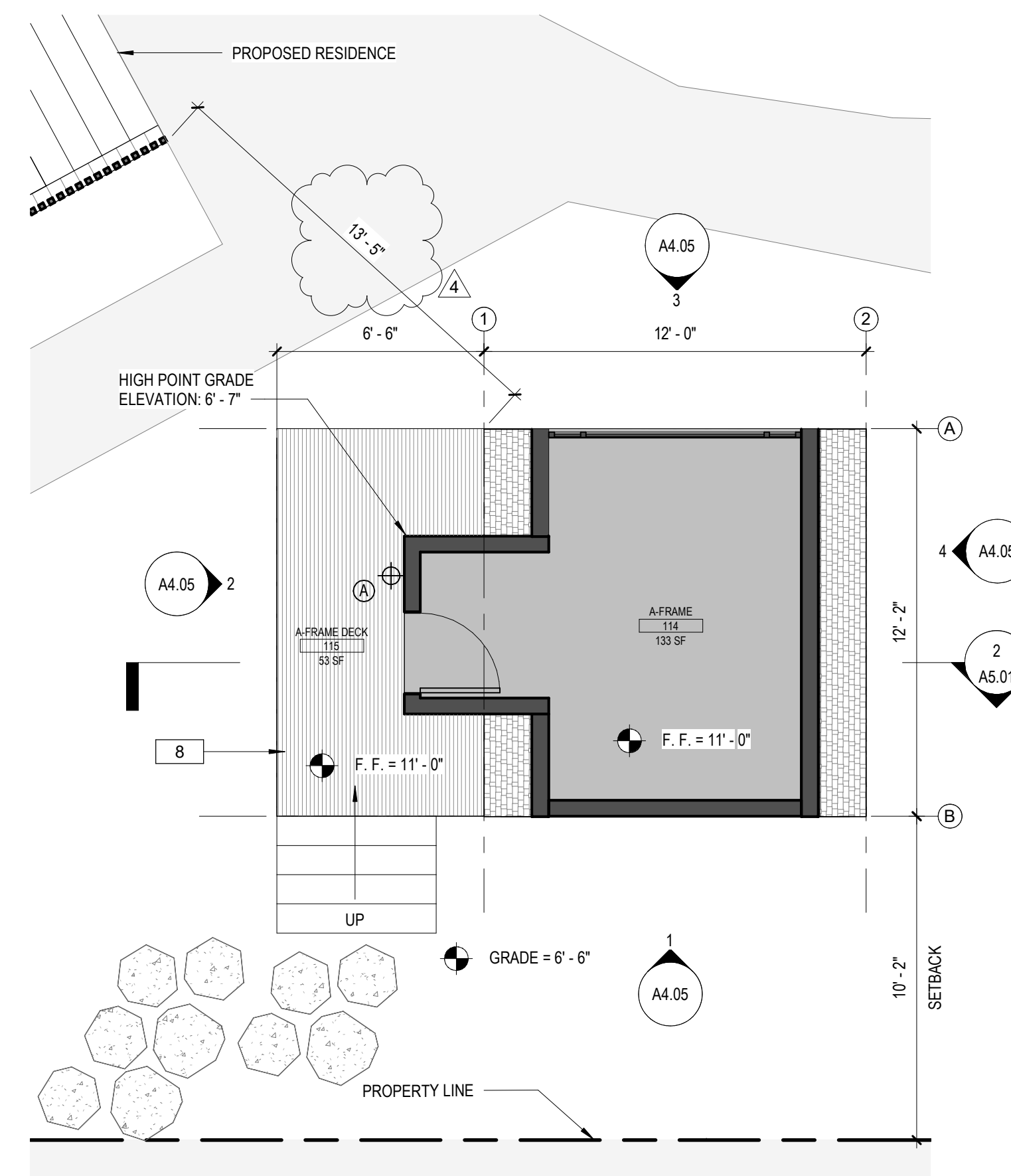
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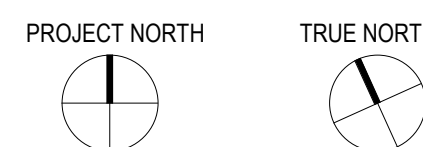
1 PROPOSED LEVEL 1 ENLARGED FLOOR PLAN - NEW RESIDENCE WITH ATTACHED STUDIO SPACE

SCALE: 1/4" = 1'-0"



2 PROPOSED LEVEL 1 ENLARGED FLOOR PLAN - REFINISHED A-FRAME

SCALE: 1/4" = 1'-0"



KEYNOTES

8 WOOD DECKING

EXTERIOR LIGHT FIXTURE (A)



BEGA LED WALL WASHER
EXTERIOR, SURFACE-MOUNTED WALL WASHING LED LIGHT

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**PROPOSED LEVEL 1
ENLARGED FLOOR PLANS
- NEW RESIDENCE AND
REFINISHED A-FRAME**

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JOB NUMBER: 659

DATE: 6/25/2021

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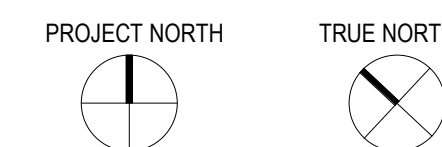
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RESIDENCE	551 SF	909 SF	1,194 SF	1,241 SF		
SHED	315 SF	0 SF	353 SF	0 SF		
A-FRAME	125 SF	125 SF	347 SF	225 SF		
TOTAL	2,251 SF	2,294 SF	3,074 SF	2,646 SF	3,976 SF	4,878 SF

1 PROPOSED ROOF PLAN - OVERALL

SCALE: 1/8" = 1'-0"



KEYNOTES

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**PROPOSED ROOF PLAN -
OVERALL**

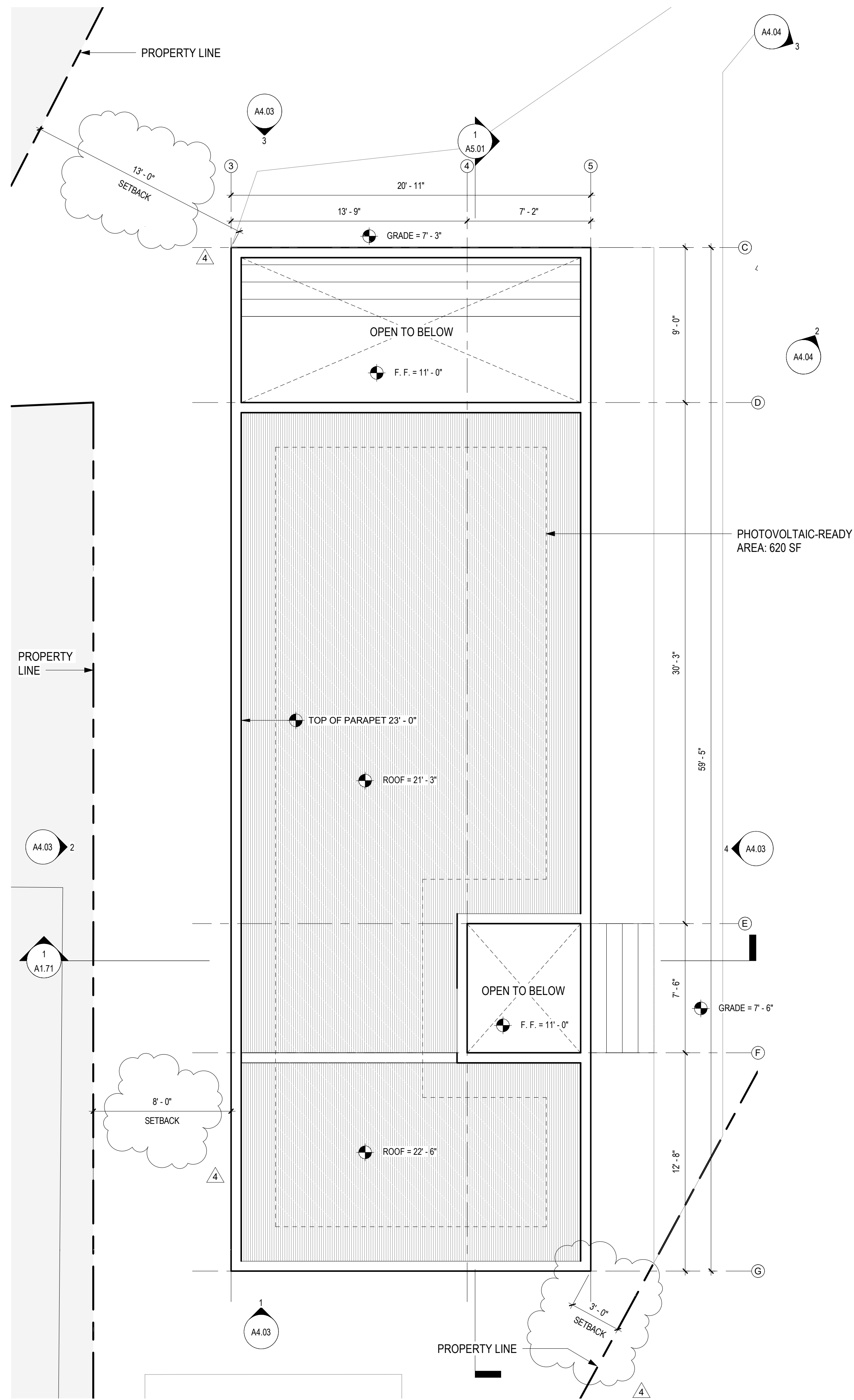
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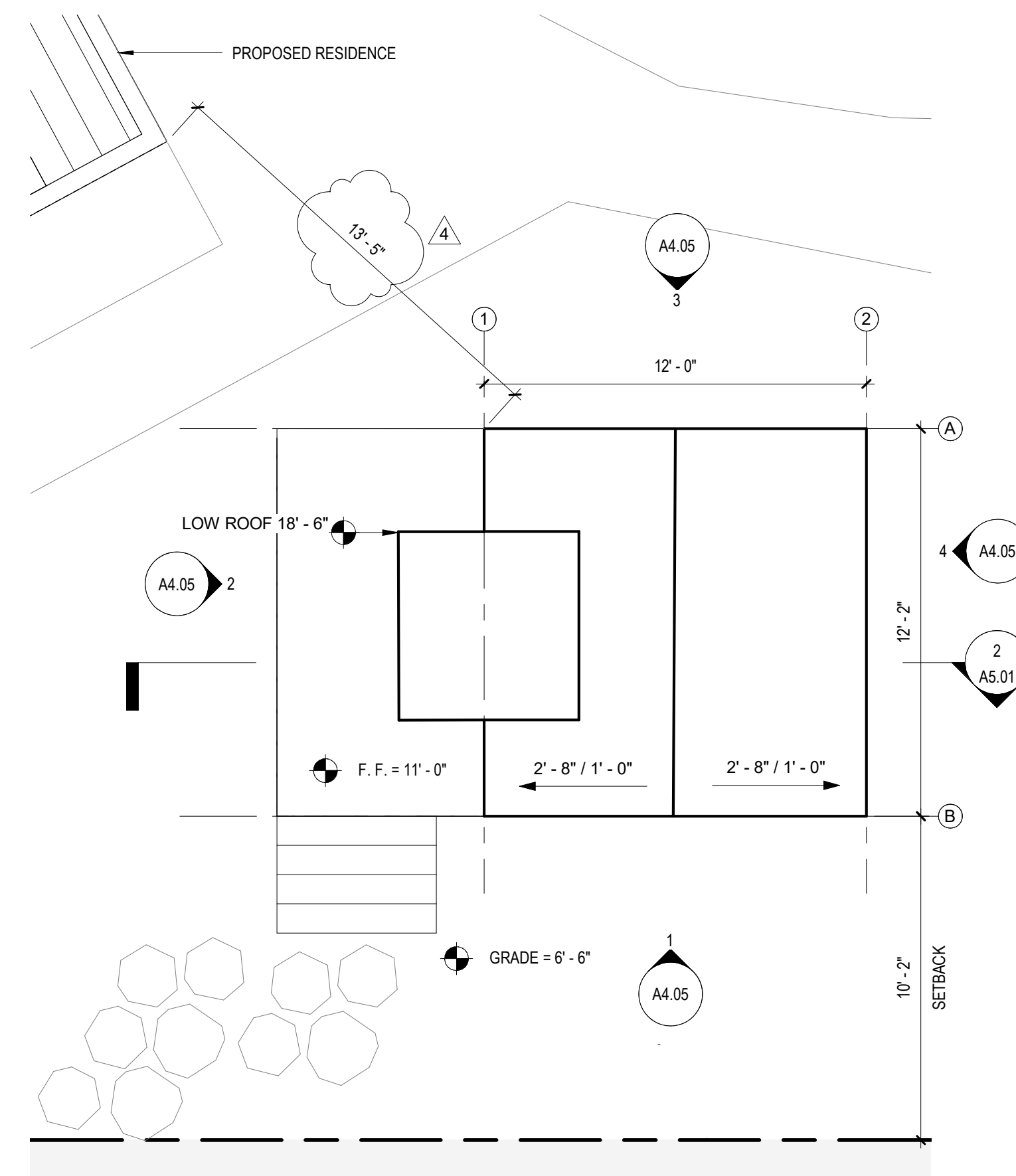
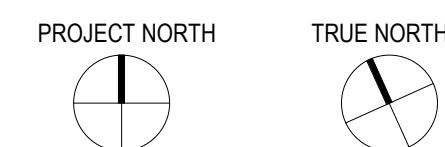
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1 PROPOSED ENLARGED ROOF PLAN - NEW RESIDENCE WITH ATTACHED STUDIO SPACE

SCALE: 1/4" = 1'-0"



2 PROPOSED ENLARGED ROOF PLAN - REFINISHED A-FRAME

SCALE: 1/4" = 1'-0"



NOTES

8 WOOD DECKING

LEGEND

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PROPOSED ENLARGED
ROOF PLANS - NEW
RESIDENCE AND
REFINISHED SHED

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A2.03A

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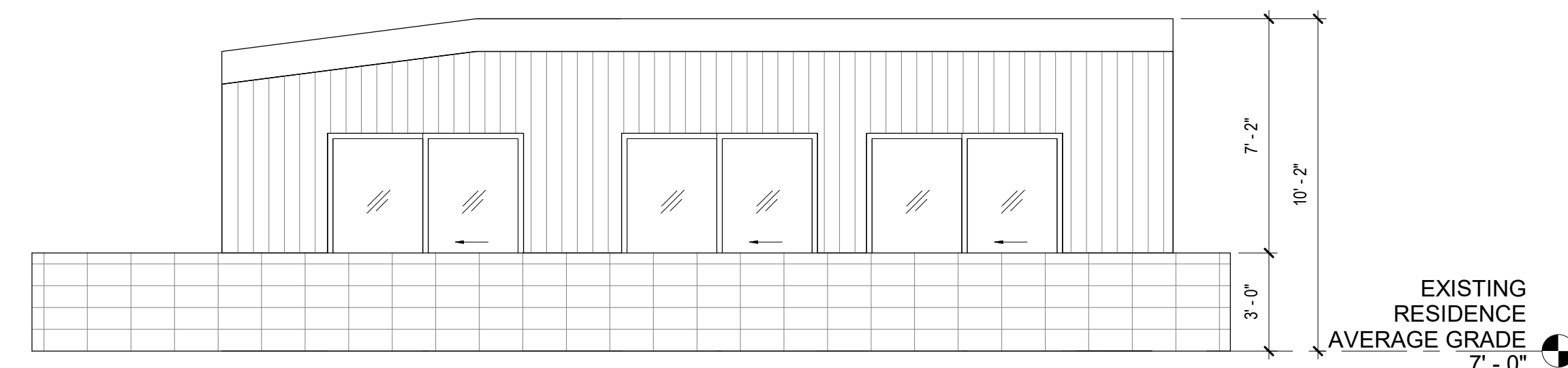
**EXISTING EXTERIOR
ELEVATIONS -
RESIDENCE TO BE
DEMOLISHED**

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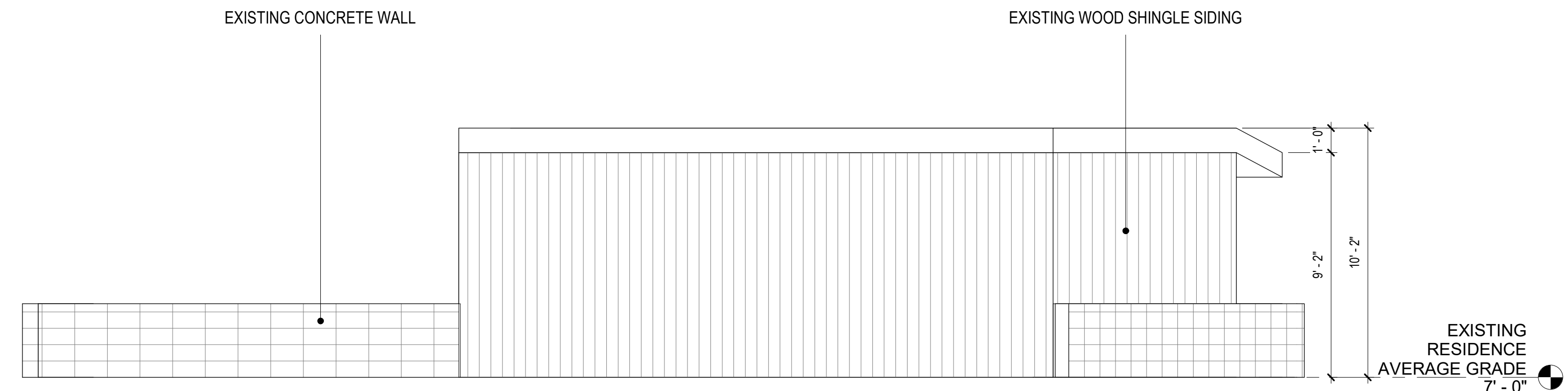
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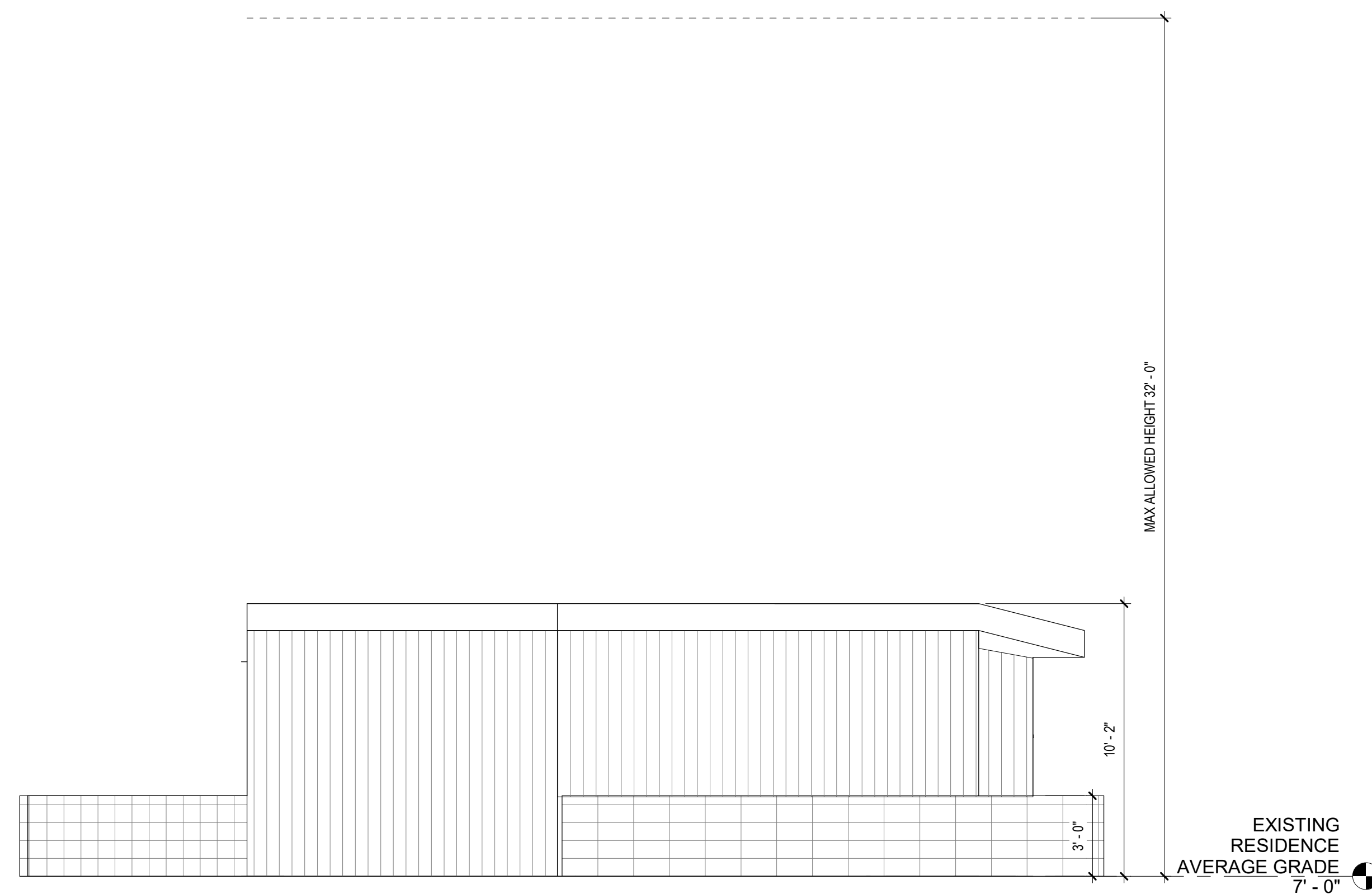
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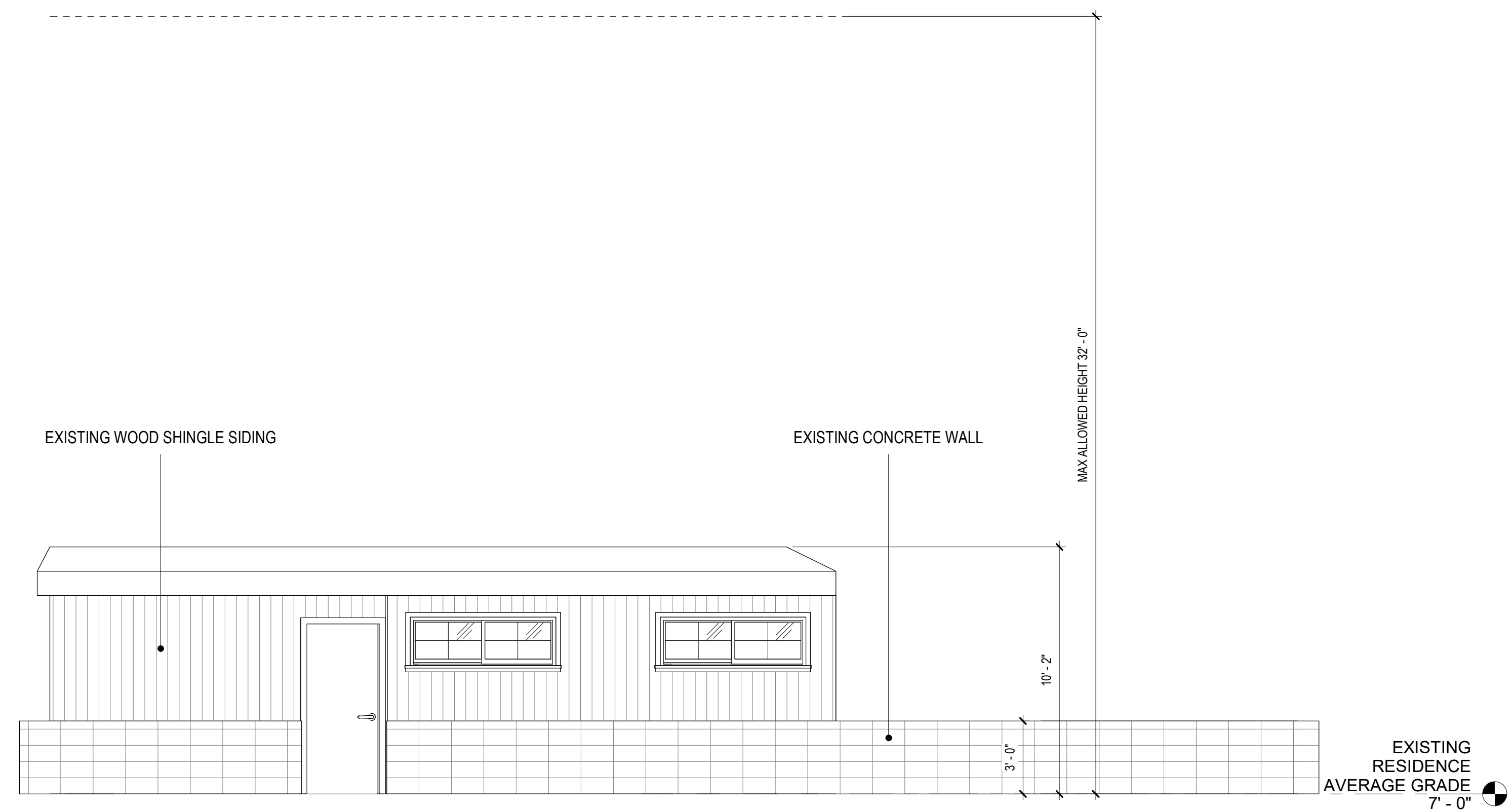
4 EXISTING EXTERIOR ELEVATION - RESIDENCE TO BE DEMOLISHED - EAST
SCALE: 1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATION - RESIDENCE TO BE DEMOLISHED - NORTH
SCALE: 1/4" = 1'-0"



2 EXISTING EXTERIOR ELEVATION - RESIDENCE TO BE DEMOLISHED - WEST
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - RESIDENCE TO BE DEMOLISHED - SOUTH
SCALE: 1/4" = 1'-0"

LEGEND

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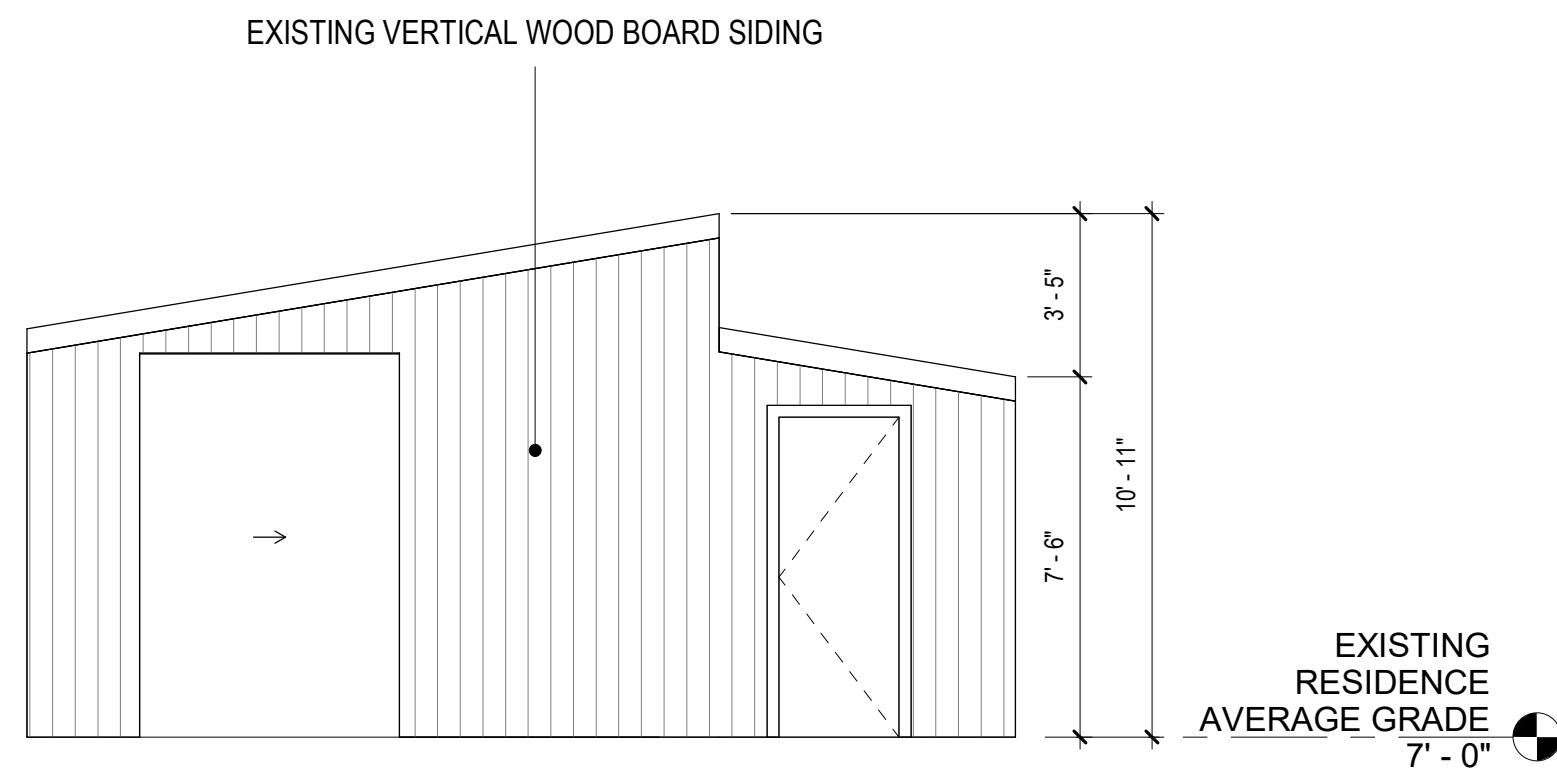
EXISTING EXTERIOR
ELEVATIONS - SHED TO
BE DEMOLISHED

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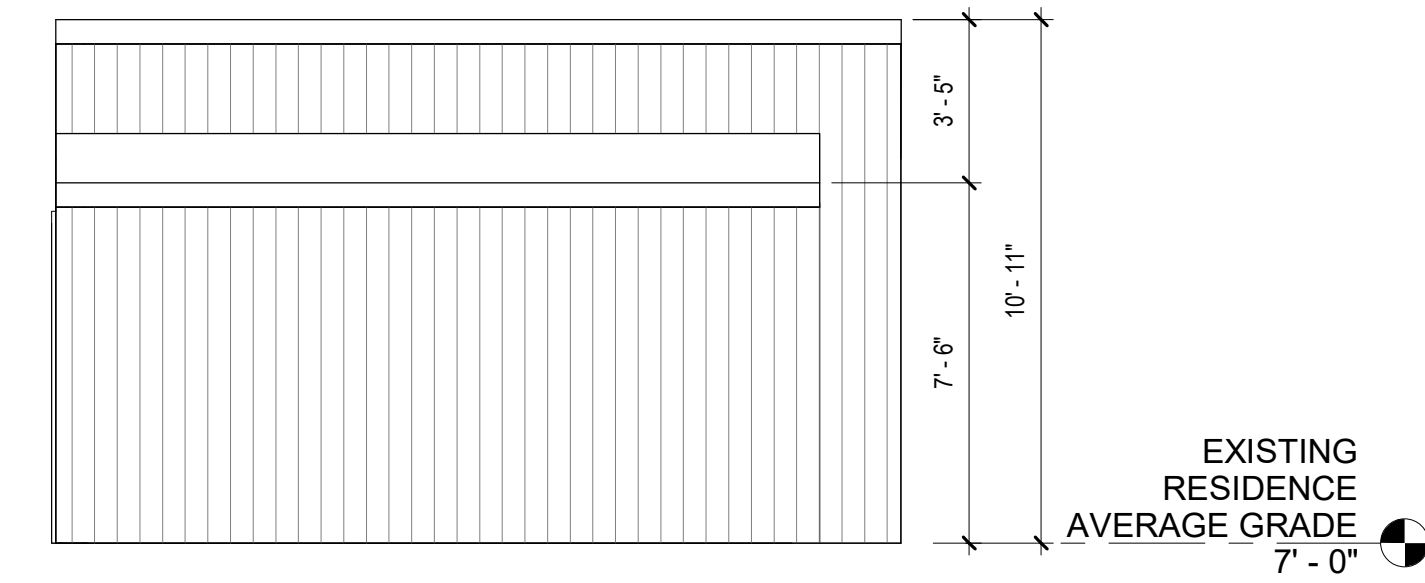
JOB NUMBER: 659

DATE: 05/04/2020

A4.02



4 EXISTING EXTERIOR ELEVATION - SHED TO BE DEMOLISHED - EAST
SCALE: 1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATION - SHED TO BE DEMOLISHED - NORTH
SCALE: 1/4" = 1'-0"



2 EXISTING EXTERIOR ELEVATION - SHED TO BE DEMOLISHED - WEST
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - SHED TO BE DEMOLISHED - SOUTH
SCALE: 1/4" = 1'-0"

LEGEND

NOTES

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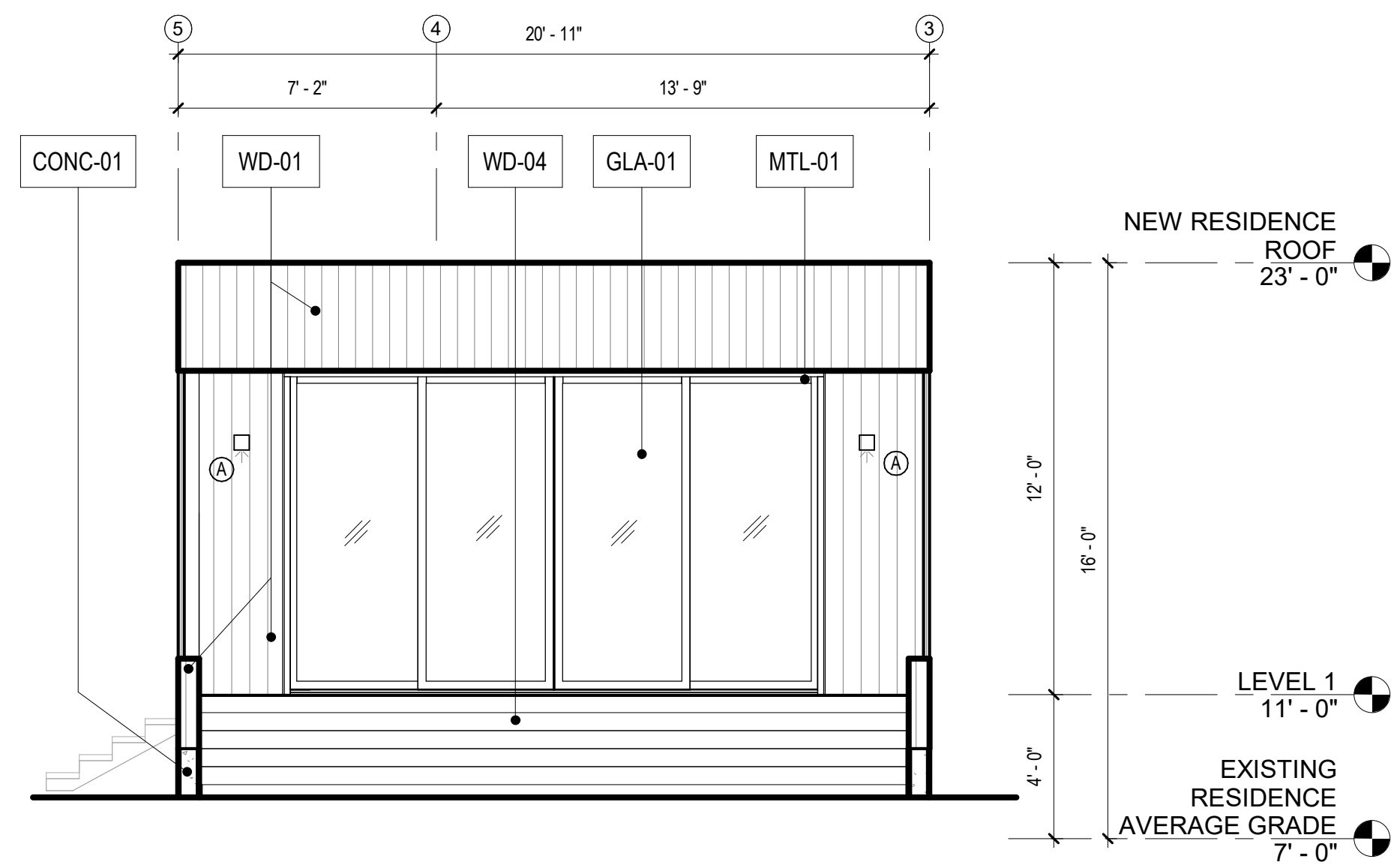
PROPOSED EXTERIOR
ELEVATIONS - NEW
RESIDENCE

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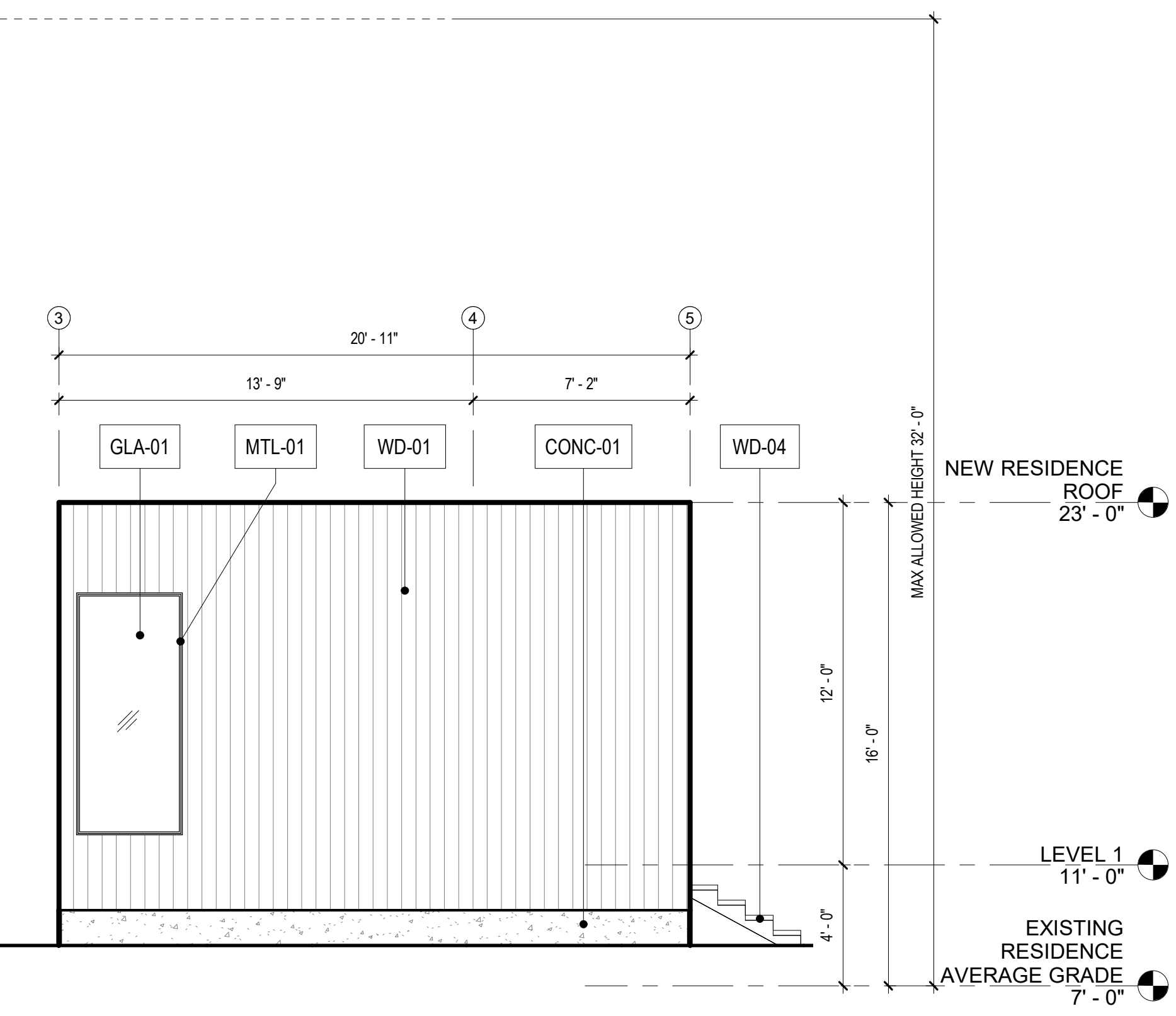
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DATE: 12/18/2020

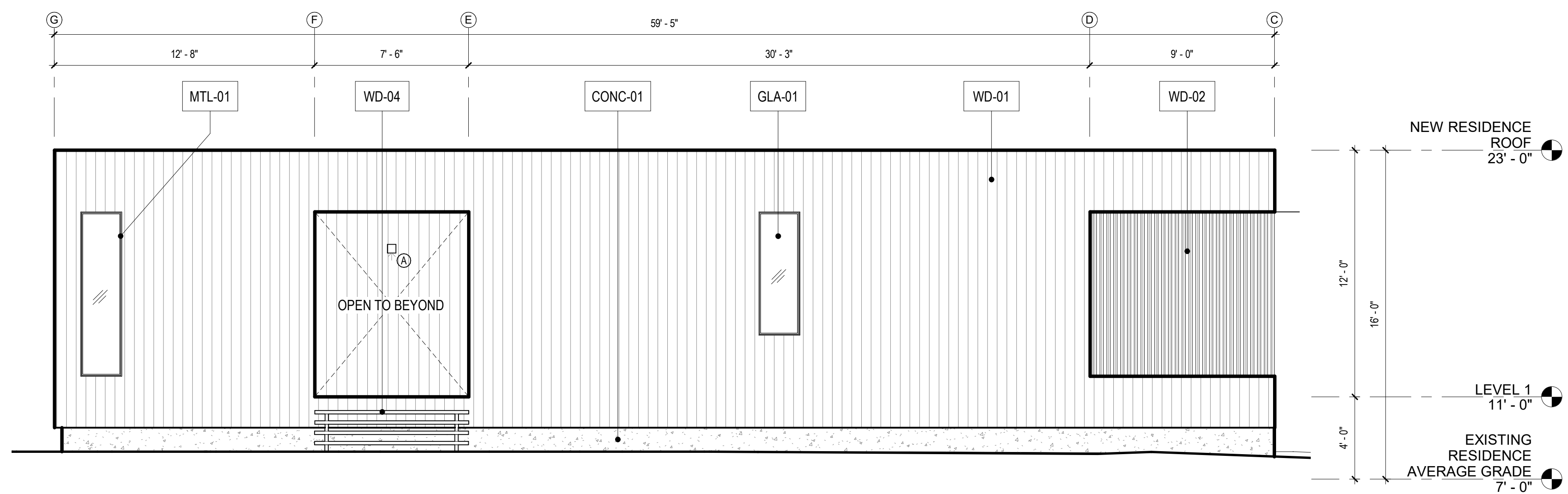
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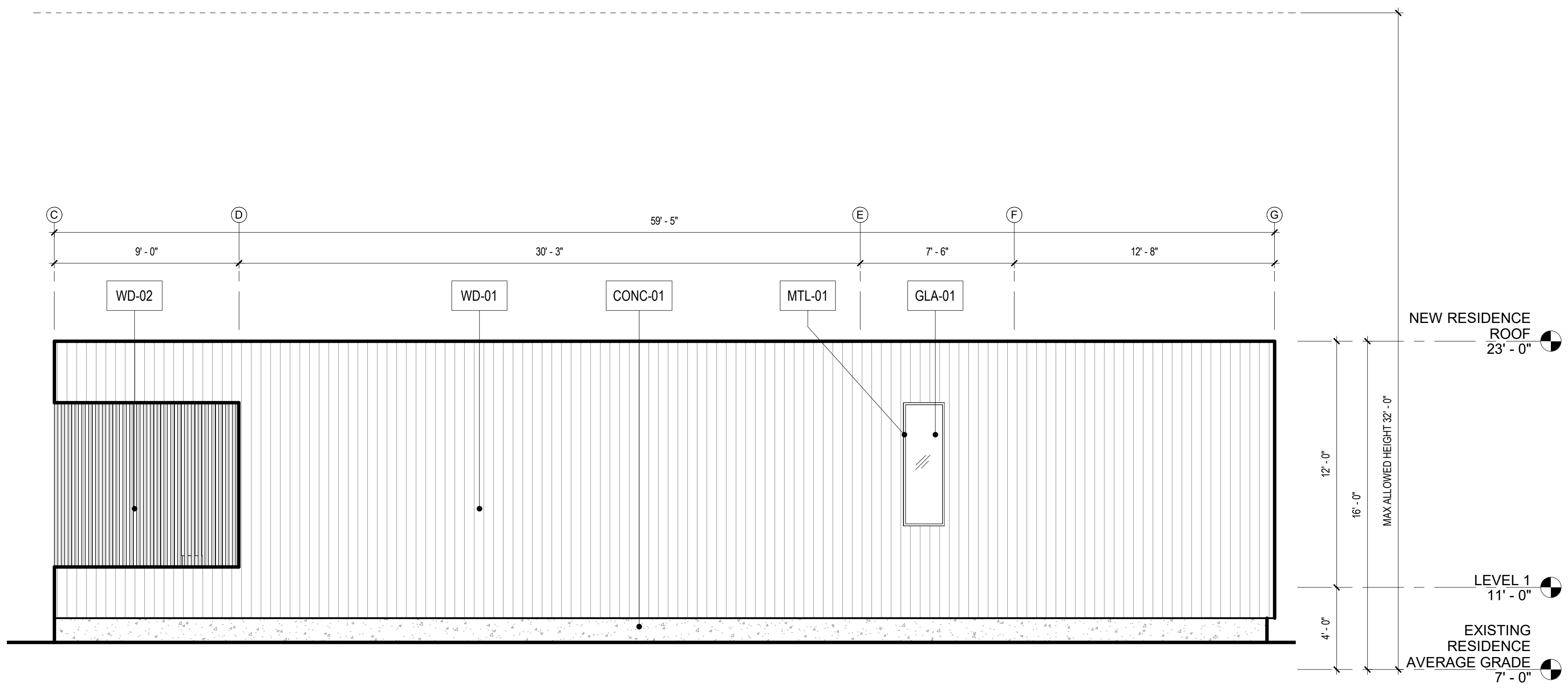
3 PROPOSED ELEVATION - NEW RESIDENCE - NORTH
SCALE: 1/4" = 1'-0"



1 PROPOSED ELEVATION - NEW RESIDENCE - SOUTH
SCALE: 1/4" = 1'-0"



4 PROPOSED ELEVATION - NEW RESIDENCE - EAST
SCALE: 1/4" = 1'-0"



2 PROPOSED ELEVATION - NEW RESIDENCE - WEST
SCALE: 1/4" = 1'-0"

LEGEND

- MATERIALS LEGEND**
- CONC-01 CONCRETE BASE
 - GLA-01 DOUBLE GLAZED CLEAR PERFORMANCE GLASS
 - MTL-01 BRONZE ANODIZED ALUMINUM WINDOW FRAME
 - WD-01 SHOU SUGI BAN SIDING
 - WD-02 SHOU SUGI BAN SCREEN
 - WD-03 RED WESTERN CEDAR BOARD AND BATTEN SIDING
 - WD-04 RED WESTERN CEDAR STAIR
 - ROOF-01 SHOU SUGI BAN SHINGLE

NOTES

EXTERIOR LIGHT FIXTURE (A)



BEGA LED WALL WASHER
EXTERIOR, SURFACE-MOUNTED WALL WASHING LED LIGHT

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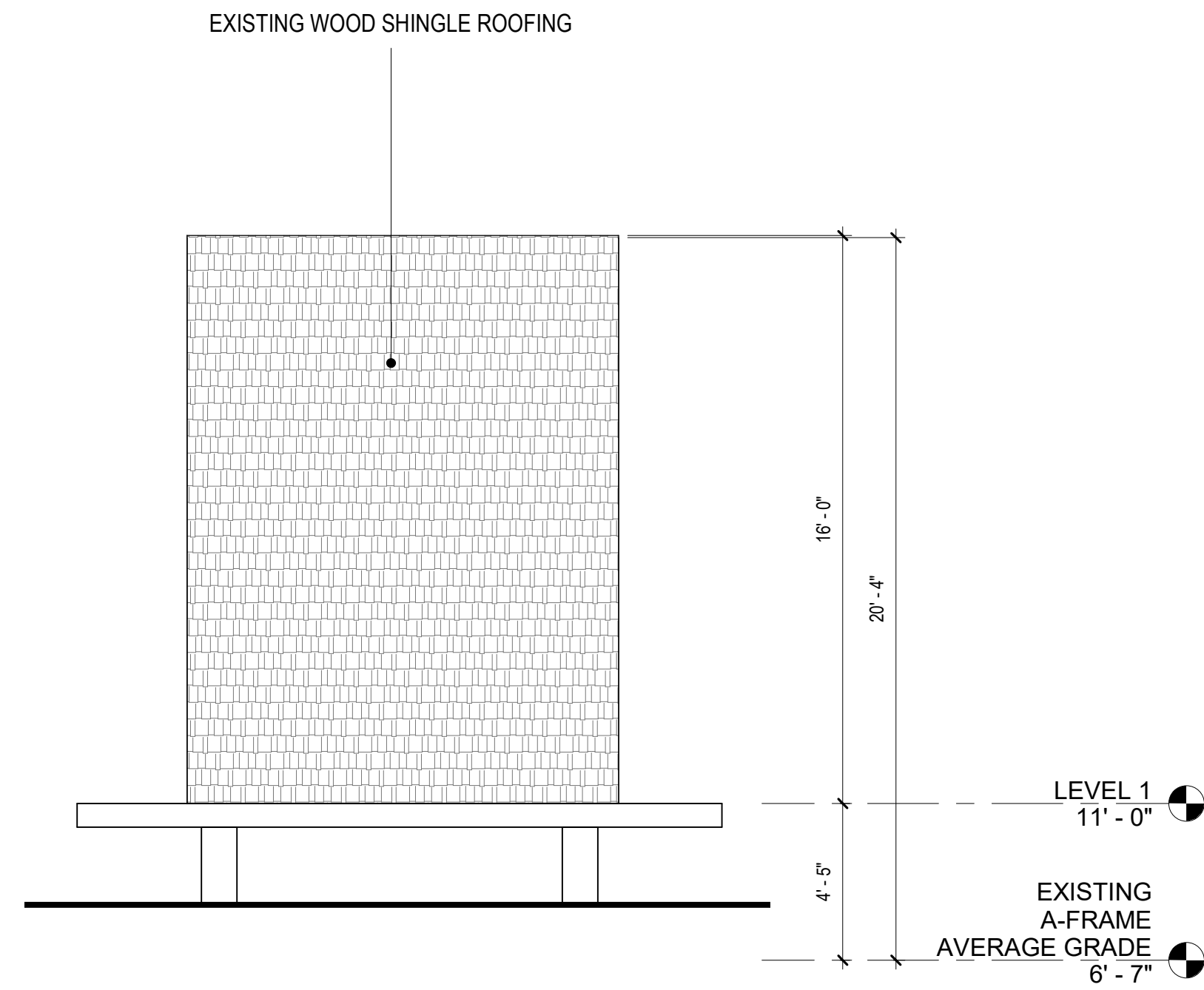
EXISTING EXTERIOR
ELEVATIONS - A-FRAME
TO BE REFINISHED

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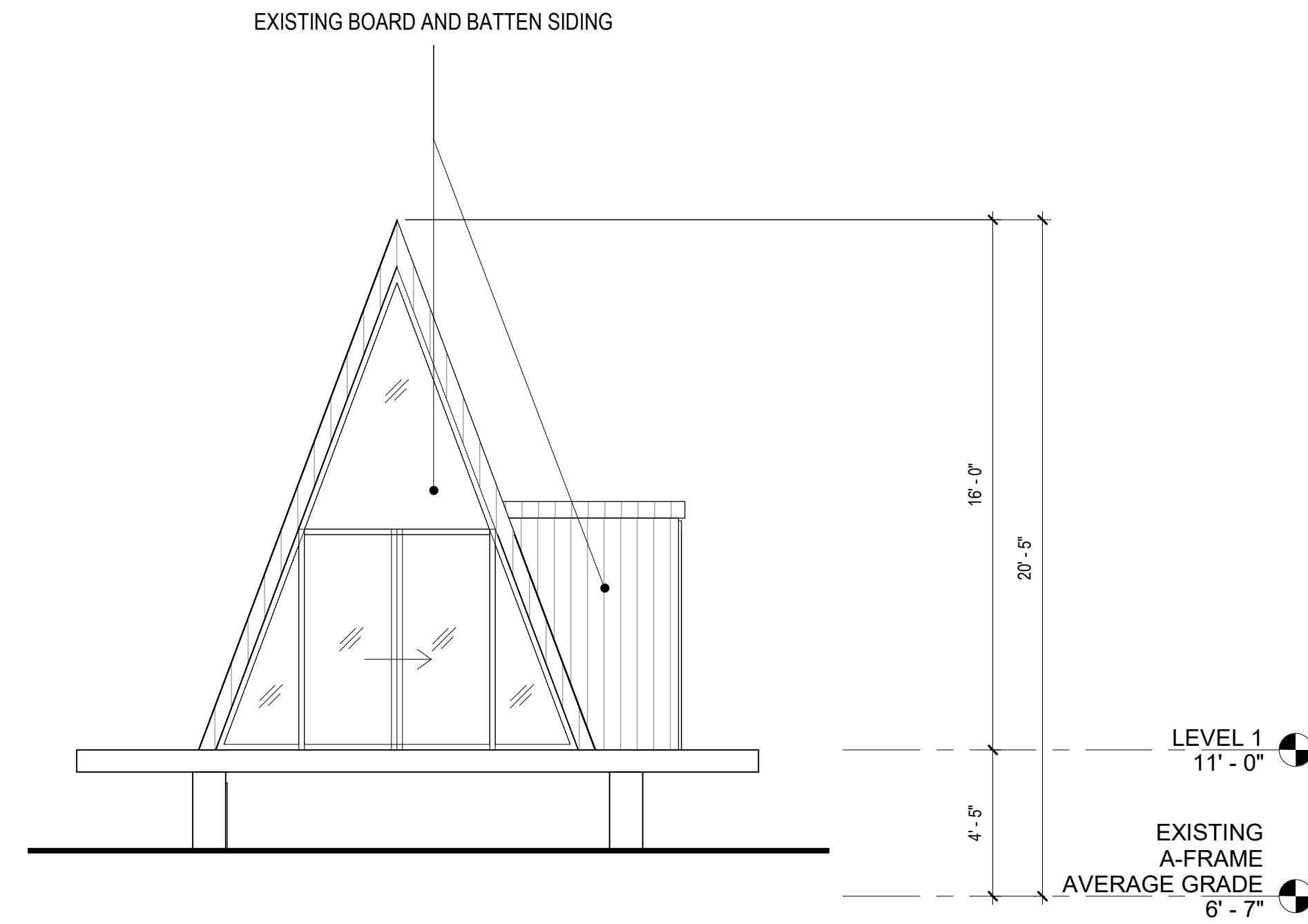
JOB NUMBER: 659

DATE: 05/04/2020

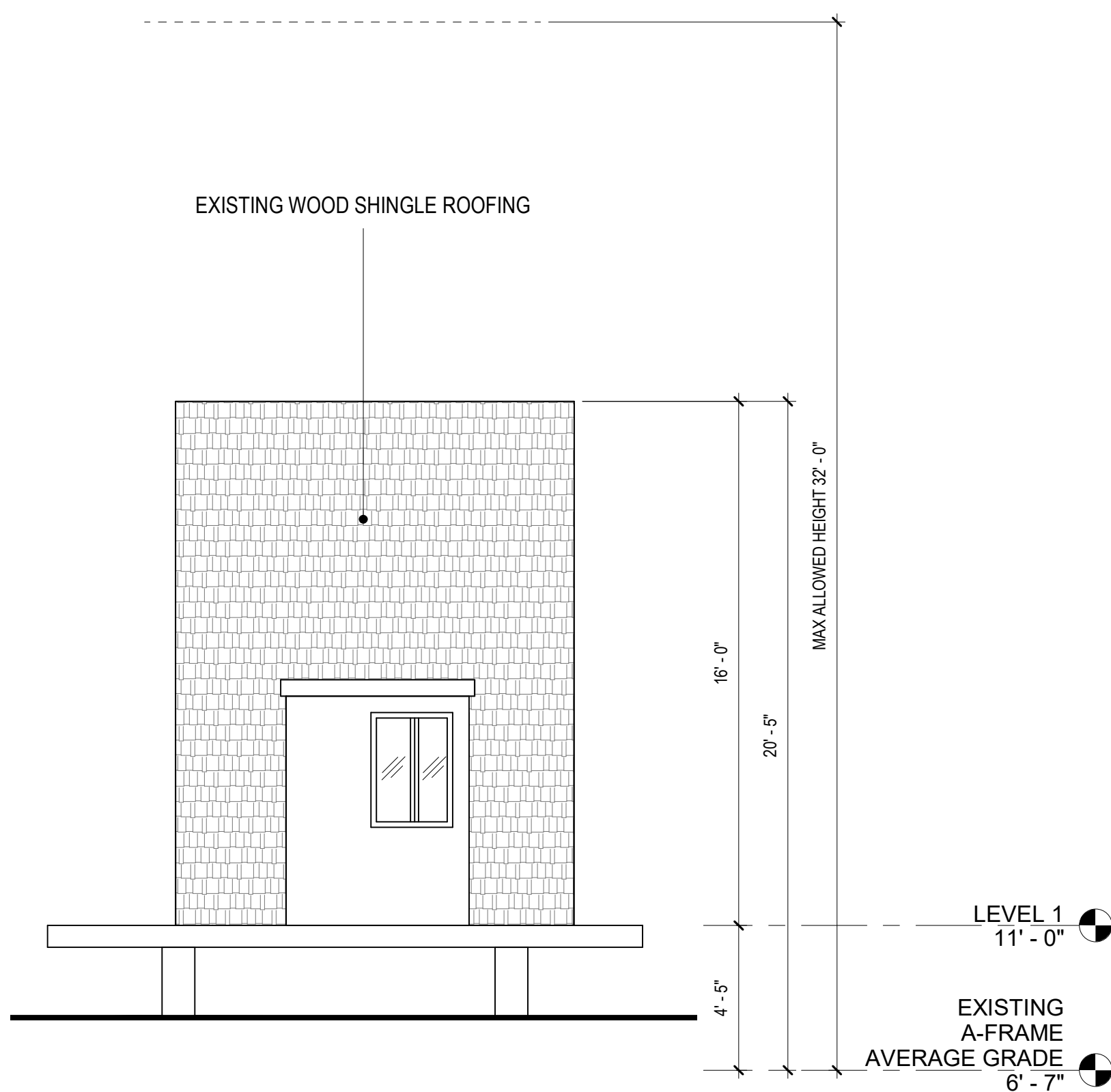
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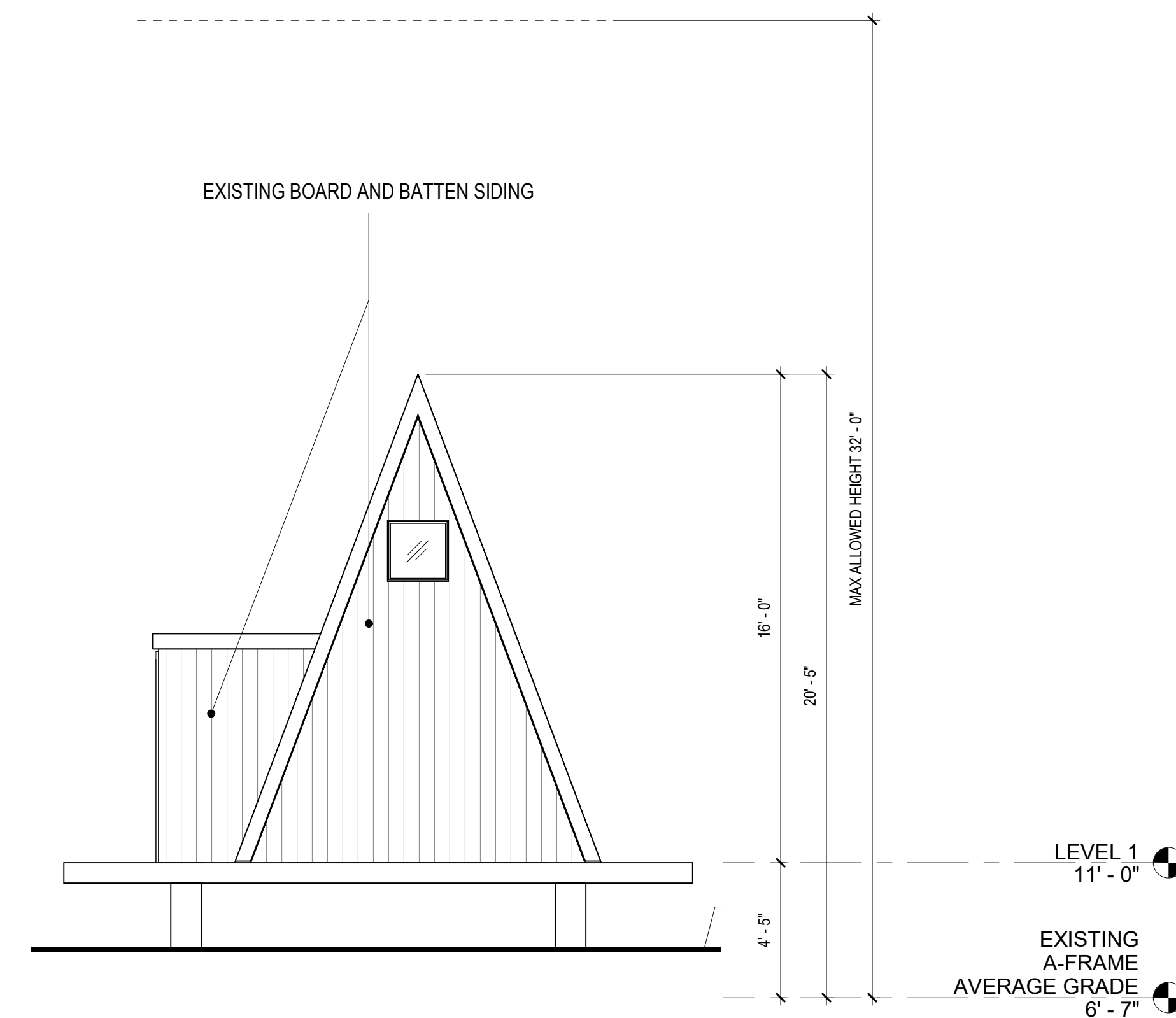
4 EXISTING EXTERIOR ELEVATION - A-FRAME TO BE REFINISHED - EAST
SCALE: 1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATION - A-FRAME TO BE REFINISHED - NORTH
SCALE: 1/4" = 1'-0"



2 EXISTING EXTERIOR ELEVATION - A-FRAME TO BE REFINISHED - WEST
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - A-FRAME TO BE REFINISHED - SOUTH
SCALE: 1/4" = 1'-0"

LEGEND

NOTES

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ISSUE DATES

NO.	DATE	REVISION
1	10/09/2019	PLANNING PERMIT SUBMITTAL
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52 VARDA LANDING
52 VARDA LANDING ROAD,
SAUSALITO, CA 94965

APN: 063-010-15

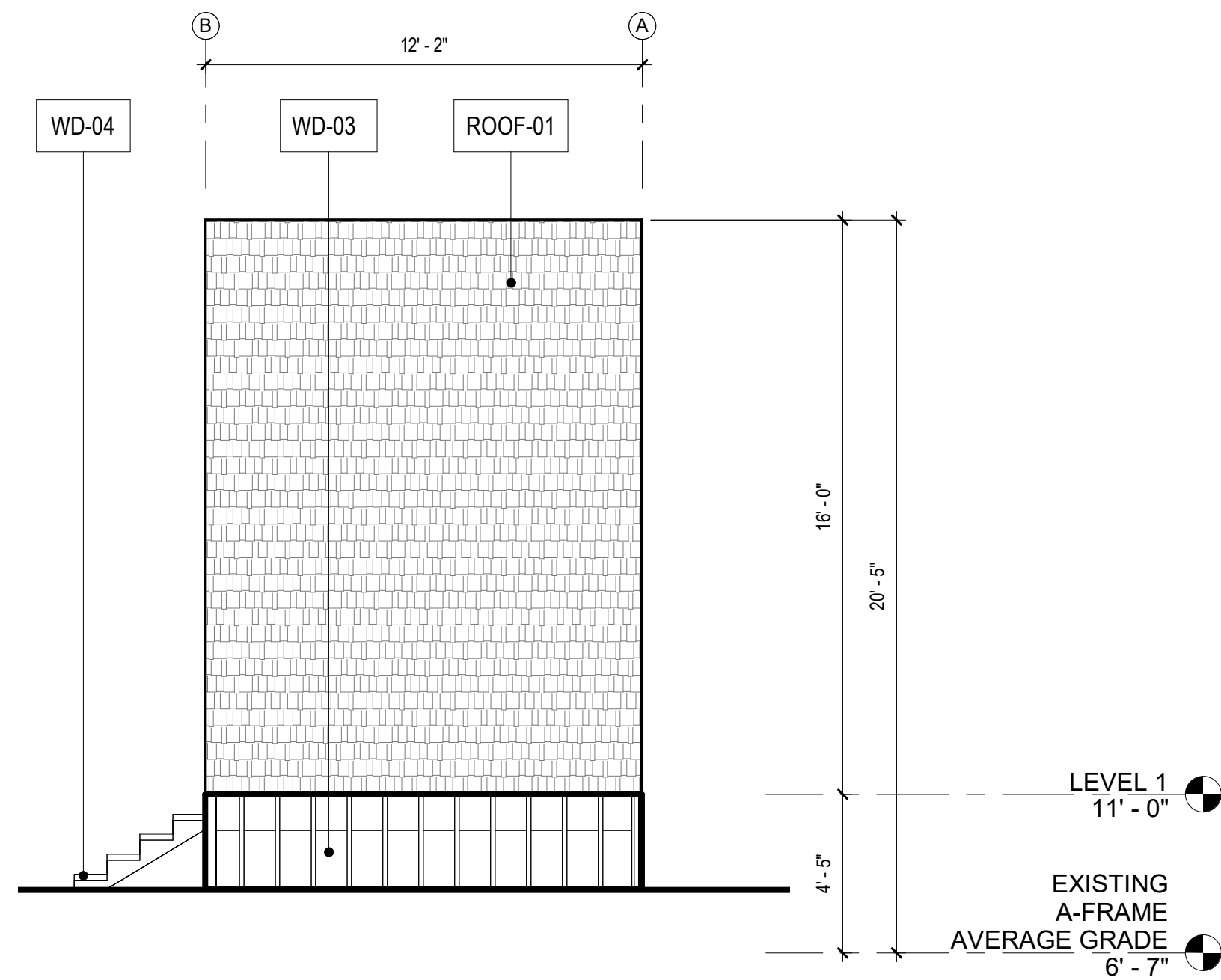
**PROPOSED EXTERIOR
ELEVATIONS -
REFINISHED A-FRAME**

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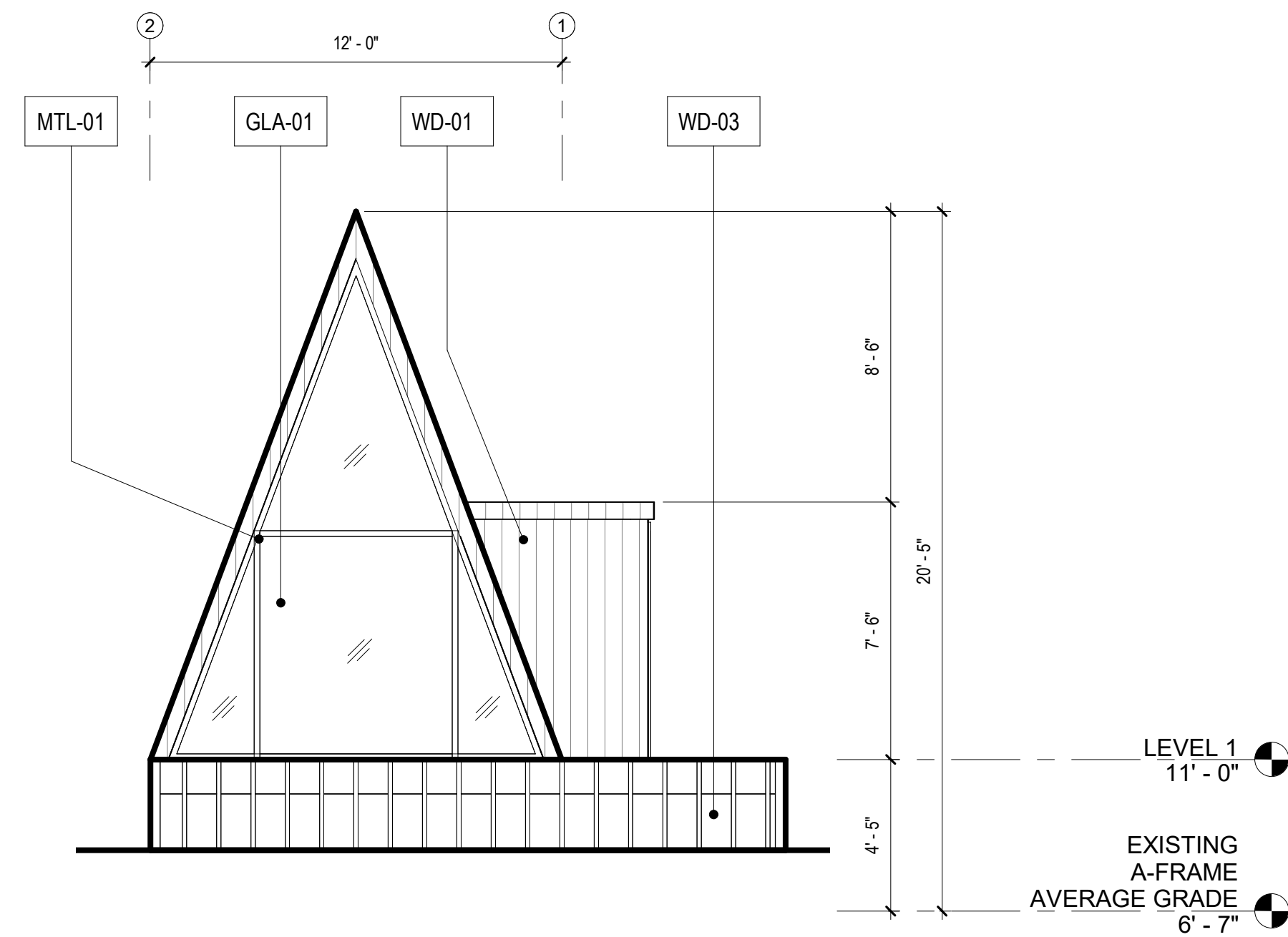
JOB NUMBER: 659

DATE: 12/18/2020

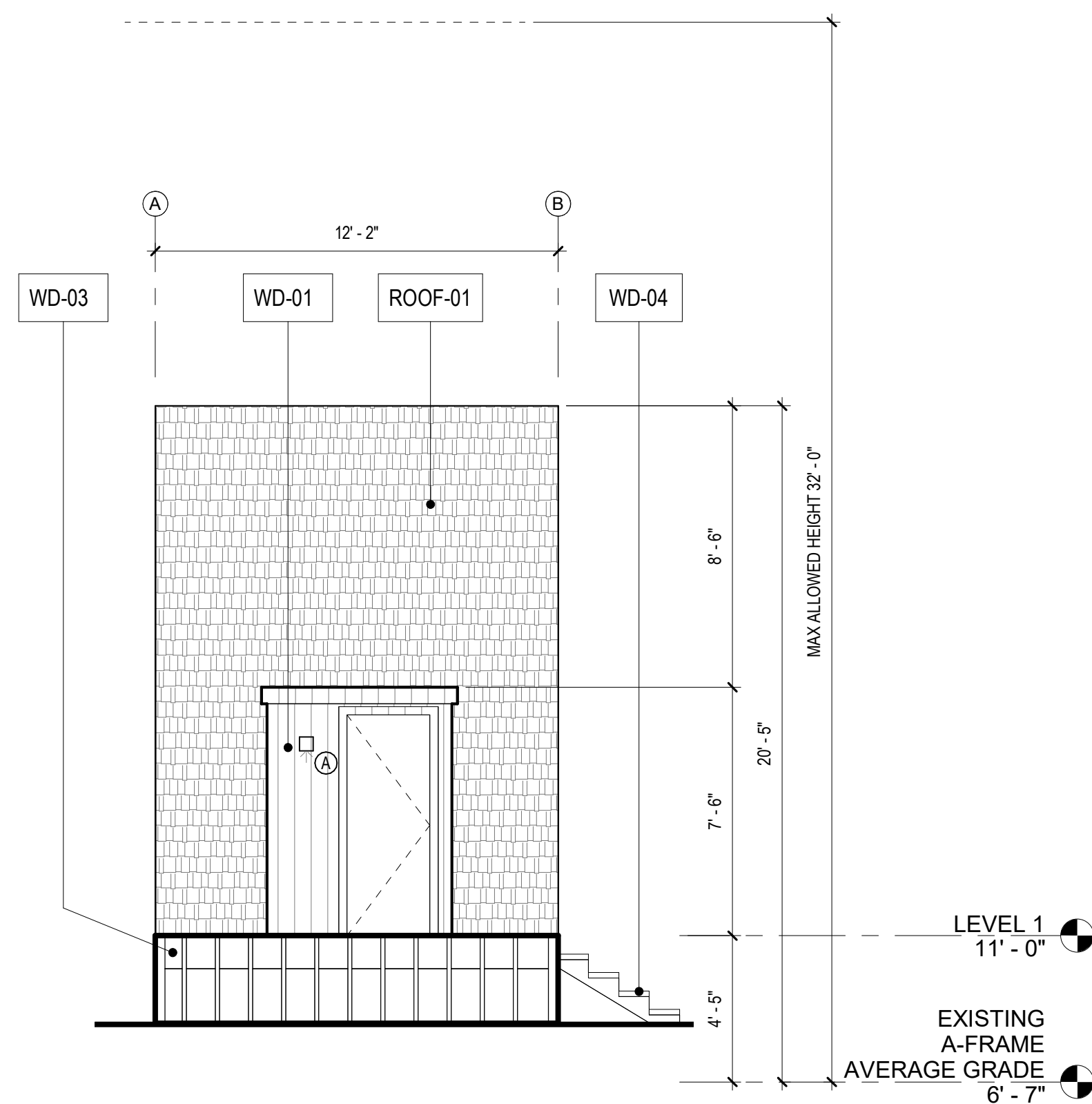
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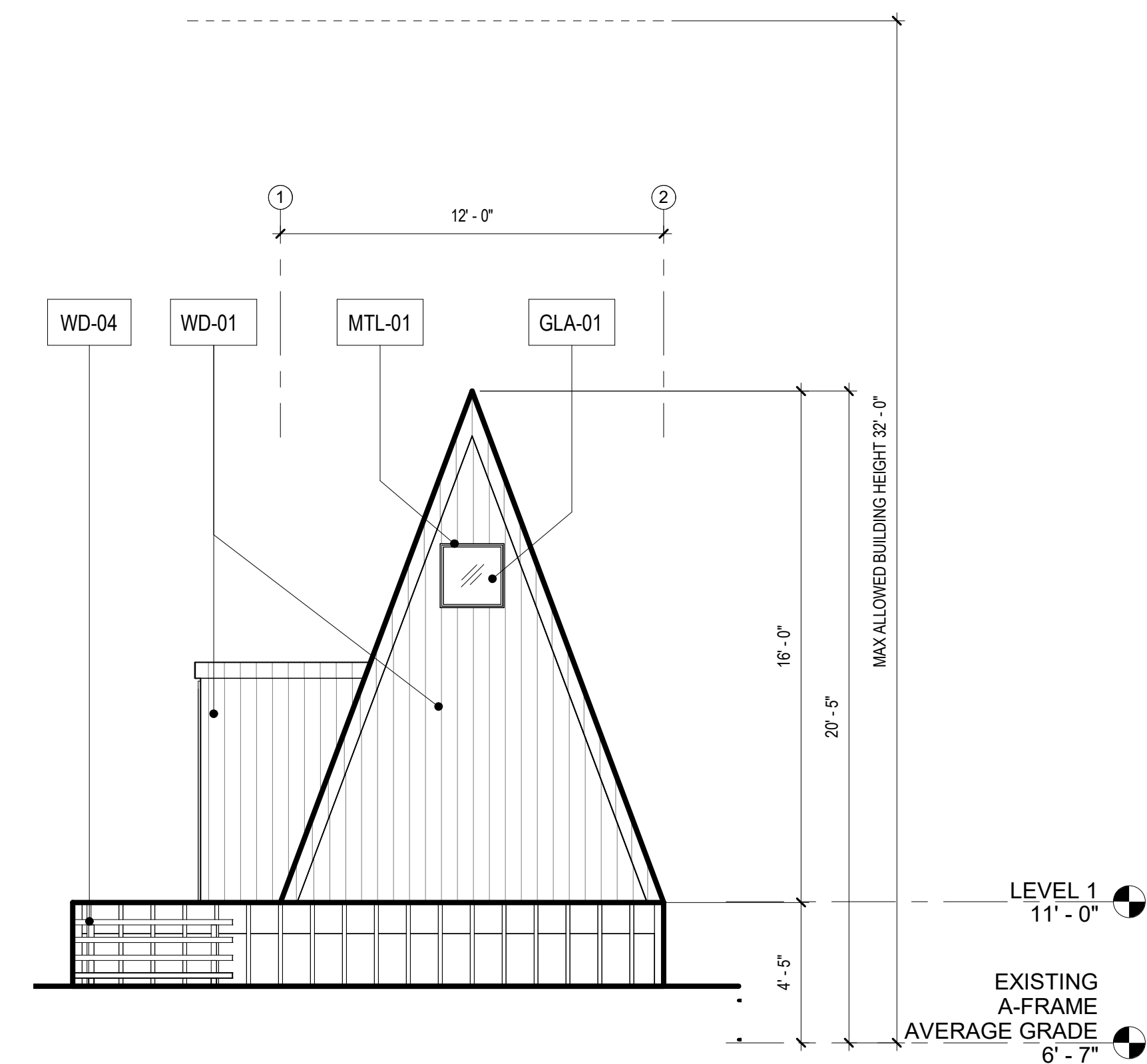
4 PROPOSED ELEVATION - REFINISHED A-FRAME - EAST
SCALE: 1/4" = 1'-0"



3 PROPOSED ELEVATION - REFINISHED A-FRAME - NORTH
SCALE: 1/4" = 1'-0"



2 PROPOSED ELEVATION - REFINISHED A-FRAME - WEST
SCALE: 1/4" = 1'-0"



1 PROPOSED ELEVATION - REFINISHED A-FRAME - SOUTH
SCALE: 1/4" = 1'-0"

LEGEND

MATERIALS LEGEND

- CONC-01 CONCRETE BASE
- GLA-01 DOUBLE GLAZED CLEAR PERFORMANCE GLASS
- MTL-01 BRONZE ANODIZED ALUMINUM WINDOW FRAME
- WD-01 SHOU SUGI BAN SIDING
- WD-02 SHOU SUGI BAN SCREEN
- WD-03 RED WESTERN CEDAR BOARD AND BATTEN SIDING
- WD-04 RED WESTERN CEDAR STAIR
- ROOF-01 SHOU SUGI BAN SHINGLE

NOTES

EXTERIOR LIGHT FIXTURE (A)



BEGA LED WALL WASHER
EXTERIOR, SURFACE-MOUNTED WALL WASHING LED LIGHT

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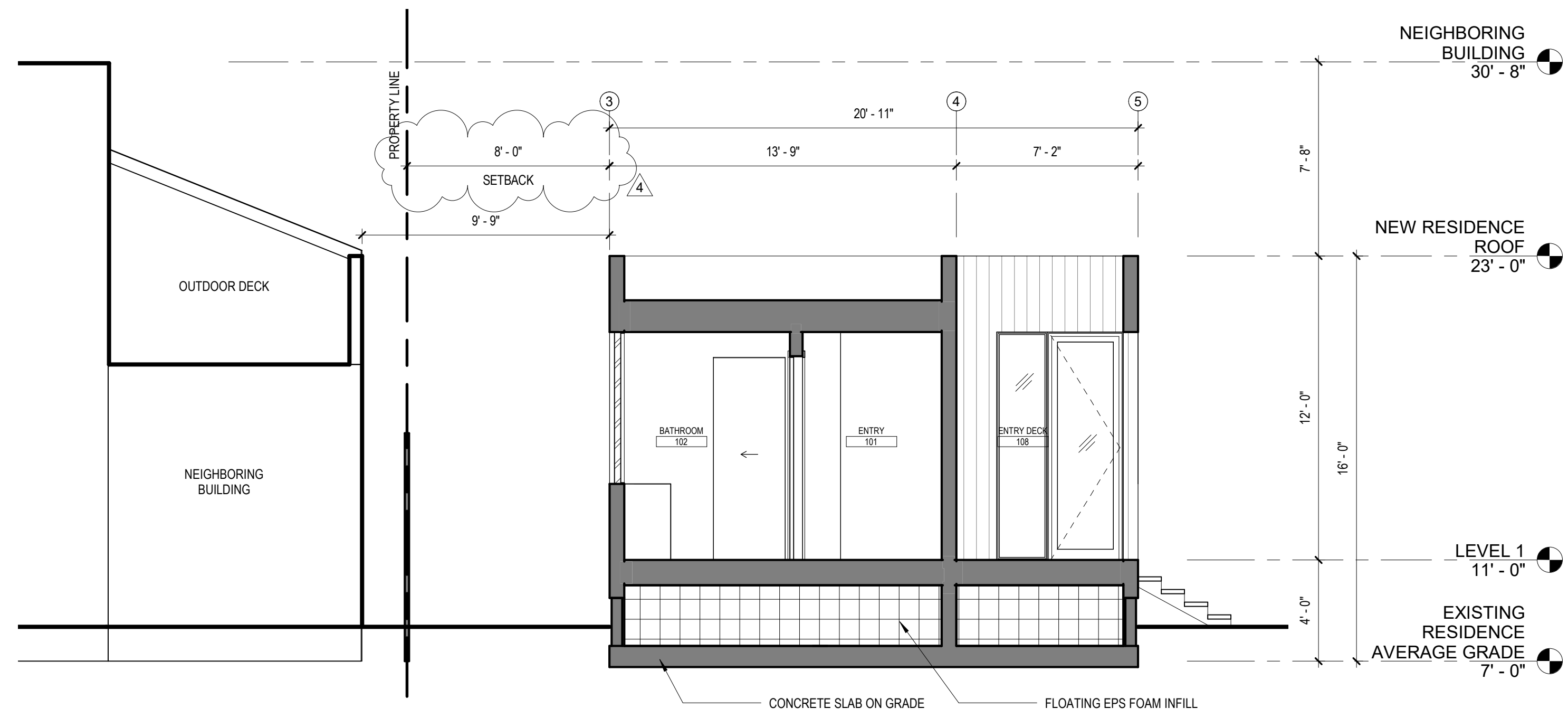
APN: 063-010-15

PROPOSED SECTIONS

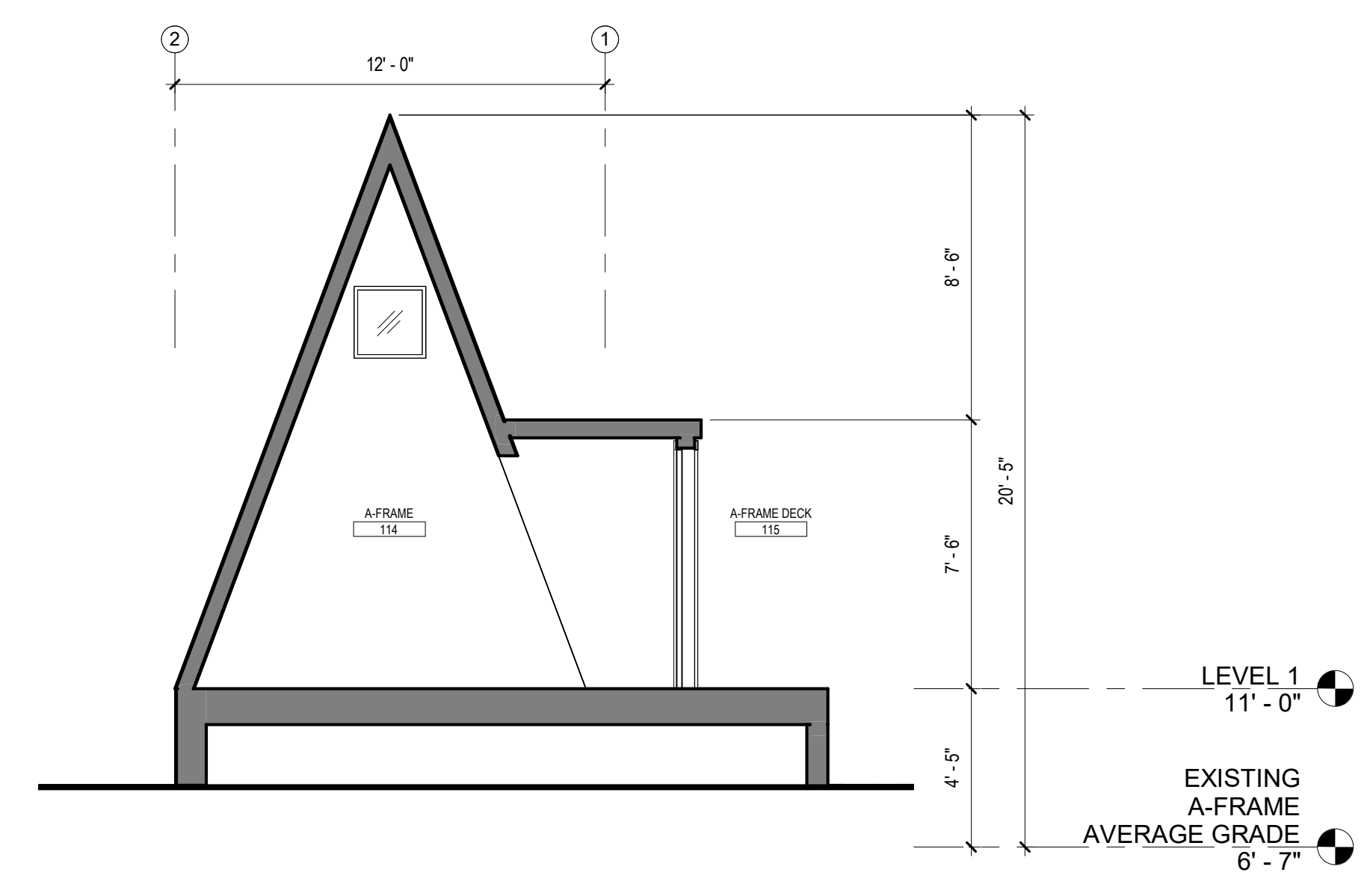
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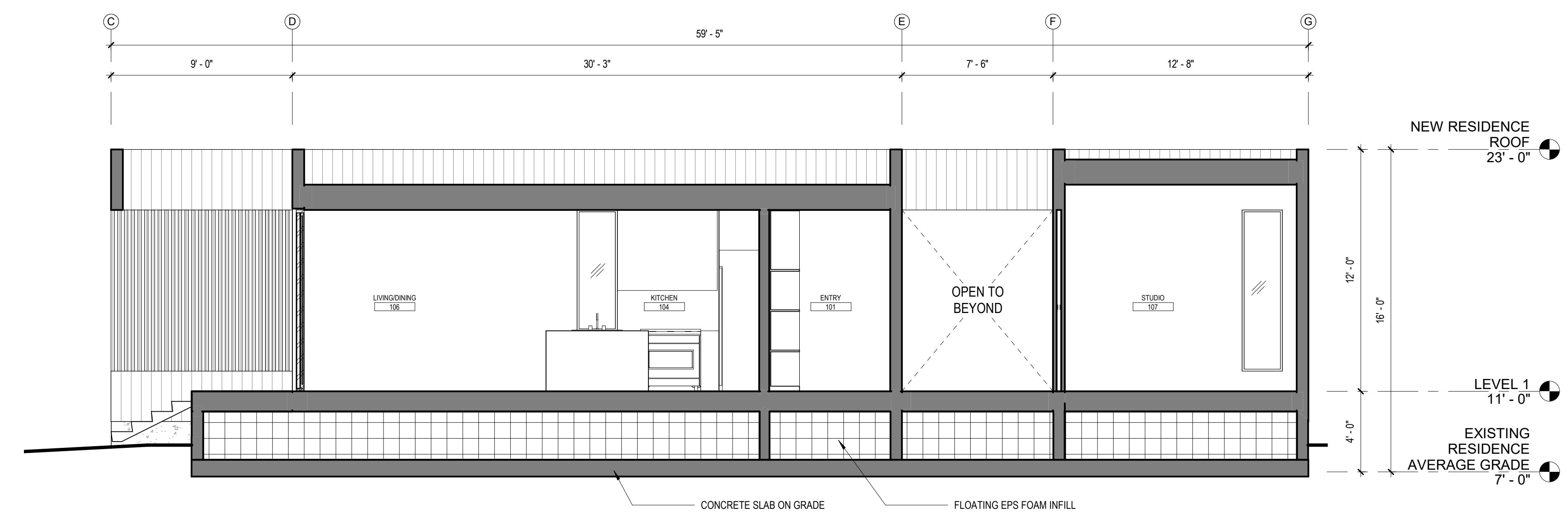
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3 PROPOSED EAST-WEST SECTION - NEW RESIDENCE
SCALE: 1/4" = 1'-0"



2 PROPOSED SECTION - REFINISHED A-FRAME
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH-SOUTH SECTION - NEW RESIDENCE
SCALE: 1/4" = 1'-0"

LEGEND

- MATERIALS LEGEND**
- CONC-01 CONCRETE BASE
 - GLA-01 DOUBLE GLAZED CLEAR PERFORMANCE GLASS
 - MTL-01 BRONZE ANODIZED ALUMINUM WINDOW FRAME
 - WD-01 SHOU SUGI BAN SIDING
 - WD-02 SHOU SUGI BAN SCREEN
 - WD-03 RED WESTERN CEDAR BOARD AND BATTEN SIDING
 - WD-04 RED WESTERN CEDAR STAIR
 - ROOF-01 SHOU SUGI BAN SHINGLE

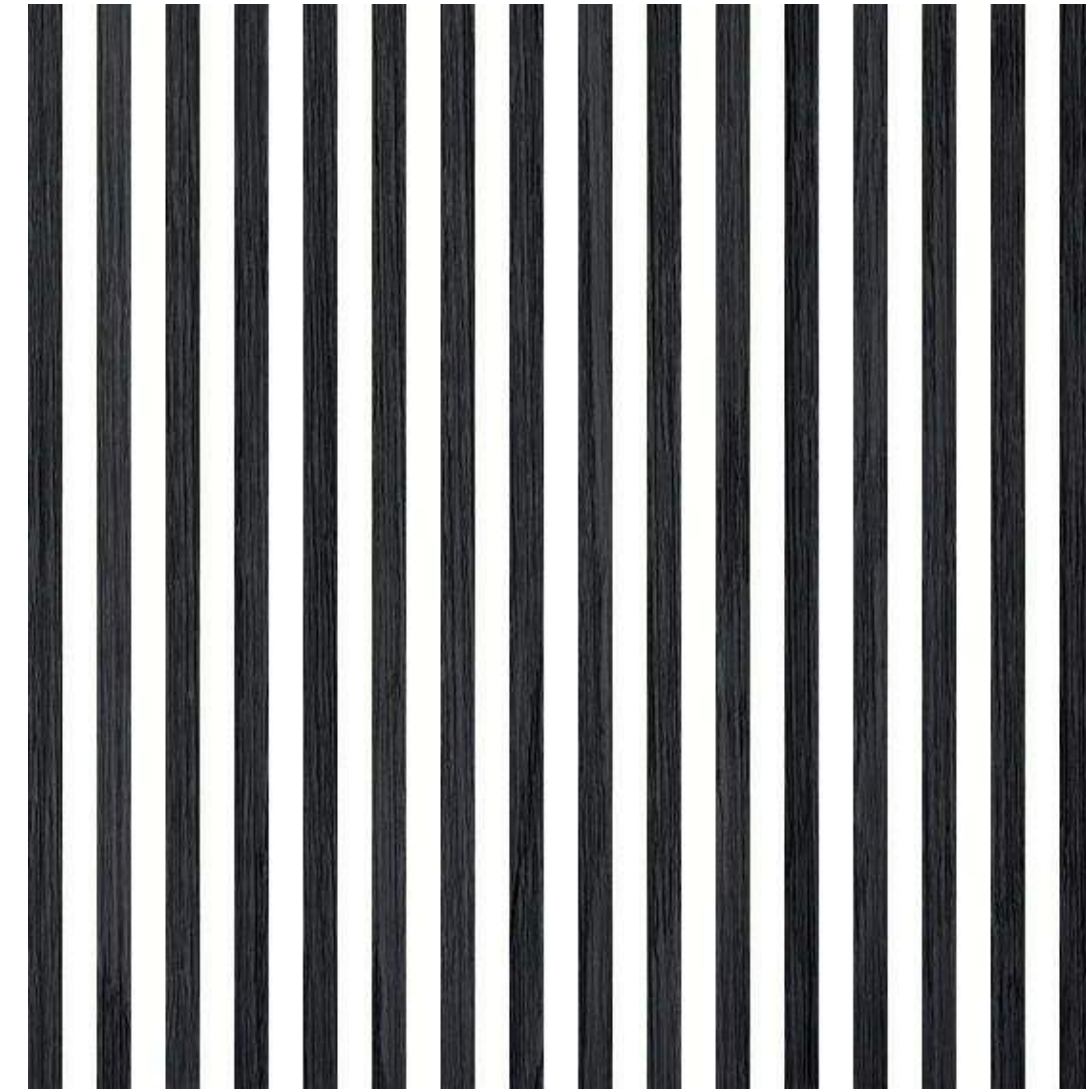
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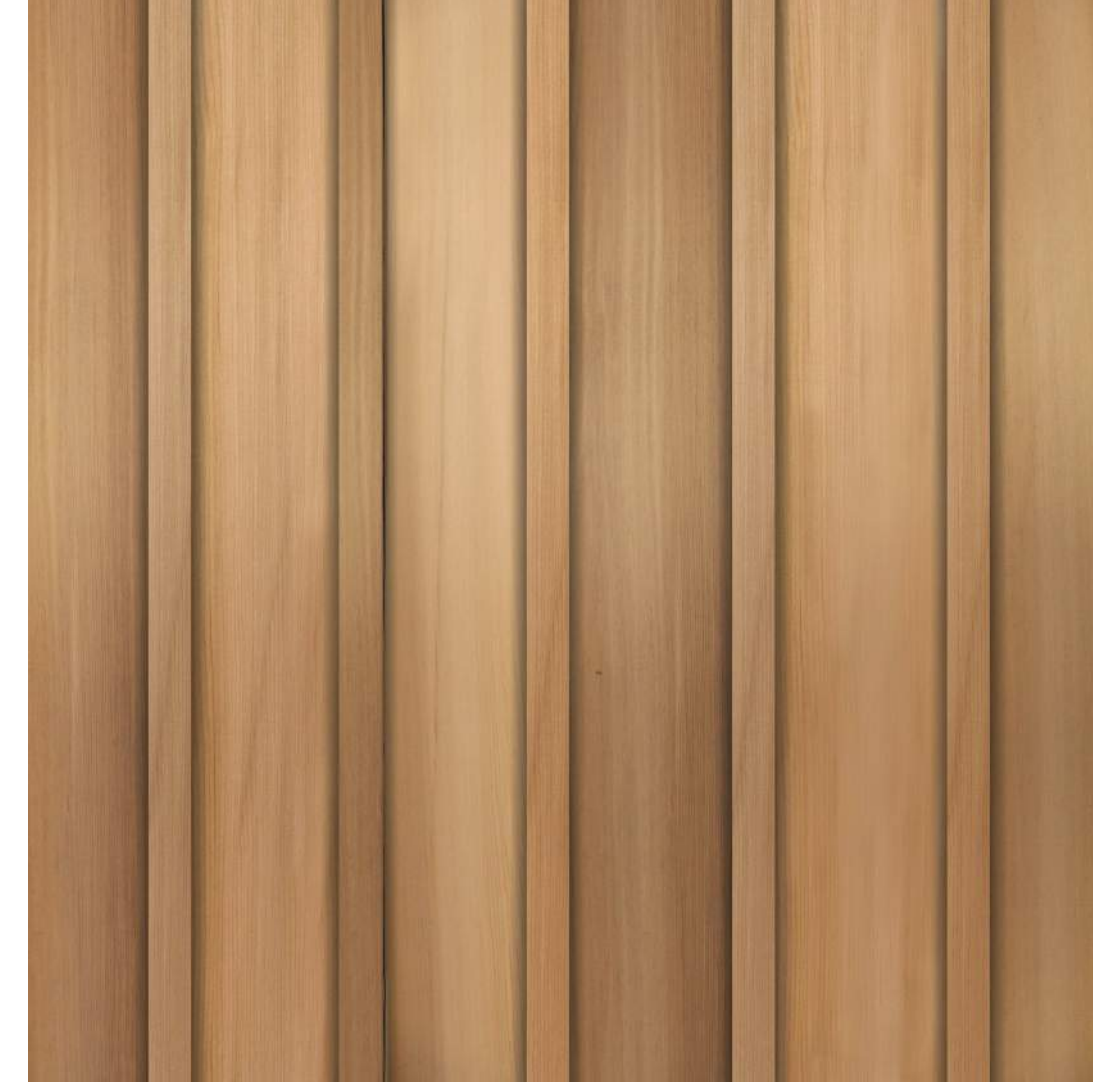
WD-01
SHOU SUGI BAN SIDING

SHOU SUGI BAN IS AN ANCIENT JAPANESE TECHNIQUE THAT PRESERVES WOOD BY CHARRING IT WITH FIRE. AFTER THE WOOD IS CHARRED, IT IS COOLED, CLEANED, AND FINISHED WITH NATURAL OIL.

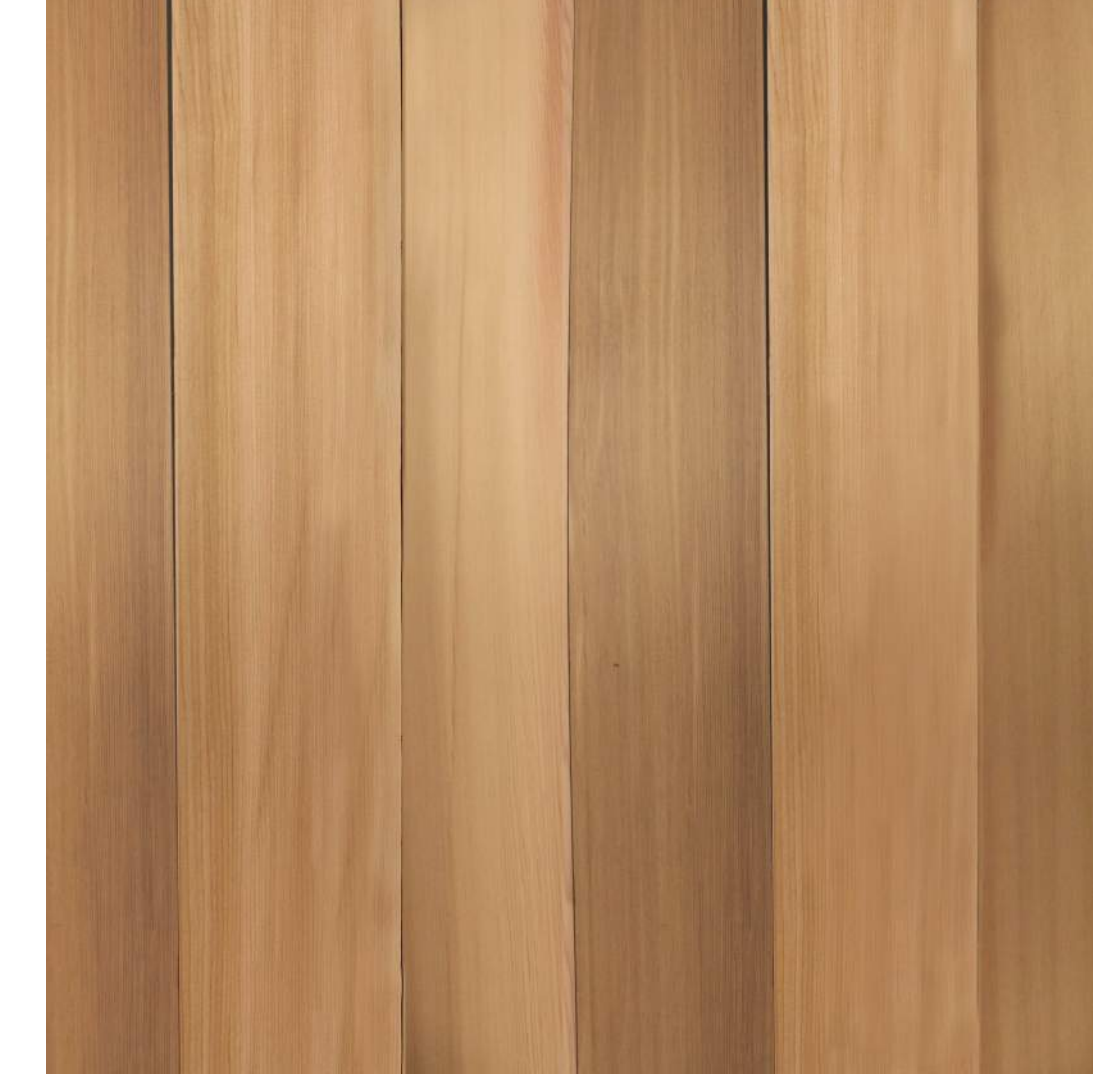


WD-02
SHOU SUGI BAN SCREEN

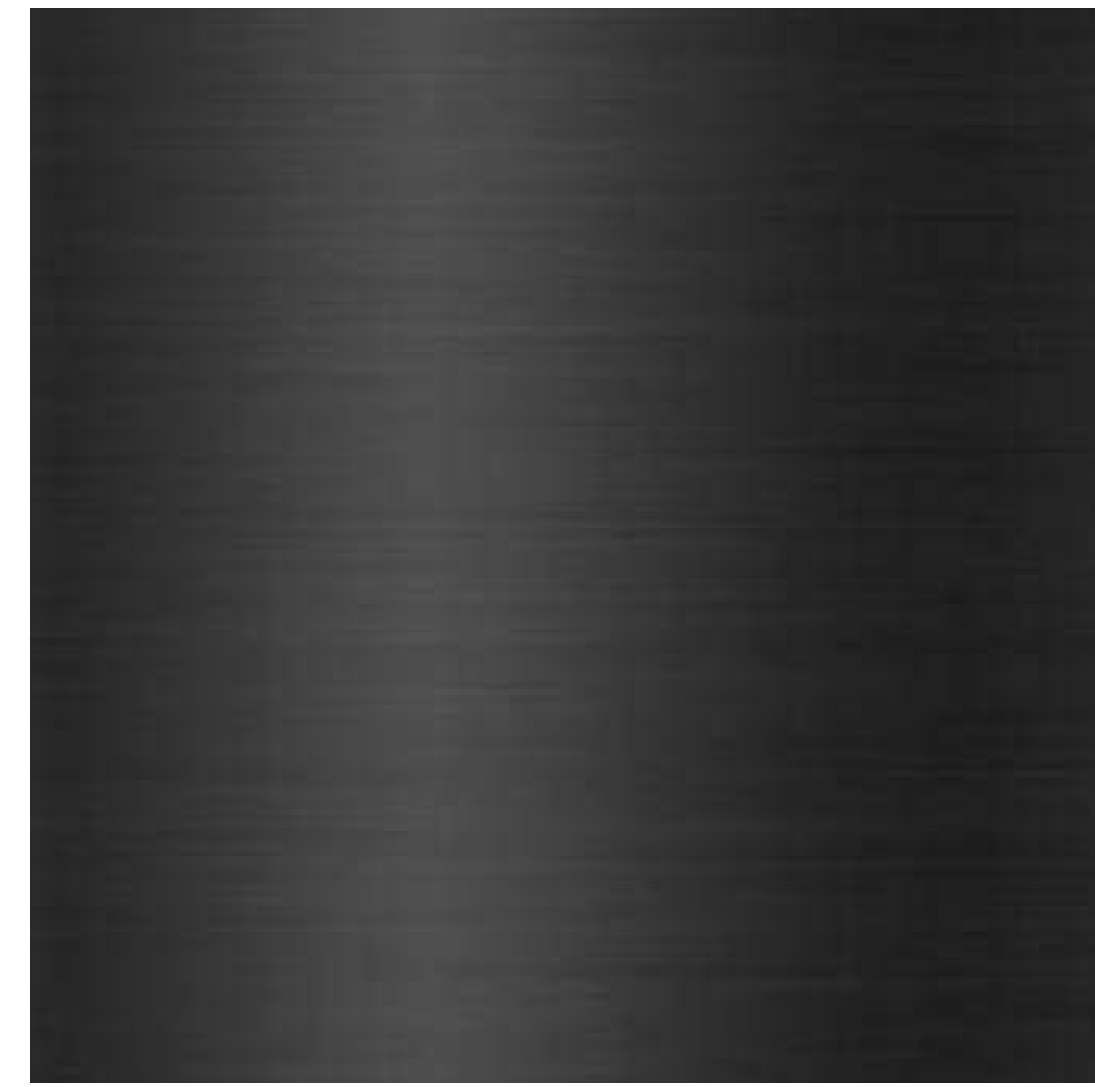
SHOU SUGI BAN IS AN ANCIENT JAPANESE TECHNIQUE THAT PRESERVES WOOD BY CHARRING IT WITH FIRE. AFTER THE WOOD IS CHARRED, IT IS COOLED, CLEANED, AND FINISHED WITH NATURAL OIL.



WD-03
RED WESTERN CEDAR BOARD AND BATTEN SIDING



WD-04
RED WESTERN CEDAR STAIR



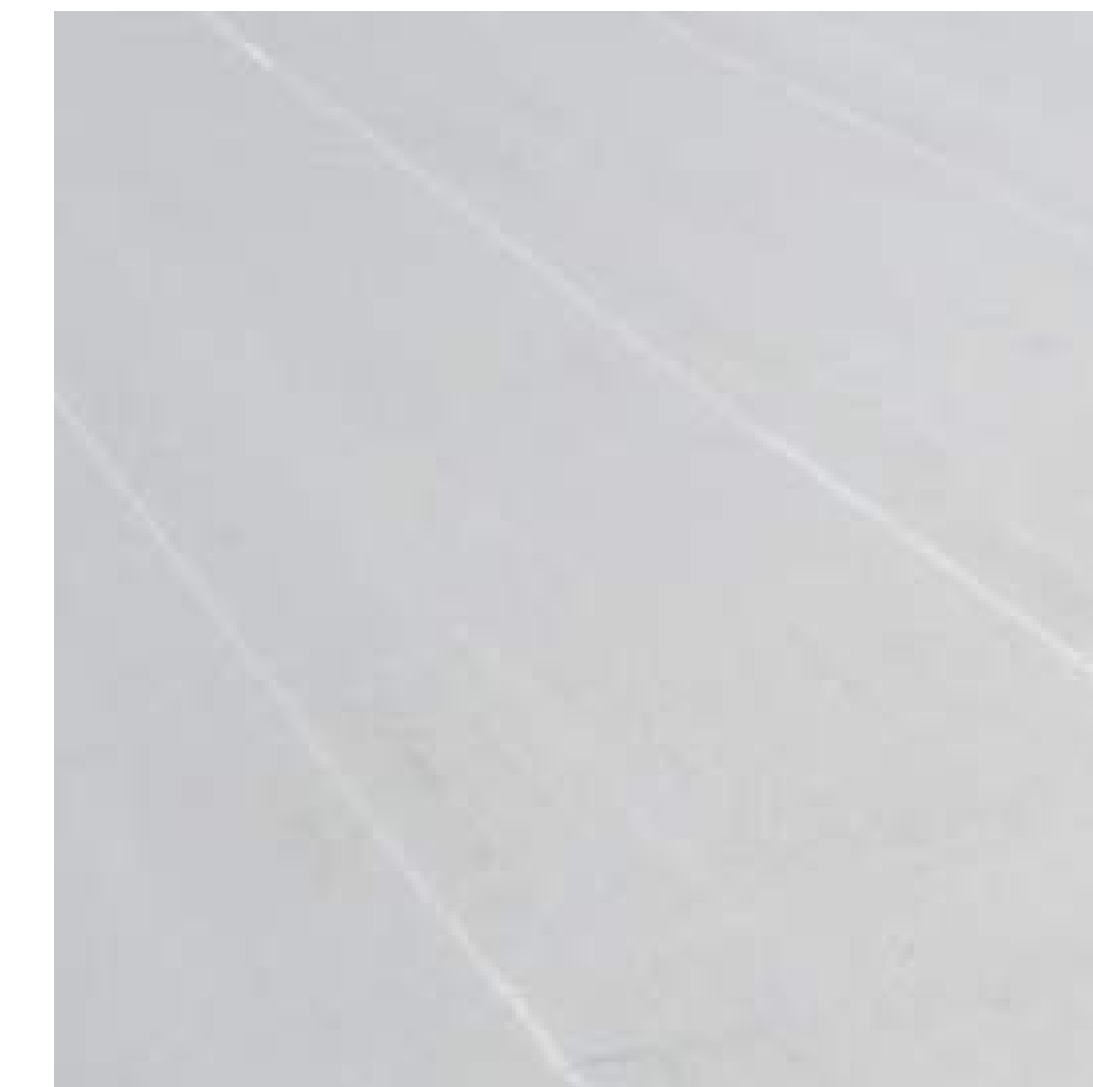
MTL-01
BRONZE ANODIZED ALUMINUM WINDOW FRAME



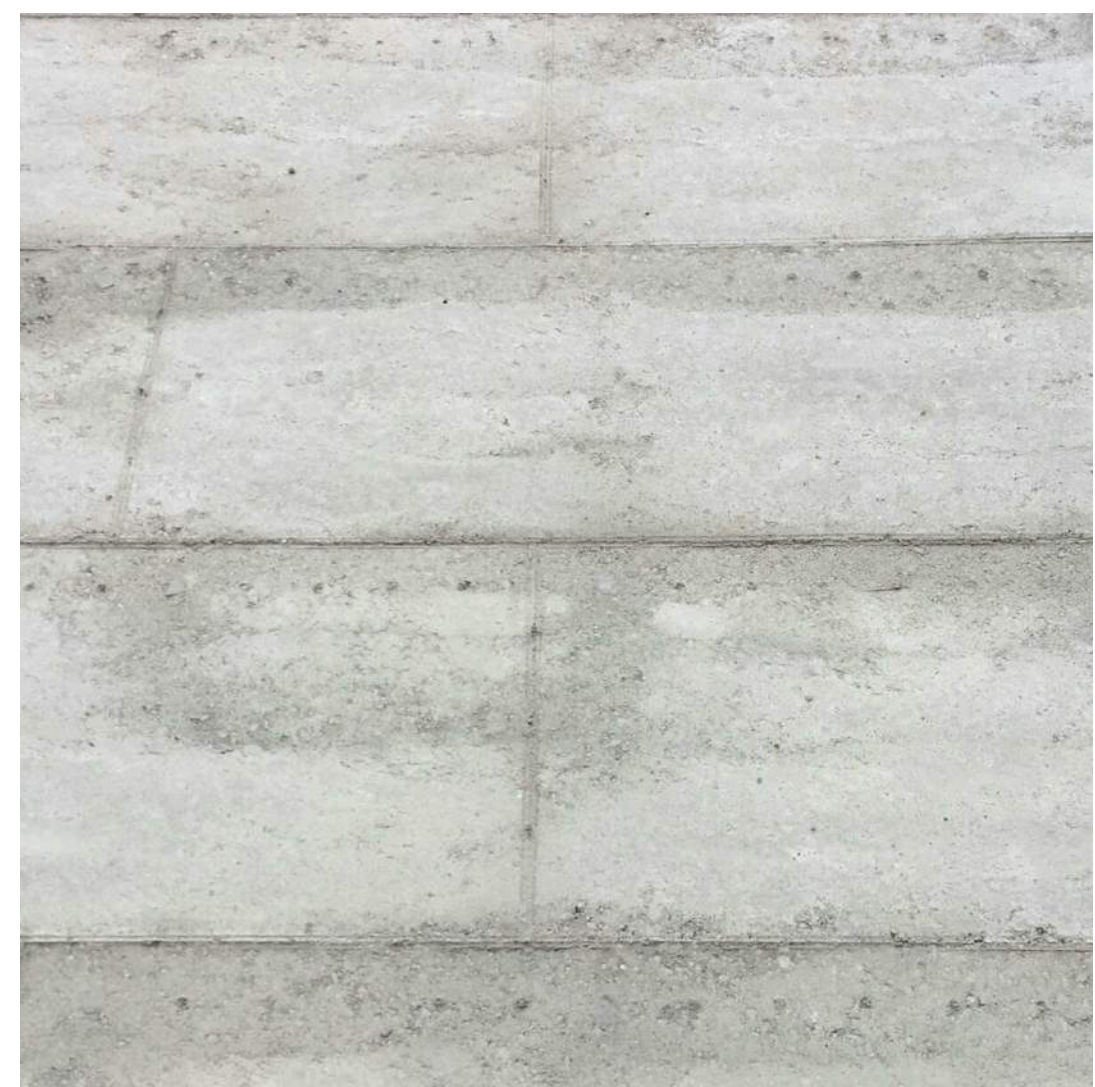
GLA-01
DOUBLE GLAZED CLEAR PERFORMANCE GLASS



ROOF-01
SHOU SUGI BAN SHINGLE
SHOU SUGI BAN IS AN ANCIENT JAPANESE TECHNIQUE THAT PRESERVES WOOD BY CHARRING IT WITH FIRE. AFTER THE WOOD IS CHARRED, IT IS COOLED, CLEANED, AND FINISHED WITH NATURAL OIL.



ROOF-2
LIGHT GREY TPO ROOFING



CONC-01
RAMMED CONCRETE BASE

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52 VARDA LANDING
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APN: 063-010-15

EXTERIOR MATERIALS

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JOB NUMBER: 659

DATE: 12/18/2020

A7.01

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52 VARDA LANDING
52 VARDA LANDING ROAD,
SAUSALITO, CA 94965

APN: 063-010-15

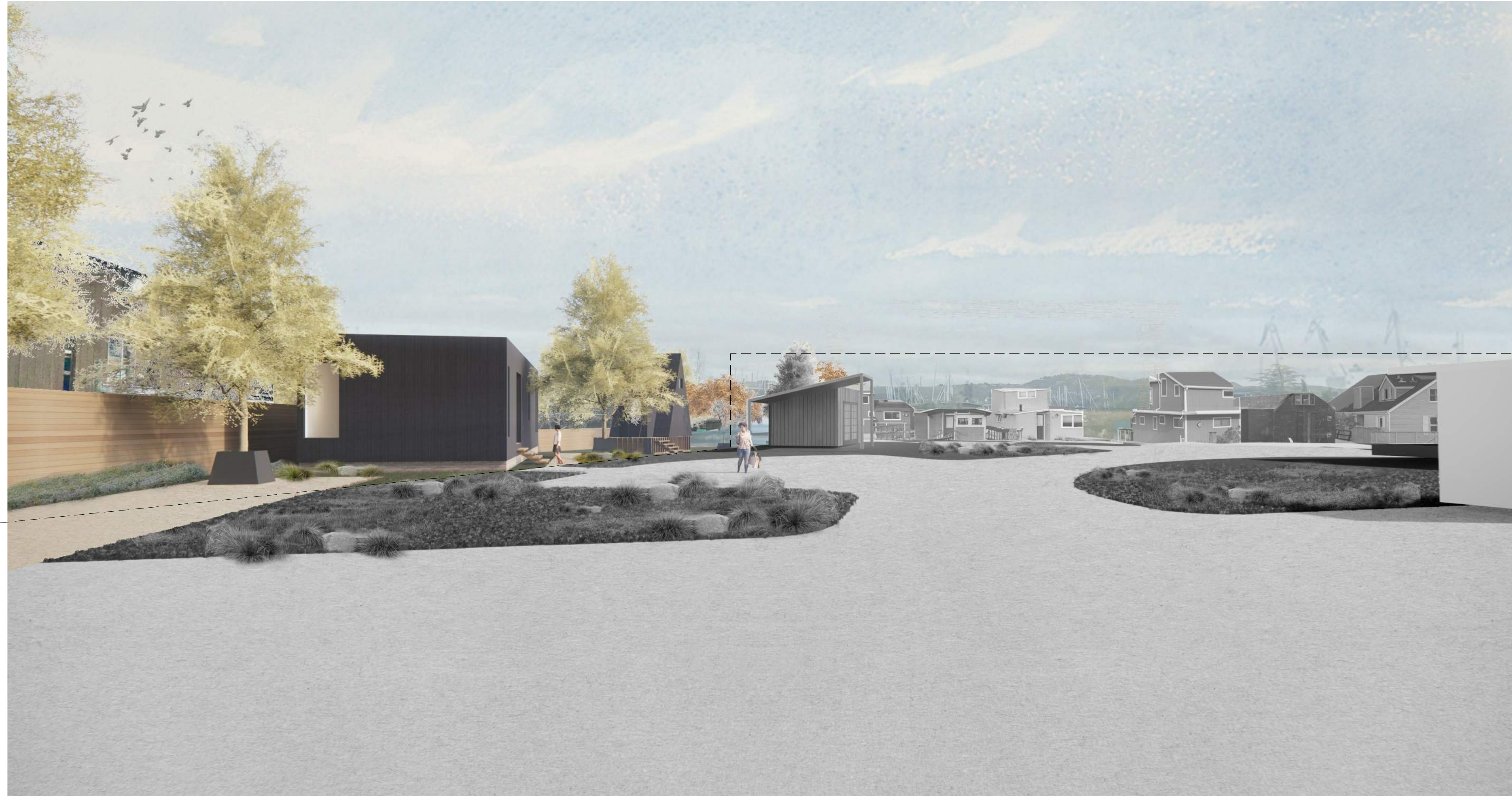
PERSPECTIVES

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JOB NUMBER: 659

DATE: 6/25/2021

A10.01



52 AND 60 VARDA LANDING ROAD - ENTRY

NOT IN SCOPE, TO BE PART OF
SEPARATE PLANNING APPLICATION



PROPOSED NEW RESIDENCE AND REFINISHED A-FRAME - BACKYARD

NOT IN SCOPE, TO BE PART OF
SEPARATE PLANNING APPLICATION

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PERSPECTIVES

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JOB NUMBER: 659

DATE: 6/25/2021

A10.02



PROPOSED NEW RESIDENCE AND REFINISHED SHED - SOUTHEAST ELEVATION



PROPOSED NEW RESIDENCE AND REFINISHED A-FRAME - NORTHEAST ELEVATION

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SAUSALITO, CA 94965

APN: 063-152-05

LANDSCAPE PLAN







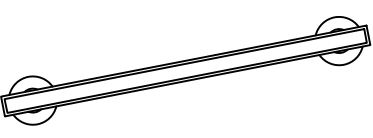





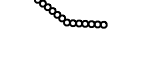
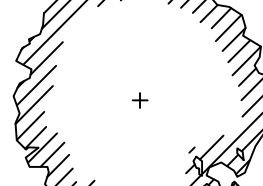
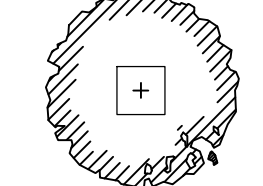

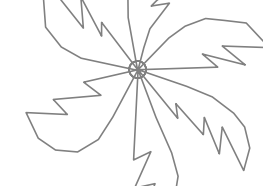
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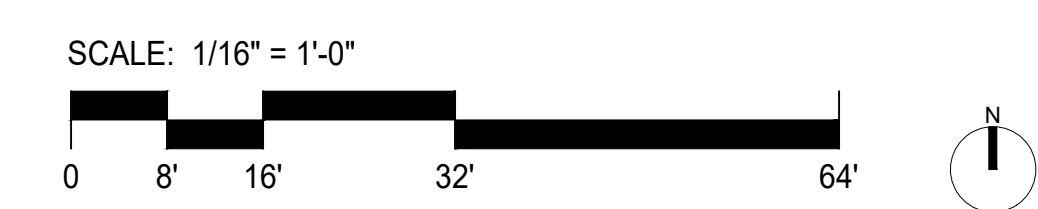
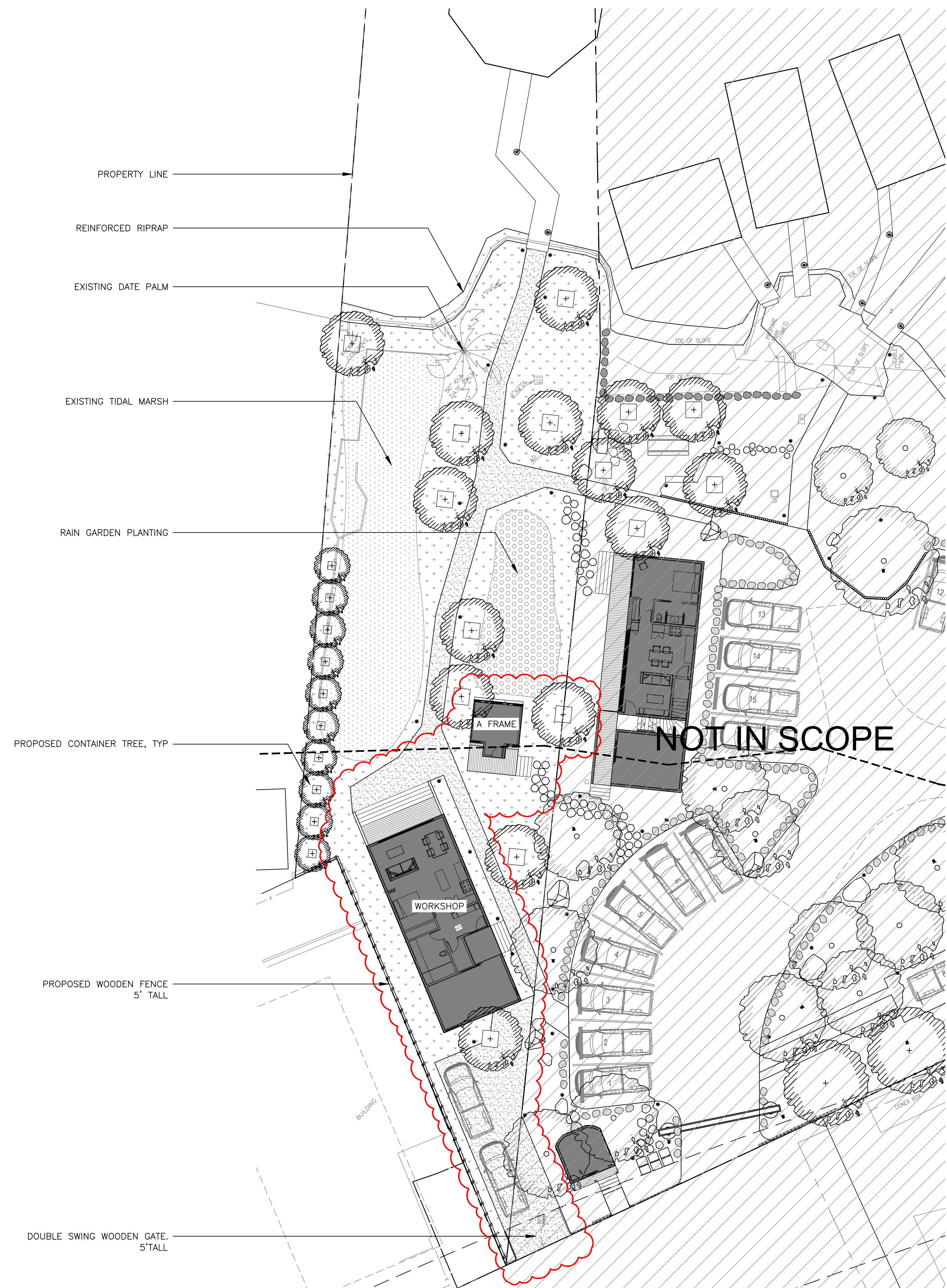
JOB NUMBER: 659

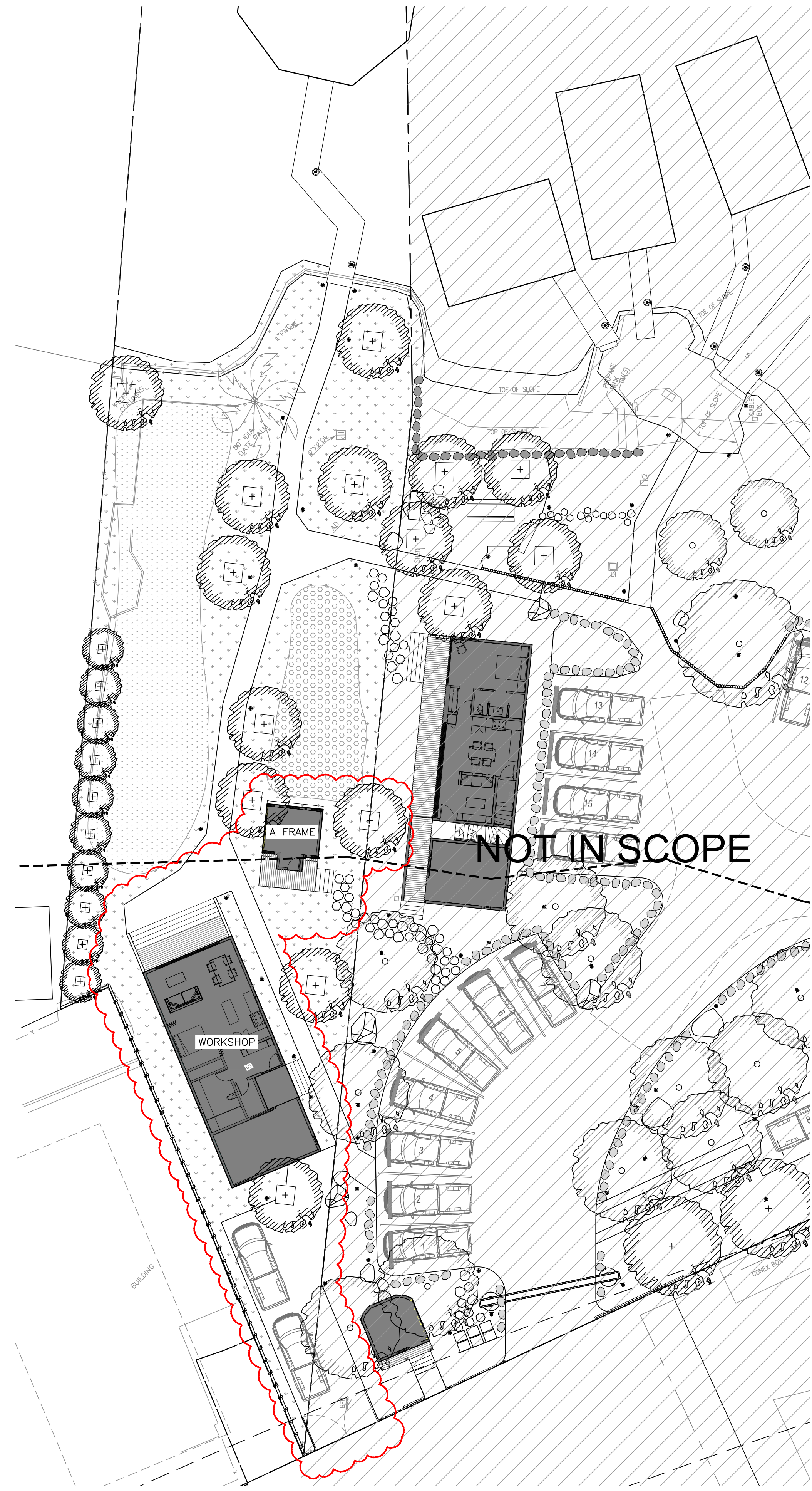
DATE: 05/26/2021

L1.00

LEGEND:

-  GRAVEL DRIVEWAY
-  GRAVEL PEDESTRIAN PAVING
-  EXISTING TIDAL MARSH
-  NATIVE COASTAL GRASSLAND PLANTING
-  STORMWATER RAIN GARDEN PLANTING
-  WOOD DECK
-  WOOD TORRI GATE
-  BOULDER/STONE EDGING
-  STONE PATH
-  PEDESTRIAN LIGHTING
-  WOOD PICNIC TABLE
-  COMMUNITY HEARTH
-  CONCRETE PLANTING EDGING
-  PROPOSED TREE
-  PROPOSED CONTAINER TREE
-  EXISTING TREE
-  EXISTING DATE PALM (50" CALIPER)





PLANTING SCHEDULE

SYMBOL	SCIENTIFIC NAME	BOTANICAL NAME	% OF MIX	SIZE	SPACING	QUANTITY
NATIVE MIX						
8000 SQ FT	CAREX PRAEGRACILIS	CLUSTERED FIELD SEDGE	40	PLUG	18"	1642
	DISTICHLIS SPICATA	SALT GRASS	30	PLUG	18"	1230
	LEYMUS TRITICOIDES LAGUNITA	LAGUNITA WILD RYE	30	PLUG	18"	1230
RAIN GARDEN MIX						
770 SQFT	CAREX NUDATA	TORRENT SEDGE	30	PLUG	18"	118
	ELYMUS TRITICOIDES	CREEPING WILD RYE	20	PLUG	18"	80
	JUNCUS MEXICANUS	MEXICAN RUSH	20	PLUG	18"	80
	POLYPODIUM CALIFORNICUM	CALIFORNIA POLYPODY FERN	10	PLUG	18"	37
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	20	PLUG	18"	80

PLANTING NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ALL SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE LIABLE FOR REMOVING AND REINSTALLING ALL IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLANS AND SPECIFICATIONS.
3. THE IRRIGATION SYSTEM SHALL BE INTSLLED AND TESTED PRIOR TO PLANT MATERIALS.
4. TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT, BUT NOT BEFORE THE IRRIGATION COVERAGE TEST HAS BEEN APPROVED (REFER TO SPECIFICATIONS).
5. PLACE TREES BETWEEN IRRIGATION HEADS WHEREVER POSSIBLE.
6. INSTALL SHREDDED MULCH IN ALL SHRUB AND GROUDCOVER AREAS AT A DEPTH OF 2" UNLESS OTHERWISE INDICATED ON THE PLANS.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK, AS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION BY THE CONTRACTOR AND/OR BY HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE AN EXACT DUPLICATE OF THE ORIGINAL WORK, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
8. CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER.
9. THE PLANTING PLANS ARE ONLY ACCURATE FOR THE PLANTING LOCATION AND PLANT SIZE. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES BY PLAN CHECK.

IRRIGATION NOTES:

1. IRRIGATION TO BE COORDINATED WITH IRRIGATION DESIGNER
2. ALLOW FOR DRIP IRRIGATION TO ALL PLANTS, INCLUDING IN VEGETABLE BEDS & STONE MOUND
3. ALL TREES TO HAVE BUBBLERS
4. BACKFLOW PREVENTER AS NECESSARY
5. INSTALL RACHIO OR SIMILAR CONTROLS
6. METER PERMIT AS NECESSARY

SCALE: 1/16" = 1'-0"



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APN: 063-152-05

PLANTING PLAN

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JOB NUMBER: 659

DATE: 05/26/2021

L2.00