



LOCATION



BLDG CODES



PHOTOS

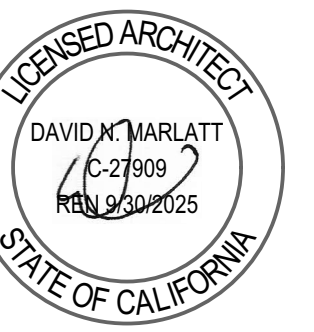
429.5 JOHNSON

Sausalito, California



www.dnmarchitecture.com

DNM ARCHITECTURE
DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965
T: 415.348.8910 • E: info@dnmarchitecture.com



PRICING SET - NOT FOR CONSTRUCTION

PROJECT DATA

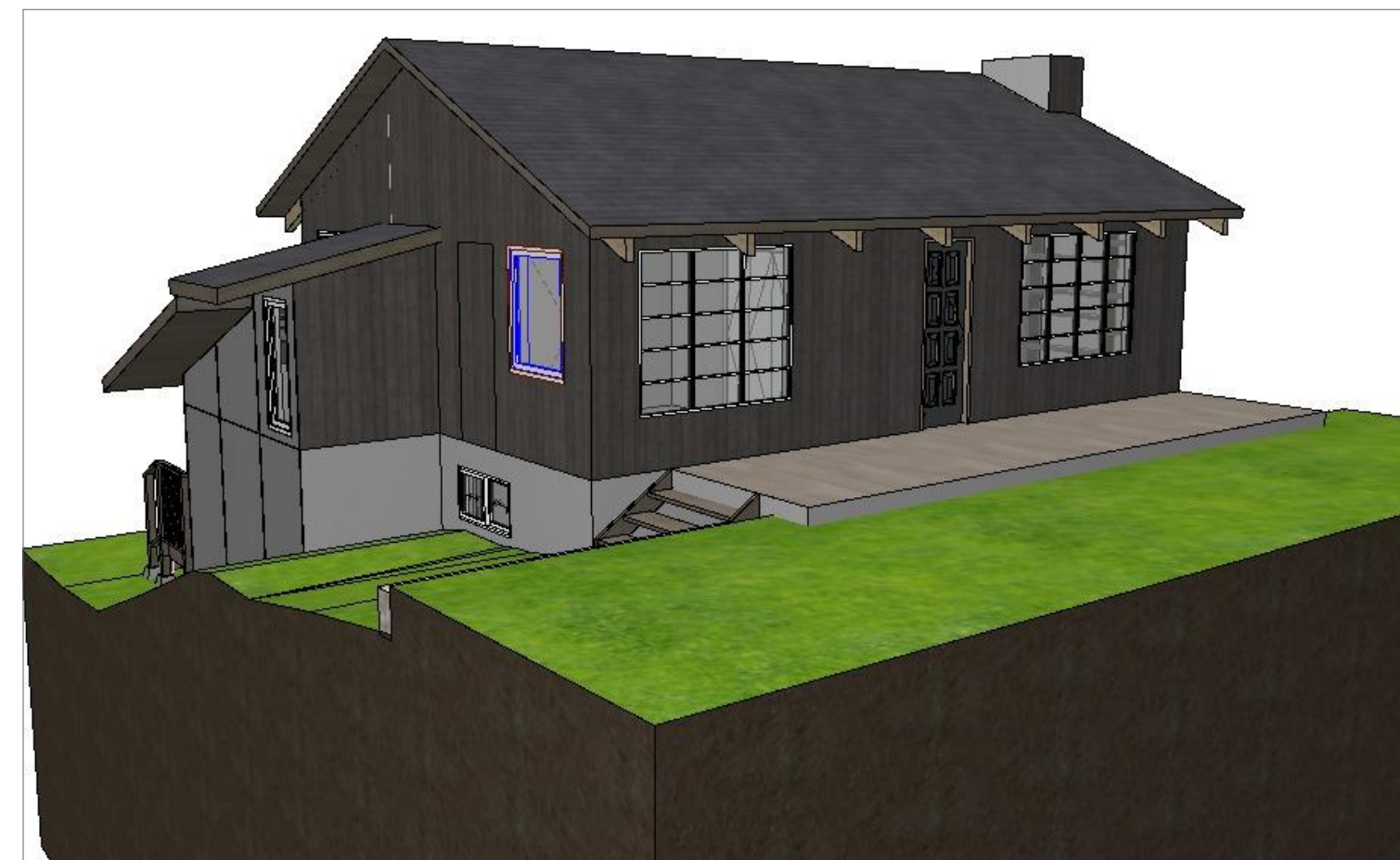
23.0220
429.5 JOHNSON
429.5 Johnson St
Sausalito, California
94965

APN: 065-062-19

REVISIONS	
#	REASON DATE
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09/22/2023

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PROJECT DATA

- DESCRIPTION:**
1. CREATE NEW ADU
 2. DEMOLITION OF [E] BALCONY & STAIR
 3. CONSTRUCTION OF NEW BALCONY AND PATIO
 4. INTERIOR REMODEL

LOCATION: 429.5 Johnson St
Sausalito, California 94965
APN: 065-062-19
LOT SIZE: 3900 SQ.FT.

BUILDING AREA CALCULATION:

	EXISTING	ADDITION	PROPOSED
UNCONDITIONED			
1ST STORY (GARAGE)	338 ft ²	-338 ft ²	0 ft ²
1ST STORY	368 ft ²	172 ft ²	540 ft ²
2ND STORY	678 ft ²	0 ft ²	606 ft ²
TOTAL CONDITIONED AREA:	1,046 ft²	172 ft²	1,146 ft²

UNIT TOTAL C.A.:

UNIT	EXISTING	ADDITION	PROPOSED
UNIT 1	0 ft ²	540 ft ²	540 ft ²
UNIT 2	1,046 ft ²	-440 ft ²	606 ft ²

CONSTRUCTION: V-B
ZONE/HEIGHT: R-3, 32 FT
OCCUPANCY: R-3
NO. OF UNITS: 1
NO. OF STORIES: 2
WUI: YES

DEBRIS BOX SERVICE MUST BE THROUGH BAY CITIES REFUSE. THE CITY OF SAUSALITO HAS AN EXCLUSIVE FRANCHISE AGREEMENT WITH BAY CITIES REFUSE AND RECYCLING SERVICES

CONTRACTOR SHALL APPLY FOR A DEMOLITION PERMIT WITH BAAQMD AND PROVIDE A J NUMBER TO THE CITY OF SAUSALITO PRIOR TO COMMENCING DEMOLITION

PRIOR TO ISSUANCE OF BUILDING PERMIT, TEST THE SEWER LATERAL AND PROVIDE EVIDENCE THAT THE SEWER LATERAL IS IN SATISFACTORY CONDITION OR INCLUDE ITS REPAIR ON THE CONSTRUCTION PERMIT APPLICATION

FIRE PROTECTION

1. SMOKE AND CO DETECTORS SHALL BE INSTALLED AS REQUIRED BY CODE, (CFC R314 & R315), WHERE INDICATED ON PLANS, AND POWERED BY 110V AC CURRENT WITH 9V BATTERY BACK-UP
2. THE MATERIALS USED IN CONSTRUCTION ON THE EXTERIOR OF THE STRUCTURE SHALL COMPLY WITH BUILDING STANDARDS IN CHAPTER 7A OF THE CALIFORNIA BUILDING CODE AND/OR SECTION 337 OF THE CALIFORNIA RESIDENTIAL CODE.

CODE DATA

2022 CA BUILDING CODE
2022 CA MECHANICAL CODE
2022 CA ELECTRICAL CODE
2022 CA PLUMBING CODE
2022 CA ENERGY CODE
2022 CA GREEN BUILDING CODE
2022 CA RESIDENTIAL CODE
2022 CA FIRE CODE

DEFERRED ITEMS

1. TREE REMOVAL PERMIT (IF REQUIRED)
2. REPLACEMENT OF EXISTING SEWER LINE(S)

SPECIAL INSPECTIONS

1. CONTINUOUS INSPECTOR OF EPOXIED REBAR

PROJECT CONTACTS

OWNER: City of Sausalito
420 Litho St.
Sausalito, CA 94965
E: T: (415) 289-4100

ARCHITECT: DNM ARCHITECTURE
1A GATE 5 ROAD
SAUSALITO, CA 94965
DAVID MARLATT, AIA
E: david@dnmarchitecture.com
T: 415-348-8910

CONTRACTOR: TBD

STRUCTURAL ENGINEER: WM STRUCTURAL
4098 PIEDMONT AVE, STE 279
OAKLAND, CA 94611
ERIK MCGREGOR
E: erik@wmstructural.com
T: 510-995-6428

DRAWING INDEX

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A0.10	DEMOLITION CALCULATIONS	X	X	X
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A1.2	DEMOLITION FLOOR PLAN	X		
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A7.4	QII CHECKLIST - INSULATION INSTALLATION	X		
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GENERAL NOTES

- 1. THE WORD CONTRACTOR AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.
2. THE TERM CONSTRUCTION DOCUMENTS SHALL MEAN ALL OF THE DRAWINGS, SCHEDULES AND SPECIFICATIONS AND OTHER WRITTEN ORDERS ISSUED BY THE ARCHITECT'S, ENGINEERS' AND OTHER DESIGN PROFESSIONALS FOR THE PURPOSE OF CONSTRUCTING THE PROJECT.
3. CONTRACTOR SHALL PROMPTLY NOTIFY OWNER'S REPRESENTATIVE IF THE CONTRACTOR BECOMES AWARE DURING THE PERFORMANCE OF THE WORK THAT THE CONSTRUCTION DOCUMENTS ARE AT VARIANCE WITH APPLICABLE CODE REQUIREMENTS...
19. THE CONSTRUCTION DOCUMENTS AND ALL COPIES THEREOF FURNISHED TO CONTRACTOR ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED ON OTHER WORK.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, and another Abbreviation. Examples include: At, A.F.F. (Above Finished Floor), ADJ. (Adjacent), INT. (Interior), INS. (Insulation), etc.

PROJECT NOTES

PHASING

Coordinate phasing of Work and occupancy date(s) with Owner. Provide safety and security measures as appropriate if building is occupied before project completion date

PERMITS & RELATED FEES

Owner will pay for: Permits and fees related to Planning Department entitlements, General building permit fees, Permit fees for any work contracted directly by the Owner outside of the Project scope, Required HERS and other third-party Special Inspection fees...

CONSTRUCTION SCHEDULE

Provide construction schedule before start of Work including key milestones, long lead materials and trades, inspections, and dates when Owner selections are required. Update schedule as needed, and no less frequently than each payment request.

ALLOWANCES

Allowances should be provided for items for which no specific product is selected. Allowance items are to both furnish and install, e.g. a stone countertop or to furnish items only with installation included in the base contract, e.g. tile.

NO ALLOWANCE ITEM SHOULD BE ORDERED WITHOUT THE CLIENT'S EXPRESS AUTHORIZATION. Contractor should provide Client a schedule of the date when final selection and purchase of each allowance item must be completed to avoid delaying the Work.

Contractor shall submit written proposals for purchase of allowance items prior to placing order. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance. Contractor shall return unused materials purchased under an allowance to manufacturer or supplier for credit to Client, if possible.

Contractor shall examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

QUALITY REQUIREMENTS

Testing and inspecting services may be required to verify compliance with certain requirements specified or indicated in Special Inspections document or the plans. These services do not relieve Contractor of responsibility for compliance with the Contract Document requirements.

- 1. Testing and inspecting services shall be performed by independent certified testing agencies or the Engineer of Record or the Architect as indicated in the Special Inspection document.
2. Owner will provide testing and inspecting services not specified to be provided by Contractor.
3. Contractor is responsible for scheduling inspections and tests and notifying testing agency.
4. Contractor shall pay for additional testing and inspecting required as a result of tests and inspections indicating noncompliance with requirements which are no fault of the Client.

Cooperate with testing agencies and provide auxiliary services as requested, including the following:

- 1. Access to the Work.
2. Incidental labor and facilities to assist inspections and tests.
3. Adequate quantities of materials for testing, and assistance in taking samples.
4. Facilities for storing and curing test samples.
5. Security and protection for samples and test equipment.

TEMPORARY FACILITIES AND CONTROLS

Contractor shall provide and pay for temporary facilities including:

- 1. Power, if not available on site.
2. Toilets. Comply with regulations and health codes for type, number, location, operation, and maintenance of fixtures and facilities.
3. Storage as required.
4. Heating and cooling as required for curing materials or for protecting installed construction from adverse weather if required.
5. Environmental controls as required by authorities having jurisdiction including, but not limited to, erosion and sediment control.

Collect waste daily and legally dispose of waste off-site when containers are full. Dispose of material according to applicable laws and regulations. Remove temporary facilities and controls before Substantial Completion. Personnel remaining after Substantial Completion will be permitted to use permanent facilities, under conditions acceptable to Owner

GREEN REQUIREMENTS

- 1. Quality Insulation Installation (QII) is not required for this project, but is considered a "best practice." Insulation and sealants shall be installed in compliance with applicable QII (Quality Insulation Installation) guidelines: see architectural sheets provided for a selection of installation recommendations and diagrams.
2. Comply with all local regulations regarding waste diversion. Recycle or salvage a minimum of 65% of construction and demolition waste.
3. Wall and floor framing shall not be enclosed when framing members exceed 19% moisture content.
4. Use FSC Certified lumber and plywood sheathing
5. Provide Energy Star rated appliances where applicable. Vent fans less than 400 cfm must comply with max. sound limitation per CalGreen.

PRODUCT REQUIREMENTS

Request product substitutions in writing with adequate documentation including product to be replaced and documentation showing compliance of proposed substitution with applicable requirements. List changes to other Work & schedules required to accommodate the substitution and any proposed changes in the Contract Sum or the Contract Time should the substitution be accepted.

Submit requests sufficiently in advance of when materials are required in the Work to allow processing of request and subsequent submittals, if any. Do not submit unapproved substitutions on Shop Drawings or other submittals.

Architect or Owner will review the proposed substitution and notify Contractor of its acceptance or rejection. Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss, including theft. Comply with manufacturer's written instructions.

- 1. Schedule delivery to minimize long-term storage at Project site and to prevent overcrowding of construction spaces.
2. Deliver products to Project site in manufacturer's original sealed container or packaging, complete with labels and instructions for handling, storing, unpacking, protecting, and installing. Include Chain of Custody documentation, if required.
3. Inspect products on delivery to ensure compliance with the Contract Documents and to ensure that products are undamaged and properly protected & labeled.
4. Store materials in a manner that will not endanger Project structure.
5. Store products that are subject to damage by the elements, undercover in a weather tight enclosure above ground, with ventilation adequate to prevent condensation.

Provide products that comply with the Contract Documents, are undamaged, and are new at the time of installation

- 1. Provide products of the same kind from a single source. Ceramic tile and fabrics must be of a single production batch.
2. Provide products complete with accessories, trim, finish, and other devices and components needed for a complete installation and the intended use and effect.
3. Select products to comply with all the following that are applicable:
a. Where a product or manufacturer is named, provide the indicated item. Substitutions may be permitted only for items marked "S".
b. Where a product is described with required characteristics, provide a product that complies with those characteristics.
c. Where compliance with performance requirements is specified, provide products that comply and are recommended in writing by the manufacturer for the application.
d. Where compliance with codes, regulations, or standards, is specified, select a product that complies with the codes, regulations, or standards referenced.
4. Unless otherwise indicated, Owner or Architect will select color, pattern, and texture of each product from manufacturer's full range of options that includes both standard and premium items.

EXECUTION AND CLOSEOUT REQUIREMENTS

Maintain a copy of the Contract Drawings as Record Drawings. Mark drawings to show installation that varies from the Work originally shown and provide to Client.

Provide Client with all available operation and maintenance data. Include Manufacturer's operation and maintenance, brochures, Spare parts list, Wiring diagrams, Copies of warranties.

Clean each surface or item as follows before requesting inspection for certification of Substantial Completion: 1. Remove labels that are not permanent. DO NOT REMOVE DOOR AND WINDOW LABELS UNTIL FINAL INSPECTION IS PASSED.

- 1. Remove labels that are not permanent. DO NOT REMOVE DOOR AND WINDOW LABELS UNTIL FINAL INSPECTION IS PASSED.
2. Clean transparent materials, including mirrors. Remove excess glazing compounds. Replace chipped or broken glass.
3. Clean exposed finishes to a dust-free condition, free of stains, films, and foreign substances. Leave concrete floors broom clean.
4. Wipe surfaces of mechanical and electrical equipment. Remove excess lubrication. Clean plumbing fixtures. Clean light fixtures and lamps.
5. Clean the site. Sweep paved areas; remove stains, spills, and foreign deposits. Rake grounds to a smooth, even-textured surface.

- Before requesting Substantial Completion inspection, complete the following:
1. Obtain and submit lien and other releases permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, and similar releases.
2. Complete startup testing of systems and instruction of operation and maintenance personnel.
3. Remove temporary facilities and controls.
4. Complete final cleaning requirements, including touchup painting.
5. Touch up and otherwise repair and restore marred exposed finishes to eliminate visual defects.
6. If requested by Owner, facilitate delivery of spare parts, extra materials, and similar items to storage facility indicated by owner. Owner will reimburse Contractor for standard and reasonable travel costs.

Upon request for inspection, Architect will proceed with inspection or advise Contractor of unfulfilled requirements. Architect will reinspect the Work on receipt of notice that the Work has been completed. On completion of reinspection, Architect will authorize a payment. If the Work is incomplete, Architect will advise Contractor of the Work that is incomplete or obligations that have not yet been fulfilled.

LOCAL CONDITIONS

Contractor is responsible to respect all local ordinances relating to work hours, street use permits, debris collection, and other relevant local ordinances and regulations.

All construction and demolition debris must be recycled using a certified facility in compliance with local applicable ordinances and standards.

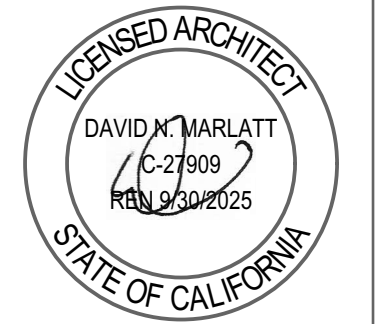
CLEANING AND WASTE MANAGEMENT

Do not permit construction debris to accumulate more than one week. Remove all waste and surplus materials as needed to maintain a clean, safe, and orderly work site.

Assure proper protection in case of weather changes during nights & weekends.

Construction site to be in a clean and orderly condition throughout the construction process. Clean interior spaces prior to the start of finish painting and the application of other finishes.

At the conclusion of construction, clean the project per Closeout Requirements.



23.0220

429.5 JOHNSON

429.5 Johnson St

Sausalito, California 94965

APN: 065-062-19

Table with 2 columns: # REASON, DATE. Rows 1-6 are empty for revision tracking.

09/22/2023

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CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION
OFFICE OF THE STATE FIRE MARSHAL
FIRE ENGINEERING & INVESTIGATIONS DIVISION
BUILDING MATERIALS LISTING PROGRAM

LISTING SERVICE

LISTING No.:	8140-2026:0502
CATEGORY:	8140 - EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I.)
LISTEE:	JAMES HARDIE BUILDING PRODUCTS, INC. 10901 Elm Avenue, Fontana, CA, 92337 Contact: Haldeman, Alex (951) 545-8359 Email: alex.haldeman@jameshardie.com
DESIGN:	*Hardie® Architectural Panel, noncombustible fiber-cement panel siding, 5/16" thick. Refer to manufacturer's installation instructions and product data sheets.
RATING:	Noncombustible Tested in accordance with ASTM E136
INSTALLATION:	In accordance with listee's printed installation instructions, applicable codes and ordinances, and in a manner acceptable to the authority having jurisdiction.
MARKING:	Listee's name, model number, rating, and SFM label.
APPROVAL:	Listed as exterior siding material for use in the Wildland Urban Interface areas. Compliance in accordance with Chapter 7A of the California Building Code. Refer to listee's Installation Instruction Manual for details.
NOTES:	

*Revision 3-23-22
VWW



This listing is based upon technical data submitted by the applicant. OSFM Fire Engineering staff has reviewed the test results and/or other data but does not make an independent verification of any claims. This listing is not an endorsement or recommendation of the item listed. This listing should not be used to verify correct operational requirements or installation criteria. Refer to listee's data sheet, installation instructions and/or other suitable information sources.

Date Issued: 07/06/2023

Listing Expires: 06/30/2024

Authorized By: David Castillo, Program Coordinator
Fire Engineering & Investigations Division



CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION
OFFICE OF THE STATE FIRE MARSHAL
FIRE ENGINEERING & INVESTIGATIONS DIVISION
BUILDING MATERIALS LISTING PROGRAM

LISTING SERVICE

LISTING No.:	8110-2327:0500
CATEGORY:	8110 - DECKING FOR WILDLAND URBAN INTERFACE (W.U.I.)
LISTEE:	ICP Construction 150 Dascomb Rd, Andover, MA, 01810 Contact: Malek, Adrienne (951) 837-5959 Email: amalek@icpgroup.com
DESIGN:	Pli-Dek ESR-2097 Walking Deck System. Product consists of a polymer modified cementitious coating covering 2.5 lbs/sq. yd. of galvanized metal lath over a minimum 5/8" plywood substrate.
RATING:	Refer to manufacturer's installation instructions and product data sheets. Tested in accordance with ASTM E84 with an additional 20-minute period Class A Flame Spread Index: 0 Smoke Developed Index: 5 Max Flame Front: 8.5 feet
INSTALLATION:	In accordance with listee's printed installation instructions, applicable codes and ordinances, and in a manner acceptable to the authority having jurisdiction.
MARKING:	Listee's name, model number, rating, and SFM label.
APPROVAL:	Listed as decking material for use in the Wildland Urban Interface areas. Refer to listee's Installation Instruction Manual for details.
NOTES:	

12-02-20 VWW

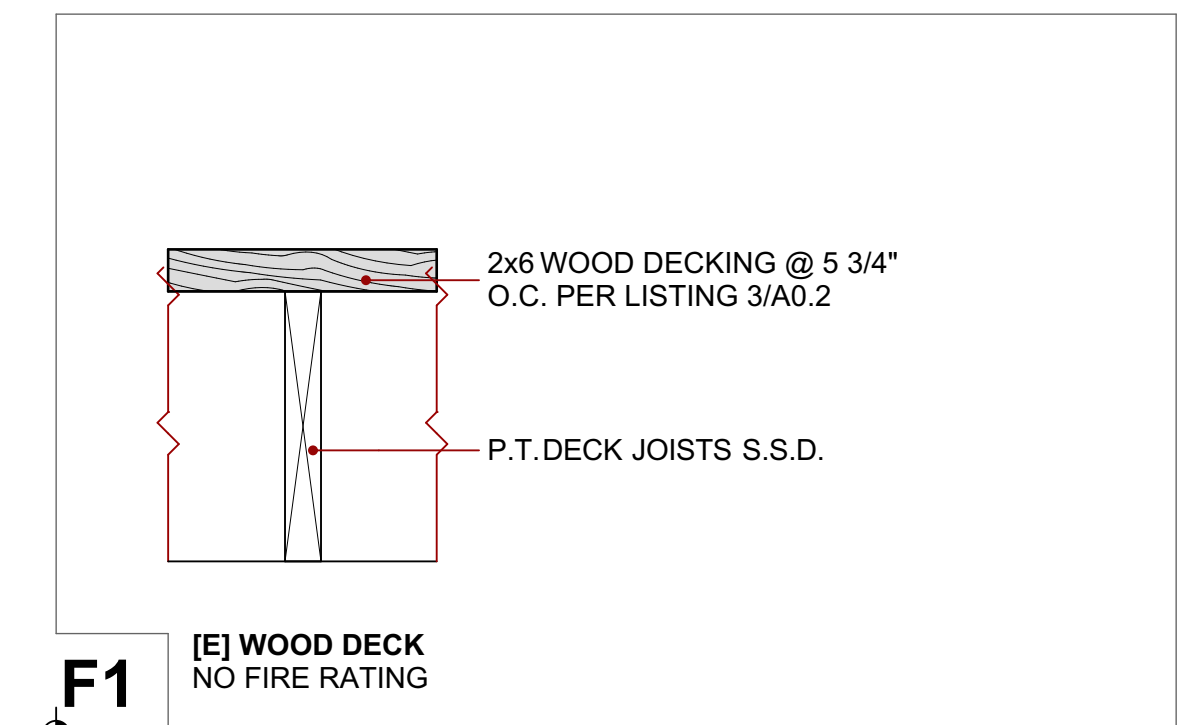
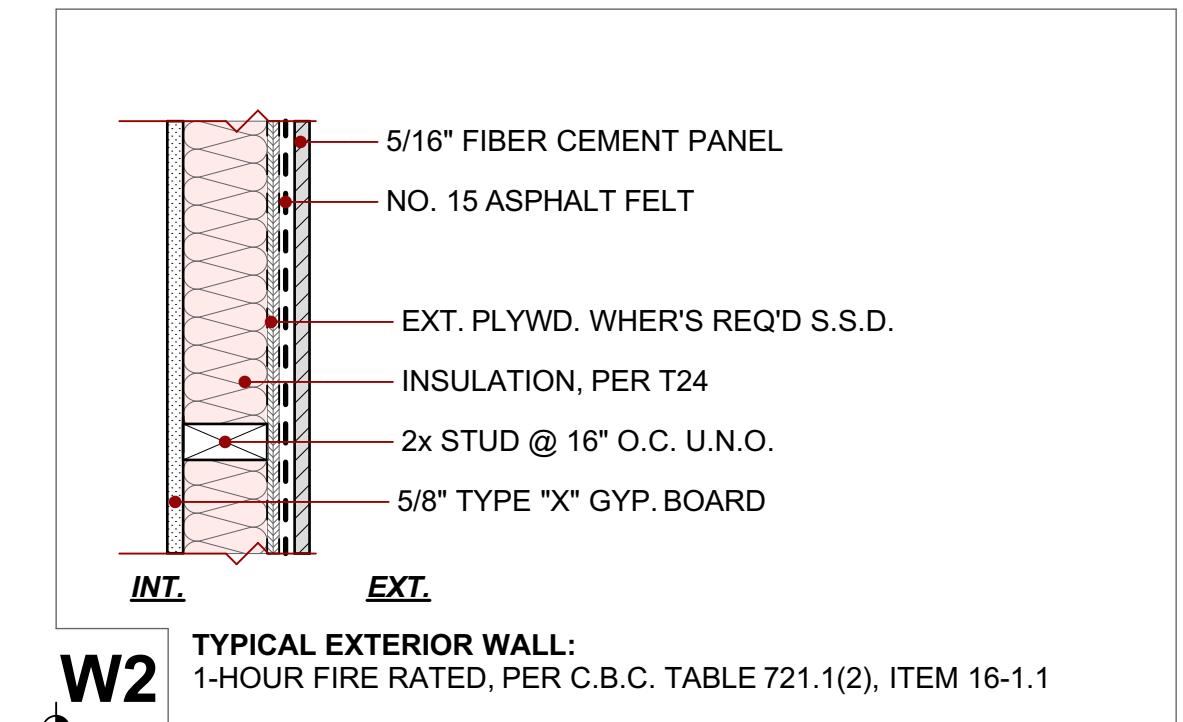
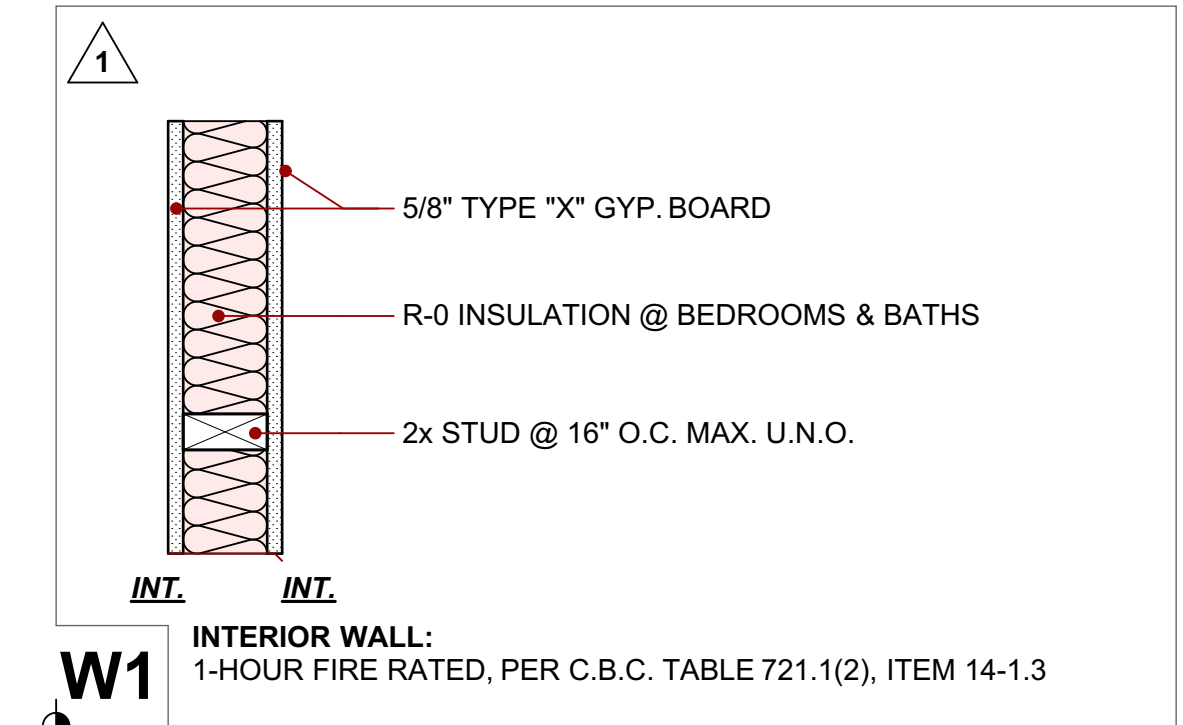
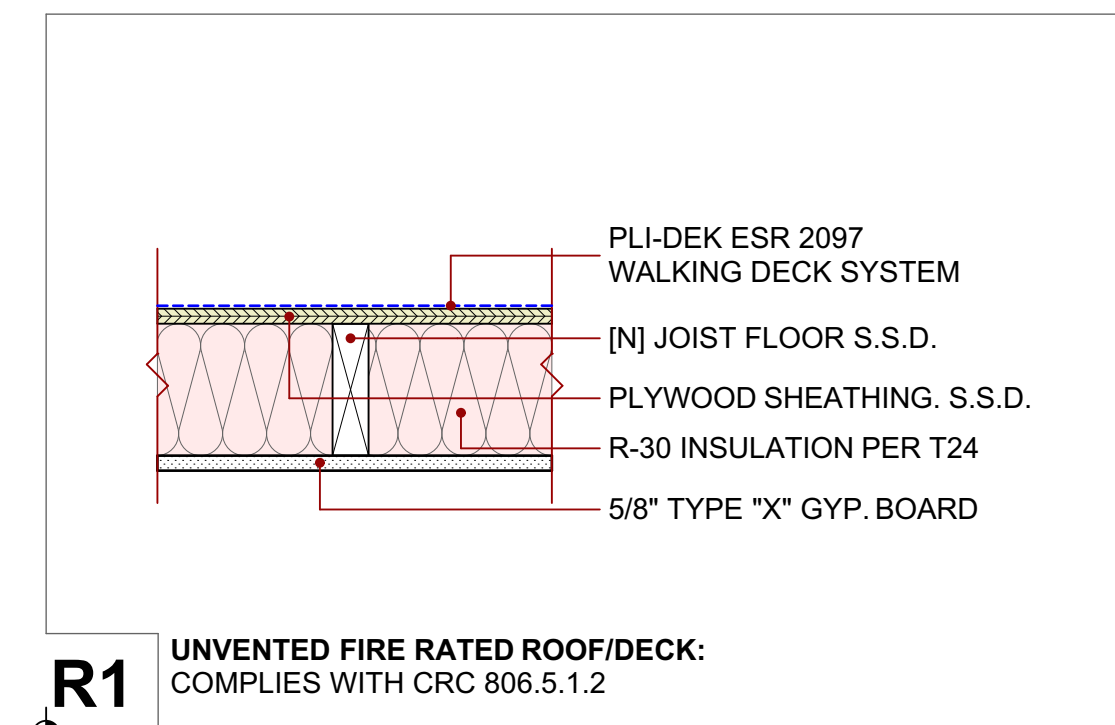
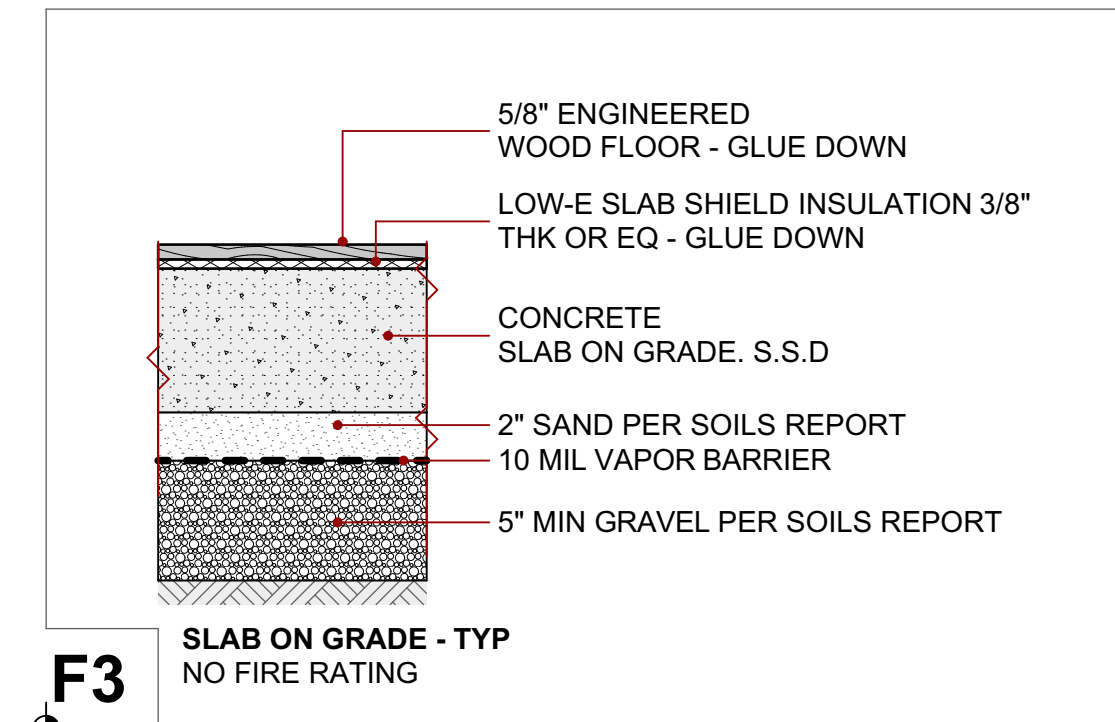
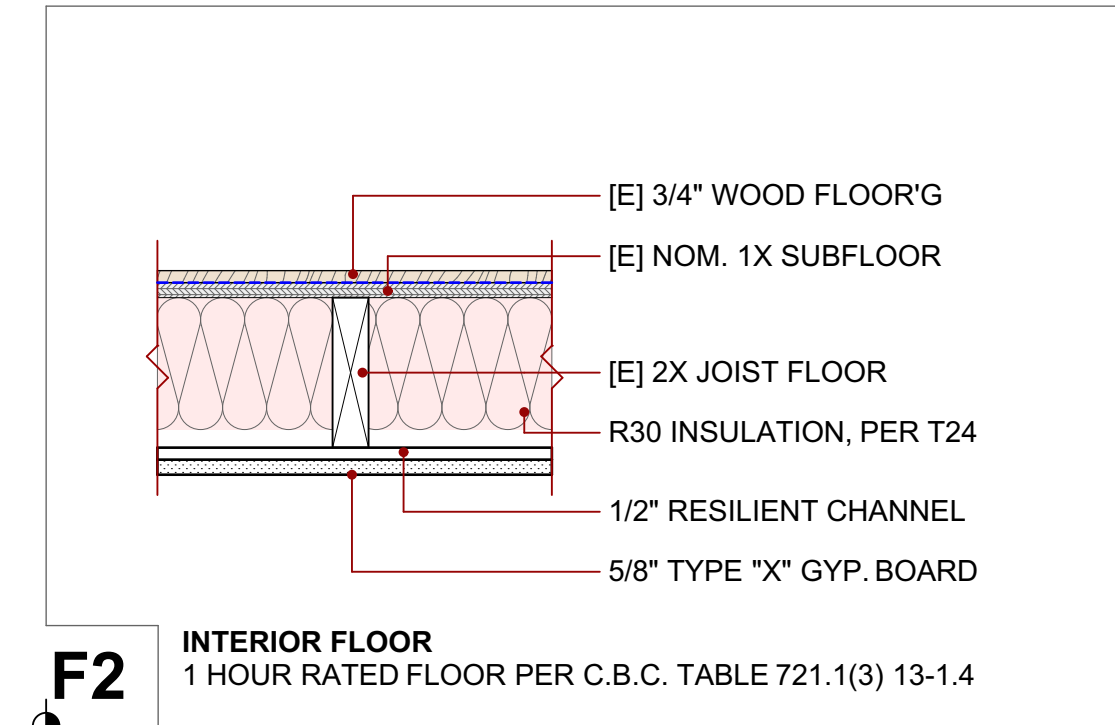


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Date Issued: 06/02/2023

Listing Expires: 06/30/2024

Authorized By: David Castillo, Program Coordinator
Fire Engineering & Investigations Division



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TYPICAL ASSEMBLIES

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94965

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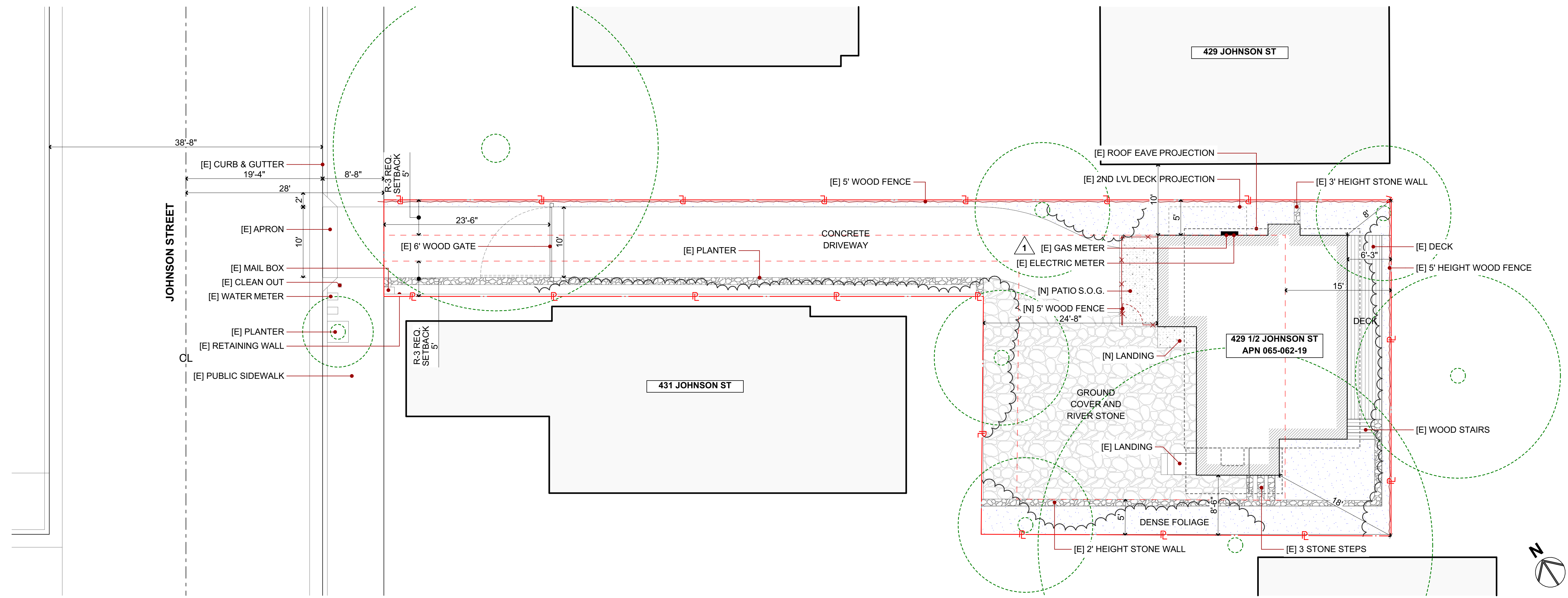
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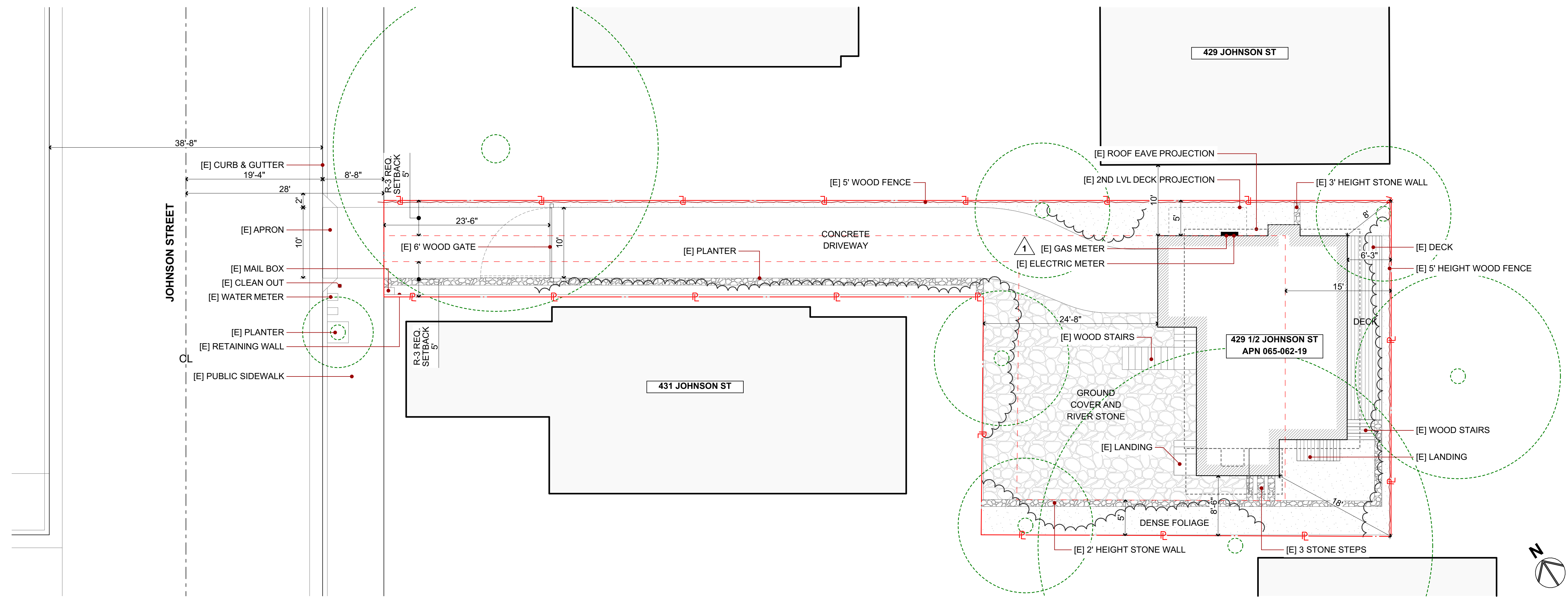
TYP. ASSEMBLIES

1

SCALE: 1 1/2" = 1'-0"



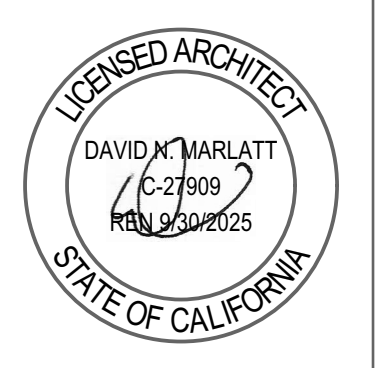
[N] SITE PLAN 2
SCALE: 1/8" = 1'-0"



[E] SITE PLAN 1
SCALE: 1/8" = 1'-0"



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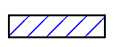


SITE PLAN

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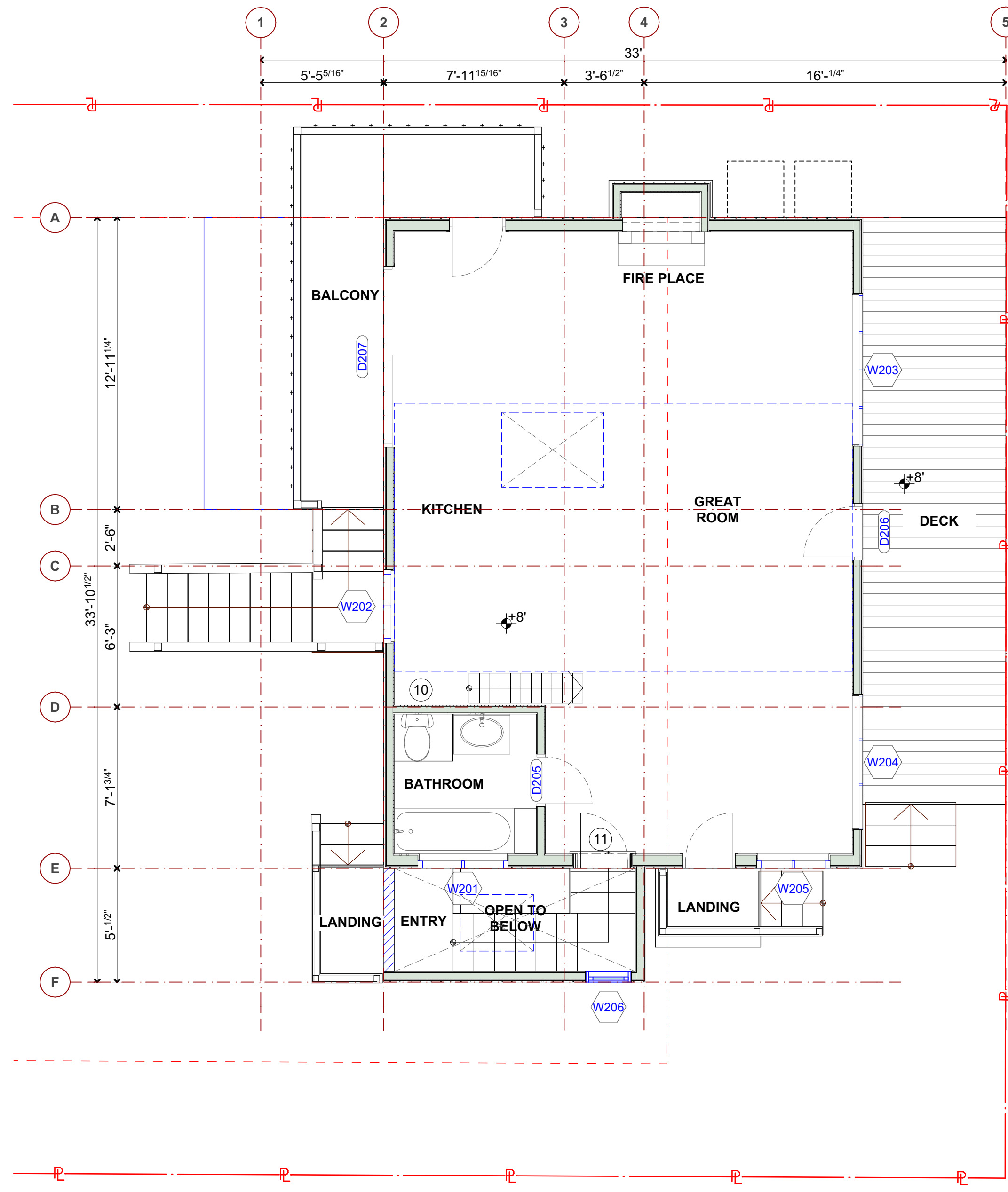
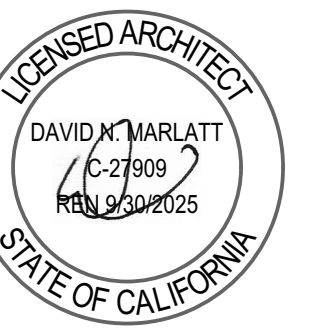
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- WALL TYPE KEY**
-  WALL TO REMAIN
 -  WALL TO BUILD
 -  [E] & [N] 1-HR F.R. WALL



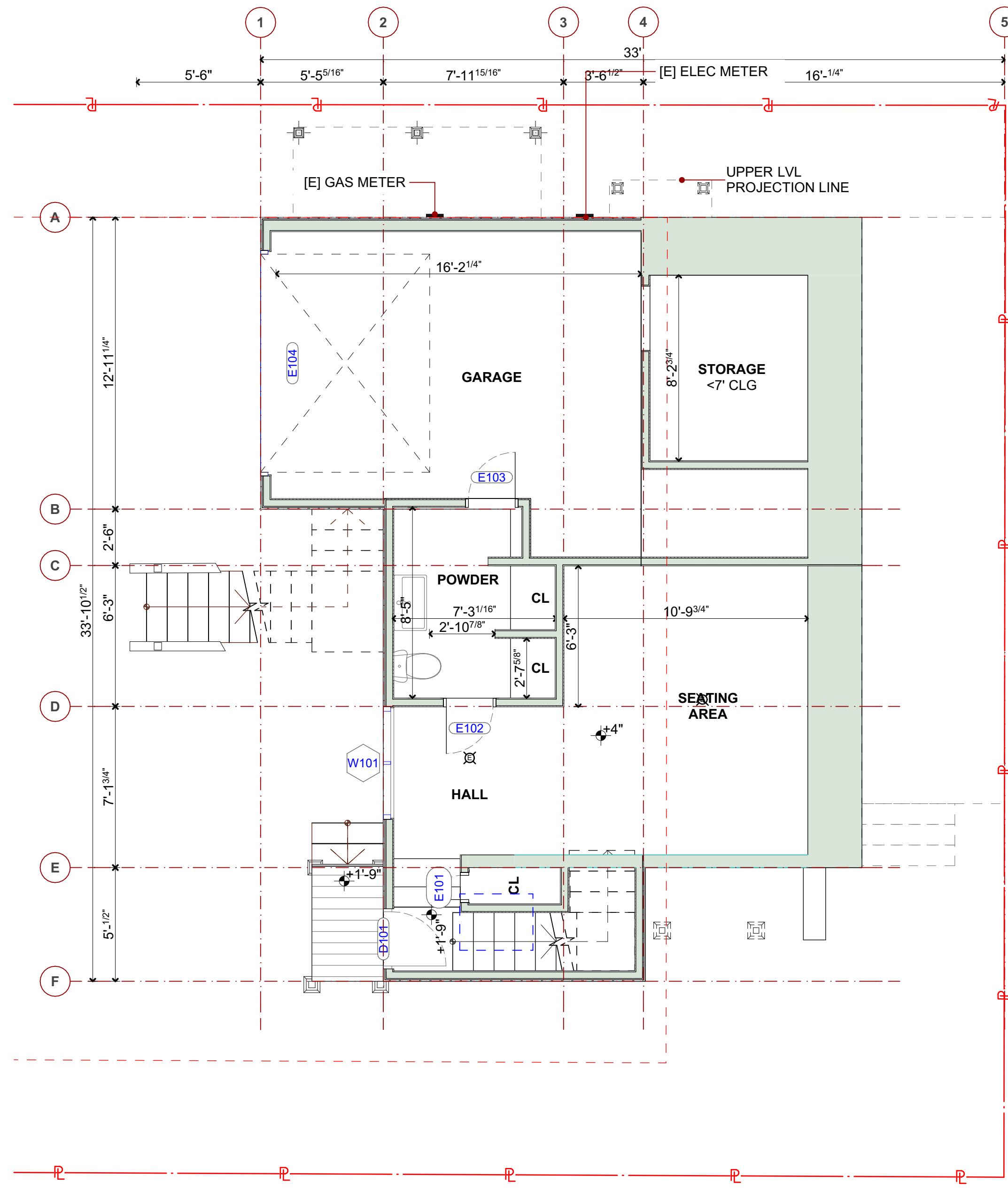
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EXISTING SECOND STORY ②

SCALE: 1/4" = 1'-0"



EXISTING FIRST STORY ①

SCALE: 1/4" = 1'-0"

PRICING SET - NOT FOR CONSTRUCTION

EXISTING FLOOR PLANS

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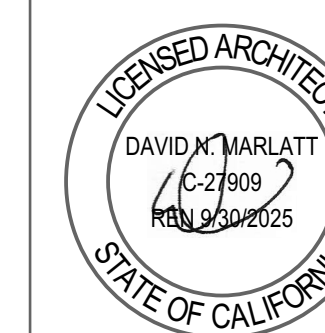
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PRICING SET - NOT FOR CONSTRUCTION

DEMOLITION FLOOR PLAN

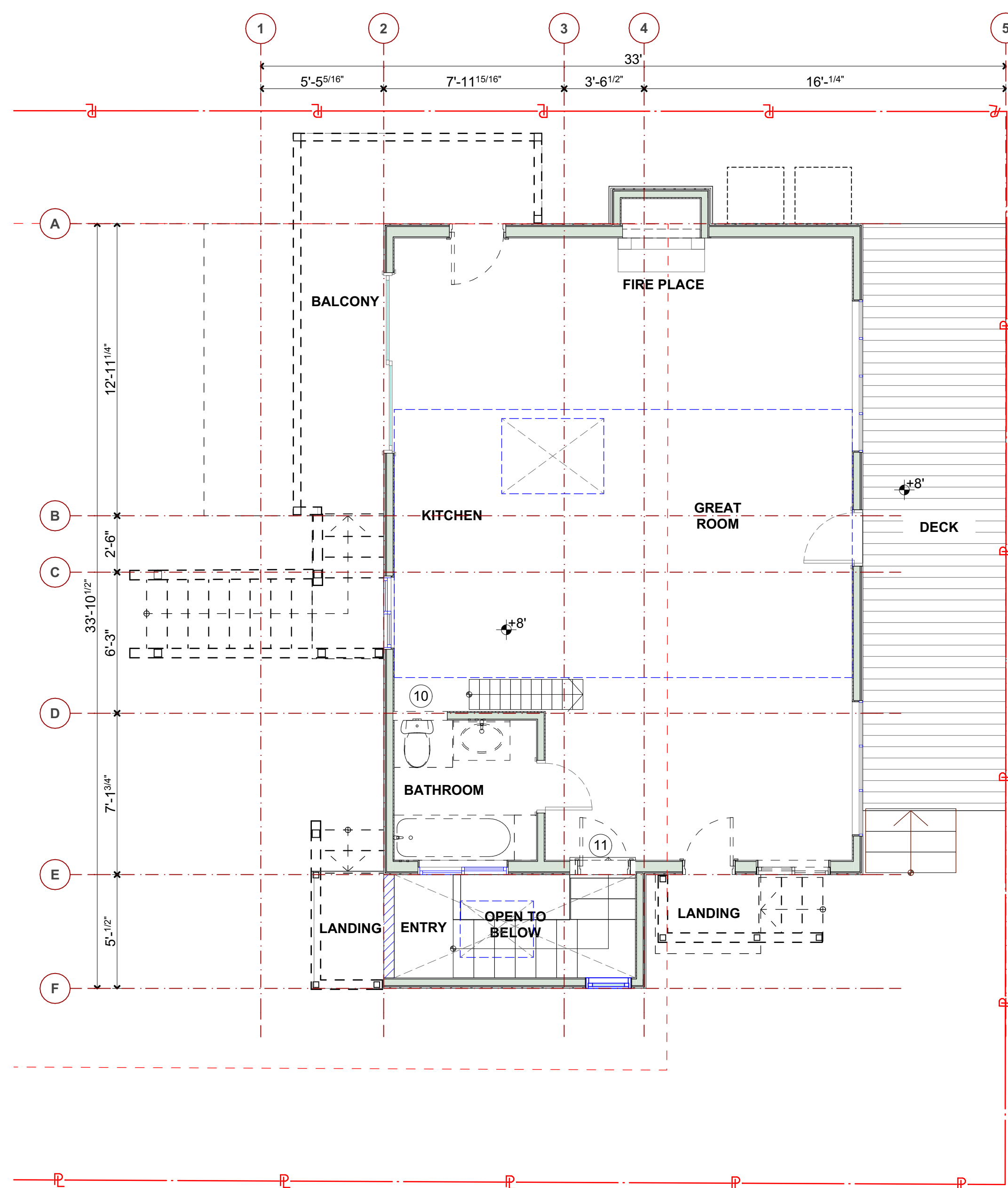
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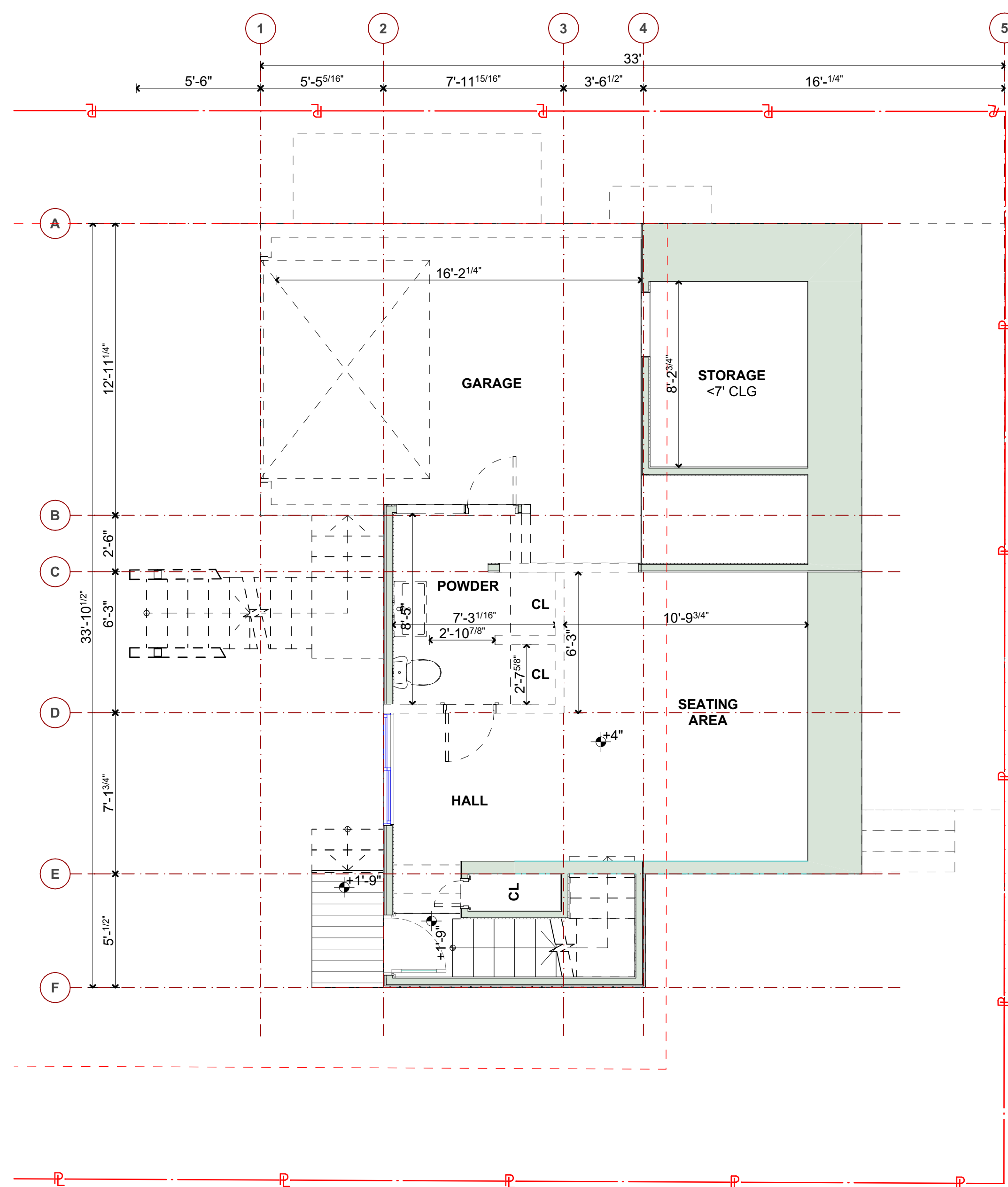
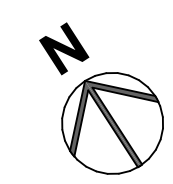
09/22/2023

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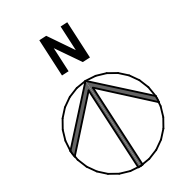
DEMO SECOND STORY 2

SCALE: 1/4" = 1'-0"



DEMO FIRST STORY 1

SCALE: 1/4" = 1'-0"



GENERAL NOTES

- TUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. [R307.2]
- WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. [R702.3.7] WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. [R702.3.7.1]
- MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. [R702.4.2]

GLAZING AND OPENABLE AREAS

UNIT 1 BEDROOM:
 AREA : 187 SQFT
 GLAZING AREA: 15 SQFT
 OPENING AREA: 7.5 SQFT
 GLAZING PCT:8%
 OPENING PCT:4%

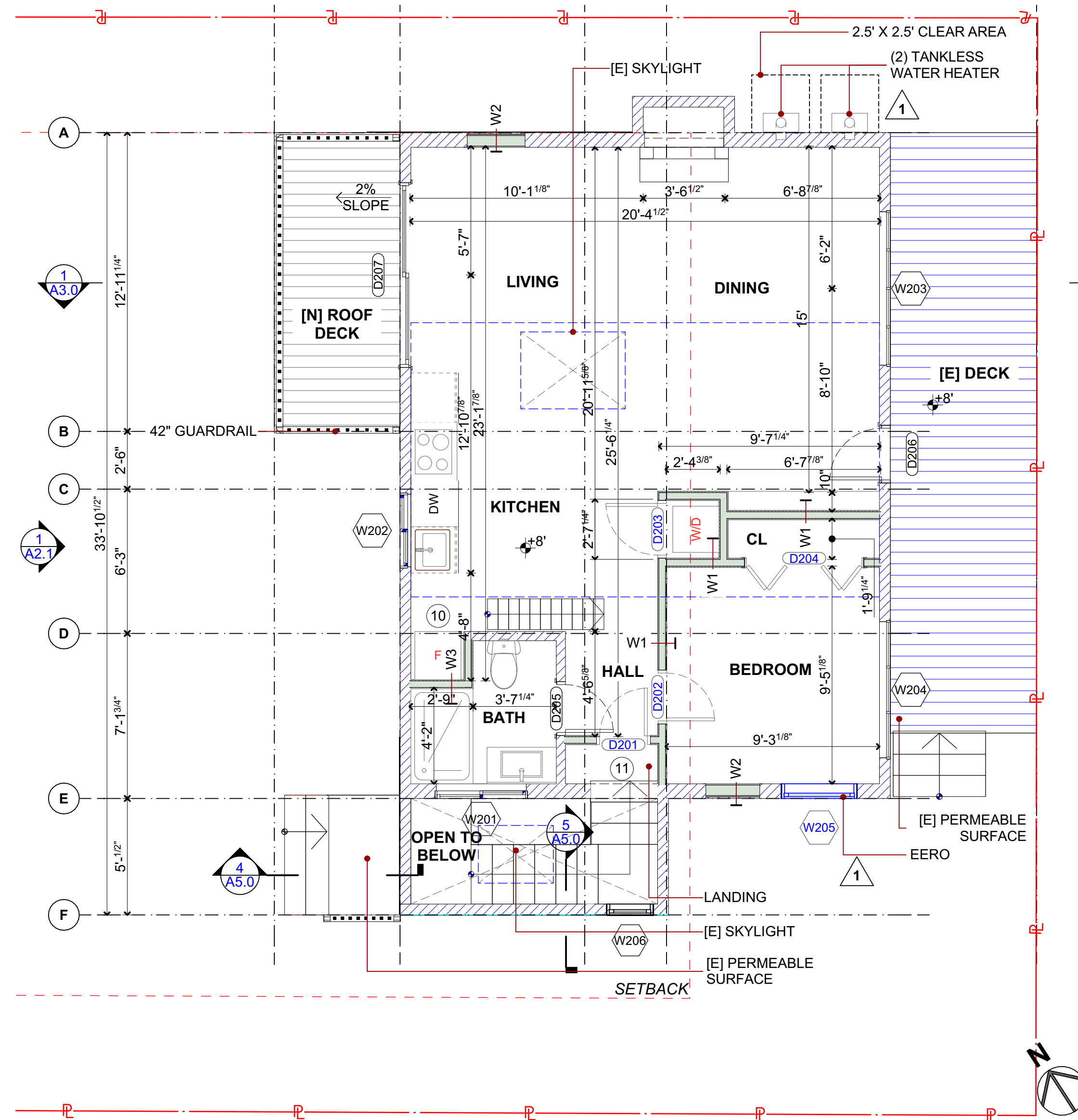
UNIT 2 BEDROOM:
 AREA : 86 SQFT
 GLAZING AREA: 43 SQFT
 OPENING AREA: 6.5 SQFT
 GLAZING PCT:50%
 OPENING PCT:8.7%

GENERAL ROOF NOTES

- THE INSTALLATION OF LIQUID APPLIED ROOFING SHALL COMPLY WITH THE PROVISIONS OF R905.15 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. LIQUID APPLIED ROOFING SHALL COMPLY WITH ASTM C836, C957, D1227, D3468, D6083, D6694, OR D6947.
- OPERABLE SKYLIGHT MUST BE PROTECTED BY A NON-COMBUSTIBLE MESH SCREEN WITH OPENINGS NO LARGER THAN 1/8 INCH. R337.8.2.2

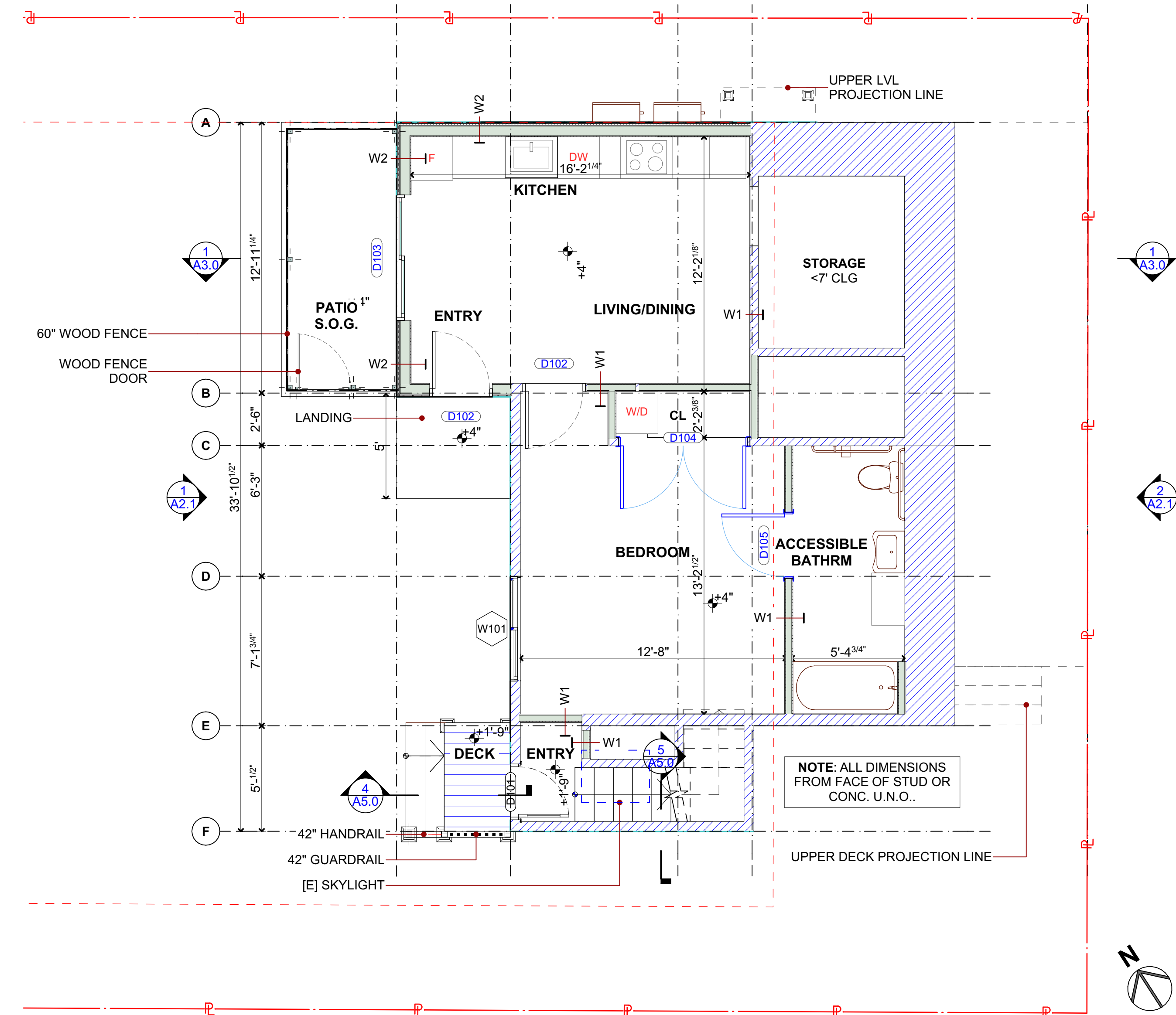
WALL TYPE KEY

- WALL TO REMAIN
- WALL TO BUILD
- [E] & [N] 1-HR F.R. WALL



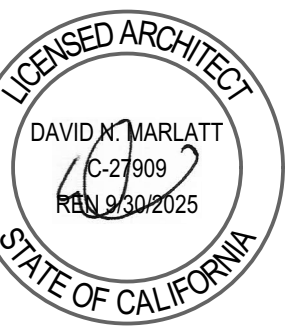
PROPOSED SECOND STORY

SCALE: 1/4" = 1'-0"



PROPOSED FIRST STORY

SCALE: 1/4" = 1'-0"



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PROPOSED FLOOR PLANS

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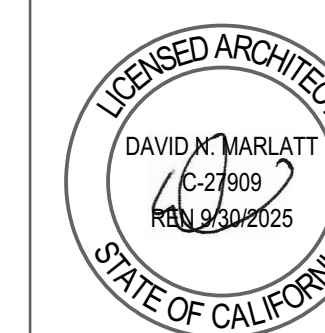
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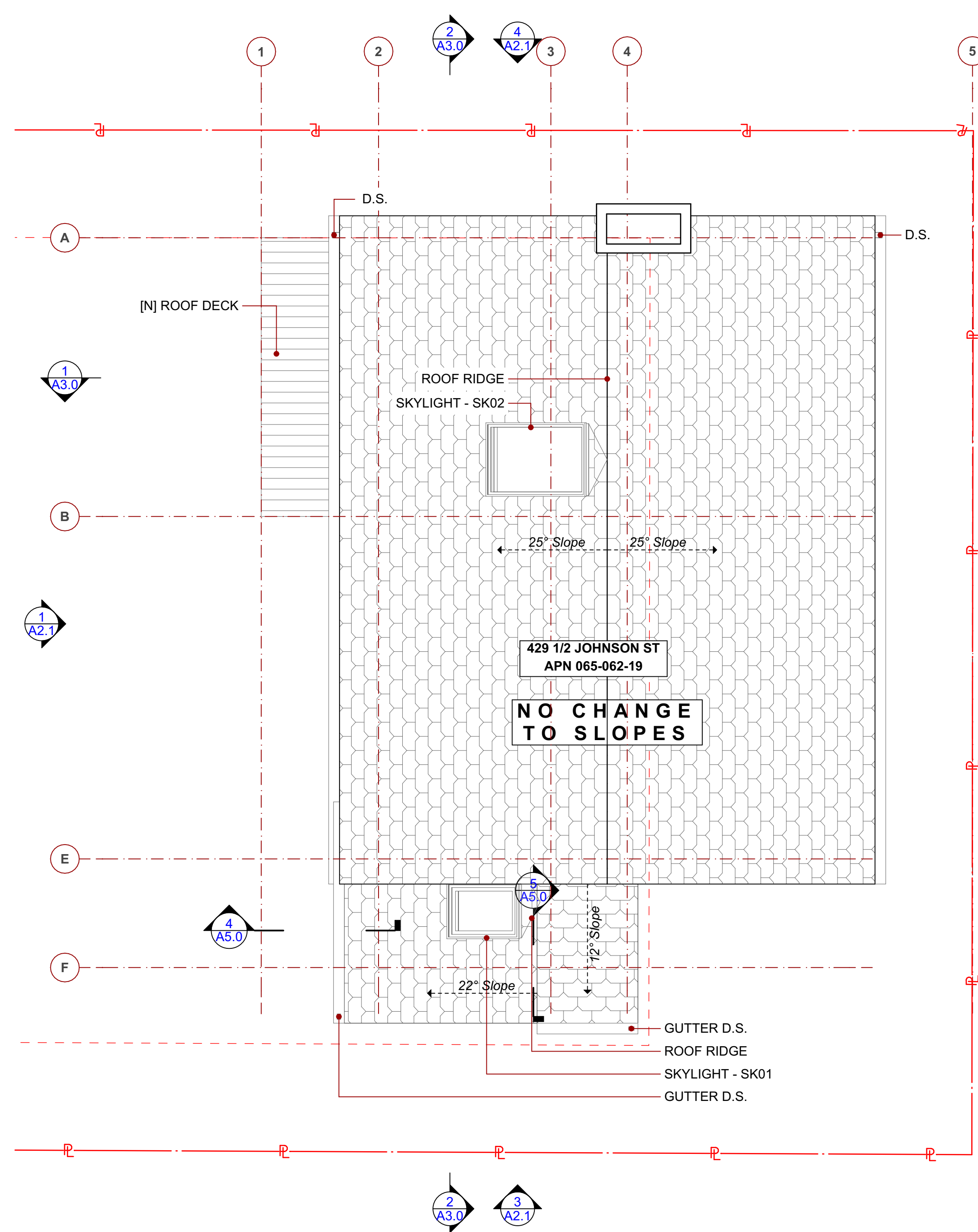
ROOF PLANS

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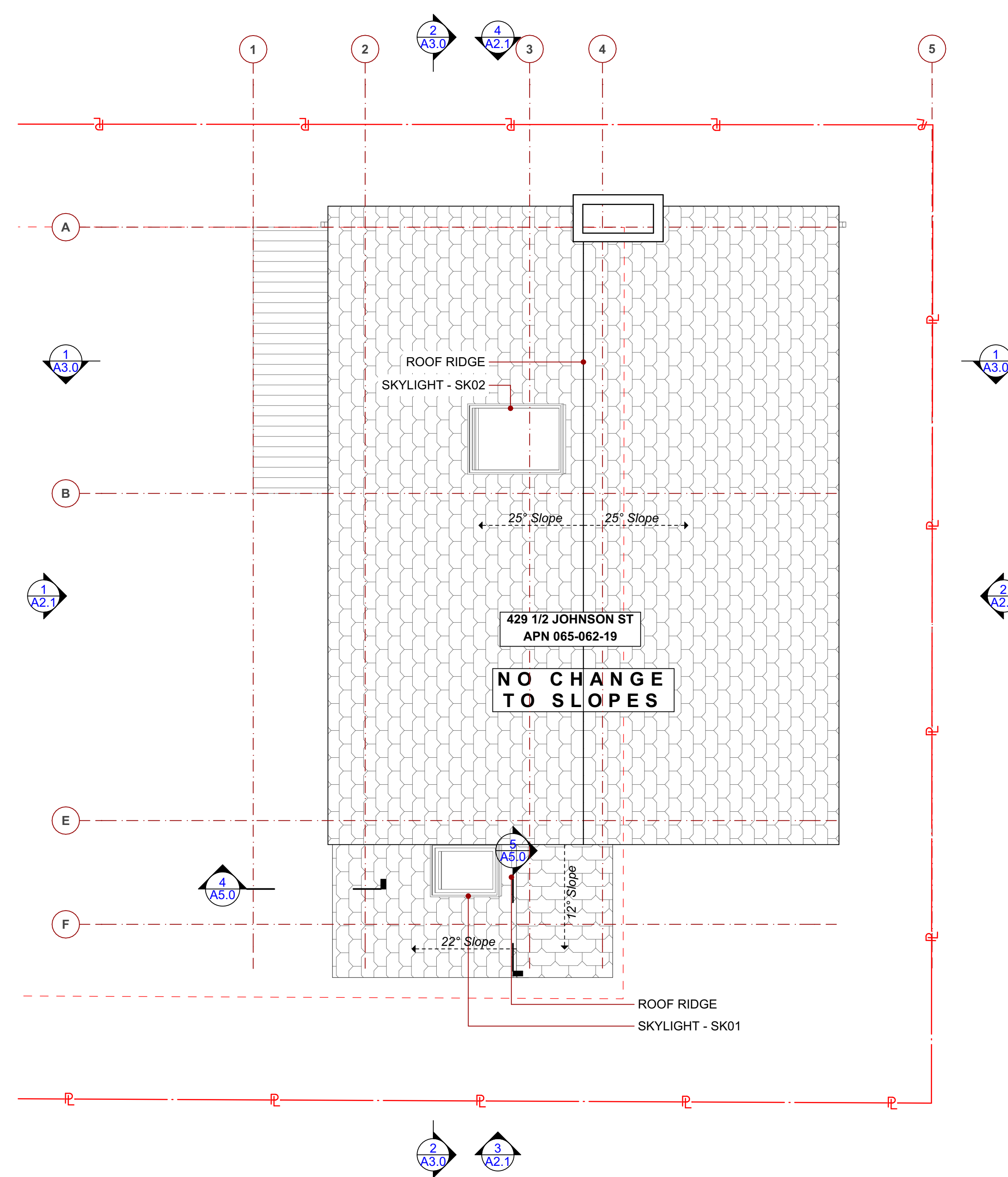
A1.4



PROPOSED ROOF

SCALE: 1/4" = 1'-0"

2



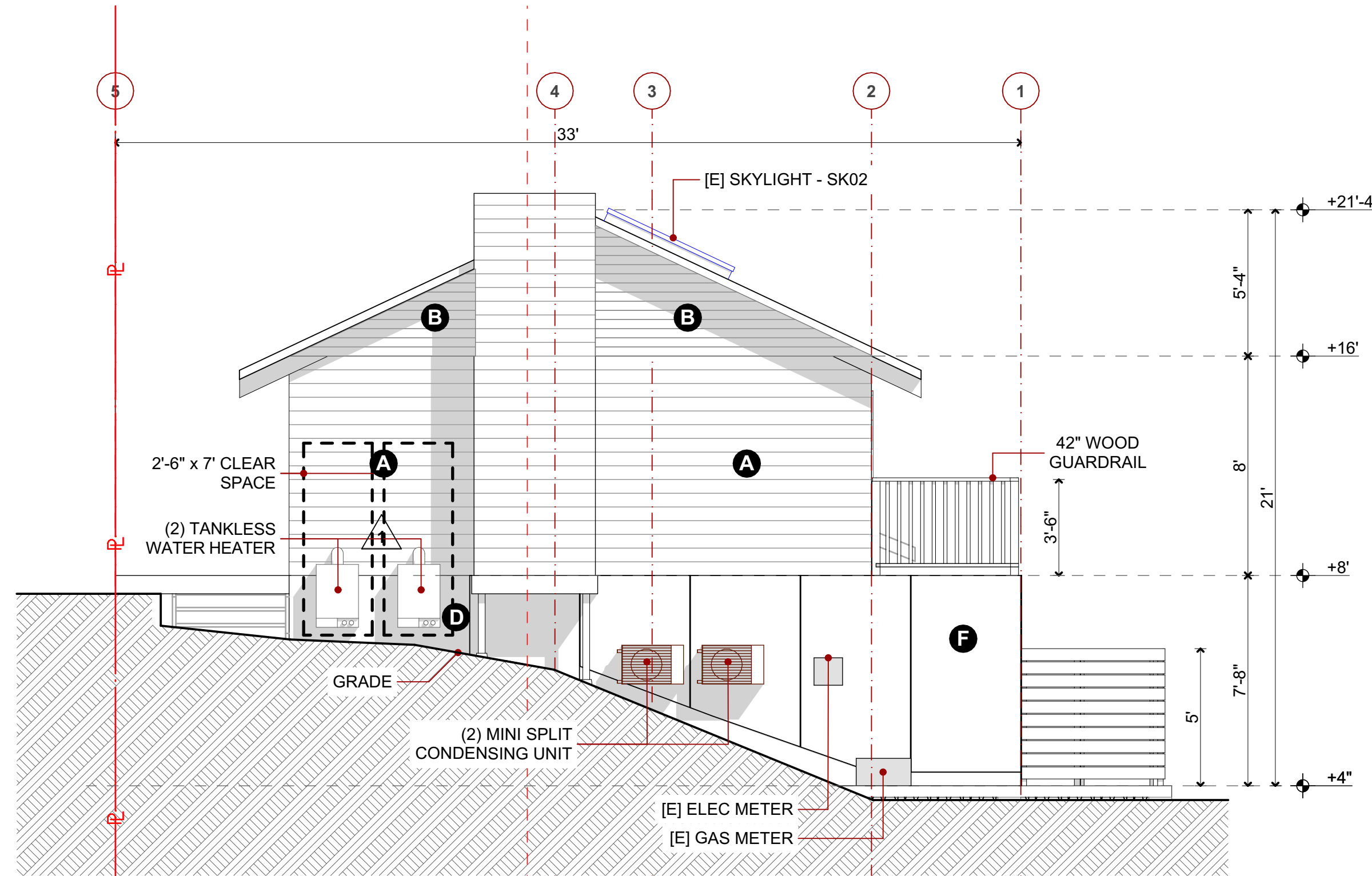
[E] ROOF

SCALE: 1/4" = 1'-0"

1

MATERIAL KEY

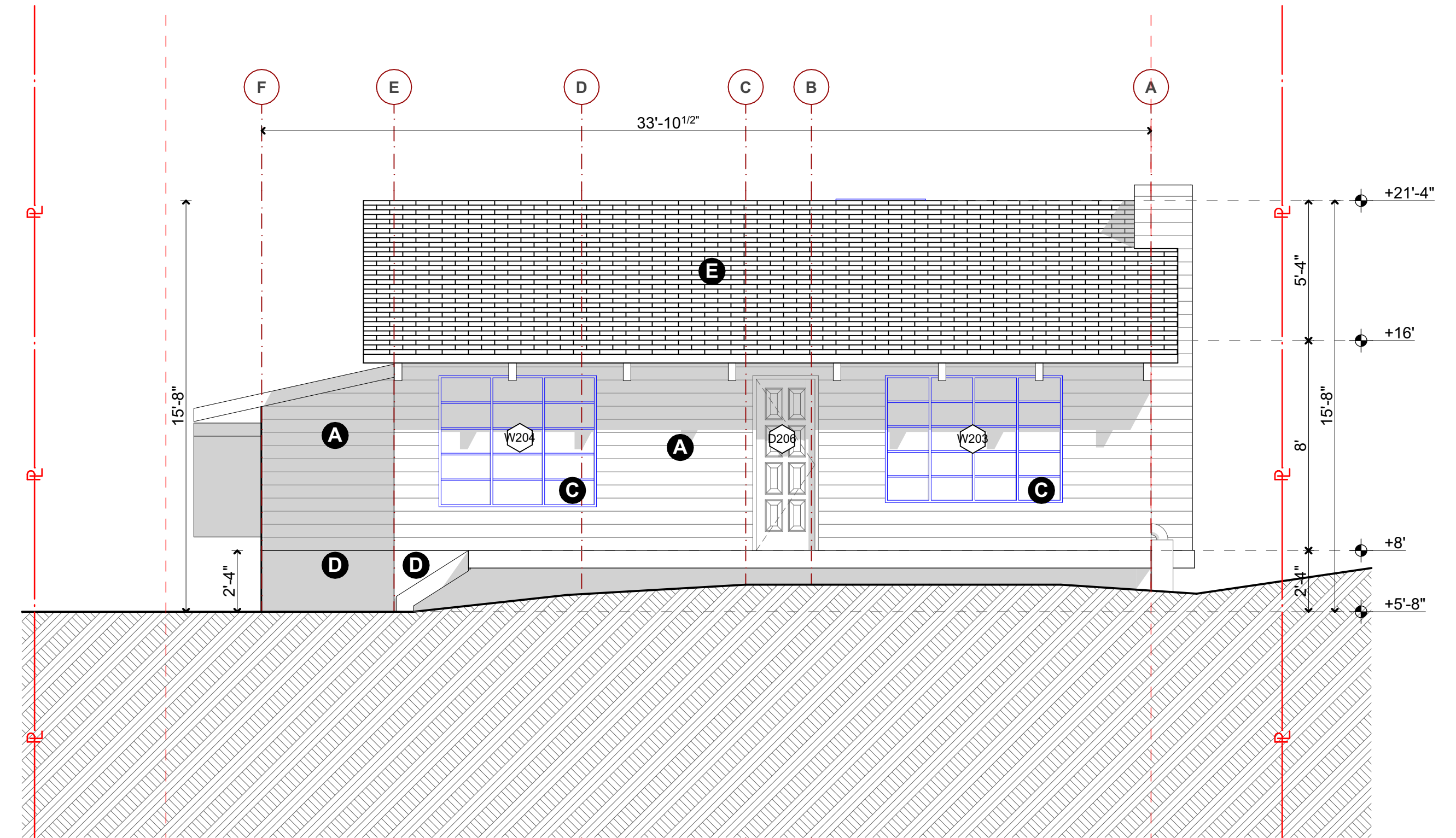
- A** [E] VERTICAL 10" WOOD SIDING
- B** [E] HORIZONTAL 6" WOOD SIDING
- C** [E] DOOR AND WINDOW
- D** [E] CONCRETE FOUNDATION
- E** [E] WOOD ROOF SHINGLES
- F** [N] HARDIE PANEL SIDING



NORTH-EAST ELEVATION

SCALE: 1/4" = 1'-0"

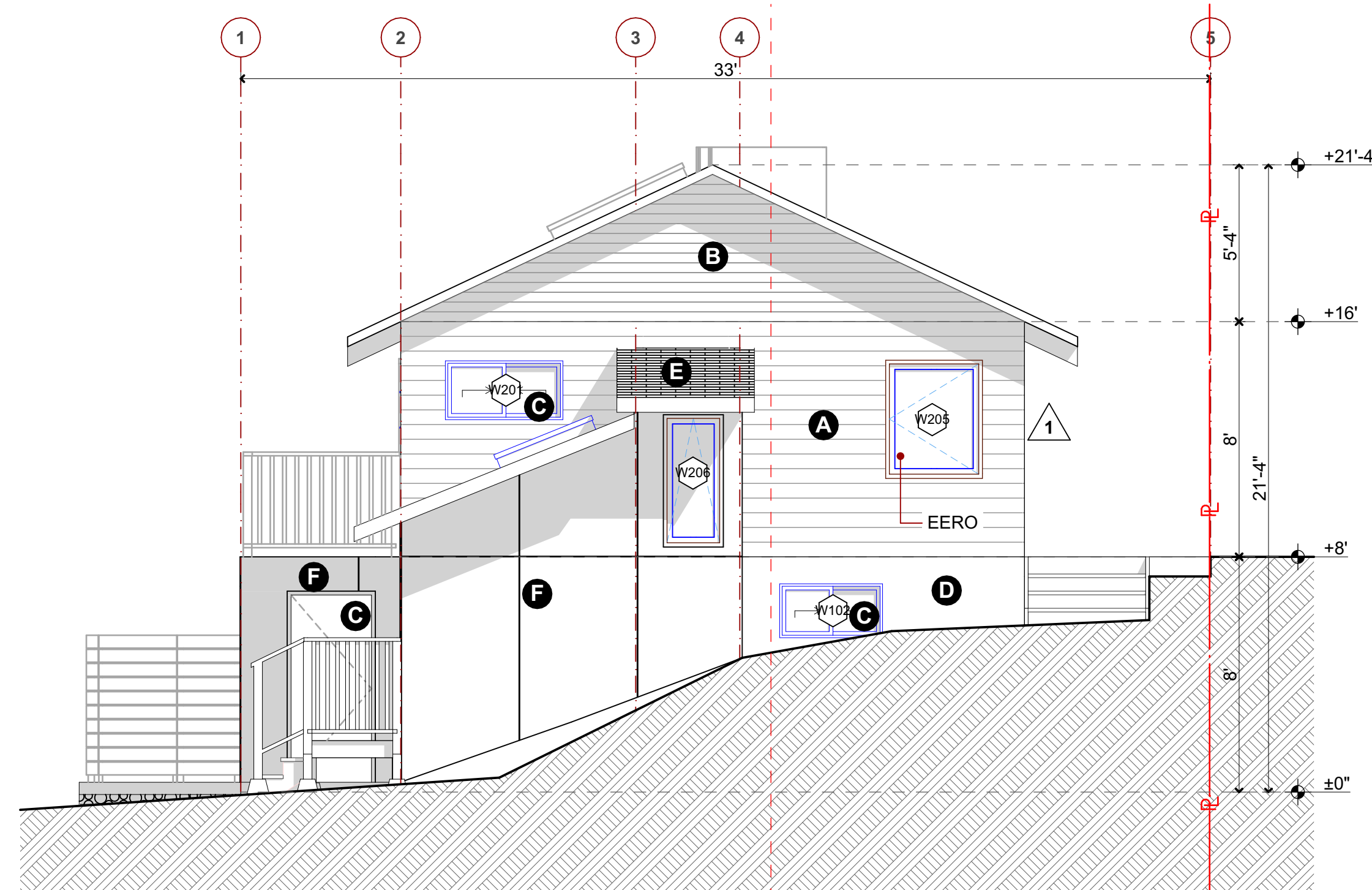
4



SOUTH-EAST ELEVATION

SCALE: 1/4" = 1'-0"

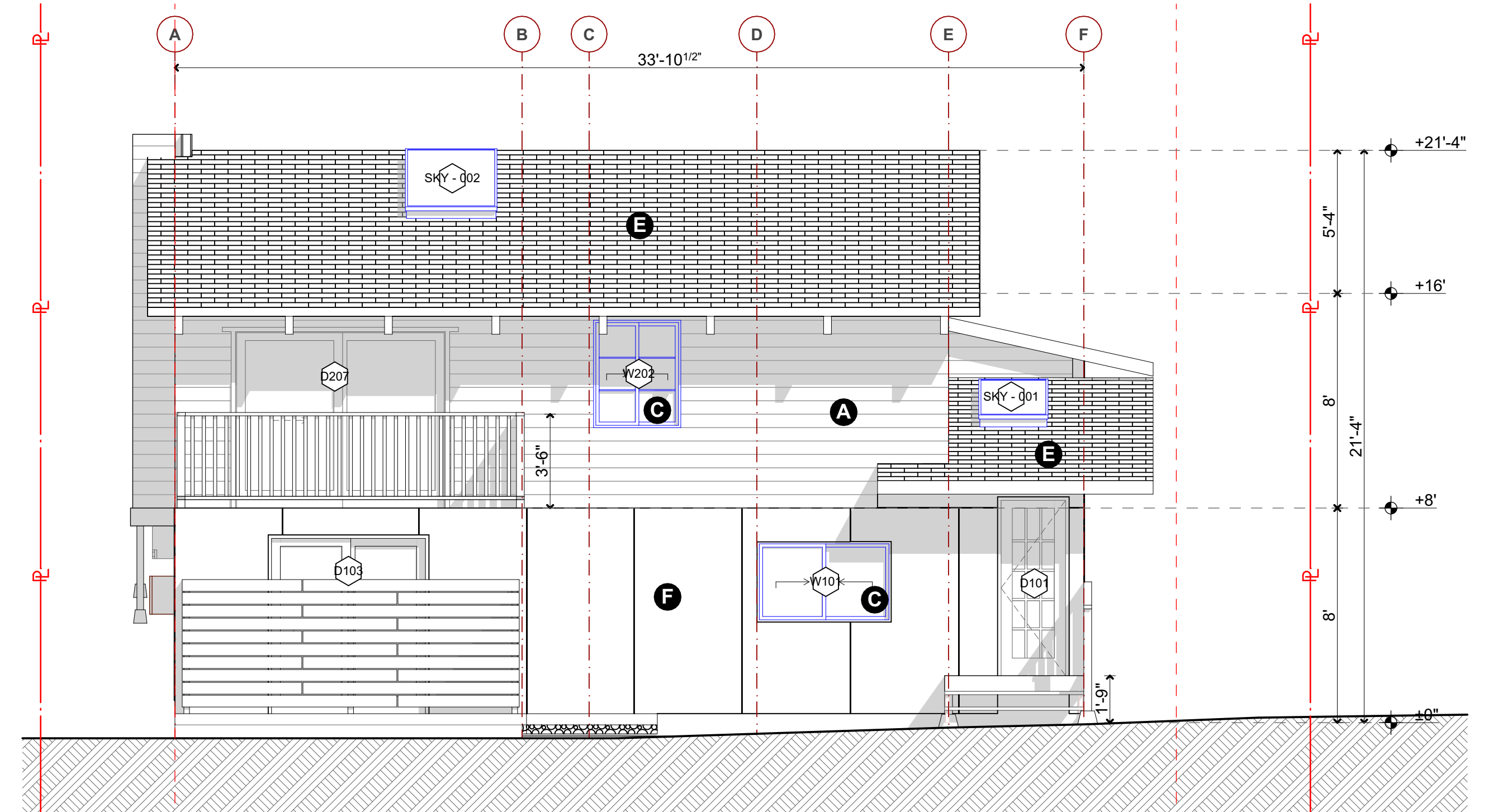
2



SOUTH-WEST ELEVATION

SCALE: 1/4" = 1'-0"

3



NORTH-WEST ELEVATION

SCALE: 1/4" = 1'-0"

1



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ELEVATIONS

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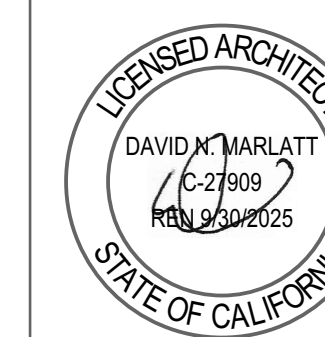
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A2.1



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DEMOLITION SECTIONS

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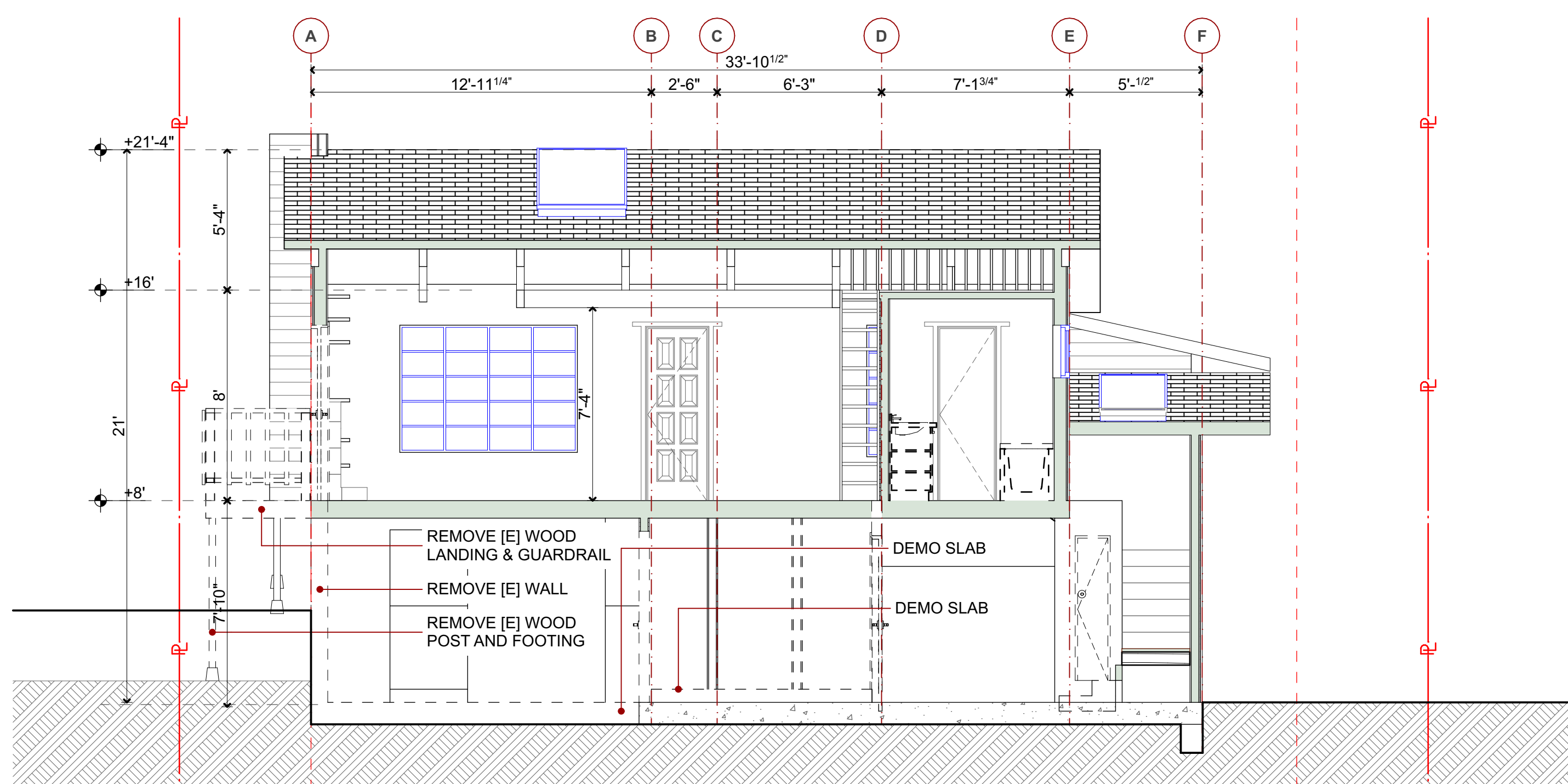
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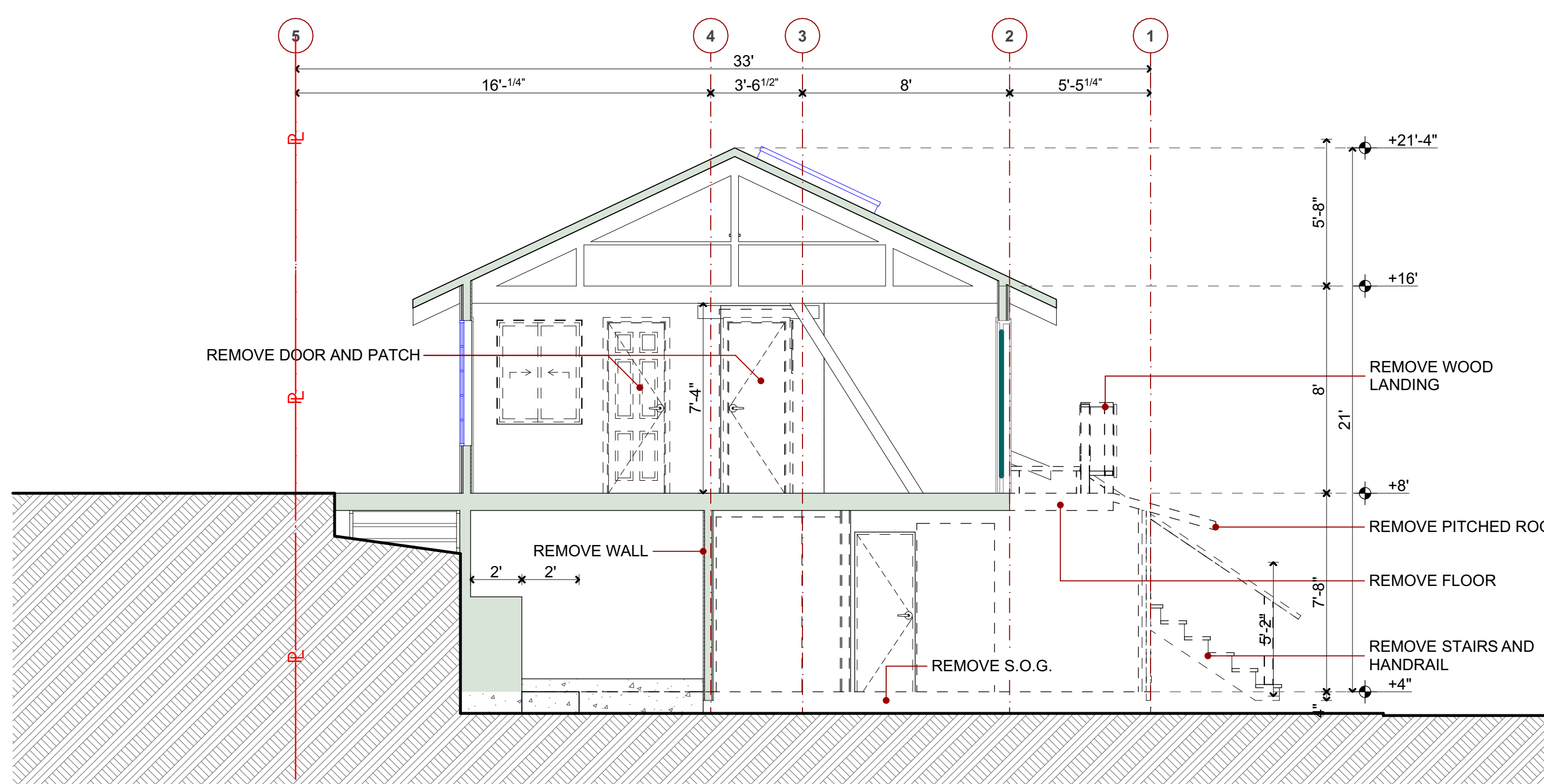
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[E] CROSS SECTION 2

SCALE: 1/4" = 1'-0"



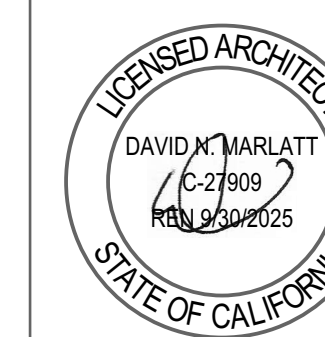
[D] LONGITUDINAL SECTION 1

SCALE: 1/4" = 1'-0"



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PROPOSED SECTIONS

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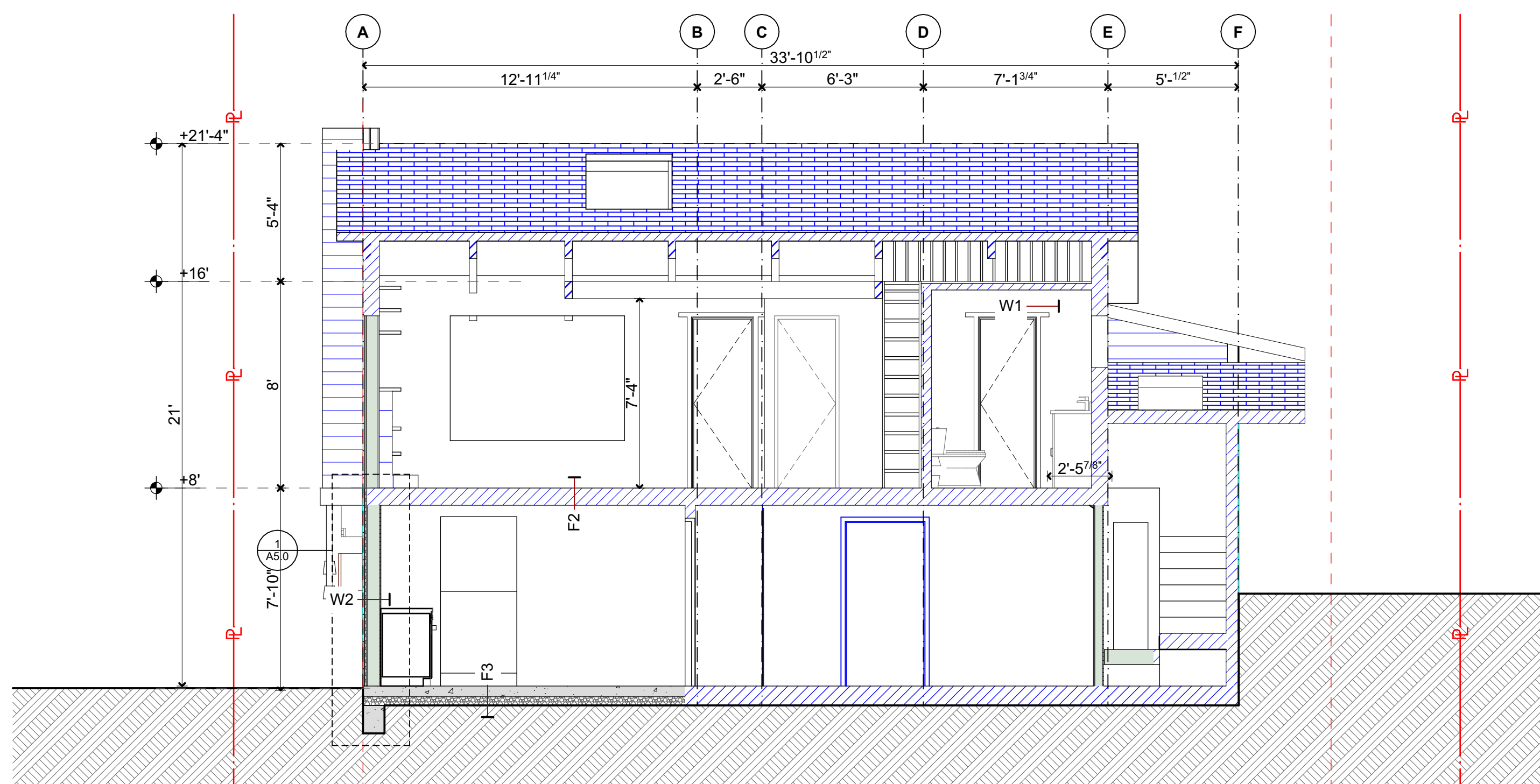
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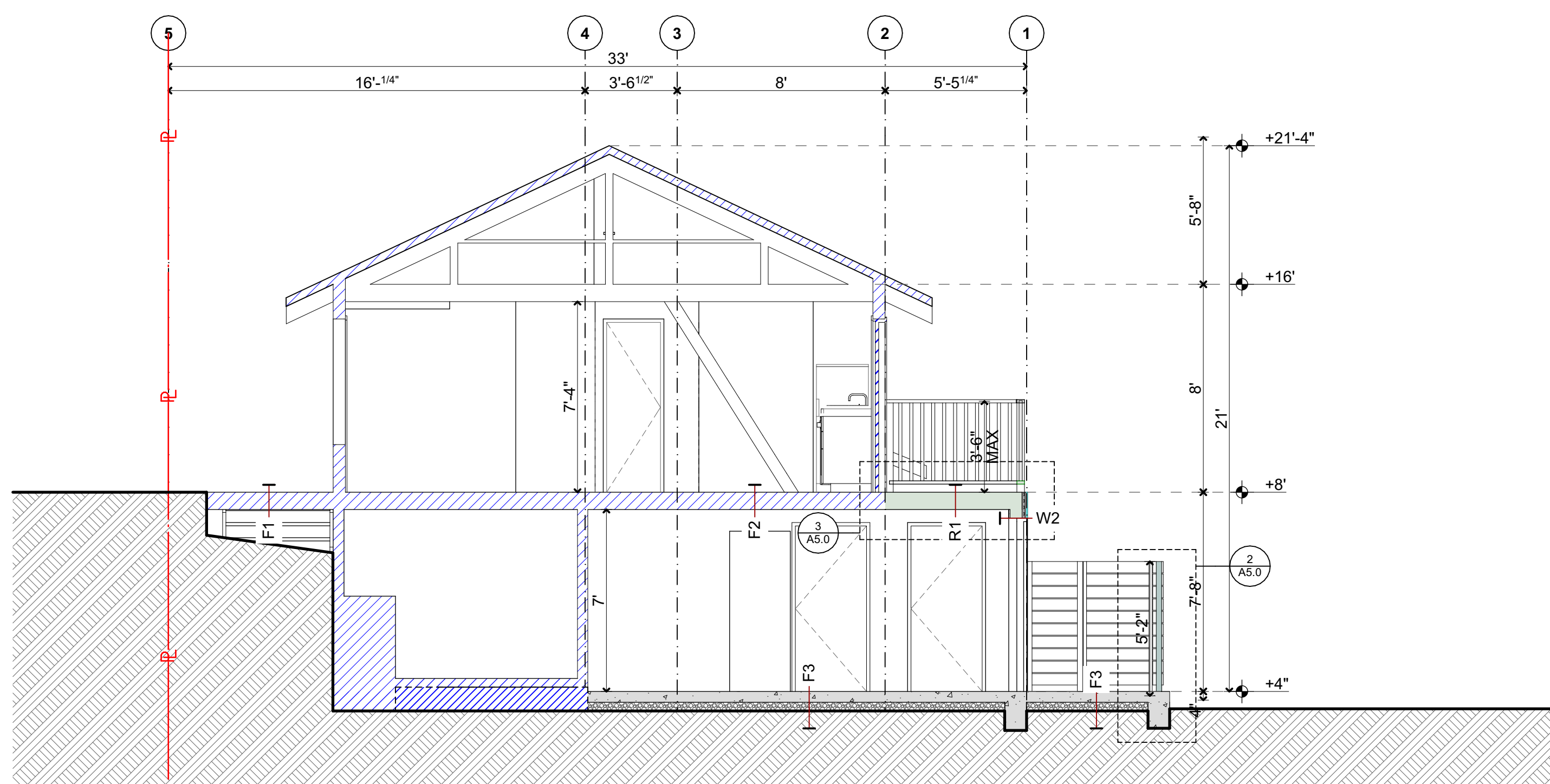
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[N] CROSS SECTION 2

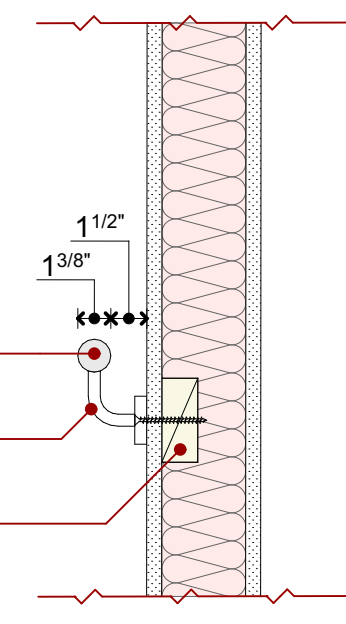
SCALE: 1/4" = 1'-0"



[N] LONGITUDINAL SECTION 1

SCALE: 1/4" = 1'-0"

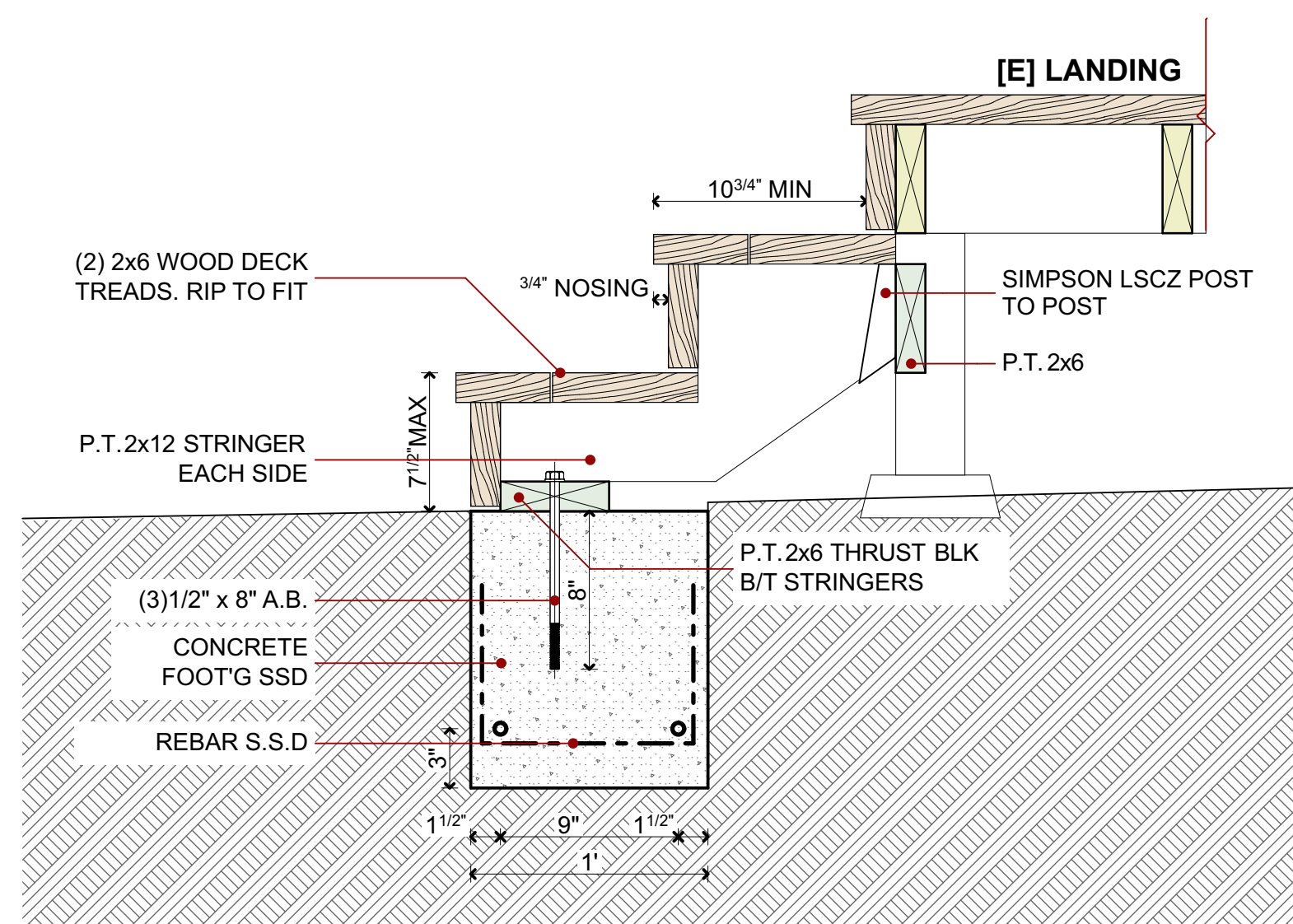
WOOD RD HANDRAIL, RETURN 90° TO TOP & BOTTOM PER CBC 1012.6 EXCPT. 1
 METAL BRACKET @ MAX. 32" O.C. ANCHOR TO BLK'G
 2x SOLID BLOCKING AS REQ'D FOR RAIL MOUNTING IN GYP. BD. WALL



HANDRAIL TYP DETAIL

SCALE: 1 1/2" = 1'-0"

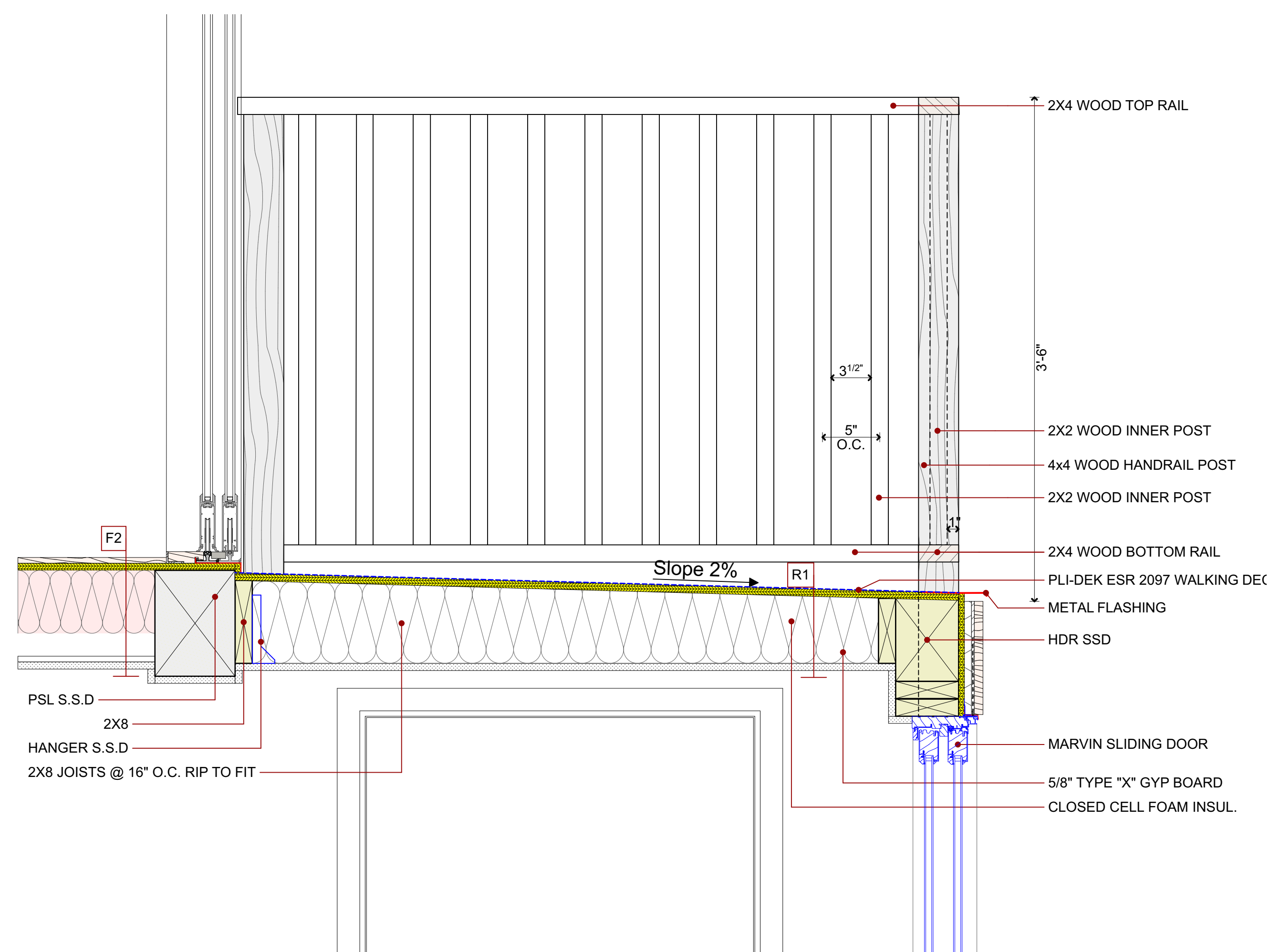
5



ACCESS STAIRS

SCALE: 1 1/2" = 1'-0"

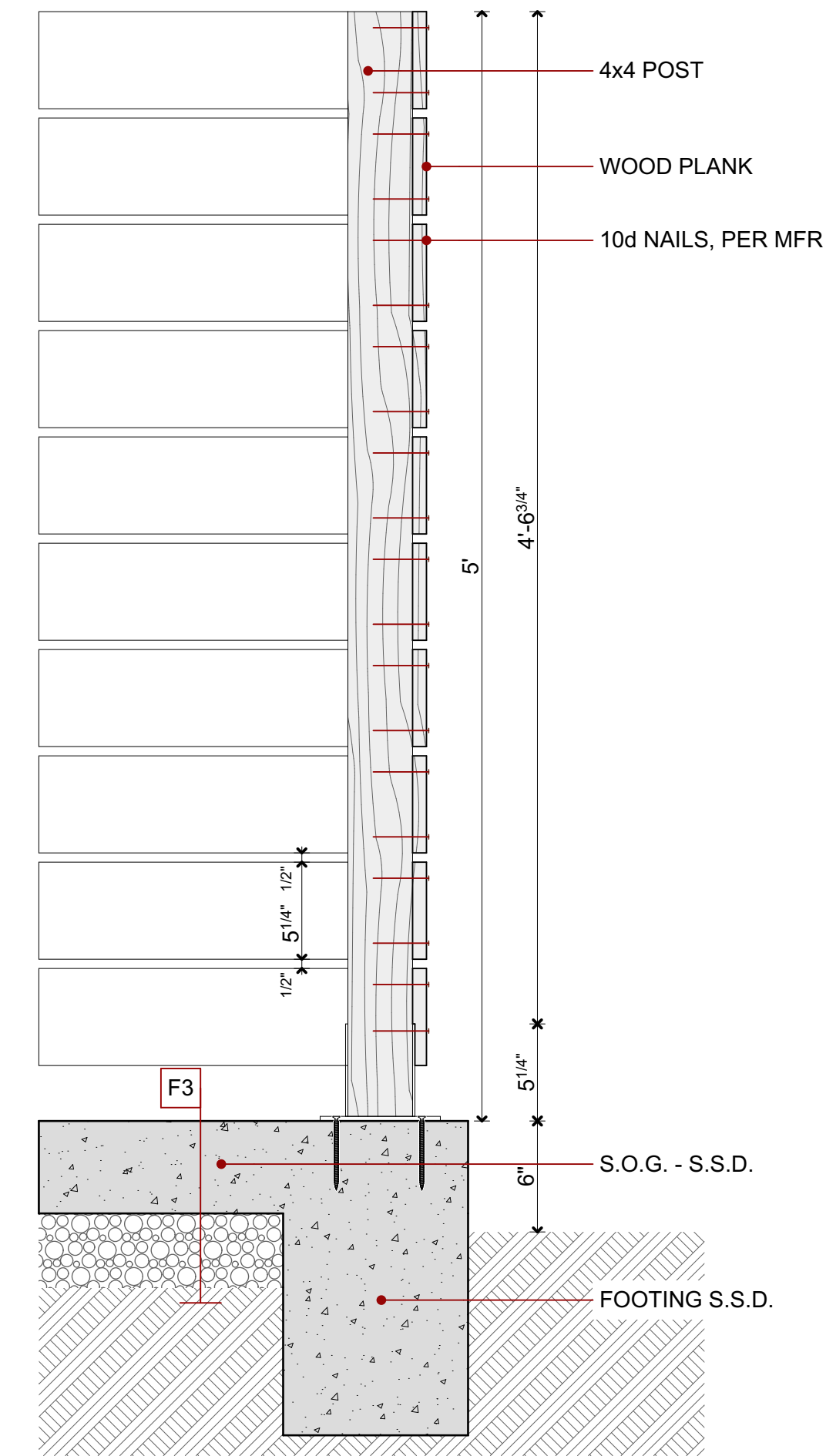
4



HANDRAIL AND HEADER

SCALE: 1 1/2" = 1'-0"

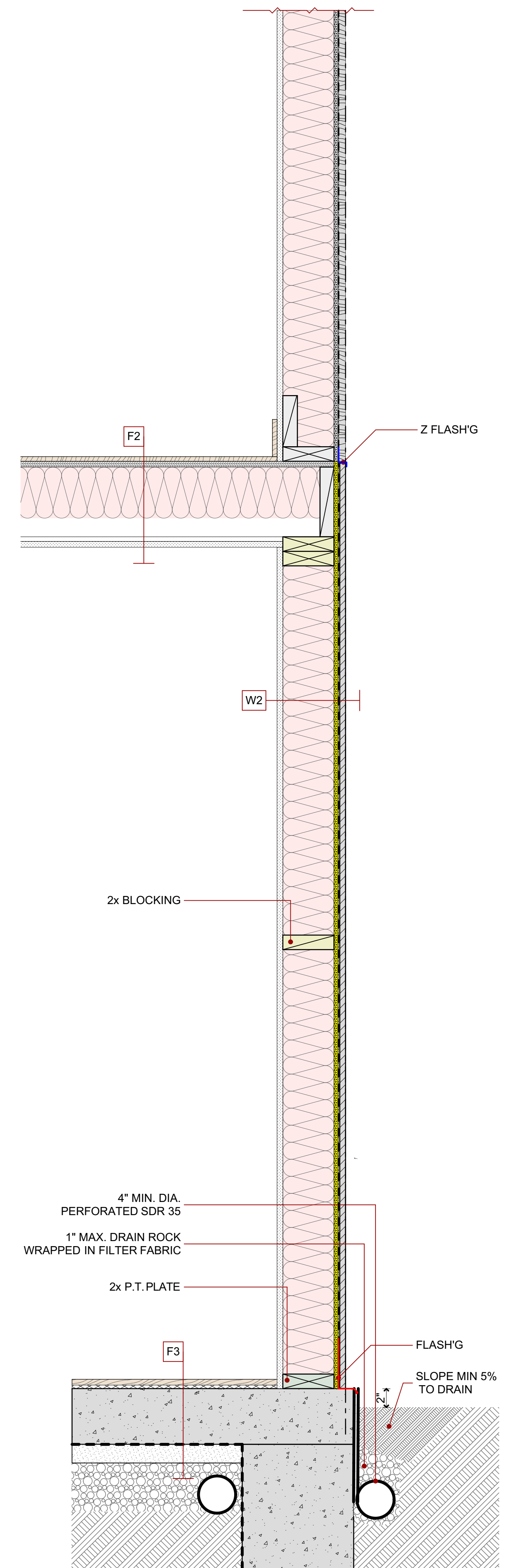
3



WOOD FENCE

SCALE: 1 1/2" = 1'-0"

2



EXT WALL DETAIL

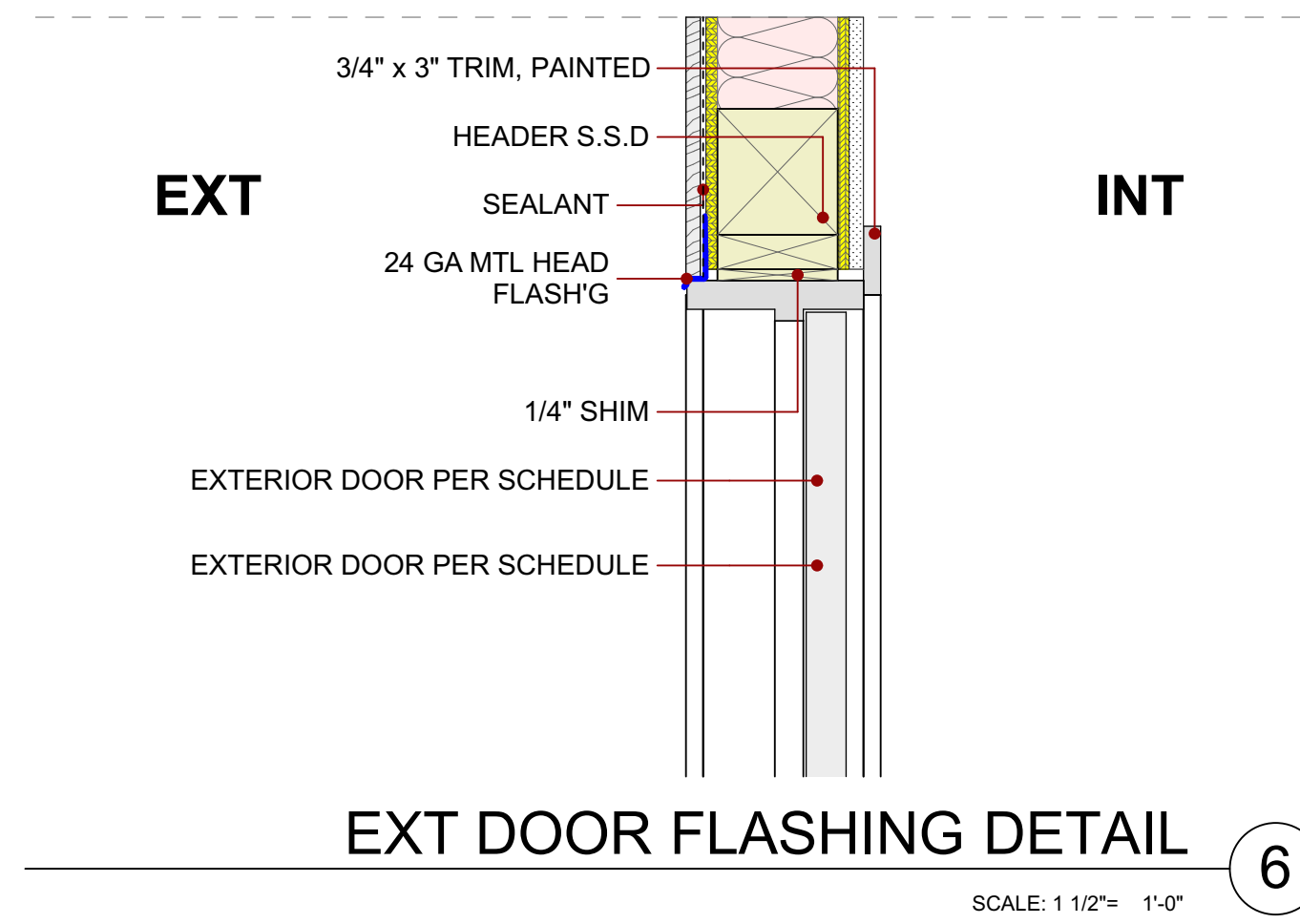
SCALE: 1 1/2" = 1'-0"

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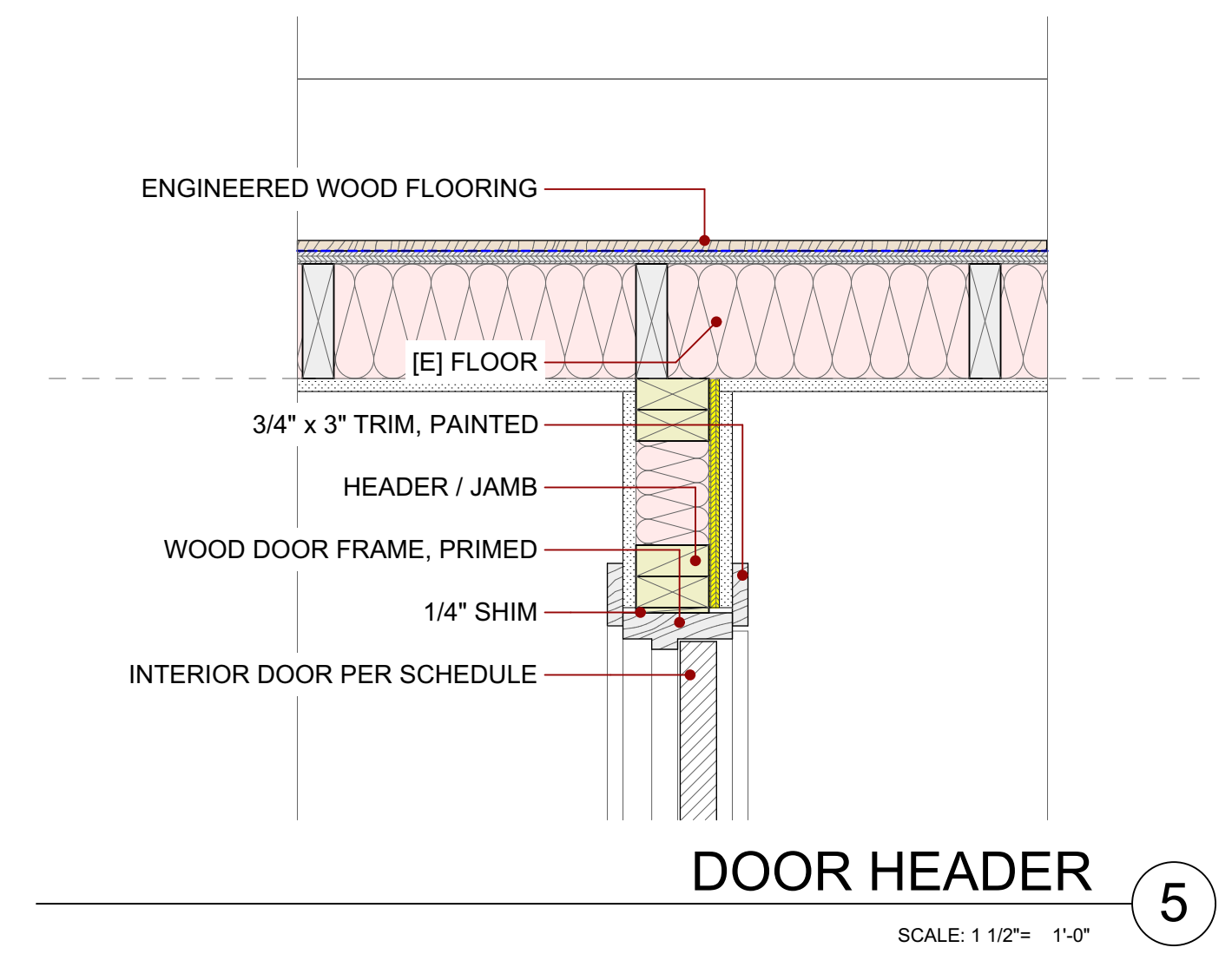
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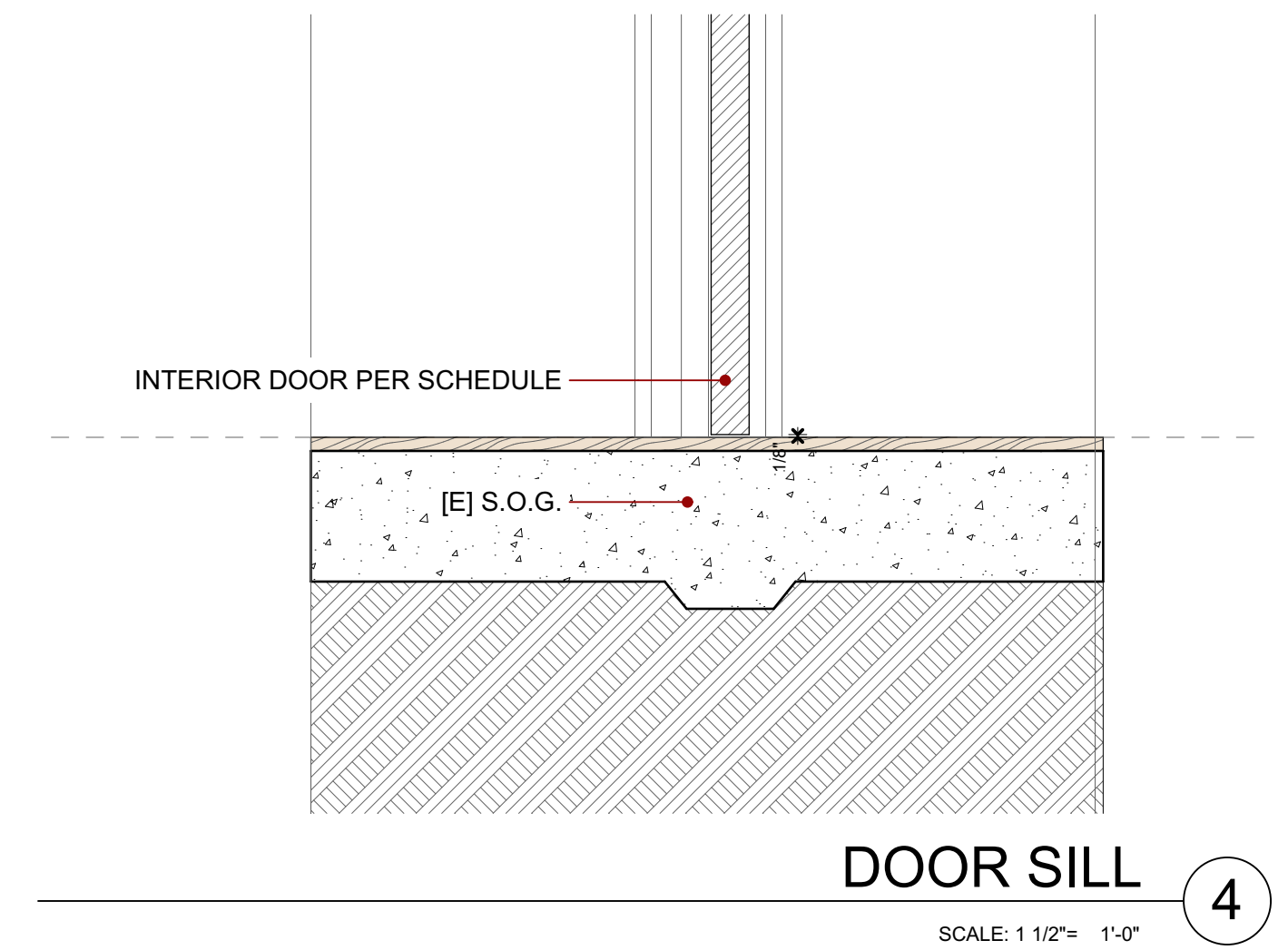
EXT DOOR FLASHING DETAIL 6

SCALE: 1 1/2" = 1'-0"



DOOR HEADER 5

SCALE: 1 1/2" = 1'-0"



DOOR SILL 4

SCALE: 1 1/2" = 1'-0"

SKYLIGHT SCHEDULE			
MARK	LENGHT	WIDTH	NOTES
SKY - 001	3'-6"	2'-6"	EXISTING
SKY - 002	5'	3'-4"	EXISTING

SKYLIGHT SCHEDULE 3

ID	QTY	MFR	DESCRIPTION	NOTES
DHW	2	TBD	TANKLESS WATER HEATER TBD	
DW-1	2	TBD	18" DW TBD	
MINI SPL	2	TBD	2 ZONE MINI SPLIT TBD	
OVEN/RANGE	2	TBD	30" OVEN/COOKTOP TBD	
REF-1	2	TBD	24" REFRIDGERATOR TBD	
W/D	2	TBD	24" STACKING WASHER/DRYER TBD	

APPLIANCE SCHEDULE 7

SCALE: 1" = 1'-0"

ID	QTY	MFR	DESCRIPTION	NOTES
SHOWER-1	1	TB	48" X 32" SHOWER PAN TBD	
SINK-2	1	TBD	24" BATH SINK TBD	
TOILET-1	1	TBD	ACCESSIBLE TOILET TBD	
TOILET-2	1	TBD	FLOOR MT TOILET TBD	
TUB-1	1	TBD	30" X 60" ACCESIBLE BATHTUB TBD	

FIXTURE SCHEDULE 8

SCALE: 1" = 1'-0"

MARK	STATUS	NOM. LEAF SIZE		AREA	HAND	INT/EXT	U-FACTOR	SHGC	RATING	NOTES
		W	H							
D101	Existing	2'-8"	6'-8"	17.78	R	Exterior				
D102	New	3'	6'-6"	19.50	L	Interior				
D102	New	3'	6'-6"	19.50	R	Exterior				1-3/4" SOLID CORE
D103	New	6'	6'-8"	40.00	R	Exterior				1-3/4" SOLID CORE w/ TEMPERED GLASS
D104	New	6'	6'-8"	40.00	R	Interior				
D105	New	3'	6'-8"	20.00	R	Interior				
D201	New	2'-4"	6'-8"	15.56	R	Interior				
D202	New	2'-4"	6'-8"	15.56	R	Interior				
D203	New	2'-6"	6'-8"	16.67	R	Interior				
D204	New	5'	6'-2"	30.83	L	Interior				
D205	Existing	2'-4"	6'-8"	15.56	R	Interior				
D206	Existing	2'-6"	6'-8"	16.67	L	Exterior				
D207	Existing	8'	6'-8"	53.33	R	Exterior				

DOOR SCHEDULE 2

MARK	Status	FRAME SIZE		AREA	SILL HT	HDR HT	U-FACTOR	SHGC	TEMPER	NOTES
		W	H							
W101	Existing	5'	3'	15.00	3'-9"	6'-9"				
W102	Existing	3'-6"	1'-10"	6.42	4'-11"	6'-9"				
W201	Existing	4'	2'	8.00	4'-8"	6'-8"				
W202	Existing	3'-3"	4'	13.00	3'	7'				
W203	Existing	6'-9"	4'-10"	32.63	1'-10"	6'-8"				
W204	Existing	6'	5'	30.00	1'-8"	6'-8"				
W205	New	3'-3"	4'	13.00	2'-8"	6'-8"		YES		
W206	Existing	2'	4'-5 ^{3/4} "	8.96	8'	12'-5 ^{3/4} "				

WINDOW SCHEDULE 1



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WINDOW & DOOR SCHEDULES

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GENERAL NOTES FOR ELECTRICAL PLANS

ALL RECEPTACLES SHALL BE 125V, 15 OR 20 AMP AND LISTED AS TAMPER-RESISTANT PER CEC SECT. 406.12.

PROVIDE SEPARATE 20 AMP CIRCUITS FOR EACH BATHROOM.

ALL RECEPTACLES SHALL BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS UNO AS PER CEC 210.12.

ALL ELECTRICAL OUTLETS LOCATED ON A FIRE RATED WALL SHALL COMPLY WITH CRC R302.4.2 EXCEPTIONS 1 & 2.

ALL OUTDOOR GROUND FAULT CIRCUIT-INTERRUPTERS SHALL BE 120V, 15 OR 20 AMP AS PER CEC 210.8(A).

PROVIDE A 20 AMP DEDICATED CIRCUIT FOR LAUNDRY RECEPTACLE OUTLET AS PER CEC 210.11 (C) (2).

PROVIDE A DEDICATED BRANCH CIRCUIT FOR ANY CENTRAL HEATING EQUIPMENT AS PER CEC 422.12.

PROVIDE A 20 AMP DEDICATED CIRCUIT FOR THE GARBAGE DISPOSAL AND DISHWASHER AS PER CEC 430.53.

ALL PERMANENT LUMINAIRES TO BE HIGH EFFICACY AND COMPLY WITH CEC 150 (K).

ALL EXISTING SWITCHING V.I.F.

RE-USE OUTLETS AND SWITCHING WHERE POSSIBLE

CURRENT ELECTRICAL SERVICE IS OVERHEAD AND WILL NEED TO BE UPGRADED AS A RESULT OF THIS PROJECT

ALL OVERHEAD UTILITY SERVICE DROPS MUST BE REPLACED WITH UNDERGROUND UTILITY SERVICE LATERALS

SECOND METER WILL NOT BE INSTALLED AT THE NEW UNIT

MECHANICAL NOTES

GAS VENT TERMINATIONS SHALL MEET THE REQS. OF CMC 802.6 * SFMC 802.6.1. (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS)
THROUGH WALL VENT TERMINATION PER SFMC 802.2.6.

COMBUSTION AIR SHALL MEET THE REQS. OF CMC CHAPTER 7.

ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1. EXHAUST SHALL NOT DISCHARGE TO PUBLIC WALKWAY.

ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1203.1.

PROVIDE 26 GAUGE DUCT IN GARAGE

CLOTHES DRYER EXHAUST SHALL BE MIN. 4", TERMINATE TO OUTSIDE OF THE BLDG, BE EQUIPPED WITH BACK-DRAFT DAMPER AND MEET THE REQS. OF CMC 504.4. PROVIDE 100 SQ. INCH MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.

Air exhaust and intake openings that terminate outdoors shall be protected with corrosion resistant screens, louvers, or grilles having an opening size on not less than 1/2" and not more than 1/2". Openings shall be protected against local weather conditions

MAXIMUM FLOW RATES:

TOILETS - 1.28 GPF
LAVATORY - 1.2 GPM @ 60 PSI
KITCHEN - 1.8 GPM @ 60 PSI
SHOWERS - 1.8 GPM @ 80 PSI

SYMBOL	TYPE	QTY	NOTES
	A	15	RECESSED LED FIXTURE
	AC	4	
	C	3	LED SCONCE BATH. VERIFY HT W/OWNER.
	D	14	DIMMER SWITCH
	F	2	ENERGY STAR RATED HUMIDISTAT BATH FAN 100 cfm
	G	6	LED EXT WALL SCONCEON DAYLIGHT CONTROLLED BY PHOTOCCELL & MOTION SENSOR PER CEC 150(K)(3)(a)(ii)
	GFI	9	110v/20a GFI DUPLEX OUTLET @ 42" AFF
	H	2	HUMIDISTAT SWITCH
	J	1	J BOX FOR LED PENDANT LIGHT
	OU	19	110v/20a DUPLEX OUTLET @ 16" AFF
	S	4	SGL POLE SWITCH
	SD	2	SMOKE DETECTOR
	SM	2	NEST SMOKE AND CO DETECTOR
	Vs	2	VACANCY SWITCH
	WP	4	110v/20a WP DUPLEX OUTLET @ 16" AFF

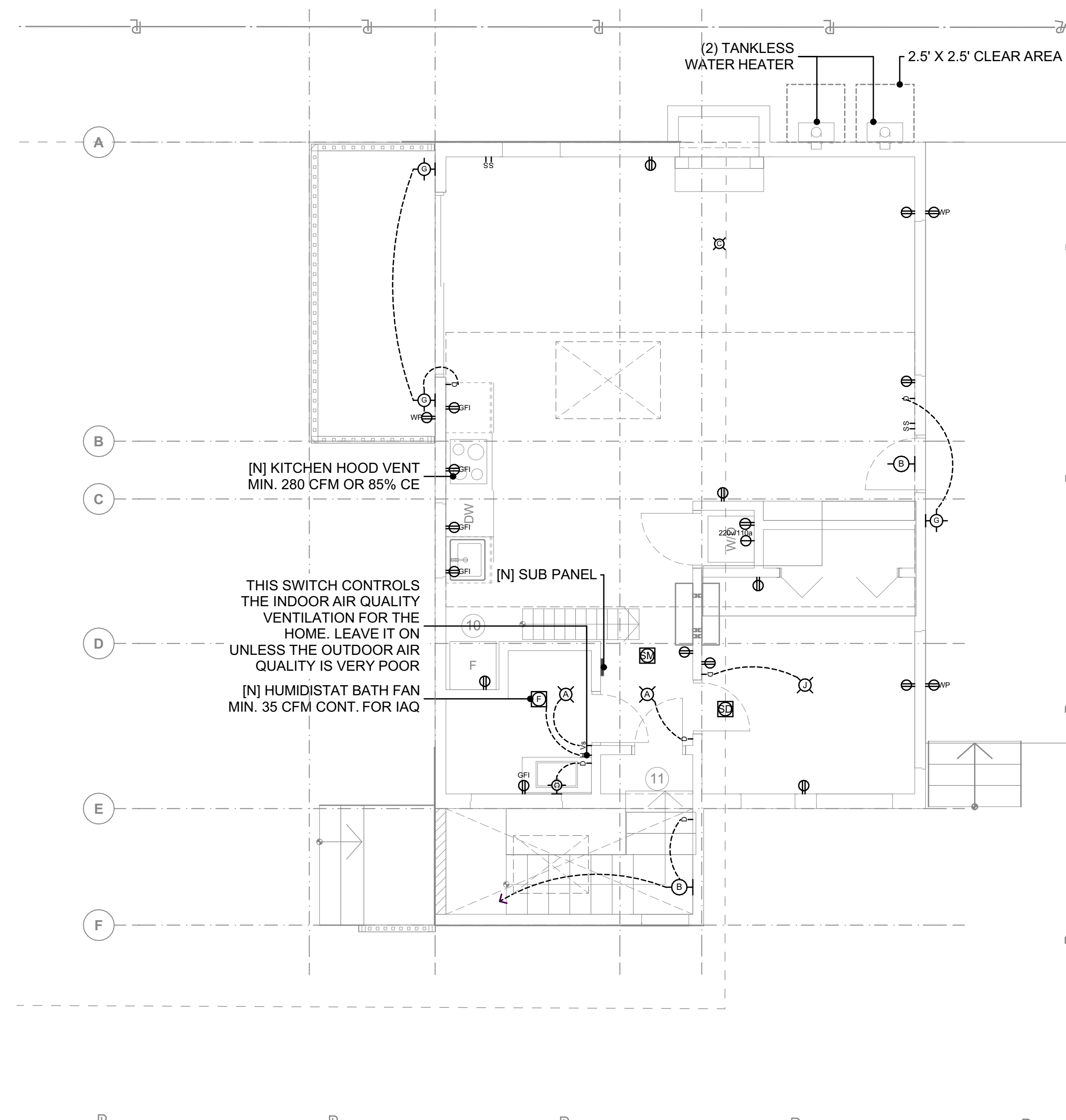
PLUMBING NOTES

ABS piping cannot be used underground for sewer lateral piping located beyond the building drain clean out.

UTILITIES SCHEDULE

SCALE: 1" = 1'-0"

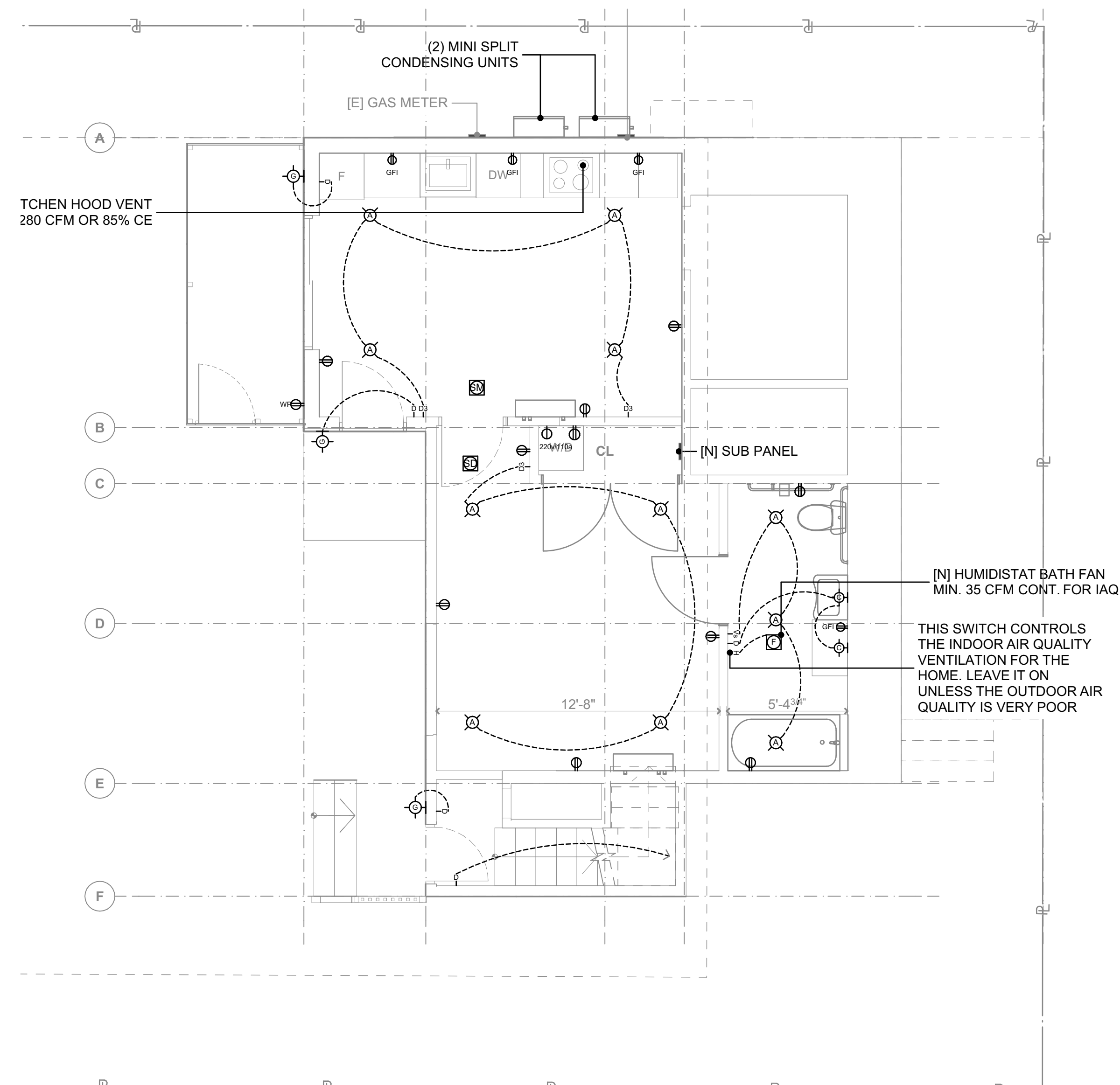
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UTILITY SECOND STORY

SCALE: 1/4" = 1'-0"

2



UTILITY FIRST STORY

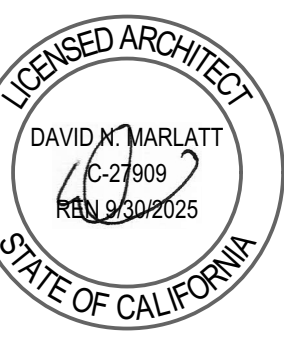
SCALE: 1/4" = 1'-0"

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DRAWING INDEX

S0.0 GENERAL NOTES
S0.1 GENERAL NOTES
S0.2 STATEMENT OF SPECIAL INSPECTIONS
S1.0 TYPICAL WOOD DETAILS
S1.1 TYPICAL SHEAR WALL DETAILS
S1.2 TYPICAL HOLDOWN & DIAPHRAGM DETAILS
S1.3 TYPICAL CONCRETE DETAILS
S2.0 FOUNDATION PLAN
S2.1 LEVEL 1 FRAMING PLAN
S2.2 LEVEL 2 FRAMING PLAN
S2.3 ROOF FRAMING PLAN
S3.0 CUSTOM DETAILS

STRUCTURAL NOTES

PROJECT DESCRIPTION / SCOPE OF WORK

THESE DRAWINGS EXISTING THE STRUCTURAL SYSTEM FOR TWO ADU CONVERSIONS OF THE LOWER AND UPPER FLOORS OF THE CURRENT HOUSE AT 429.5 JOHNSON STREET IN SAUSALITO, CA. STRUCTURAL CONSTRUCTION INCLUDES NEW FOUNDATIONS, SLAB ON GRADE IN THE GARAGE, BALCONY FRAMING OVER THE GARAGE, NEW SHEAR WALLS, HEADERS, AND BEAMS. THE STRUCTURE IS LIGHT-FRAMED WOOD CONSTRUCTION AND THE FOUNDATION IS OF CONCRETE CONSTRUCTION.

GENERAL

- A. CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
B. GENERAL NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
C. VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH OTHER DESIGN DRAWINGS BEFORE COMMENCING WORK.
D. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
E. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
F. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY.
G. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES.
H. CONTRACTOR SHALL BRING OMISSIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS TO THE STRUCTURAL ENGINEER'S ATTENTION PRIOR TO PROCEEDING WITH THE WORK.
I. DO NOT SCALE OFF OF THESE DRAWINGS.

SPECIAL INSPECTIONS & TESTING

- A. PROVIDE SPECIAL INSPECTIONS & TESTING FOR ALL ITEMS AS REQUIRED BY WMSTRUCTURAL, CHAPTER 17 OF THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE AND BY THE CITY OF SAUSALITO (SEE STATEMENT OF SPECIAL INSPECTIONS ON S0.2).
B. THE OWNER (NOT THE CONTRACTOR) SHALL BE RESPONSIBLE FOR RETAINING AN APPROVED AGENCY TO PERFORM ALL REQUIRED SPECIAL INSPECTIONS AND TESTING.
1. CONTINUOUS SPECIAL INSPECTION OF ALL EPOXIED ANCHORS AND EPOXIED REBAR
**THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO TIME OF INSPECTION.

- C. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AND ENSURING THAT ALL REQUIRED TESTING & INSPECTION IS PERFORMED TO THE SATISFACTION OF THE INSPECTOR.

STRUCTURAL OBSERVATIONS

STRUCTURAL OBSERVATIONS SHALL BE UNDERTAKEN BY THE STRUCTURAL ENGINEER OF RECORD OR A PERSON UNDER SUPERVISION OF THE STRUCTURAL ENGINEER OF RECORD AS REQUIRED BY WMSTRUCTURAL AND CHAPTER 17 OF THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE. THESE ARE IN ADDITION TO THE SPECIAL INSPECTIONS NOTED ABOVE, AND NOT IN LIEU OF.

- A. THE STRUCTURAL ENGINEER OF RECORD SHALL BE ENGAGED TO PROVIDE STRUCTURAL OBSERVATIONS FOR THE PROJECT.
1. FOUNDATION REINFORCEMENT AND CONSTRUCTION
**THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO TIME OF OBSERVATION.
B. THE CONTRACTOR SHALL NOTIFY WMSTRUCTURAL WHEN CONSTRUCTION WILL START, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

DESIGN BASIS

A. GENERAL DESIGN DATA:

RISK CATEGORY II

Table with columns: GRAVITY LOADING, DL (PSF), LL (PSF). Rows include VAULTED ROOF, CEILING/ATTIC SPACE, TYPICAL FLOOR, TILE FLOOR, ROOF DECK, STAIRS, INTERIOR WALL, EXTERIOR WALL (HORIZONTAL WOOD SIDING), EXTERIOR WALL (FIBER CEMENT SIDING).

- * LIVE LOAD REDUCTION NOT USED IN DESIGN
** NO ALLOWANCE FOR SOLAR PANELS
*** NO ALLOWANCE FOR RADIANT SYSTEM
**** NO ALLOWANCE FOR HEAVY PLANTING OR HOT TUB

B. SEISMIC DESIGN DATA:

Table with columns: SEISMIC IMPORTANCE FACTOR, MAPPED SPECTRAL RESPONSE ACCELERATION, SITE CLASS, SPECTRAL RESPONSE COEFFICIENTS, SEISMIC DESIGN CATEGORY, BASIC SEISMIC FORCE RESISTING SYSTEM(S), RESPONSE MODIFICATION FACTOR(S), DEFLECTION AMPLIFICATION FACTOR(S), OVERSTRENGTH FACTOR(S), ANALYSIS PROCEDURE USED, REDUNDANCY FACTOR, ALLOWABLE INTER-STORY DRIFT, HORIZONTAL IRREGULARITIES, VERTICAL IRREGULARITIES, BUILDING SEISMIC WEIGHT, BUILDING SEISMIC BASE SHEAR.

SELECT FILL AND SITE PREPARATION

- A. STRIP THE AREA TO BE BUILT OVER OF ALL ORGANIC MATERIAL AND TOP SOIL.
B. SCARIFY THE TOP 6" OF THE STRIPPED SURFACE, BRING TO THE CORRECT MOISTURE CONTENT, THEN RECOMPACTED TO AT LEAST 95% UNDER FOOTINGS AND 90% ELSEWHERE.
C. FILL MATERIAL TO BE PLACED IN 6" LAYERS AND COMPACTED.
D. FILL MATERIAL SHALL BE FREE OF PLASTIC CLAYS, VEGETATION, AND OTHER DELETERIOUS MATERIAL.
E. STEP CONTINUOUS FOOTINGS PER TYPICAL DETAILS. DO NOT SLOPE FOOTINGS.

FOUNDATIONS

- A. THE FOUNDATION DESIGN IS BASED UPON CHAPTER 18 OF THE CALIFORNIA BUILDING CODE.
• VERTICAL BEARING: 1500 PSF
B. EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE.
C. DO NOT ALLOW WATER TO STAND IN TRENCHES.
D. STEP CONTINUOUS FOOTINGS PER TYPICAL DETAILS. DO NOT SLOPE FOOTINGS MORE THAN 1:10.

CONCRETE

- A. REINFORCE ALL CONCRETE. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING AND SECURELY TIE PRIOR TO PLACING CONCRETE.
B. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT.
C. CONCRETE SHALL BE HARDROCK CONCRETE. USING PORTLAND CEMENT TYPE I OR II LOW ALKALINE AND SHALL ATTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
D. CONCRETE SHALL BE CONTINUOUSLY CURED FOR 10 DAYS AFTER PLACING IN ANY APPROVED MANNER.
E. CONDUITS OR PIPES (O.D.) WITHIN SLAB SHALL NOT EXCEED 30% OF SLAB THICKNESS AND SHALL BE SPACED AT LEAST FOUR-DIAMETER APART.
F. VERIFY ALL CONCRETE WORK DIMENSIONS WITH ARCHITECTURAL DRAWINGS BEFORE POURING CONCRETE.

REINFORCING STEEL

- A. ALL REINFORCING STEEL BARS SHALL CONFORM WITH THE STANDARD SPECIFICATIONS FOR DEFORMED BILLET-STEEL FOR CONCRETE REINFORCEMENT.
B. WIRE MESH SHALL CONFORM WITH ASTM A185-64.
C. SUITABLE DEVICES OF SOME STANDARD MANUFACTURE SHALL BE USED TO HOLD REINFORCEMENT IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS.
D. LAP SPLICE ALL BARS TO CLASS B SPLICE AND 2'-0" MINIMUM UNLESS OTHERWISE NOTED.
E. UNLESS OTHERWISE NOTED, MAINTAIN COVERAGE TO FACE OF BARS AS FOLLOWS:
1. 3" WHERE CONCRETE IS DEPOSITED AGAINST EARTH EXCEPT SLAB-ON-GRADE
2. 2" WHERE CONCRETE IS EXPOSED TO EARTH BUT FORMED
3. 1 1/2" FOR BEAMS, COLUMNS AND EXTERIOR SURFACES
4. 3/4" FOR INTERIOR SLABS, JOISTS AND WALLS
F. ALL SLABS ON GRADE SHALL HAVE CONTROL JOINTS TO CREATE APPROXIMATELY 20-FOOT SQUARES, UNLESS OTHERWISE NOTED ON THE PLANS.
G. UNLESS DETAILLED OTHERWISE, REINFORCING STEEL IN THE CONTINUOUS BEAMS, GRADE BEAMS, AND SPANDRELS SHALL HAVE TOP STEEL SPLICED AT THE MIDSPAN, AND THE BOTTOM STEEL SPLICED OVER SUPPORTS (48 BAR DIAMETER SPLICE MINIMUM). AT DISCONTINUOUS ENDS, THE TOP STEEL SHALL BE BENT DOWN 12-DIAMETER OR 12" MINIMUM, WHICHEVER IS GREATER.

WOOD STRUCTURAL PANELS

- A. ALL WOOD STRUCTURAL PANELS SHALL BE MARKED WITH THE APPROPRIATE TRADEMARK OF APA AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF VOLUNTARY PRODUCT STANDARD PS1, VOLUNTARY PRODUCT STANDARD PS 2 OR APA PRP-108 PERFORMANCE STANDARDS.
B. WOOD STRUCTURAL PANEL SHEETS SHALL HAVE THICKNESS AS SPECIFIED HEREIN OR AS NOTED ON DRAWINGS.
C. WOOD STRUCTURAL PANEL SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS.
D. WOOD STRUCTURAL PANEL SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL.
E. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL ROOF SHEATHING SHALL BE 5/8" THICK WITH SPAN RATING 40/20.
F. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL FLOOR SHEATHING SHALL BE UNBLOCKED 3/4" STURD-I-FLOOR WITH SPAN RATING 32/16.
G. UNLESS OTHERWISE SPECIFIED IN A SHEARWALL SCHEDULE OR CDX ON THE DRAWINGS, ALL EXTERIOR SHEATHING SHALL BE 1/2" APA CDX 1 WITH SPAN RATING 24/0 EXPOSURE 1, NAILED WITH 10D @ 6" O.C. PANEL EDGES AND @ 12" O.C. FIELD.

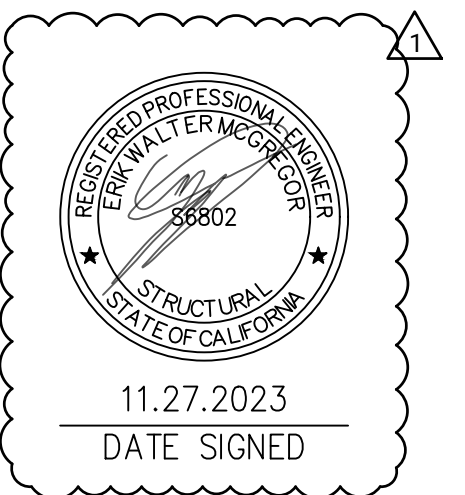
ABBREVIATIONS

Table of abbreviations including: & AND, L ANGLE, AB ANCHOR BOLT, ACI AMERICAN CONCRETE INSTITUTE, ADJ ADJACENT, AISI AMERICAN IRON AND STEEL INSTITUTE, ALT ALTERNATE, APPROX APPROXIMATE, ARCH ARCHITECT, ASTM AMERICAN SOCIETY OF TESTING AND MATERIALS, AWS AMERICAN WELDING SOCIETY, BETW BETWEEN, BLDG BUILDING, BM BEAM, BOF BOTTOM OF FOOTING, BOTTT BOTTOM, BS BOTH SIDES, BYD BEYOND, C CHANNEL PREFIX, CANT CANTILEVER, CJ CONSTRUCTION JOINT, CL CENTERLINE, CLR CLEAR, COL COLUMN, CONC CONCRETE, CONN CONNECTION, CONST CONSTRUCTION, CONT CONTINUOUS, CONTD CONTINUED, CTR CENTER, CTSK COUNTERSINK, CU CUBIC, DBL DOUBLE, DBLR DOUBLER, DET DETAIL, DIA DIAMETER, DL DEAD LOAD, DIAG DIAGONAL, DIST DISTANCE, DN DOWN, DO DITTO, DP DEEP, DWG DRAWING, (E) EXISTING, EA EACH, EF EACH FACE, EN EDGE NAILING, EJ EXPANSION JOINT, ELEV ELEVATION, ENGR ENGINEER, EQ EQUAL, ES EACH SIDE, EWB EACH WAY BOTTOM, EWM EACH WAY MIDDLE, EWT EACH WAY TOP, EXP EXPANSION, EXT EXTERIOR, FF FINISH FLOOR, FIN FINISH, FJ FLOOR JOIST, FN FIELD NAILING, FLR FLOOR, FOC FACE OF CONCRETE, FOW FACE OF WALL, FRAMG FRAMING, FS FAR SIDE, FT FEET, FTG FOOTING, GA GAUGE, GALV GALVANIZED, GDL GRID LINE, GB GRADE BEAM, GRD GIRDER, GRD GROUND, HD HOLDOWN, HDS HOLDOWN SCHEDULE, HK HOOK, HORIZ HORIZONTAL, HP HIGH POINT, HSS HOLLOW STEEL SECTION, ID INSIDE DIAMETER, INT INTERIOR, INV INVERT, JT JOINT, KIP 1,000 POUNDS, KSI KIPS PER SQUARE INCH, LBS POUNDS, LG LONG, LL LIVE LOAD, LLH LONG LEG HORIZONTAL, LLV LONG LEG VERTICAL, LN LINE, LSL LAMINATED STRAND LUMBER, LT LIGHT, LVL MICROLUM LUMBER, LWC LIGHT WEIGHT CONCRETE, MATL MATERIAL, MAX MAXIMUM, MB MACHINE BOLT, MECH MECHANICAL, MFT MANUFACTURER, MIN MINIMUM, MISC MISCELLANEOUS, MTL METAL, # NUMBER, (N) NEW, NIC NOT IN CONTRACT, NO NUMBER, NOM NOMINAL, NSG NEAR SIDE, NTS NOT TO SCALE, OC ON CENTER, OD OUTSIDE DIAMETER, OH OPPOSITE HAND, OPNG OPENING, OPP OPPOSITE, OPP POWER DRIVEN FASTENERS, PL PLATE, PLYWD PLYWOOD, PSF POUNDS PER SQUARE FOOT, PSL PARALLAM LUMBER, PSI POUNDS PER SQUARE INCH, PT POINT, QTY QUANTITY, RAD DEAD LOAD, REBAR CONCRETE REINFORCEMENT, REINF REINFORCING, REQD REQUIRED, RJ ROOF JOIST, SCH SCHEDULE, SAD SEE ARCHITECTURAL DRAWINGS, SCD SEE CIVIL DRAWING, SECT SECTION, SED SEE ELECTRICAL DRAWINGS, SHT SHEET, SJ SAW CUT JOINT, SIM SIMILAR, SIMP SIMPSON, SMD SEE MECHANICAL DRAWINGS, SMS SHEET METAL SCREWS, SPA SPACING, SQ SQUARE, STAGG STAGGER, STD STANDARD, STIFF STIFFENER, STIRR STIRRUP, STL STEEL, STRUCT STRUCTURAL, SW SHEAR WALL, SWS SHEAR WALL SCHEDULE, T&B TOP AND BOTTOM, THK THICK, THREADED THRD THREADED, TOC TOP OF CONCRETE, TOF TOP OF FOOTING, TOS TOP OF STEEL, TOW TOP OF WALL, TS STRUCTURAL TUBE (HSS SIM), TYP TYPICAL, UBC UNIFORM BUILDING CODE, UNL UNLESS OTHERWISE NOTED, VAPOR VAPOR BARRIER, VF VERIFY IN FIELD, W/ WITH, WA WEDGE ANCHORS, WD WOOD, WF WIDE FLANGE, W/O WITHOUT, WP WORK POINT, WT WEIGHT, OR WT SECTION PREFIX, WWF WELDED WIRE FABRIC, W WIDE, SIDE FLANGE PREFIX

2022 CALIFORNIA BUILDING CODE - TABLE 2304.10.1 FASTENING SCHEDULE. Table with columns: DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING AND LOCATION. Rows include: BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE; BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL; CEILING JOISTS TO TOP PLATE; COLLAR TIE TO RAFTER; RAFTER OR ROOF TRUSS TO TOP PLATE; ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; STUD TO STUD; STUD TO STUD AND ABUTTING STUDS; BUILT-UP HEADER; CONTINUOUS HEADER TO STUD; TOP PLATE TO TOP PLATE; TOP PLATE TO TOP PLATE, AT END JOINTS; BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING; BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST, OR BLOCKING AT BRACED WALL PANELS; STUD TO TOP OR BOTTOM PLATE; TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS; 1" BRACE TO EACH STUD AND PLATE; 1"x6" SHEATHING TO EACH BEARING; 1"x8" AND WIDER SHEATHING TO EACH BEARING; JOIST TO SILL, TOP PLATE, OR GIRDER; RIM JOIST, BAND, JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER FRAMING BELOW; SUBFLOOR TO JOIST OR GIRDER; PLANKS (PLANK & BEAM - FLOOR & ROOF); BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS; LEDGER STRIP SUPPORTING JOISTS OR RAFTERS; JOIST TO BAND JOIST OR RIM JOIST; BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS.

4096 PIEDMONT AVE, STE 279
OAKLAND, CA 94611
INFO@WMSTRUCTURAL.COM
(510) 995-6428

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET
SAUSALITO, CA 94965

429.5 JOHNSON STREET -
ADU CONVERSION

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FRAMING LUMBER (UNLESS OTHERWISE NOTED)

- A. ALL CONSTRUCTION SHALL COMPLY WITH STANDARDS OF QUALITY REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, SECTION 2303.
- B. ALL 2" TO 4" THICK [TRUE] BEAMS, POSTS, AND STAIR STRINGERS SHALL BE DOUGLAS FIR-LARCH TYPE "No. 1" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 1,000$ PSI
 $F_t = 675$ PSI
 $F_c = 180$ PSI
 $F_c = 625$ PSI (PERPENDICULAR TO GRAIN)
 $E = 1,500,000$ PSI (PARALLEL TO GRAIN)
 $E = 1,700,000$ PSI
 $G = 0.50$
- C. ALL 5"x5" [TRUE] AND LARGER BEAMS AND POSTS SHALL BE DOUGLAS FIR-LARCH TYPE "No. 1" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 1,350$ PSI (BEAMS & STRINGERS) / 1,200 PSI (POSTS & TIMBERS)
 $F_t = 675$ PSI (BEAMS & STRINGERS) / 825 PSI (POSTS & TIMBERS)
 $F_c = 170$ PSI
 $F_c = 625$ PSI (PERPENDICULAR TO GRAIN)
 $E = 925$ PSI (PARALLEL TO GRAIN, BEAMS & STRINGERS) / 1,000 PSI (PARALLEL TO GRAIN, POSTS & TIMBERS)
 $E = 1,600,000$ PSI
 $E = 580,000$ PSI (MINIMUM)
 $G = 0.50$
- D. ALL FLOOR JOISTS, ROOF JOISTS/RAFTERS, AND CEILING JOISTS SHALL BE DOUGLAS FIR-LARCH TYPE "No. 2" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 900$ PSI
 $F_t = 575$ PSI
 $F_c = 180$ PSI
 $F_c = 625$ PSI (PERPENDICULAR TO GRAIN)
 $E = 1,350$ PSI (PARALLEL TO GRAIN)
 $E = 1,600,000$ PSI
 $E = 580,000$ PSI (MINIMUM)
 $G = 0.50$
- E. ALL WALL STUDS, SILL PLATES, SOLE PLATES, WALL STUD BLOCKING, ETC. SHALL BE DOUGLAS FIR-LARCH TYPE "No. 2" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 900$ PSI
 $F_t = 575$ PSI
 $F_c = 180$ PSI
 $F_c = 625$ PSI (PERPENDICULAR TO GRAIN)
 $E = 1,350$ PSI (PARALLEL TO GRAIN)
 $E = 1,600,000$ PSI
 $E = 580,000$ PSI (MINIMUM)
 $G = 0.50$
- F. ALL 4x4 GUARDRAIL POSTS SHALL BE @ 4'-0" MAXIMUM SPACING AND SHALL BE DOUGLAS FIR-LARCH TYPE "SELECT STRUCTURAL" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 1,500$ PSI
 $F_t = 1,000$ PSI
 $F_c = 180$ PSI
 $F_c = 625$ PSI (PERPENDICULAR TO GRAIN)
 $E = 1,700$ PSI (PARALLEL TO GRAIN)
 $E = 1,900,000$ PSI
 $E = 690,000$ PSI (MINIMUM)
 $G = 0.50$
- G. ALL FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE-TREATED DOUGLAS FIR-LARCH UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.
- H. ALL TIMBER PLACED AGAINST BRICK, MASONRY, OR CONCRETE CONSTRUCTION SHALL BE PRESSURE-TREATED.
- I. ALL EXTERIOR DECKING SHALL BE REDWOOD SELECT, PRESSURE-TREATED, OR MANUFACTURED DECKING; REFER TO ARCHITECTURAL DRAWINGS.
- J. ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16 WITH MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION AND FABRICATION

ENGINEERED LUMBER

- A. ENGINEERED LUMBER, INCLUDING TJI PREFABRICATED WOOD JOISTS (ICC-ESR-1153), TJI RIM BOARD (ICC-ESR-1387), MICROLLAM LVL (ICC-ESR-1387), AND PARALLAM PSL (ICC-ESR-1387), SHALL BE BY WEYERHAEUSER OR APPROVED EQUAL. PT LVL (APA PR-L329) SHALL BE BY PACIFIC WOODTECH CORPORATION. INSTALLATION SHALL BE IN FULL ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- B. LAMINATED VENEER LUMBER (LVL) SHALL BE 2.0E MICROLLAM LVL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
- $E = 2,000,000$ PSI
 $F_b = 2,600$ PSI
 $F_t = 285$ PSI
 $F_c = 2,510$ PSI (PARALLEL)
 $F_c = 750$ PSI (PERPENDICULAR)
 $F_t = 1,555$ PSI
- C. PARALLEL STRAND LUMBER (PSL) BEAMS SHALL BE 2.2E PARALLAM PSL AND COLUMNS SHALL BE 1.8E PARALLAM PSL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
- | | BEAMS (2.2E) | COLUMNS (1.8E) |
|-------------------------|---------------|----------------|
| E = | 2,200,000 PSI | 1,800,000 PSI |
| $F_b =$ | 2,900 PSI | 2,400 PSI |
| $F_t =$ | 290 PSI | 190 PSI |
| F_c (PARALLEL) = | 2,900 PSI | 2,500 PSI |
| F_c (PERPENDICULAR) = | 750 PSI | 545 PSI |
| $F_t =$ | 2,025 PSI | 1,995 PSI |
- D. PRESERVATIVE PRESSURE-TREATED LAMINATED VENEER LUMBER (PT LVL) SHALL BE 2.0E PACIFIC WOOD TECH PT LVL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
- | | | |
|-------------------------|---------------------|---------------------|
| E = | 2,000,000 PSI (DRY) | 1,400,000 PSI (WET) |
| $F_b =$ | 2,800 PSI (DRY) | 1,380 PSI (WET) |
| $F_t =$ | 285 PSI (DRY) | 160 PSI (WET) |
| F_c (PARALLEL) = | 2,500 PSI (DRY) | 875 PSI (WET) |
| F_c (PERPENDICULAR) = | 850 PSI (DRY) | 850 PSI (WET) |
| $F_t =$ | 2,100 PSI (DRY) | 1,780 PSI (WET) |

ROUGH CARPENTRY

- A. ALL CONSTRUCTION SHALL COMPLY WITH STANDARDS OF QUALITY REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, SECTION 2303.
- B. CONVENTIONAL CONSTRUCTION PROVISIONS NOT SPECIFICALLY DETAILED ON THE PLANS SHALL BE IN COMPLIANCE WITH THE CALIFORNIA BUILDING CODE, SECTION 2308.
- C. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.10.1, CALIFORNIA BUILDING CODE. 16 PENNY VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
- D. SILLS ON CONCRETE SHALL BE 3X PRESSURE-TREATED DOUGLAS FIR. SILLS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS FURTHER THAN 9 INCHES FROM END OF PIECE OR CLOSER THAN 4 $\frac{1}{2}$ ". SPACING SHOULD NOT EXCEED 4'-0" O.C..
- E. PLACE SAWN LUMBER MEMBERS WITH THE CROWN UP.
- F. RETIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
- G. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED AND FIRE RETARTANT TREATED LUMBER, OR PERMANENTLY EXPOSED TO WEATHER SHALL BE OF HOT-DIPPED, ZINC-COTED, GALVANIZED OR STAINLESS STEEL IN ACCORDANCE WITH THE CBC SECTION 2304.9.5
- H. DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE.
- I. BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2X SOLID BLOCKING. BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND FLOOR JOISTS AT 8 FEET UNLESS OTHERWISE NOTED. FOR MANUFACTURED JOISTS, PROVIDE BLOCKING AT AND BETWEEN SUPPORTS PER THE MANUFACTURERS SPECIFICATIONS
- J. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STRONG TIE, INC. STANDARD FASTENERS OR APPROVED EQUAL.
- K. PROVIDE 3"x3"x0.229" MINIMUM PLATE WASHERS FOR ALL BOLTS IN BEARING CONTACT WITH SILL PLATES. EDGE OF THE SILL PLATE WASHERS SHALL BE LOCATED $\frac{1}{2}$ " MAXIMUM FROM THE FACE OF THE WALL SHEATHING.
- L. BOLT HOLES SHALL BE BORED NO MORE THAN 1/32 OF AN INCH LARGER THAN THE DIAMETER OF THE BOLT.
- M. DOUBLE TOP PLATES ON ALL EXTERIOR, INTERIOR BEARING, AND INTERIOR SHEAR WALLS SHALL LAP 4'-0" MINIMUM, WITH 12-16D NAILS AT SPLICE U.O.N.
- ROD & REBAR EPOXY INSTALLATION**
- A. DRILL ALL HOLES WITH ROTARY DRILL (NO IMPACT TOOLS ALLOWED) TO DEPTHS CALLED ON PLANS. HOLE DIAMETER SHALL BE 1/8 INCH LARGER THAN THE ROD OR BAR DIAMETER, UNLESS OTHERWISE NOTED ON PLANS.
- B. DO NOT DRILL THROUGH EXISTING REBARS. DRILL NEW HOLES WHERE REBAR IS ENCOUNTERED AND DRYPACK THE ABANDONED HOLE. FOR HOLES DRILLED INTO COLUMNS AND BEAMS, REMOVE THE REBAR COVER IN ORDER TO POSITIVELY IDENTIFY THE REBAR LOCATION SUCH THAT THE HOLES AVOID THE REBARS.
- C. BRUSH ALL HOLES WITH CIRCULAR WIRE BRUSH ATTACHED TO A ROTARY DRILL AND BLOW OUT WITH OIL-FREE COMPRESSED AIR.
- D. POUR A MEASURED AMOUNT OF EPOXY INTO THE HOLE, INSERT THE BAR, DISPLACING THE EPOXY, THEN SECURE THE BAR IN THE CENTER OF THE HOLE. REMOVE EXCESS EPOXY FROM AROUND THE HOLE BEFORE IT HARDENS. EPOXY SHALL FILL HOLE TO THE RIM.
- E. EPOXY FOR ANCHORING BOLTS, RODS AND REINFORCING BARS SHALL BE SIMPSON SET-XP (ICC ESR 2508) OR EQUAL AND SIMPSON SET (ICC ESR 1772) OR EQUAL FOR CMU/BRICK ADHESIVE ANCHOR.
- F. USE NON-SAG, NORMAL SET EPOXY (U.O.N.) FOR HORIZONTAL OR OVERHEAD APPLICATION. USE A CAULKING GUN FOR THE INJECTION OF NON-SAG EPOXY.
- G. ALL EPOXY ANCHOR INSTALLATION SHALL HAVE SPECIAL INSPECTION AND SHALL BE PROOF LOAD TESTED IN ACCORDANCE WITH THE 'TEST & INSPECTIONS' SECTION OF THESE NOTES

SEOR STAMP**AHJ STAMP****OWNERS**

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET
SAUSALITO, CA 94965

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CITY OF SAUSALITO
SPECIAL INSPECTION AGENCY RECOGNITION LIST

Key: RC = Reinforced Concrete PC = Prestressed/Post-tensioned Concrete
SM = Structural Masonry SS = Structural Steel Welding/Bolting
FP = Spray-Applied Fireproofing

Agency Name	Address	Phone/FAX	RC	PC	SM	SS*	FP
Achievement Engineering Corp.	2455 Antiumvale Dr. Suite E San Jose, CA 95131	408-217-9174 408-217-0632	X	X	X	X	X
Applied Materials Engineering	980 41 st Street Oakland, CA 94608	510-420-8190 510-420-8186	X	X	X	X	X
B.S.K. Associates	1181 Quarry Lane, #300 Pleasanton, CA 94566	510-462-4000 510-462-6283	X	X	X	X	X
Consolidated Engineering Labs.	2001 Crow Canyon Rd. Suite 200 San Ramon, CA 94583	925-314-7200 888-222-7132	X	X	X	X	X
Forsythe Engineering Consultants	PO Box 3600 Napa, CA 94558-0557	707-259-1292 707-259-1393	X	X	X	X	X
Geisler Engineering (Keith Pagan)	83E Beach Road Belvedere, CA 94920	415-992-9393	X			X	
Inspection Consultants, Inc.	1515 North C Street Sacramento, CA 95814	916-321-5580 916-321-5590	X	X	X	X	X
Krazan and Associates, Inc.	215 West Dakota Avenue Clovis, CA 93612	559-348-2200 559-348-2201	X	X	X	X	X
Miller Pacific Engineering Group	504 Redwood Blvd. #220 Novato, CA 94947	415-382-3444 415-382-3450	X	X	X	X	X
Neil O. Anderson and Associates	902 Industrial Way Lodi, CA 95240	209-367-3701 209-333-8303	X	X	X	X	X
Norcon, LLC	470 3 rd Street, Suite 105 San Francisco, CA 94107	415-692-0519	X	X	X	X	X
PJC & Associates, Inc.	600 Martin Avenue, Ste 200 Robnet Park, CA 94928	707-584-4804 707-584-4811	X	X	X	X	X
RMA Group	257 Wright Brothers Ave. Livermore, CA 94551	925-243-6662 925-243-6663	X	X	X	X	X
Salom Engineering Group, Inc.	4729 West Jacquelyn Ave Fresno, CA 93722	559-271-9700 559-275-0827	X	X	X	X	X
Signet Testing Laboratories	3121 Diablo Ave Hayward, CA 94545	510-887-8484 510-783-4295	X	X	X	X	X
Smith-Emery Company	P. O. Box 880550 1940 Oakdale Ave San Francisco, CA 94124	415-642-7326 415-330-3030	X	X	X	X	X
Testing Engineers Inc.	2811 Teagarden St San Leandro, CA 94577	510-835-3142 510-834-3777	X	X	X	X	X

*Agencies have not been evaluated for nondestructive testing. Agencies have not been evaluated for geotechnical special inspection. Agencies may have offices in more than one location. Other agencies may also be qualified; the building official has the ultimate responsibility for approval. (Updated 3/10/22)

SPECIAL INSPECTION AND TESTING AGREEMENT

Applicable to projects requiring special inspection and/or testing per Section 1704 of the California Building Code

Project Address/Description: 429.5 Johnson Street, Sausalito, CA Building Permit No: _____

BEFORE A PERMIT CAN BE ISSUED: The owner, or the engineer or architect of record acting as the owner's agent, shall complete two (2) copies of this agreement and the attached structural tests and inspections schedule including the required acknowledgements. A preconstruction conference with the parties involved may be required to review the special inspection requirements and procedures.

APPROVAL OF SPECIAL INSPECTORS: Each special inspector shall be approved by the building department prior to performing any duties. Each special inspector shall submit his/her qualifications to the building department and is subject to a personal interview for prequalification. Special inspectors shall display approved identification, as stipulated by the building department, when performing the function of a special inspector.

Special inspection and testing shall meet the minimum requirements of CBC section 1704. The following conditions are also applicable:

A. Duties and Responsibilities of the Special Inspector

- Observe work**
The special inspector shall observe the work for conformance with the building department approved (stamped) design drawings and specifications and applicable workmanship provisions of the CBC. Architect/engineer-reviewed shop drawings and/or placing drawings may be used only as an aid to inspection.
Special inspections are to be performed on a continuous basis, meaning that the special inspector is on site in the general area at all times observing the work requiring special inspection. Periodic inspections, if any, must have prior approval by the building department based on a separate written plan reviewed and approved by the building department and the project engineer or architect.
- Report nonconforming items**
The special inspector shall bring nonconforming items to the immediate attention of the contractor and note all such items in the daily report. If any item is not resolved in a timely manner or is about to be incorporated in the work, the special inspector shall immediately notify the building department by telephone or in person, notify the engineer or architect, and post a discrepancy notice.
- Furnish daily reports**
On request, each special inspector shall complete and sign both the special inspection record and the daily report form for each day's inspections to remain at the jobsite with the contractor for review by the building department's inspector.
- Furnish weekly reports**

The special inspector or inspection agency shall furnish weekly reports of tests and inspections directly to the building department, project engineer or architect, and others as designated. These reports must include the following:

- Description of daily inspections and tests made with applicable locations;
- Listing of all nonconforming items;
- Report on how nonconforming items were resolved or unresolved as applicable; and
- Itemized changes authorized by the architect, engineer and building department if not included in nonconformance items.

5. Furnish final report
The special inspector or inspection agency shall submit a final signed report to the building department stating that all items requiring special inspection and testing were fulfilled and reported and, to the best of his/her knowledge, in conformance with the approved design drawings, specifications, approved change orders and the applicable workmanship provisions of the C.B.C. Items not in conformance, unresolved items or any discrepancies in inspection coverage (i.e., missing inspections, periodic inspections when continuous was required, etc.) shall be specifically itemized in this report.

B. Contractor Responsibilities

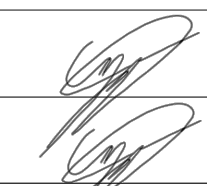
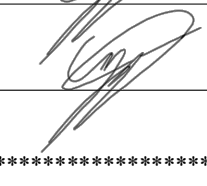
- Notify the special inspector**
The contractor is responsible for notifying the special inspector or agency regarding individual inspections of items listed on the attached schedule and as noted on the building department approval plan. Adequate notice shall be provided so that the special inspector has time to become familiar with the project.
- Provide access to approved plans**
The contractor is responsible for providing the special inspector access to approved plans at the jobsite.
- Retain special inspection records**
The contractor is also responsible for retaining at the jobsite all special inspection records submitted by the special inspector and providing these records for review by the building department's inspector upon request.

C. Building Department Responsibilities

- Approve special inspection**
The building department shall approve all special inspectors and special inspection requirements.
- Monitor special inspections**
Work requiring special inspection and the performance of special inspectors shall be monitored by the building department's inspector. His/her approval must be obtained prior to placement of concrete or other similar activities in addition to that of the special inspector.
- Issue Certificate of Occupancy**
The building department may issue a Certificate of Occupancy after all special inspection reports and the final report have been submitted and accepted. **FINAL SIGN-OFF WILL NOT BE GIVEN UNTIL ALL FINAL INSPECTION LETTERS ARE RECEIVED.**

ACKNOWLEDGEMENTS

I have read and agree to comply with the terms and conditions of this agreement.

Printed Name	Signature	Date
Owner: _____	_____	_____
Contractor: _____	_____	_____
Special Inspector or Inspection Agency: <u>wmstructural (Erik McGregor, SE)</u>		<u>05/18/23</u>
Project Engineer or Architect: <u>wmstructural (Erik McGregor, SE)</u>		<u>05/18/23</u>

ACCEPTED FOR THE BUILDING DEPARTMENT

By: _____ Date: _____

City of Sausalito - BUILDING DIVISION
420 Litho Street, Sausalito CA 94965 TEL. (415) 289-4136

SPECIAL INSPECTION AND TESTING SCHEDULE

***** THIS FORM SHOULD BE IMPRINTED ON THE APPROVED PLANS *****

ADU Conversion PROJECT DESCRIPTION BUILDING PERMIT NO. _____
429.5 Johnson Street, Sausalito, CA 94965 wmstructural (Erik McGregor, SE) TESTING/INSPECTION AGENCY or SPECIAL INSPECTOR
PROJECT ADDRESS _____

REINFORCED CONCRETE, GUNITE, GROUT AND MORTAR:

Concrete	Gumite	Grout	Mortar
			Aggregate Tests
			Reinforcing Tests
			Mix Designs
			Reinforcing Placement
			Batch Plant Inspection
			Inspect Placing
			Cast Samples
			Pick-up Samples
			Compression Tests

STRUCTURAL STEEL/WELDING:

- ___ Sample and Test (list specific members below)
- ___ Shop Material Identification ___ Shop ___ Field
- ___ Welding Inspection ___ Shop ___ Field
- ___ Ultrasonic Inspection ___ Shop ___ Field
- ___ High-strength Bolting
- ___ Inspection ___ Shop ___ Field
- ___ A325 ___ N ___ X ___ F
- ___ A490 ___ N ___ X ___ F
- ___ Metal Deck Welding Inspection
- ___ Reinforcing Steel Welding Inspection
- ___ Metal Stud Welding Inspection
- ___ Concrete Insert Welding Inspection

PRECAST/PRESTRESSED CONCRETE:

Piles	Post-Tens	Pre-tens	Cladding
			Aggregate Tests
			Reinforcing Tests
			Tendon Tests
			Mix Designs
			Reinforcing Placement
			Insert Placement
			Concrete Batching
			Concrete Placement
			Installation Inspection
			Cast Samples
			Pick-up Samples
			Compression Tests

FIREPROOFING:

- ___ Placement Inspection
- ___ Density Tests
- ___ Thickness Tests
- ___ Inspect Batching

INSULATING CONCRETE:

- ___ Sample and Test
- ___ Placement Inspection
- ___ Unit Weights

FILL MATERIAL:

- ___ Acceptance Tests
- ___ Placement Inspection
- ___ Field Density

MASONRY:

- ___ Special Inspection Stresses Used
- ___ Preliminary Acceptance Tests (Masonry Units, Wall Prisms)
- ___ Subsequent Tests (Mortar, Grout, Field Wall Prisms)
- ___ Placement Inspection of Units

STRUCTURAL WOOD:

- ___ Shear Wall Nailing Inspection
- ___ Inspection of Glu-lam Fab
- ___ Inspection of Truss Joist Fab
- ___ Sample and Test Components
- ___ EPOXY ANCHORS

ADDNL. INSTRUCTIONS OR OTHER TESTS AND INSPECTIONS: Continuous inspection of epoxied rebar.

ACKNOWLEDGEMENTS

I have read and agree to comply with the terms and conditions of this agreement.

Owner: _____

Contractor: _____

Special Inspector or Inspection Agency: wmstructural (Erik McGregor, SE)

Project Engineer or Architect: wmstructural (Erik McGregor, SE)

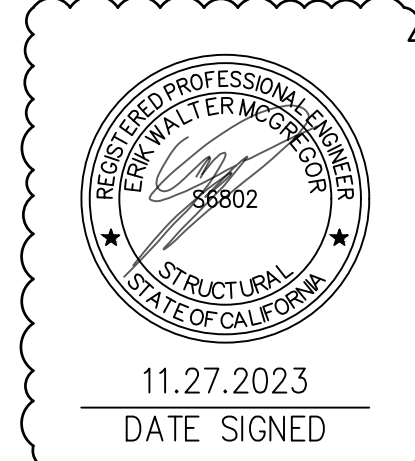
ACCEPTED FOR THE BUILDING DEPARTMENT

By: _____ Date: _____

wmstructural
engineering consultants

4096 PIEDMONT AVE, STE 279
OAKLAND, CA 94611
INFO@WMSTRUCTURAL.COM
(510) 995-6428

SEOR STAMP



11.27.2023
DATE SIGNED


AHJ STAMP

OWNERS
CITY OF SAUSALITO

PROJECT ADDRESS
429.5 JOHNSON STREET
SAUSALITO, CA 94965

429.5 JOHNSON STREET -
ADU CONVERSION

SUBMITTAL

PERMIT	08.31.2023
 PLAN CHECK 1 RESPONSE	11.27.2023

23-505
wmstructural JOB NUMBER

AA
DRAWN BY

NO SCALE
SCALE

STATEMENT OF SPECIAL INSPECTIONS
SHEET TITLE

S0.2

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

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429.5 JOHNSON STREET
SAUSALITO, CA 94965

429.5 JOHNSON STREET -
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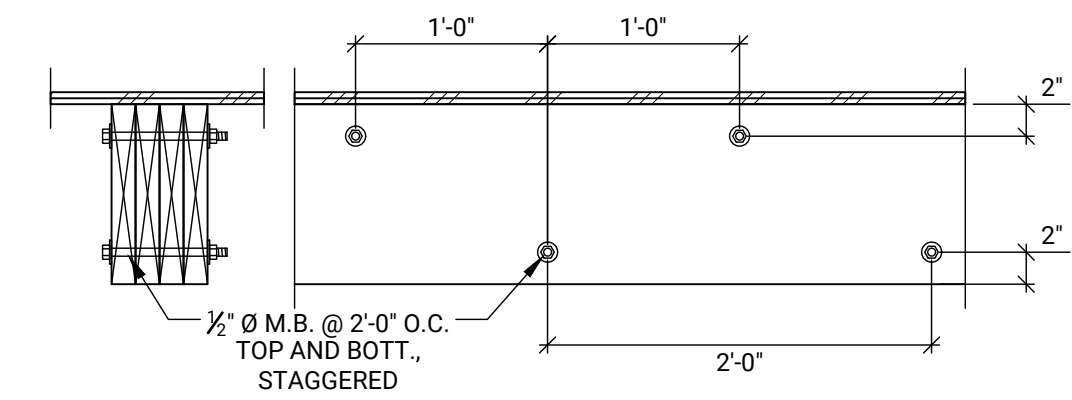
NTS
SCALE

TYPICAL WOOD DETAILS
SHEET TITLE

S1.0

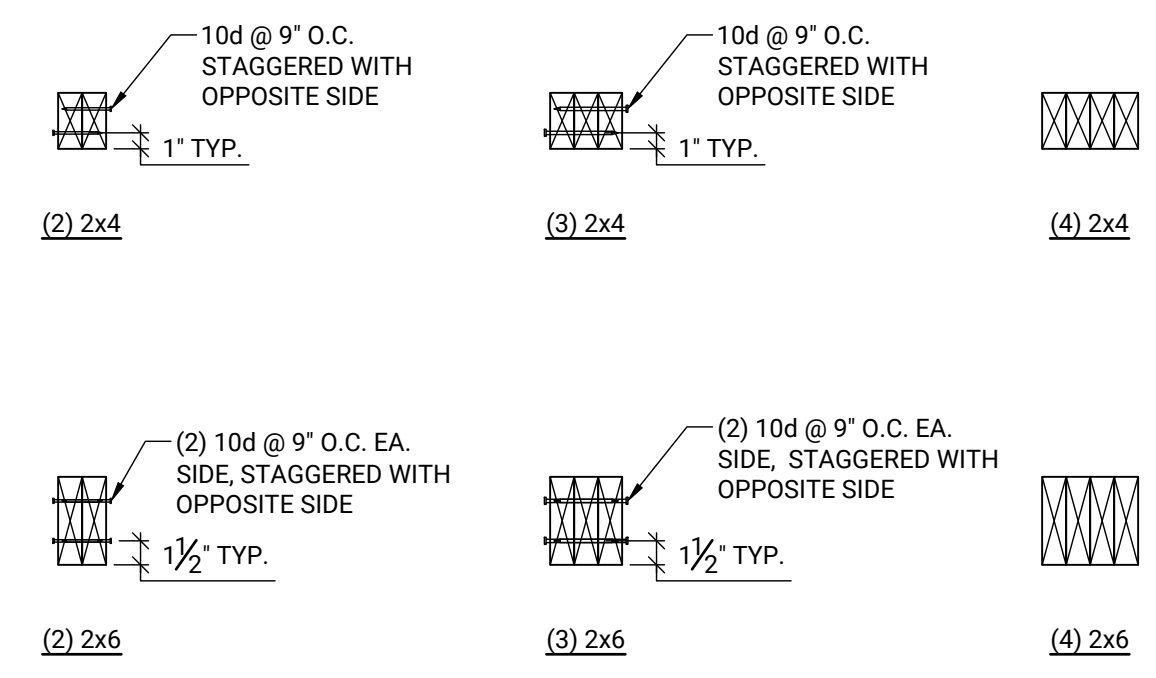


A 2-2x CONNECTION NTS
B 3-2x CONNECTION NTS



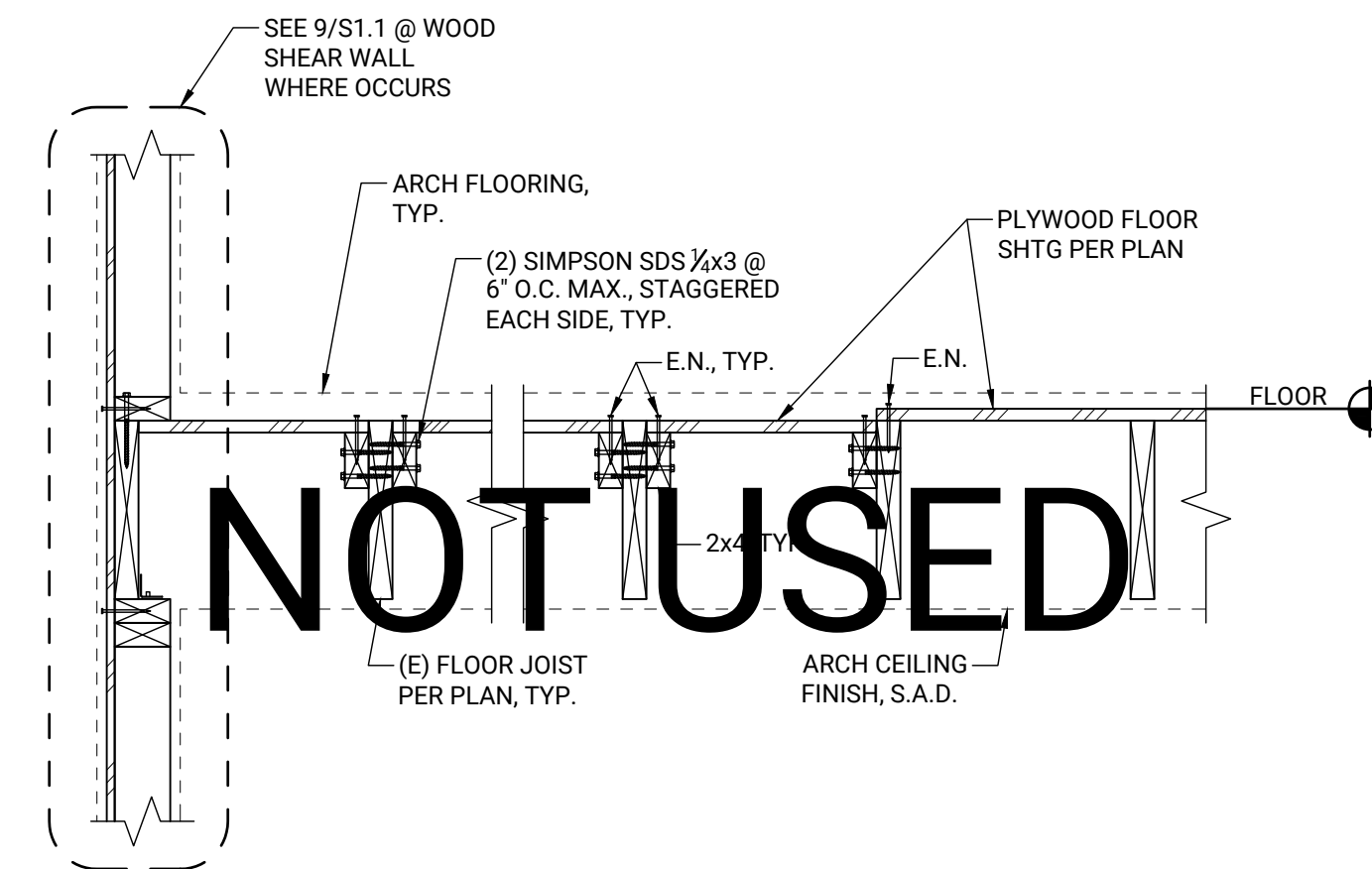
C (4) 2x CONNECTION (2) 4x SIMILAR NTS

- NOTES:
- SEE MFR OF FABRICATED MEMBERS FOR CONNECTIONS IN JOISTS AND BEAMS.
 - (4) 2x COLUMNS MAY BE CONNECTED W/ ROWS OF SIMP. SDS 0.25x6 @ 12" O.C. E/S.

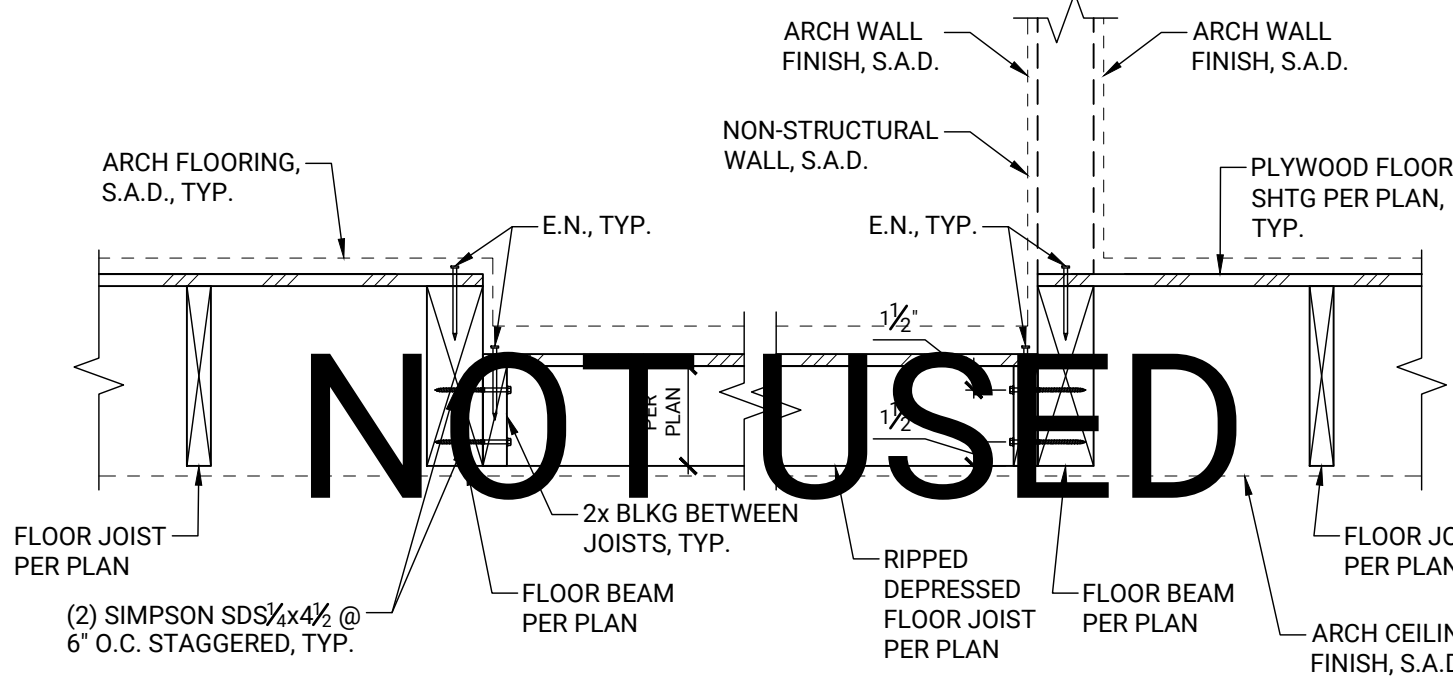


2 TYPICAL BUILT-UP POST DETAIL NTS

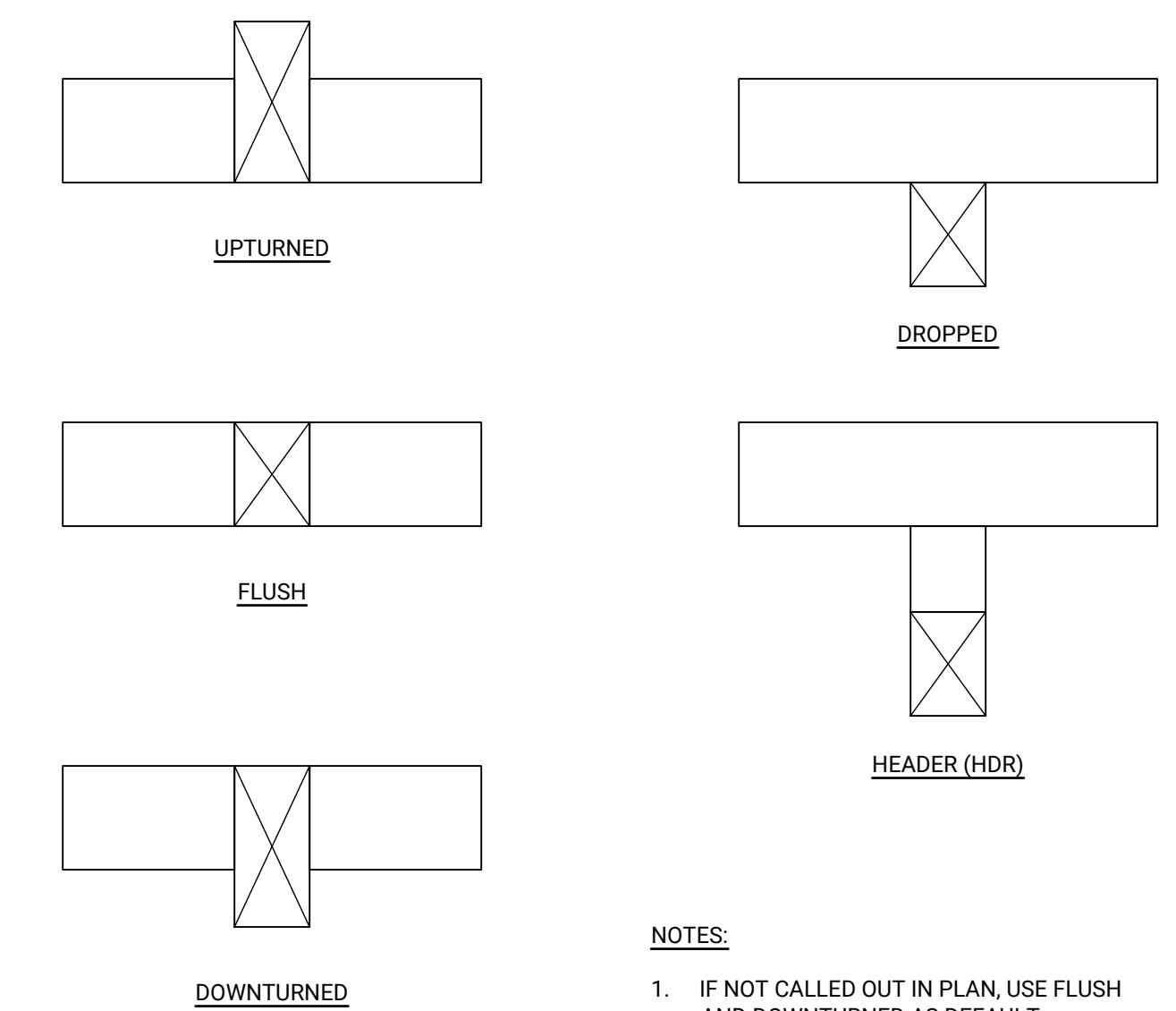
3 BUILT-UP BEAM CONNECTIONS NTS



8 TYPICAL INSET PLYWOOD FLOOR DETAIL NTS

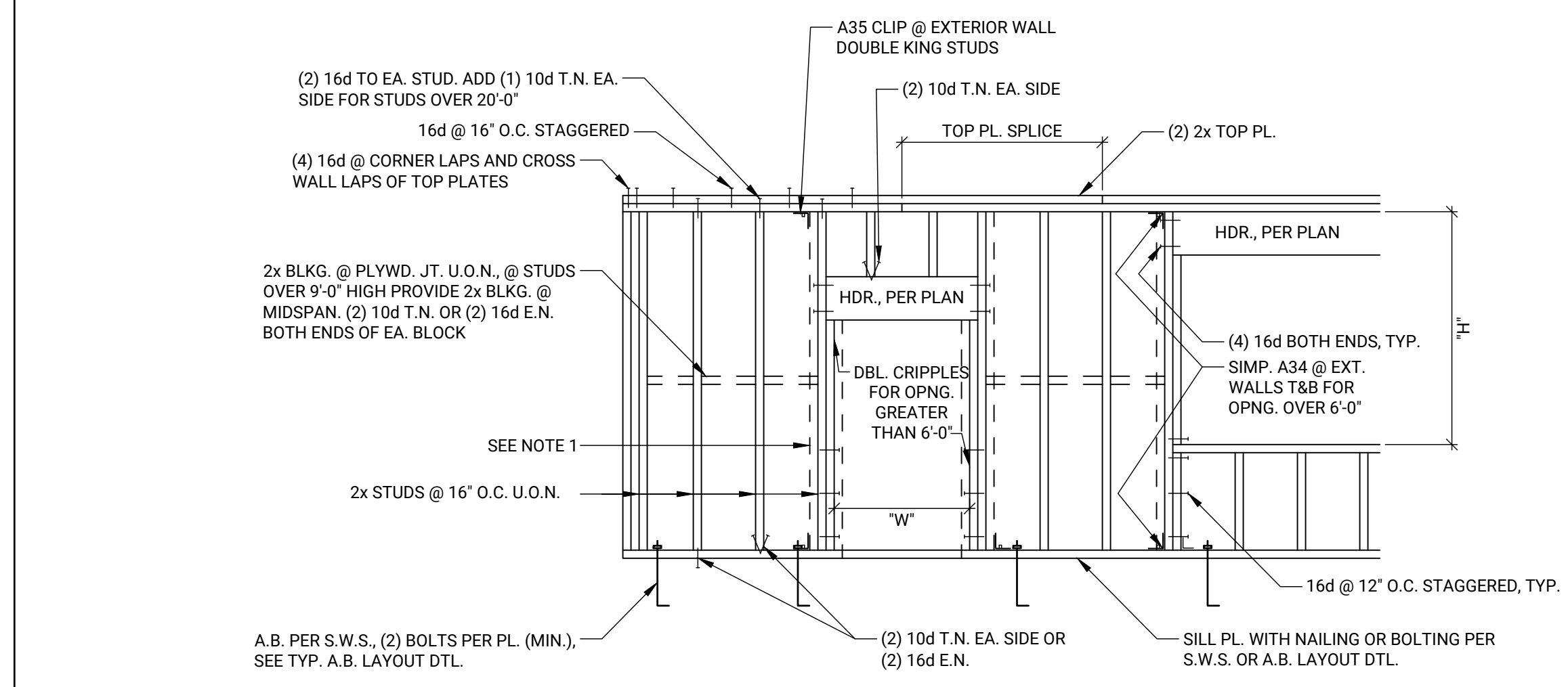


7 TYPICAL DEPRESSED FLOOR DETAIL NTS



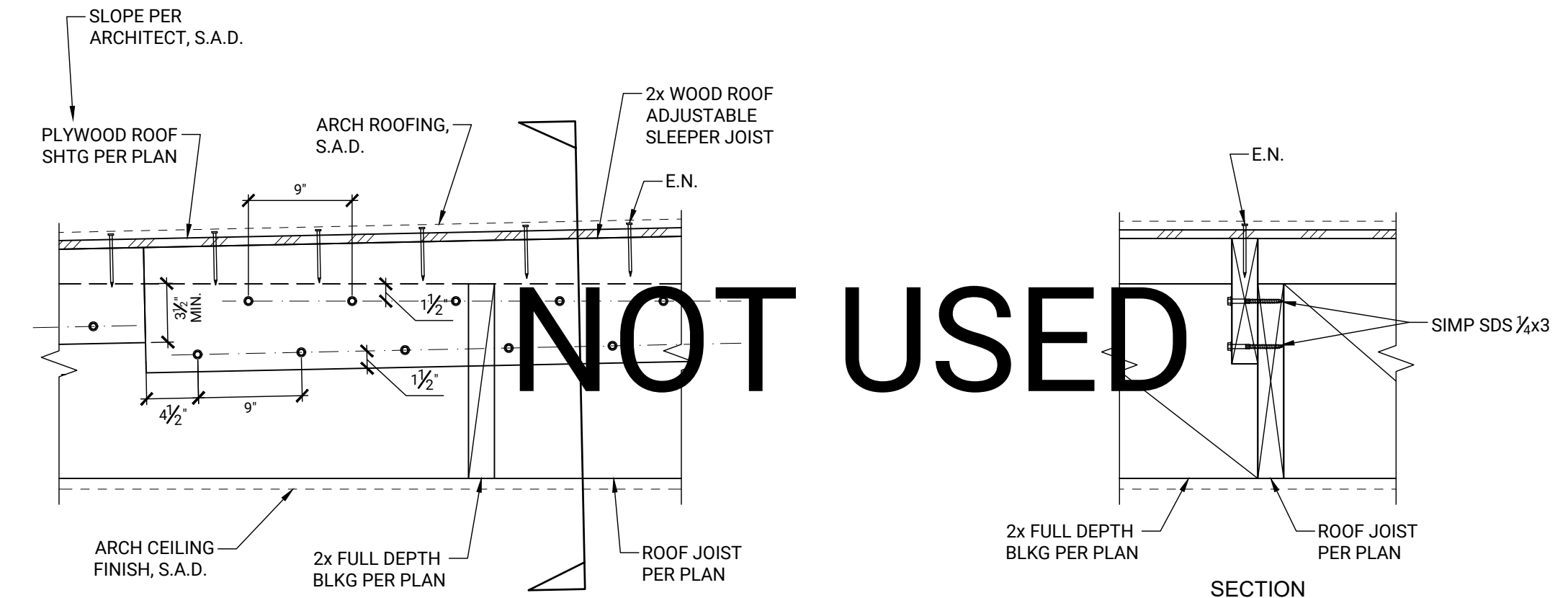
12 BEAM PLAN LEGEND
1" = 1'-0"

11 ALLOWABLE PENETRATIONS NTS FOR JOISTS AND STUDS

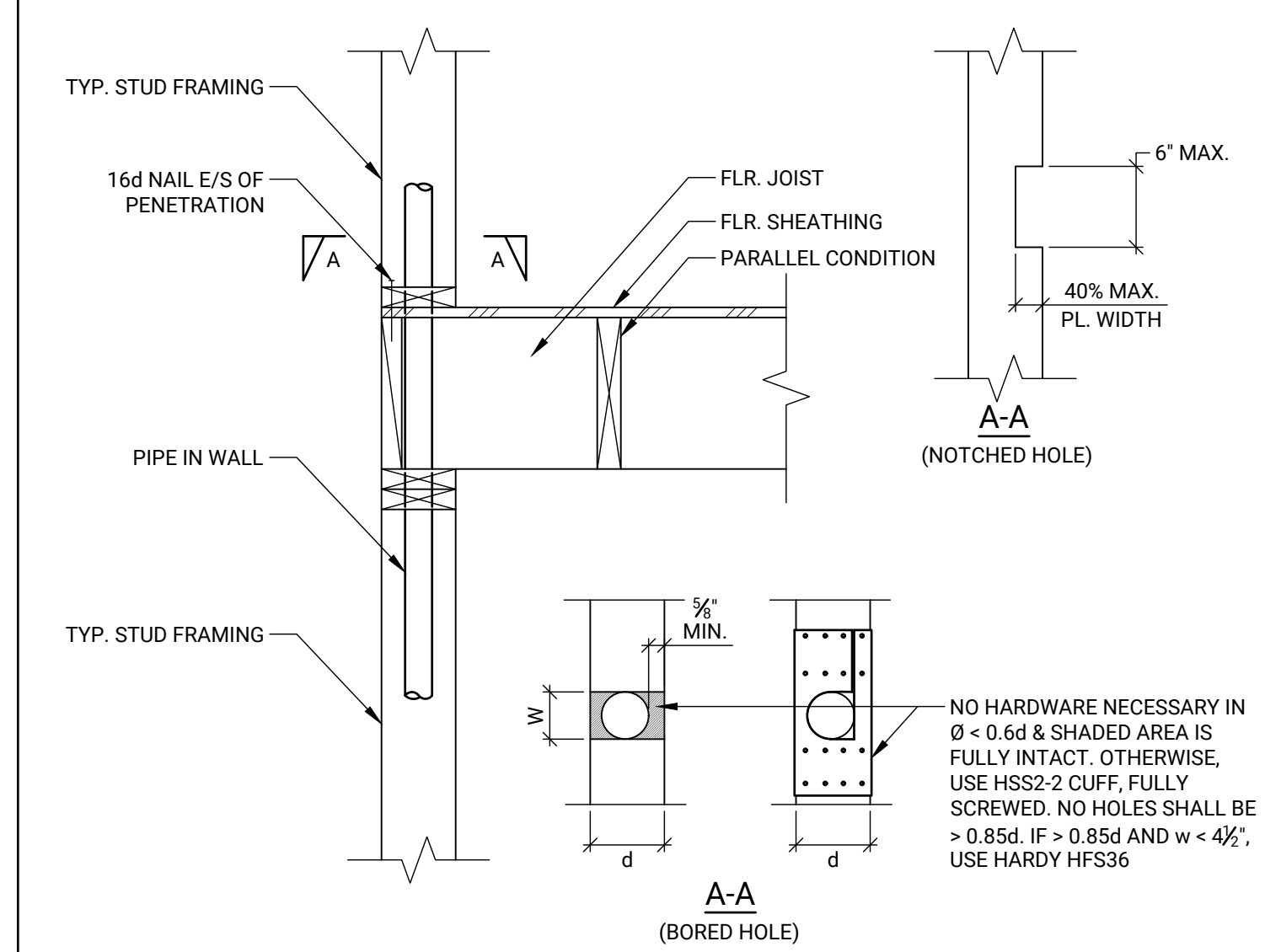


- NOTES:
- USE DBL. KING STUDS FOR WALLS WHERE 'H' EXCEEDS 10'-0". PROVIDE ONE ADDED KING STUD WHERE EXT. OPNG. WIDTH 'W' EXCEEDS 6'-0" & TWO ADDED KING STUDS FOR EXT. OPNG. WHERE 'W' EXCEEDS 9'-0".

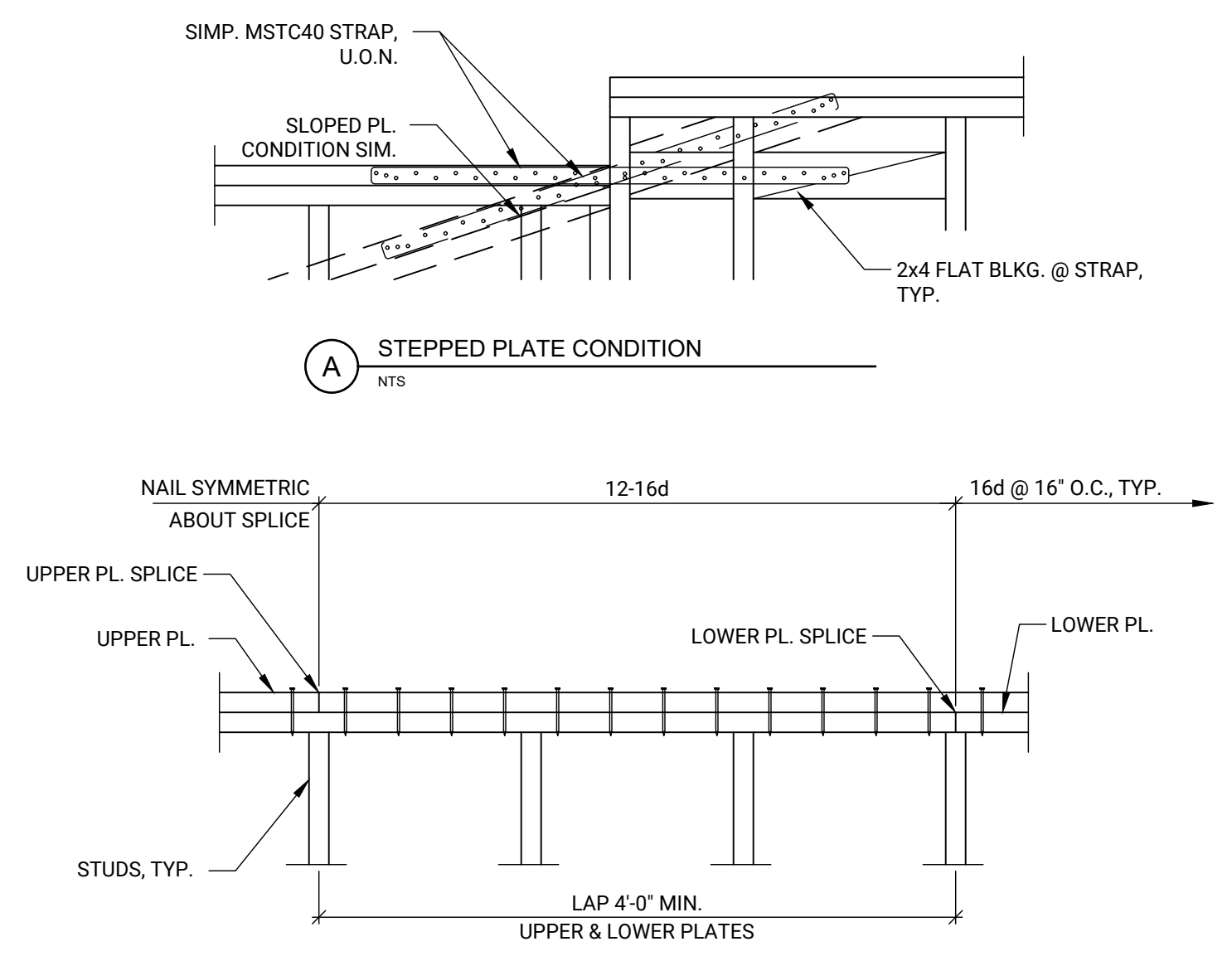
1 WALL FRAMING WITH OPENING NTS



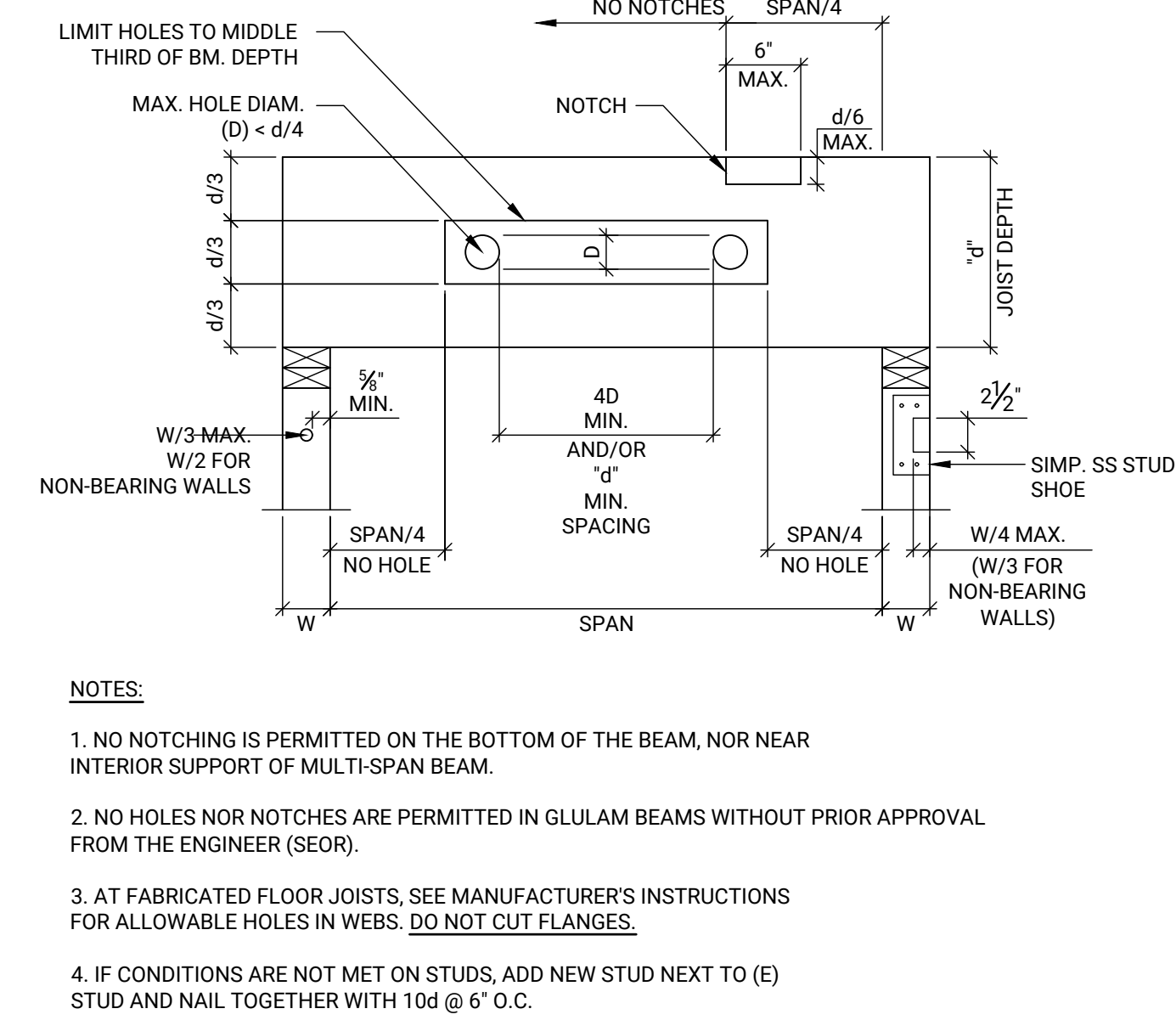
5 ADJUSTABLE SLEEPER JOIST NTS



9 LIMIT ON NOTCH AND BORING IN TOP PLATE NTS



10 TOP PLATE SPLICE NTS @ ALL EXTERIOR, BEARING, AND SHEAR WALLS



- NOTES:
- NO NOTCHING IS PERMITTED ON THE BOTTOM OF THE BEAM, NOR NEAR INTERIOR SUPPORT OF MULTI-SPAN BEAM.
 - NO HOLES NOR NOTCHES ARE PERMITTED IN GLULAM BEAMS WITHOUT PRIOR APPROVAL FROM THE ENGINEER (SEOR).
 - AT FABRICATED FLOOR JOISTS, SEE MANUFACTURER'S INSTRUCTIONS FOR ALLOWABLE HOLES IN WEBS. DO NOT CUT FLANGES.
 - IF CONDITIONS ARE NOT MET ON STUDS, ADD NEW STUD NEXT TO (E) STUD AND NAIL TOGETHER WITH 10d @ 6" O.C.

11 ALLOWABLE PENETRATIONS NTS FOR JOISTS AND STUDS

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET
SAUSALITO, CA 94965

429.5 JOHNSON STREET -
ADU CONVERSION

SUBMITTAL

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023

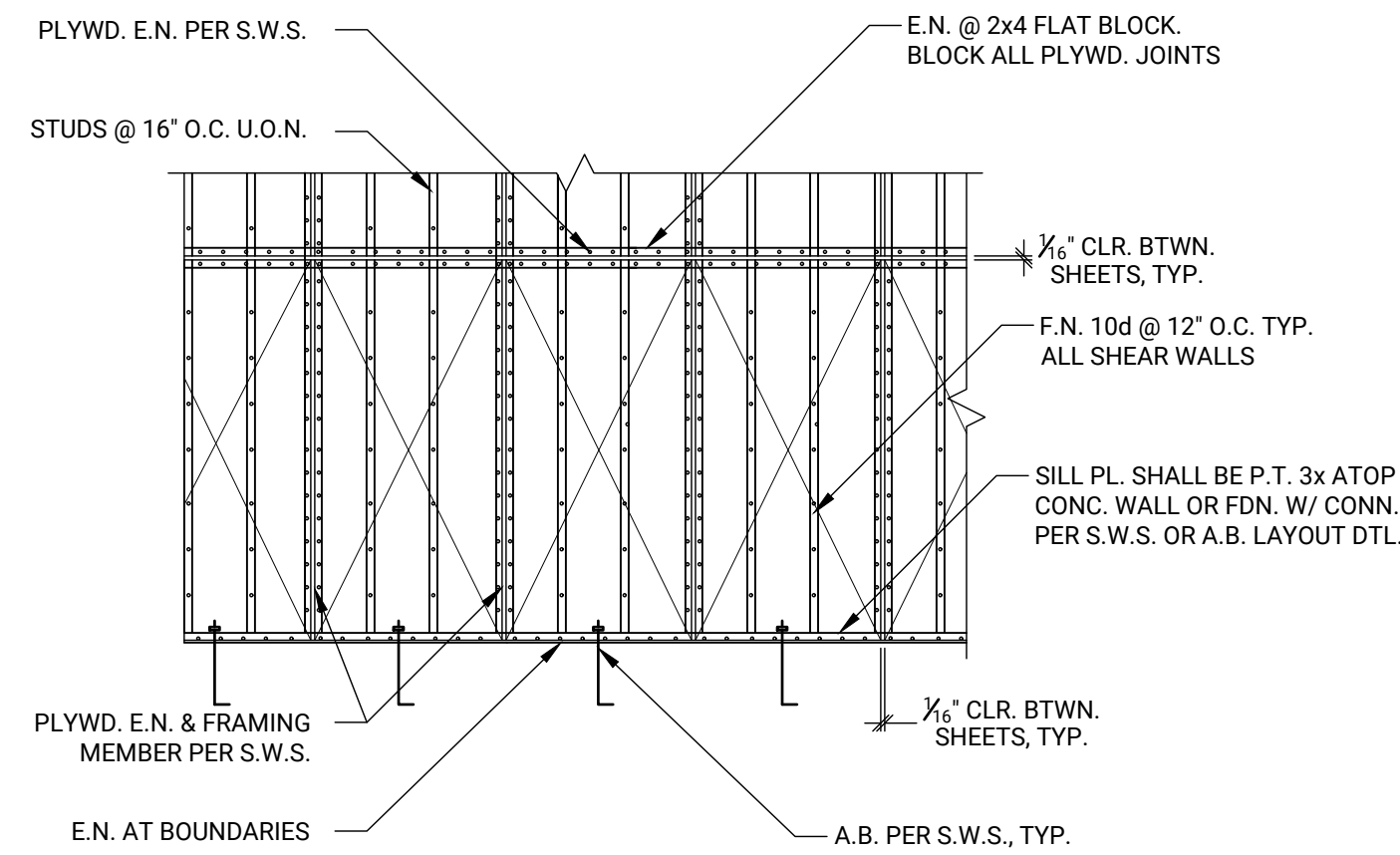
23-505
wmstructural JOB NUMBER

AA
DRAWN BY

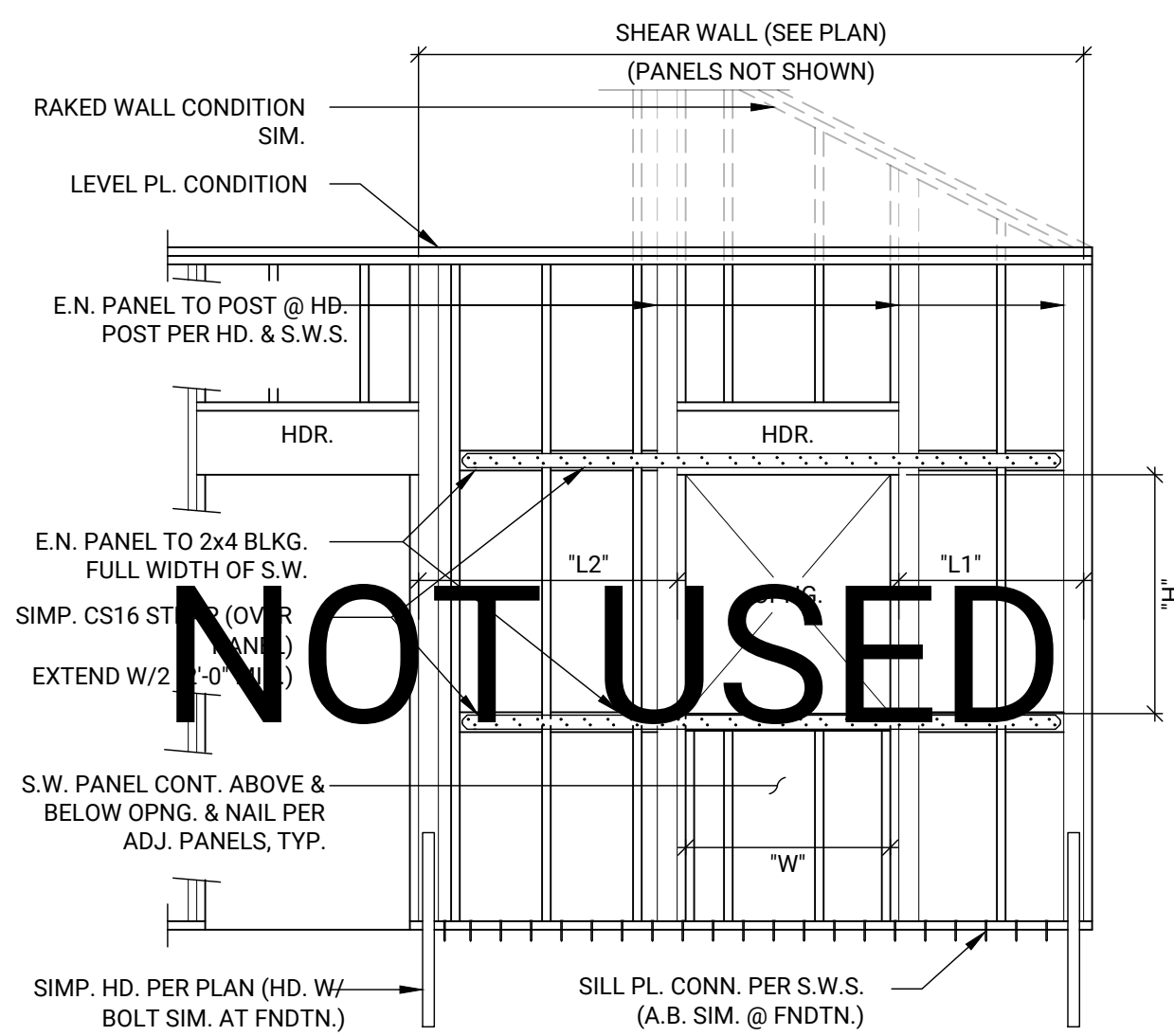
NTS
SCALE

TYPICAL SHEAR WALL DETAILS
SHEET TITLE

S1.1

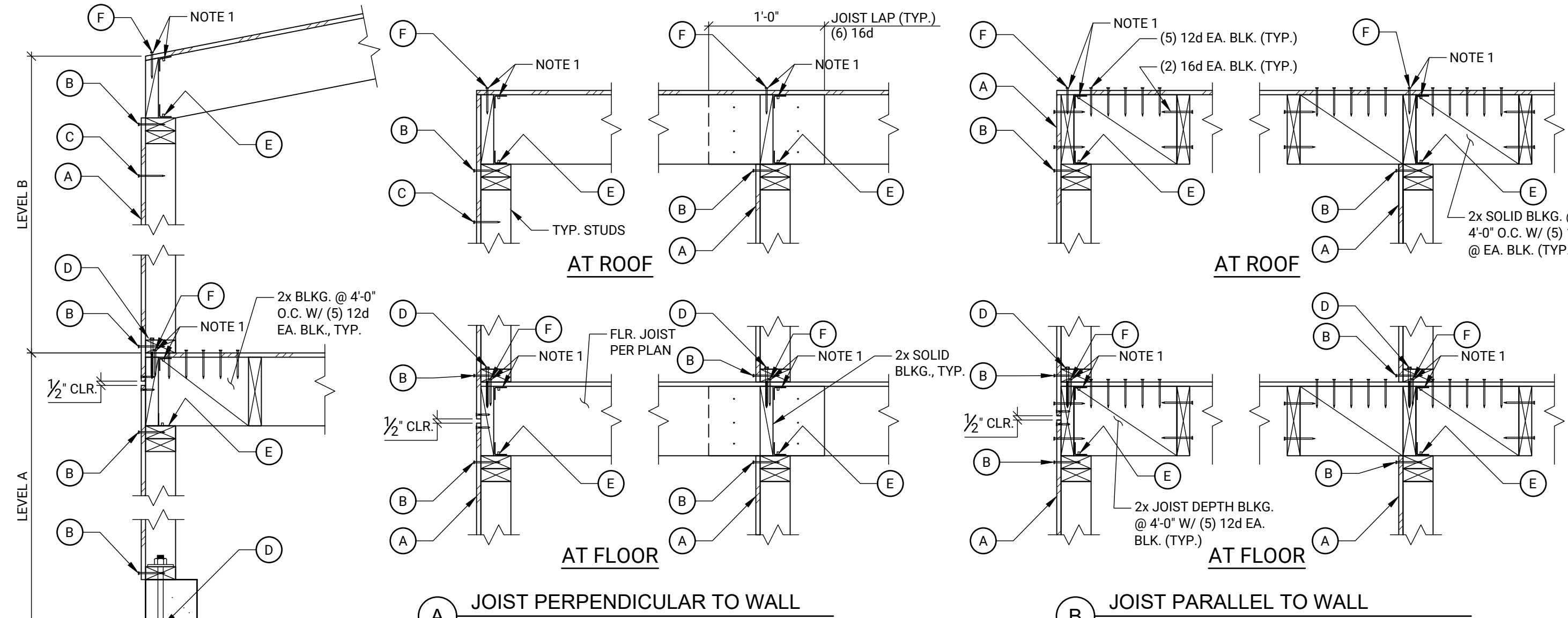


1 TYPICAL SHEARWALL PLYWOOD FRAMING
NTS



NOTES:
1. THE DOUBLE HEXAGONAL SHEAR WALL SYMBOL ON FRAMING PLANS INDICATES THAT THIS DETAIL SHOULD REFERENCED.

2 FORCE TRANSFER SHEAR WALL ELEVATION
NTS



NOTE:
1. WHERE E.N. CANNOT BE INSTALLED (I.E. AT EXISTING CONDITION) INSTALL A34 @ 16\"/>

3 TYPICAL WOOD FRAMING DETAILS
NTS

SHEAR WALL SCHEDULE (1/2" C-D WOOD STRUCTURAL PANEL)									
MARK	PLYWOOD (A)	EDGE NAILING (B)	FIELD NAILING (C)	FRAMING AT (2) PLYWOOD EDGES	SILL PLATE CONN. (D)		BLKG./RIM TO TOP OF WALL		
					TO CONC. (5)	TO WOOD (5)	A34	A35 (E)	LTP4 (E)
6	1/2" (310 plf)	10d @ 6" o.c.	10d @ 12" o.c.	2x NOMINAL	3/4" Ø A.B. @ 4'-0" o.c.	SDS SCREWS @ 16" o.c.	16" o.c.	24" o.c.	24" o.c.
4	1/2" (460 plf)	10d @ 4" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 3'-2" o.c.	SDS SCREWS @ 12" o.c.	10" o.c.	16" o.c.	16" o.c.
3	1/2" (600 plf)	10d @ 3" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 2'-9" o.c.	SDS SCREWS @ 9" o.c.	8" o.c.	12" o.c.	12" o.c.
2	1/2" (770 plf)	10d @ 2" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 2'-0" o.c.	SDS SCREWS @ 8" o.c.	6" o.c.	10" o.c.	10" o.c.
4/4	1/2" (920 plf)	10d @ 4" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 1'-9" o.c.	SDS SCREWS @ 8" o.c.	4" o.c.	8" o.c.	8" o.c.
3/3	3/2" (1200 plf)	10d @ 3" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 1'-3" o.c.	SDS SCREWS @ 6" o.c.	4" o.c.	6" o.c.	6" o.c.
2/2	3/2" (1540 plf)	10d @ 2" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 1'-0" o.c.	SDS SCREWS @ 4" o.c.	3" o.c.	4" o.c.	4" o.c.

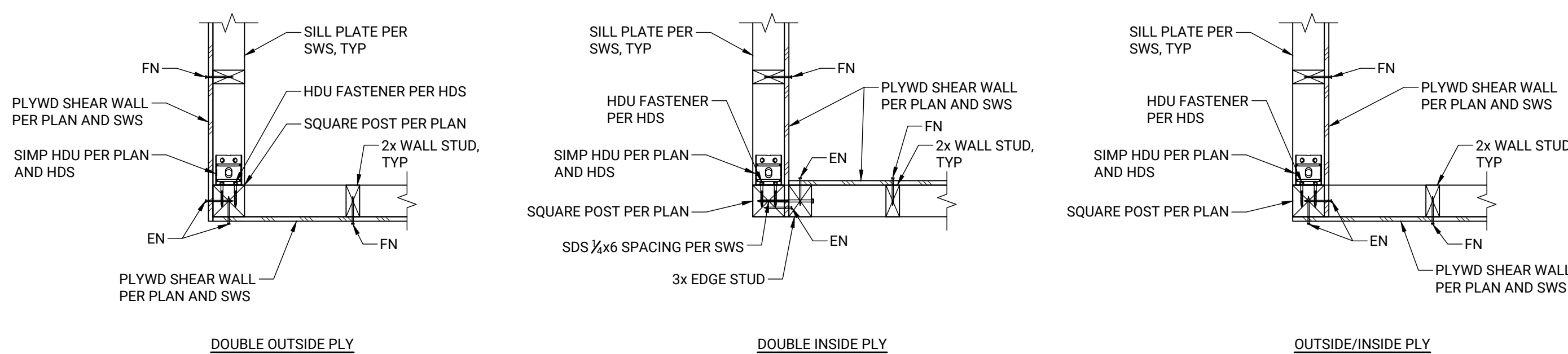
LEGEND:

- (A) STRUCTURAL PANEL SHEAR WALL, SEE PLAN FOR LOCATION AND TYPE.
- (B) STRUCTURAL PANEL EDGE NAILING AT PERIMETER OF EACH PLYWOOD SHEET.
- (C) STRUCTURAL PANEL FIELD NAILING IS TYPICAL ON ALL STUDS, EXCEPT FOR PLYWOOD EDGES.
- (D) SOLE (OR SILL AT FOUNDATION) PLATE ATTACHMENT.
- (E) SIMPSON FRAMING CLIP AT SHEAR WALLS, SEE SHEAR WALL SCHEDULE, WHERE CLIPS SPACING ARE LESS THAN 5' O.C., CLIPS ARE TO BE STAGGERED IN ALL BOTH SIDES OF THE WALL.
- (F) ROOF AND FLOOR STRUCTURAL PANELS TO BE NAILED WITH 10d NAILS @ 6" O.C. AT PANEL EDGES.

SHEAR WALL NOTES:

1. ALL EXTERIOR WALL TO BE 1/2" 24/0 CDX STRUCTURAL PANEL SHEAR WALL TYPE (6), U.O.N.
2. PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES FOR SHEAR WALLS TYPE (2) THRU (3). 2x SOLE PLATE IS OK AT UPPER FLOOR FOR ALL TYPES (4) THRU (6). PANEL APPLIED TO BOTH SIDES OF THE WALL SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
3. PROVIDE 1/8" HORIZONTAL GAP BETWEEN ADJOINING PANEL EDGES.
4. SIMP. SDS SHALL BE 4 1/2" LONG AT 2x PLATES AND 6" LONG AT 3x PLATES. SCREWS SHALL HAVE 1/2" MIN. EDGE DISTANCE. MULTIPLE ROWS SHALL BE SPACED 1" APART, AND ROWS SHALL BE STAGGERED. BLOCKING/RIM BELOW TYPES (2) THRU (6) SHALL BE 2x OR 1 1/2" LSL MIN.
5. SHEAR WALLS FALLING OVER EXISTING FOUNDATION SHALL USE ALL THREAD RODS MATCHING THE SPECIFIED A.B. U.O.N. SEE EPOXY BOLT SECTION OF THE GENERAL NOTES.
6. STAGGER DBL. TOP PLATE NAILING TO ENGAGE EACH PLATE, TYPICAL.
7. ALL NAILS SPECIFIED SHALL BE COMMON NAILS. NAIL GUNS USING 'CLIPPED HEAD' OR 'SINKER NAILS' ARE NOT ACCEPTABLE.
8. FOUNDATION ANCHOR BOLTS IN ALL x4 SHEAR WALLS SHALL HAVE 3"x3"x0.229 BEARING PLATES UNDER EACH NUT. IN x6 SHEAR WALLS, 5"x4"x0.229" PLATES SHALL BE USED. IN ALL CASES, ANCHOR BOLTS SHALL BE CENTERED IN THE SILL PLATE AND BEARING PLATES SHALL NOT BE MORE THAN 1/2" AWAY FROM PLYWOOD SHEARWALL SHEATHING. NUTS SHALL BE TIGHTENED JUST PRIOR TO CLOSING WALL FRAMING.
9. A.B. HOLES DRILLED IN SOLE PLATE SHALL BE NO LARGER THAN 1/8" DIAMETER OF THE BOLT.
10. SILL PLATES IN CONTACT WITH CONCRETE SHALL BE 3x PRESSURE TREATED DOUGLAS FIR #2. USE GALVANIZED A.B. AND NAILS INTO ALL P.T. WOOD AT WALL TYPE (4). A 2x PLATE MAY BE USED PROVIDED THE PLATE IS ANCHORED BY 2 TIMES THE NUMBER OF BOLTS LISTED IN THE TABLE ABOVE.
11. MINIMUM ANCHOR BOLT EMBEDMENT INTO CONCRETE SHALL BE 7". EPOXIED ALL-THREAD RODS SHALL BE EMBEDDED A MINIMUM OF 7" U.O.N.
12. ALL WOOD SHEATHING PANEL EDGES SHALL BE BLOCKED WITH MINIMUM 2x BLOCKING, U.O.N.
13. PROVIDE 3/8" MIN EDGE DISTANCES FOR ALL SHEATHING AND FRAMING MEMBER EDGE NAILING.
14. STUCCO AND/OR EXTERIOR VENEER OVER A WOOD SHEATHING SHEARWALL SHALL BE WATERPROOFED WITH A MINIMUM OF 2 LAYERS OF FELT PAPER.
15. THE SHEAR WALL LENGTH NOTED ON THE FLOOR PLANS INDICATES THE MINIMUM REQUIRED LENGTH REQUIRED BY ENGINEERING DESIGN. THE ACTUAL WALL LENGTH MAY EXCEED THIS LENGTH. PLEASE NOTIFY ENGINEER IF WALL LENGTH IS SHORTER THAN NOTED.
16. NAILS ARE TO BE DRIVEN FLUSH TO THE SHEATHING. ADD 1 NEW NAIL FOR EVERY 2 OVERDRIVEN NAILS IF MORE THAN 20% OF NAILS ARE 1/16" OVERDRIVEN OR IF ANY NAILS ARE 1/8" OVERDRIVEN. IF SPLITTING CONDITION OCCURS, USE STAPLES. IF ADDING NAILS WILL DECREASE SPACING TO 3" O.C. OR LESS, ADD ANOTHER STUD TO RECEIVE END NAILING FOR EACH PLYWOOD EDGE AND CONNECT STUDS WITH 10d @ 6" O.C..
17. WALL TYPES (2) AND (3) REQUIRE PERIODIC SPECIAL INSPECTION OF SHEATHING AND FASTENER INSTALLATION.

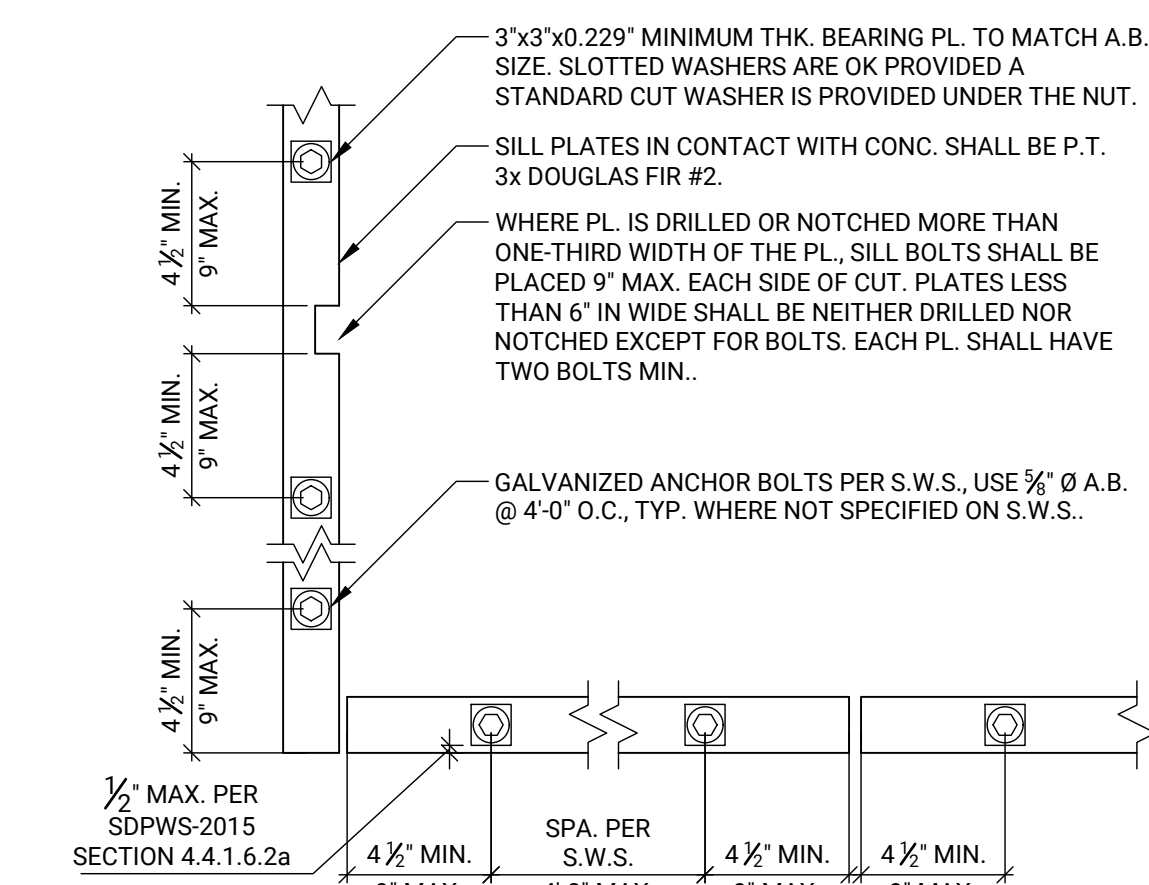
9 SHEAR WALL (SW) SCHEDULE (SWS)
NTS



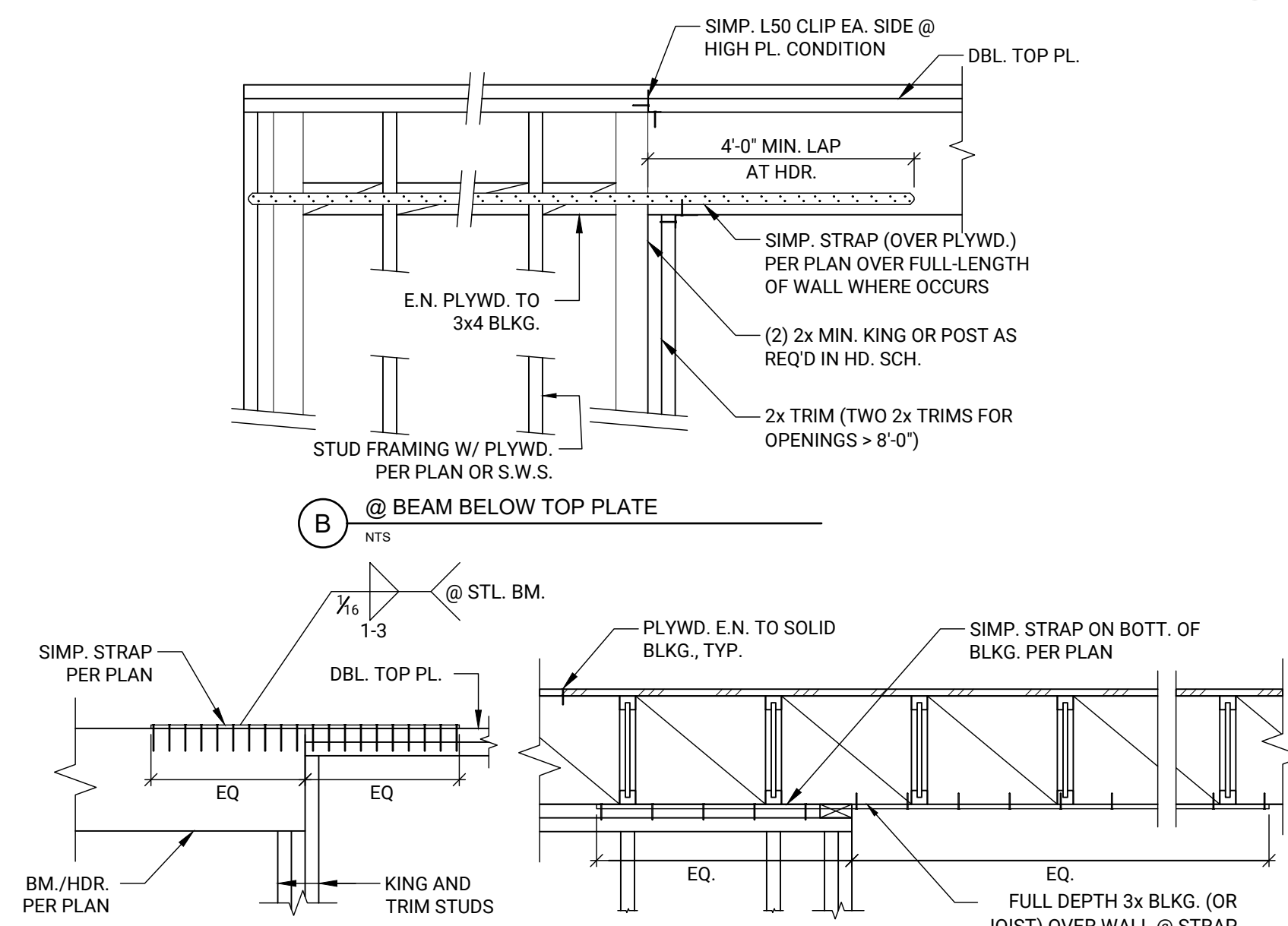
NOTES:

1. AT DOUBLE SHEAR WALL CORNERS, BUILT-UP POSTS ARE PROHIBITED.
2. SEE SWS ON 9/- FOR SW DETAILS.
3. SEE HDS ON 3/- FOR HD DETAILS.
4. ALL DETAILS SHOWN ABOVE MAY BE MIRRORED ABOUT THE CORNER IF REQUIRED PER PLAN.
5. IF HOLDDOWN IS PLACED ON TOP OF FLY, INCREASE SCREW LENGTH BY THICKNESS OF PLYWOOD.

6 TYPICAL DOUBLE SHEAR WALL CORNER DETAIL
NTS

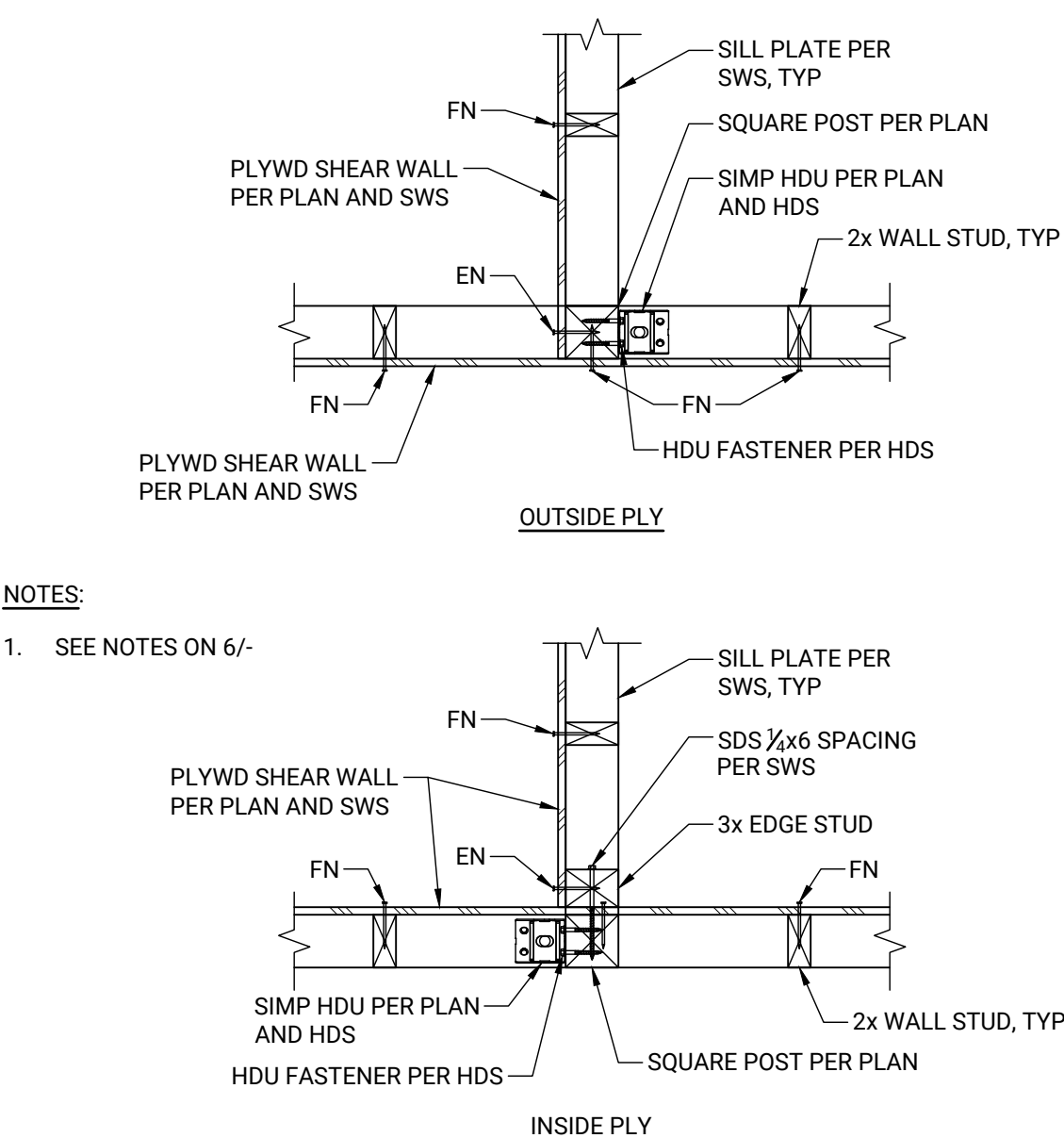


10 TYPICAL ANCHOR BOLT LAYOUT
NTS



(A) AT FLUSH BEAM, TOP FLUSH W/ TOP PLATE
(B) @ BEAM BELOW TOP PLATE
(C) AT END OF WALL TO BLOCKING (OR JOIST)

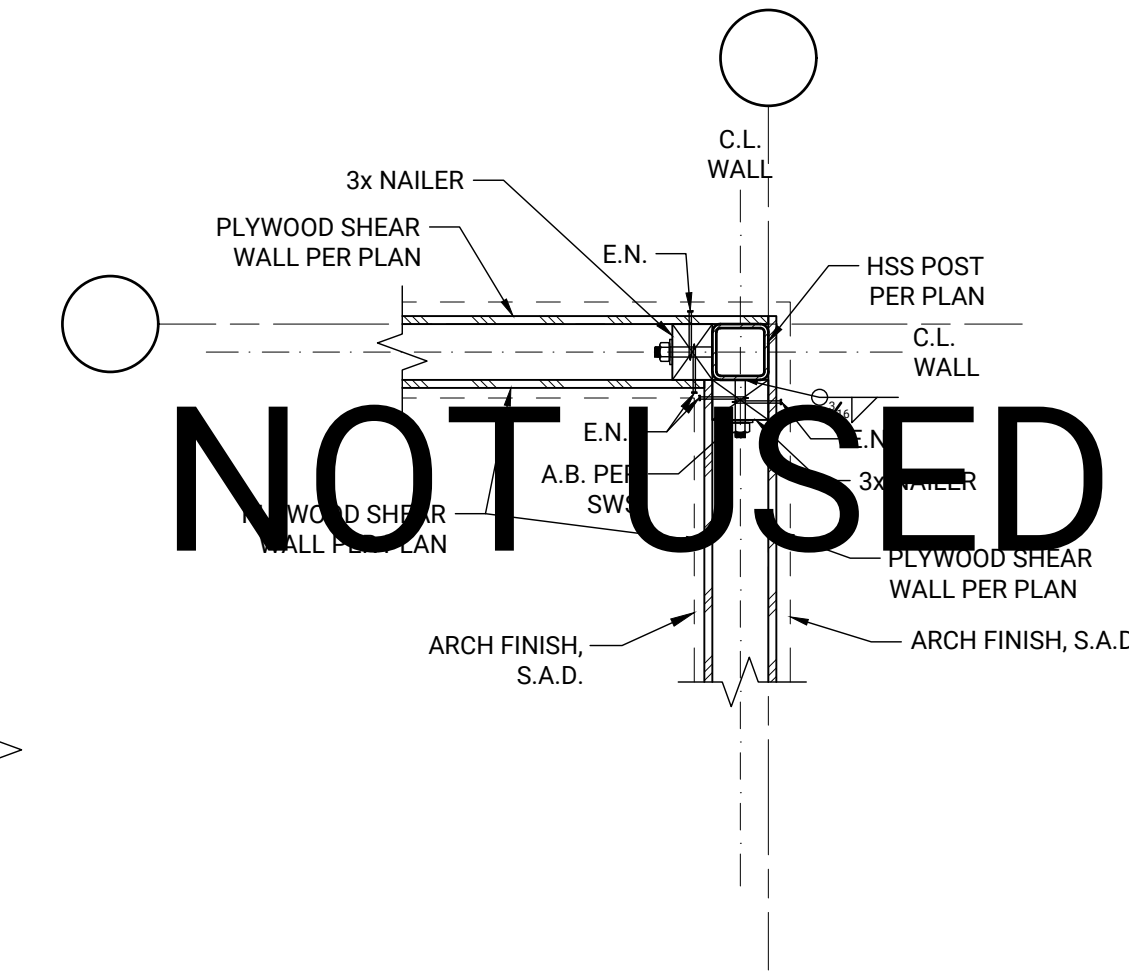
11 TOP PLATE STRAP TIE TO BEAM
NTS



NOTES:

1. SEE NOTES ON 6/-

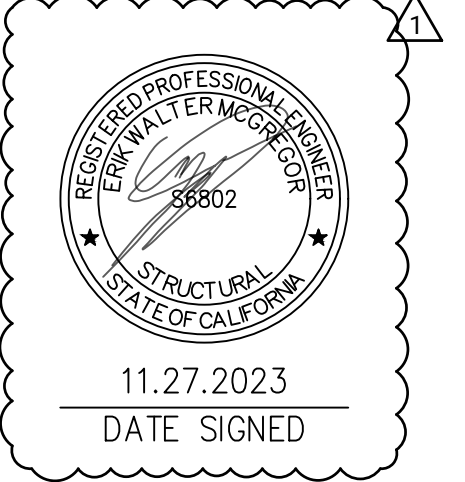
8 TYPICAL DOUBLE SHEAR WALL "T" DETAIL
NTS



12 NAILER TO STEEL POST
NTS

NOT USED

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET
SAUSALITO, CA 94965

429.5 JOHNSON STREET -
ADU CONVERSION

SUBMITTAL

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023

23-505

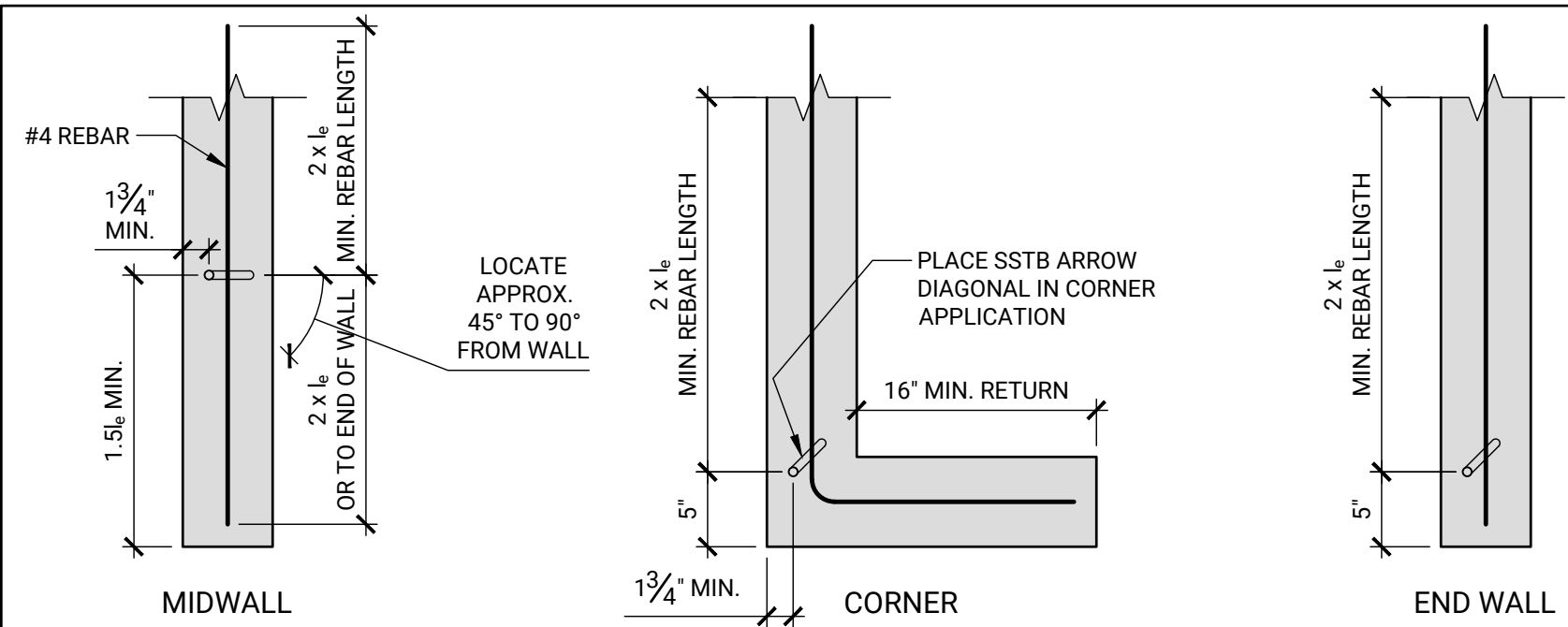
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AA
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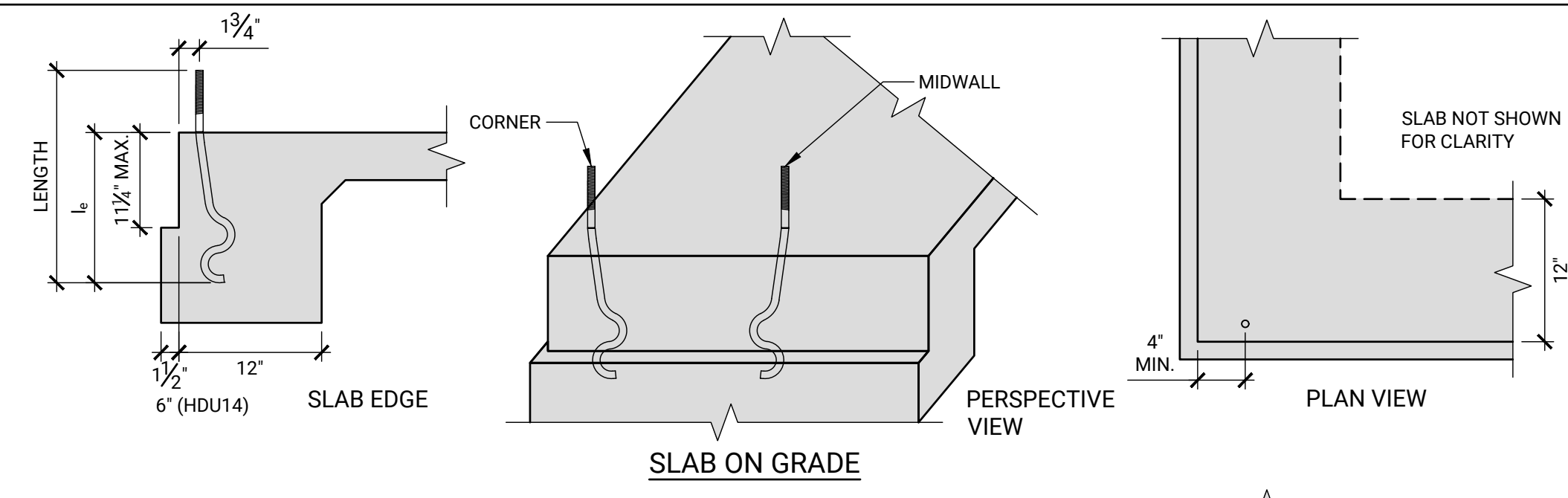
NTS
SCALE

TYPICAL HOLDOWN & DIAPHRAGM
DETAILS
SHEET TITLE

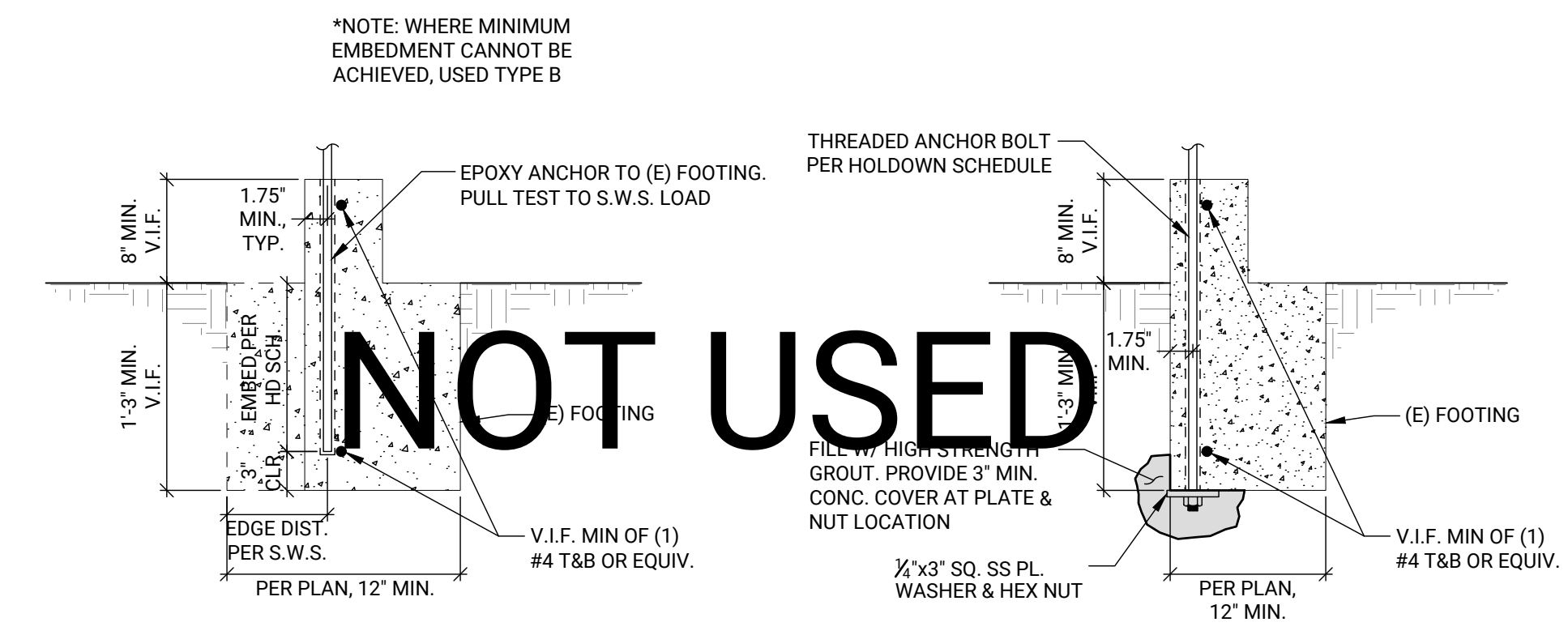
S1.2



1 HOLDOWN ANCHOR AT STEMWALL
NTS



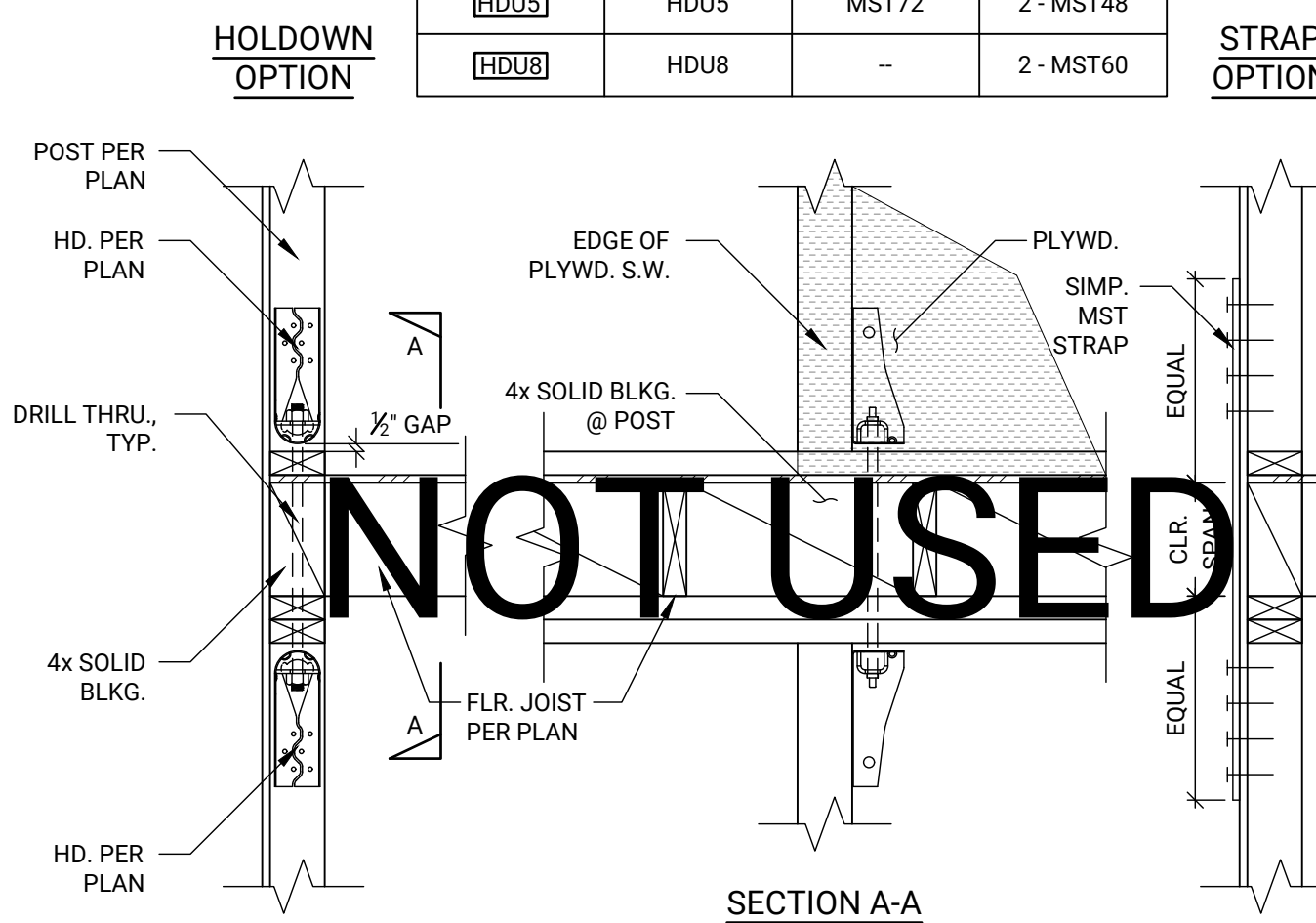
2 HOLDOWN ANCHOR AT SLAB ON GRADE
NTS



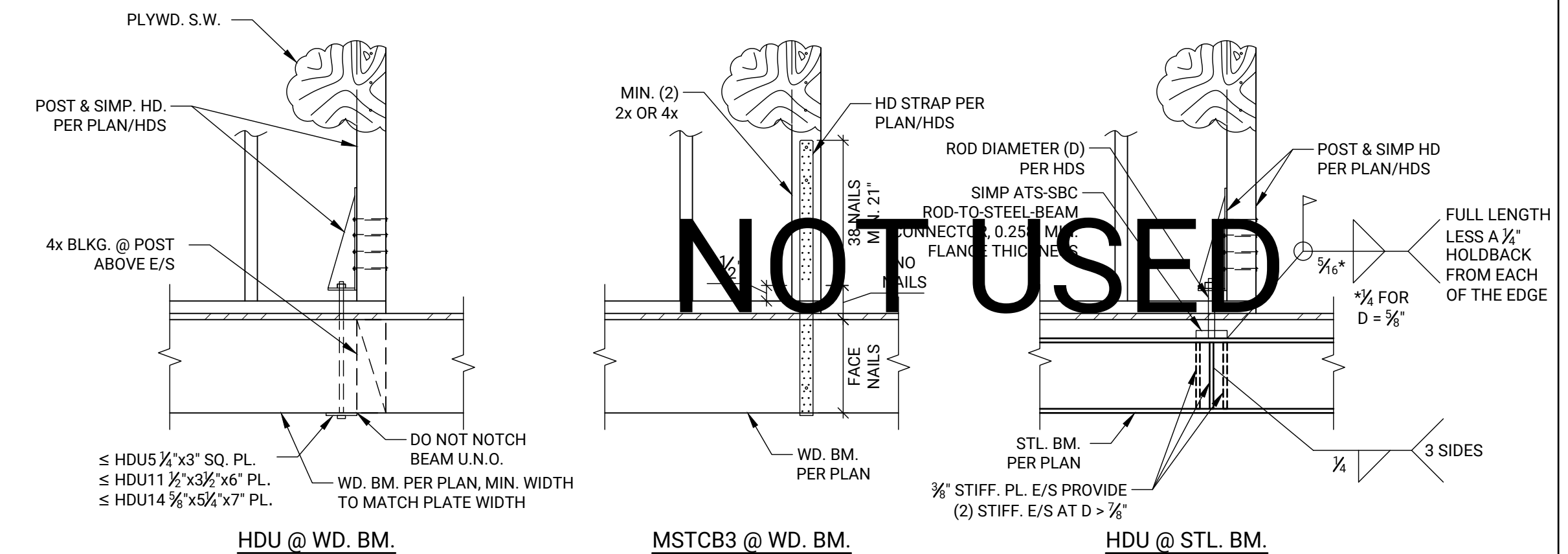
3 HOLDOWN ANCHOR AT EXISTING FOUNDATION
NTS

FLOOR HOLDOWN OPTION			
TYPE	HOLDOWN	EQUIVALENT SIMP. STRAP	
HDU2	HDU2	MST48	-
HDU4	HDU4	MST60	2 - MST37
HDU5	HDU5	MST72	2 - MST48
HDU8	HDU8	-	2 - MST60

NOTES:
1. @ INTERIOR WALL, NOTCH FLR. PLYWD./SHEATHING AS REQ'D



6 TYPICAL HOLDOWN BETWEEN FLOORS
NTS

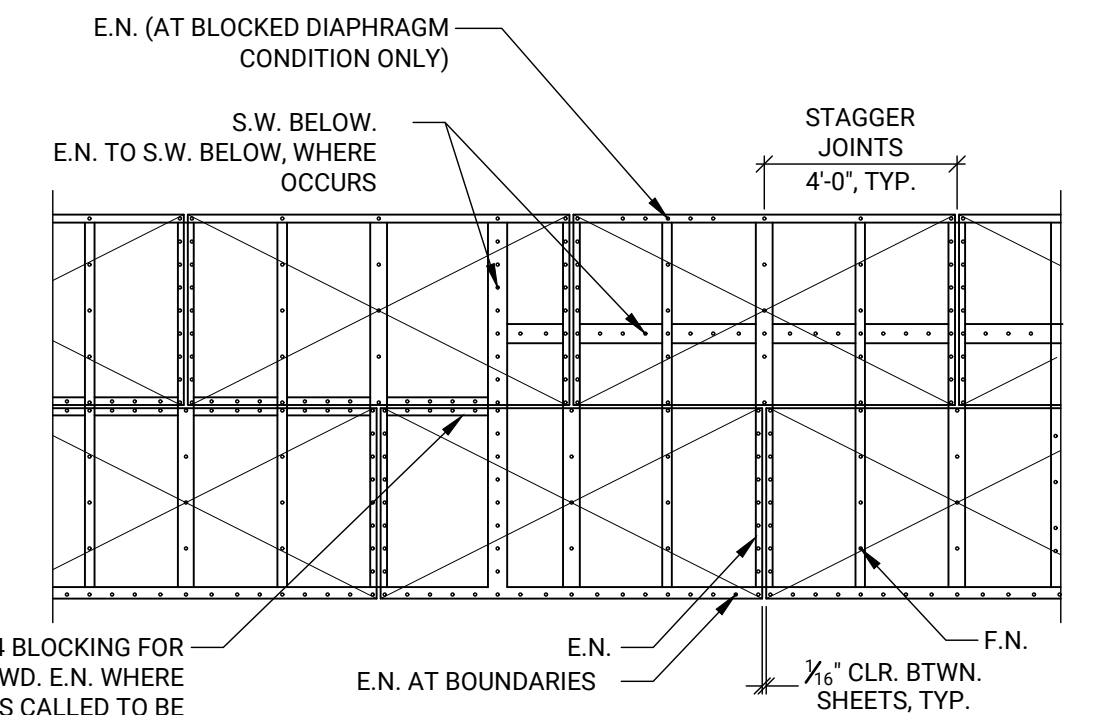


7 HOLDOWN AT BEAM
NTS

HOLDOWN SCHEDULE										POST SCHEDULE		
TYPE	HOLDOWN HARDWARE	ANCHOR DIAMETER	UPLIFT CAPACITY (LBS)	TEST LOAD (LBS)	STEMWALL			SLAB ON GRADE		(E) CONC. W/ 2" EDGE DIST.	(E) CONC. W/ 6" EDGE DIST.	MINIMUM REQUIRED U.O.N.
					STEMWALL WIDTH (IN)	MIDWALL / CORNER	END WALL	MIDWALL / CORNER	GARAGE CURB			
DTT1Z	DTT1Z	3/8"	910	2275	6	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	(1) 2x4 (1) 2x6
HDU2	HDU2	3/8"	3075	7690	6	SSTB24	SSTB24	SSTB16	SSTB20	TYPE A EMBED 8" MIN.	TYPE A EMBED 5" MIN.	4x4 OR (2) 2x4 4x6 OR (2) 2x6
HDU4	HDU4	3/8"	4565	9940	6	SB5/8X24	SB5/8X24	SSTB20	SB5/8X24	TYPE A EMBED 16" MIN.	TYPE A EMBED 13" MIN.	4x4 OR (2) 2x4 4x6 OR (2) 2x6
HDU5	HDU5	3/8"	5645	9940	6	SB5/8X24	SB5/8X24	SSTB24	SB5/8X24	TYPE B	TYPE A EMBED 21" MIN.	4x4 OR (2) 2x4 4x6 OR (2) 2x6
HDU8	HDU8	7/8"	6765 (2) 2x 6970 (4x) 7870 (3) 2x	16915 17425 19485	8	SB7/8X24	PAB7 d _e = 9" F = 13 1/2"	SSTB28	SSTB28	TYPE B	TYPE B	4x4 OR (2) 2x4 4x6 OR (2) 2x6
HDU11	HDU11	1"	9535 (6x) 11175 (8x)	23840 25445	-	PAB8 d _e = 11" F = 16 1/2"	PAB8 d _e = 11" F = 16 1/2"	SB1X30	SB1X30	N/A	N/A	4x6 OR (4) 2x4 6x6 OR (4) 2x6
HDU14	HDU14	1"	14390 (4x8) 14445 (6x6)	25445	-	PAB8 d _e = 11" F = 16 1/2"	PAB8 d _e = 11" F = 16 1/2"	SB1X30 F = 9"	SB1X30 F = 9"	N/A	N/A	4x8 OR (5) 2x4 6x6 OR (4) 2x6
HD19	HD19	1 1/8"	16735 (4x8) 16775 (6x6)	32205	-	PAB8 d _e = 11" F = 16 1/2"	PAB8 d _e = 11" F = 16 1/2"	PAB9 d _e = 12 1/2" F = 19"	PAB9 d _e = 12 1/2" F = 19"	N/A	N/A	4x8 OR (5) 2x4 6x6 OR (4) 2x6
		1 1/2"	19360 (4x8) 19070 (6x6)	39760	-	PAB8 d _e = 11" F = 16 1/2"	PAB8 d _e = 11" F = 16 1/2"	PAB10 d _e = 14 1/2" F = 22"	PAB10 d _e = 14 1/2" F = 22"	N/A	N/A	4x8 OR (5) 2x4 6x6 OR (4) 2x6

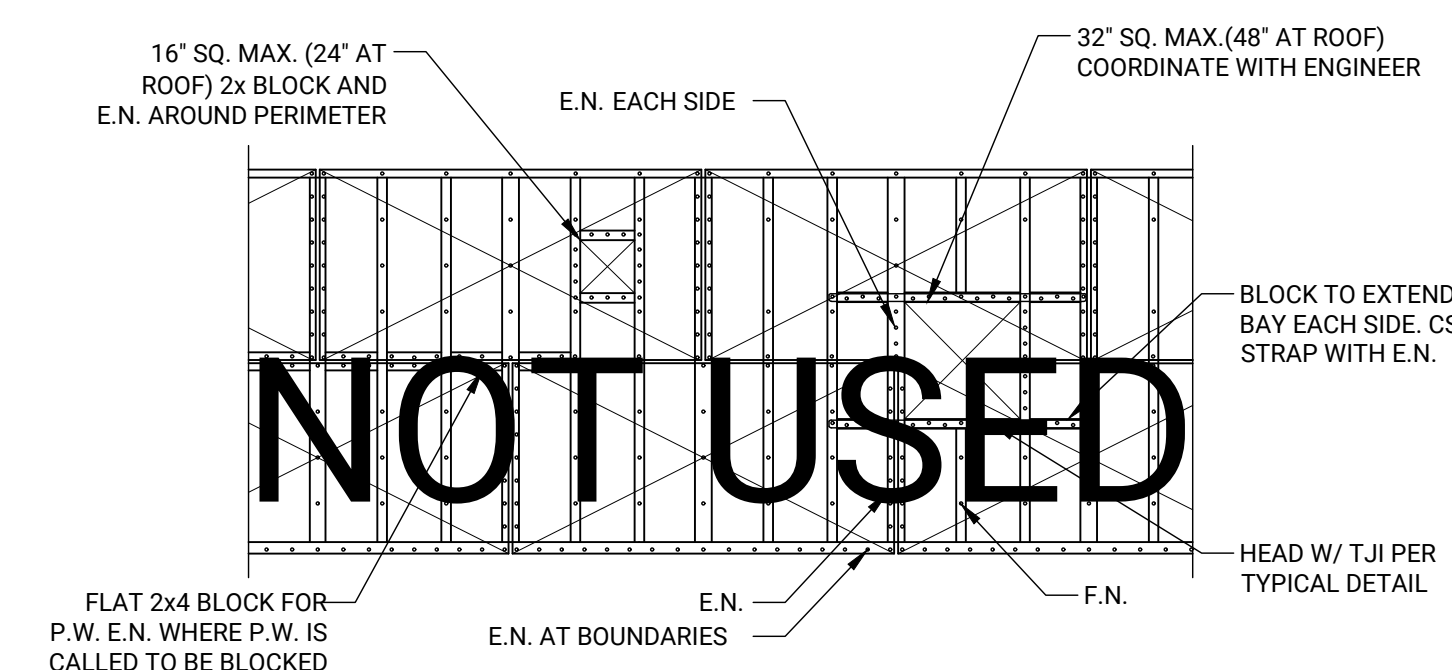
- HOLDOWN NOTES:**
- INSTALL ALL HOLDOWN HARDWARE PER MANUFACTURER'S INSTRUCTIONS.
 - ONLY FULL-HEIGHT (TOP TO BOTTOM PLATE) POSTS SHALL BE USED FOR HOLDOWN CONNECTIONS.
 - PROVIDE SHEAR WALL END NAILING (AS NOTED IN THE S.W.S.) TO ALL POSTS WITH HOLDOWNS AT THE TOP OR BOTTOM OF POST.
 - HOLDOWNS SHALL BE INSTALLED DIRECTLY ON TOP OF SILL PLATES U.O.N.
 - USE SIMPSON SDS SCREWS ON ALL HOLDOWN CONNECTIONS.
 - POSTS SHOWN ARE MINIMUM REQUIREMENTS FOR HOLDOWNS. SHEAR WALL TYPE MAY REQUIRE LARGER FRAMING MEMBERS AT PANEL EDGES. SEE PLAN.
 - WHERE HOLDOWNS ARE CALLED OUT ON UPPER FLOORS, THEY SHALL BE CARRIED DOWN TO FOUNDATION WITH MATCHING HOLDOWN (OR ONE WITH GREATER CAPACITY) UNLESS A DIFFERENT HOLDOWN IS SPECIFIED ON PLAN.
 - HOLDOWN ANCHORS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING. BOLT NUT SHOULD BE FINGER-TIGHT PLUS 1/3 TO 1/2 TURN WITH A HAND WRENCH. DO NOT OVER-TORQUE THE NUT.

9 HOLDOWN (HD) SCHEDULE (HDS)
NTS



- NOTES:**
- GLUE & NAIL FLR. PLYWD. & NAIL COMPLETELY, IMMEDIATELY AFTER GLUING.
 - ORIENT PLYWD. W/ FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS.
 - FLR. PLYWD. TO BE BLOCKED DIAPHRAGMS (BLKG. @ ALL PANEL EDGES), WHERE SHOWN ON PLANS.
 - SEE PLANS FOR PLYWD. NAILING.

10 DIAPHRAGM PLYWOOD
NTS (ROOF OR FLOOR)



11 DIAPHRAGM OPENINGS
NTS

SEOR STAMP



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429.5 JOHNSON STREET -
ADU CONVERSION

SUBMITTAL

PERMIT 08.31.2023

PLAN CHECK 1
RESPONSE 11.27.2023

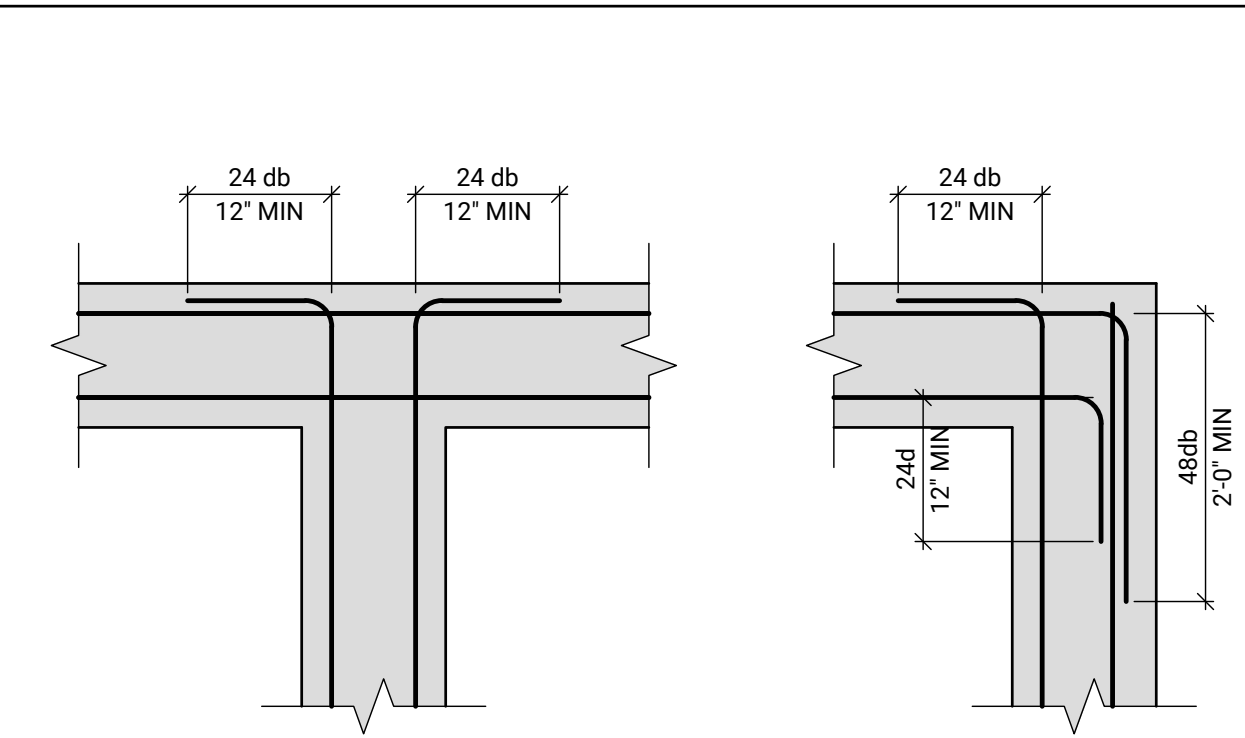
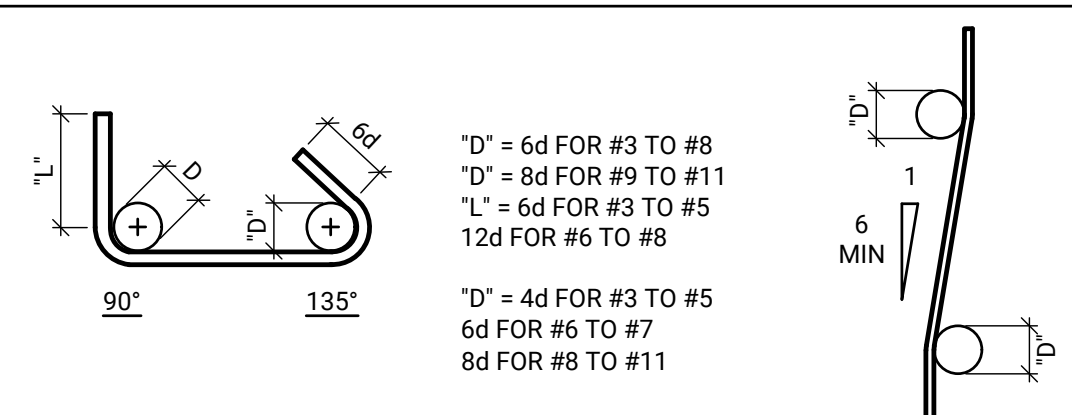
23-505
wmstructural JOB NUMBER

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DRAWN BY

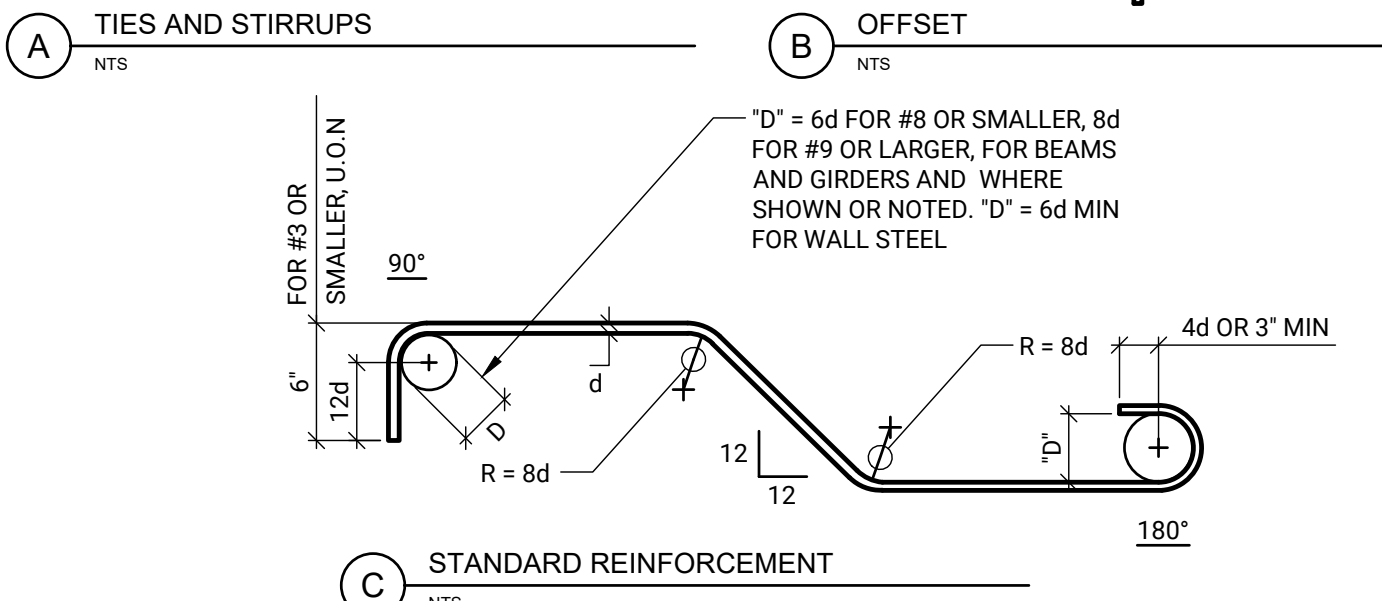
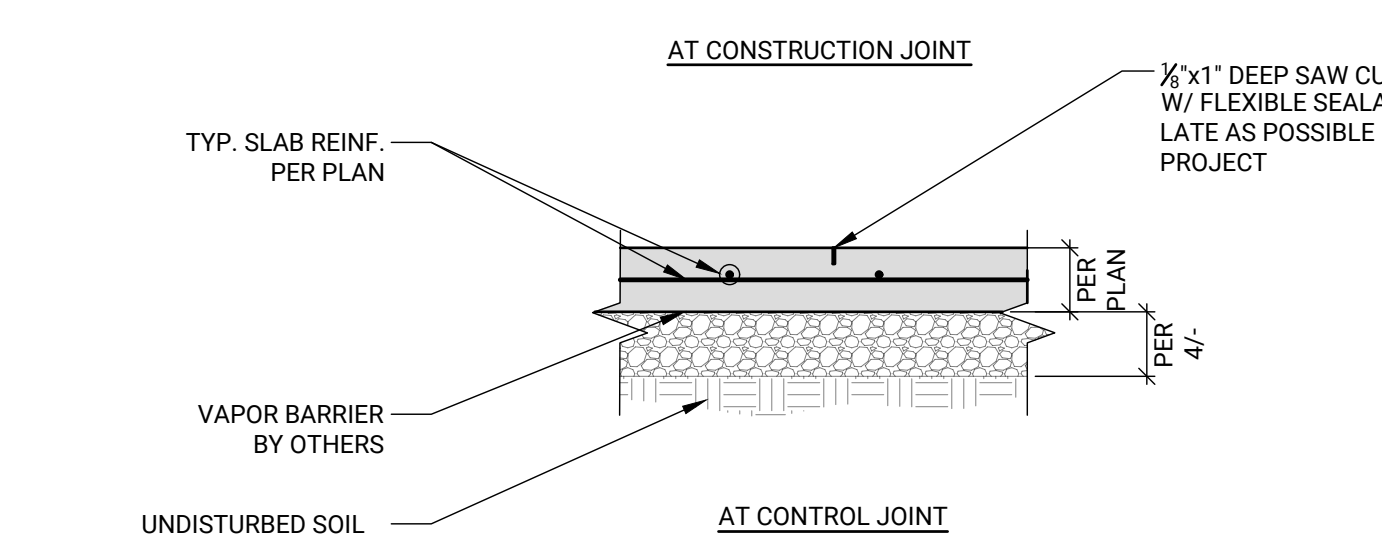
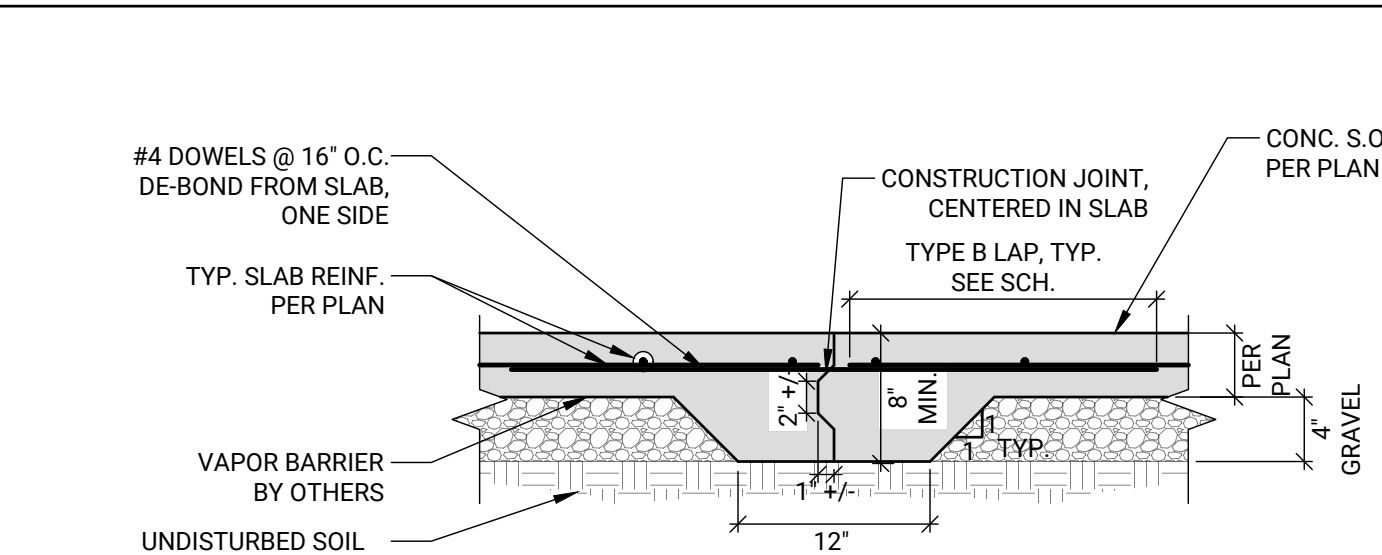
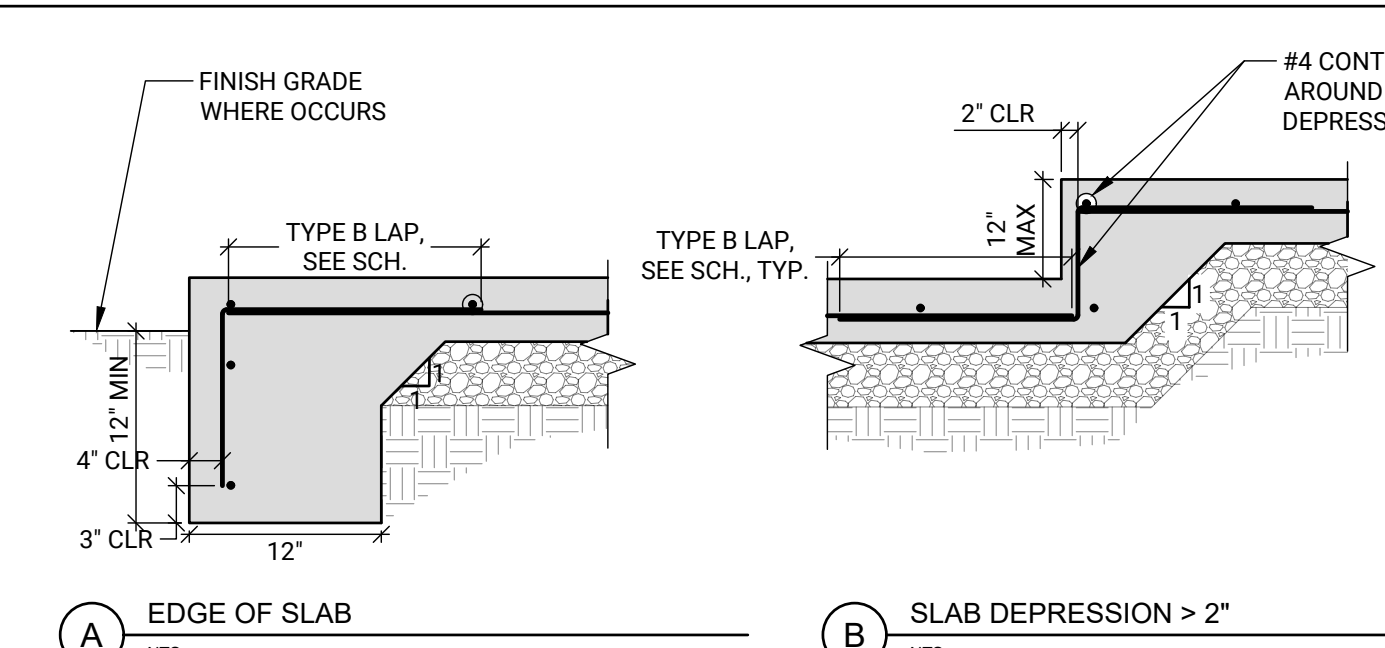
NTS
SCALE

TYPICAL CONCRETE DETAILS
SHEET TITLE

S1.3



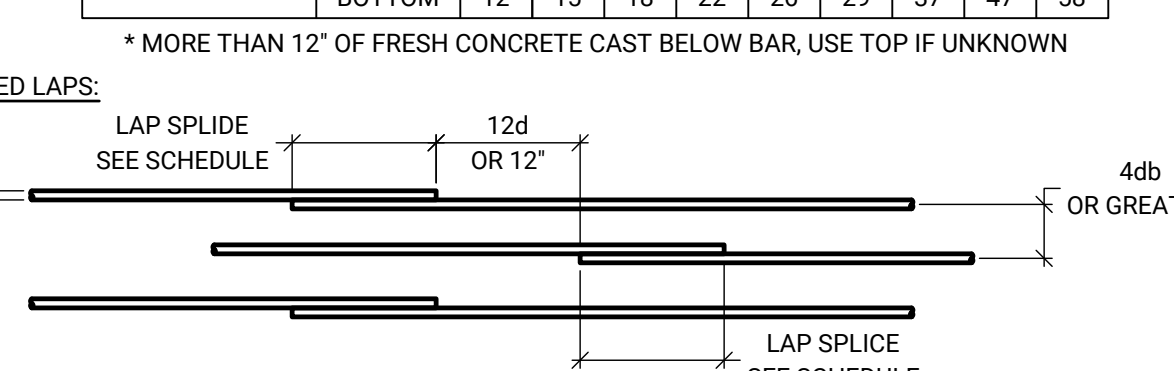
- NOTES:
1. db - BAR DIAMETER
 2. PLACE ALL BENDS HORIZONTALLY.
 3. FOR SINGLE CURTAIN STEEL PROVIDE SIMILAR BENDS AT 3' CLEAR FROM FAR FACE OF FOOTING, U.O.N.



- NOTES:
1. ALL BENDS SHALL BE MADE COLD.
 2. #14 AND #18 BARS SHALL BE BEND TESTED AND LAB APPROVED PRIOR TO BENDING.
 3. DO NOT BEND BARS ALREADY CAST IN CONCRETE.

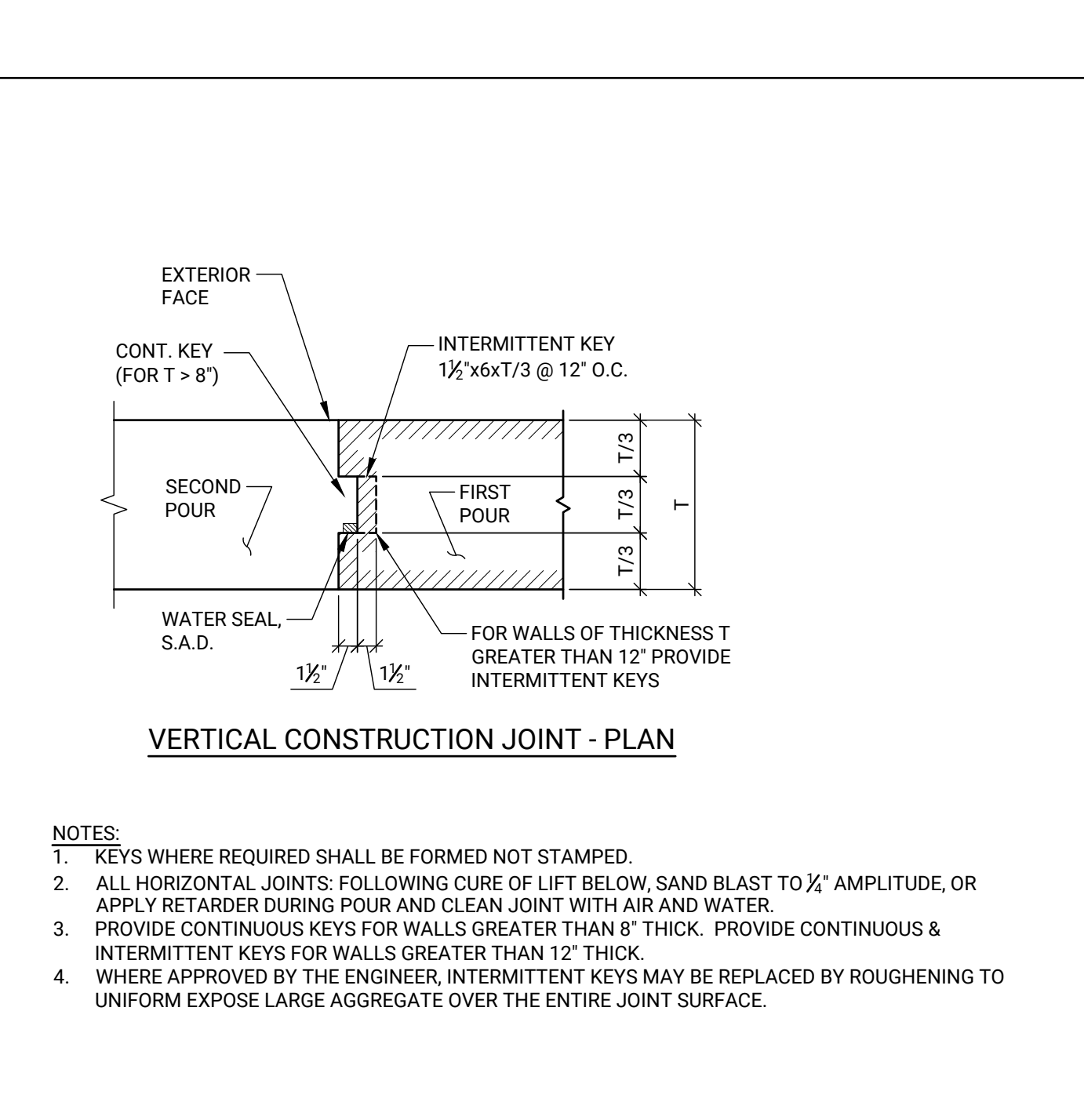
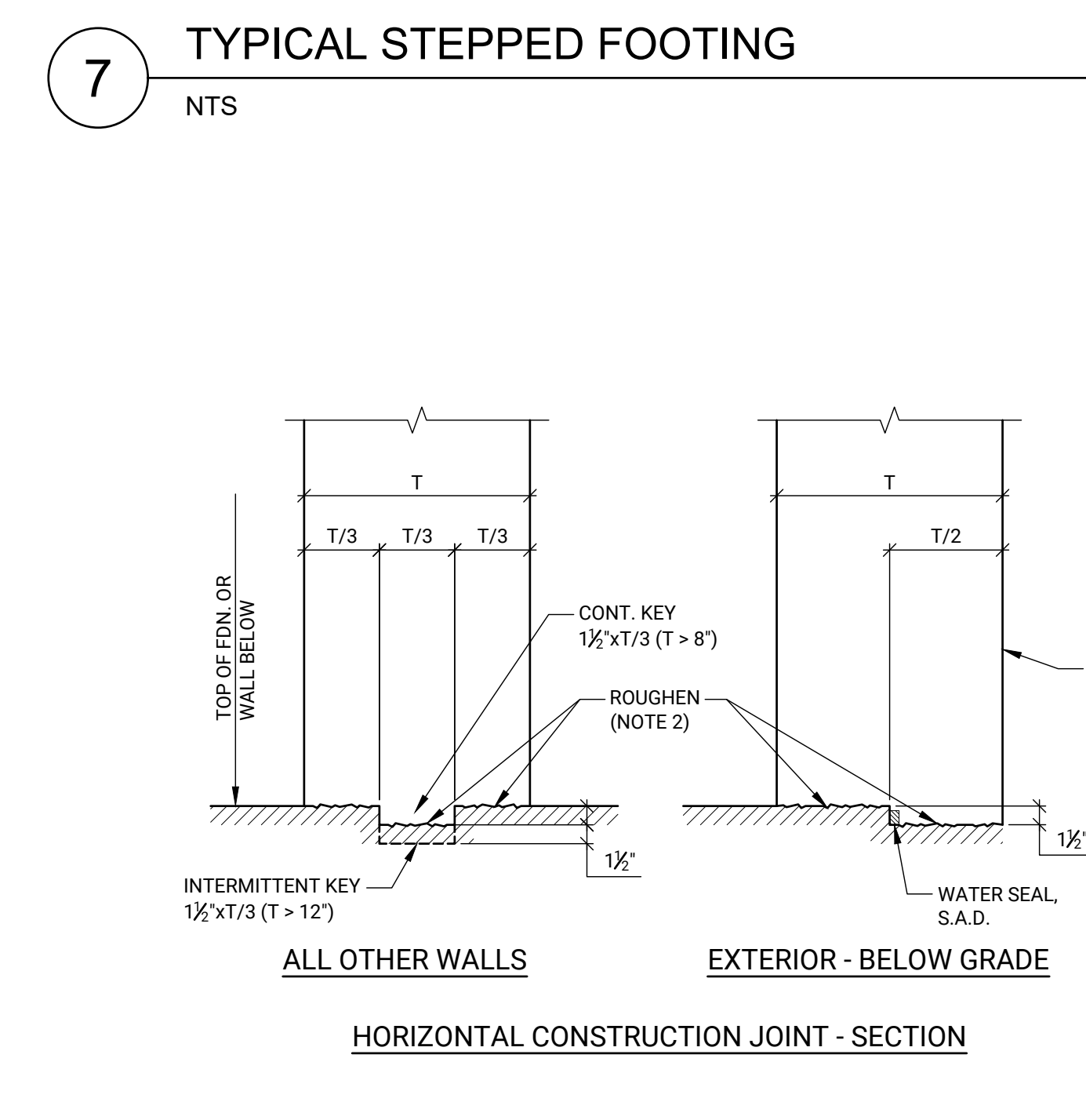
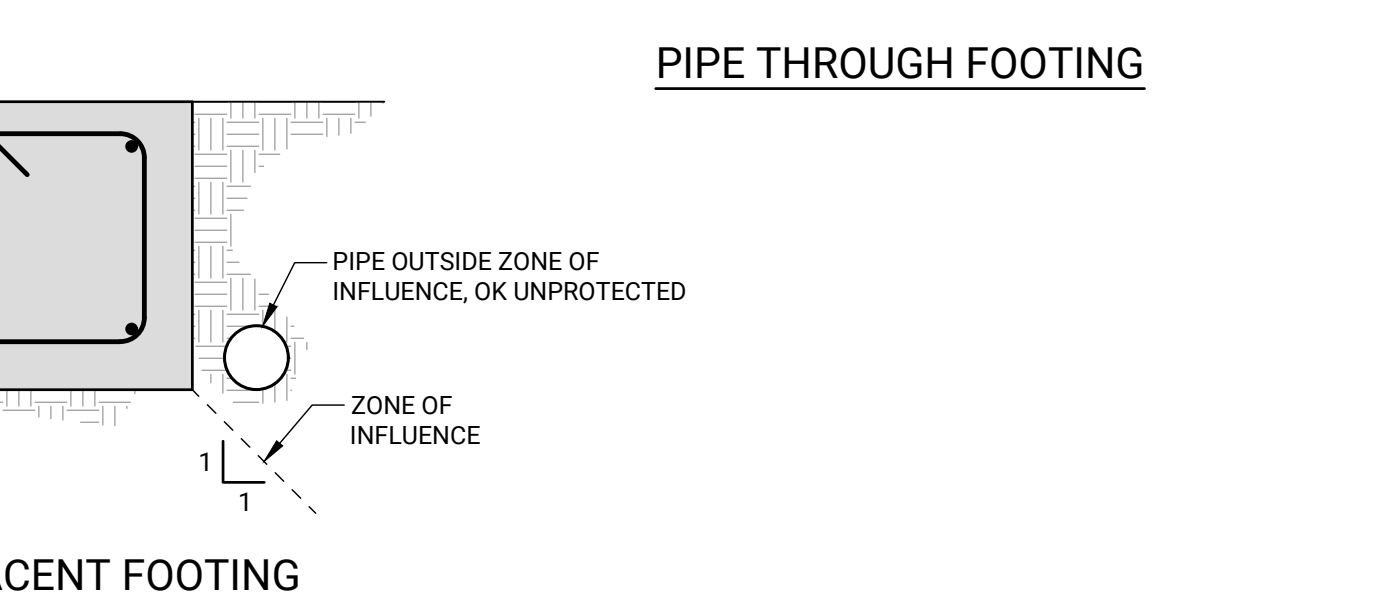
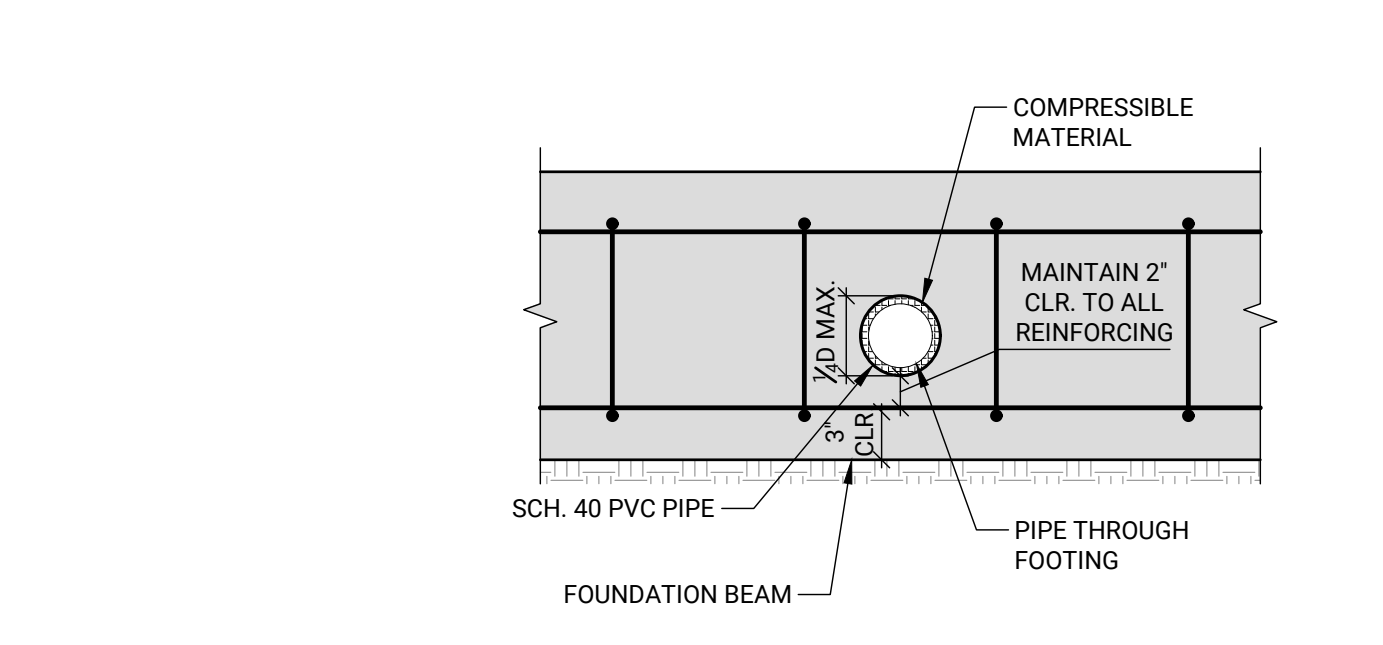
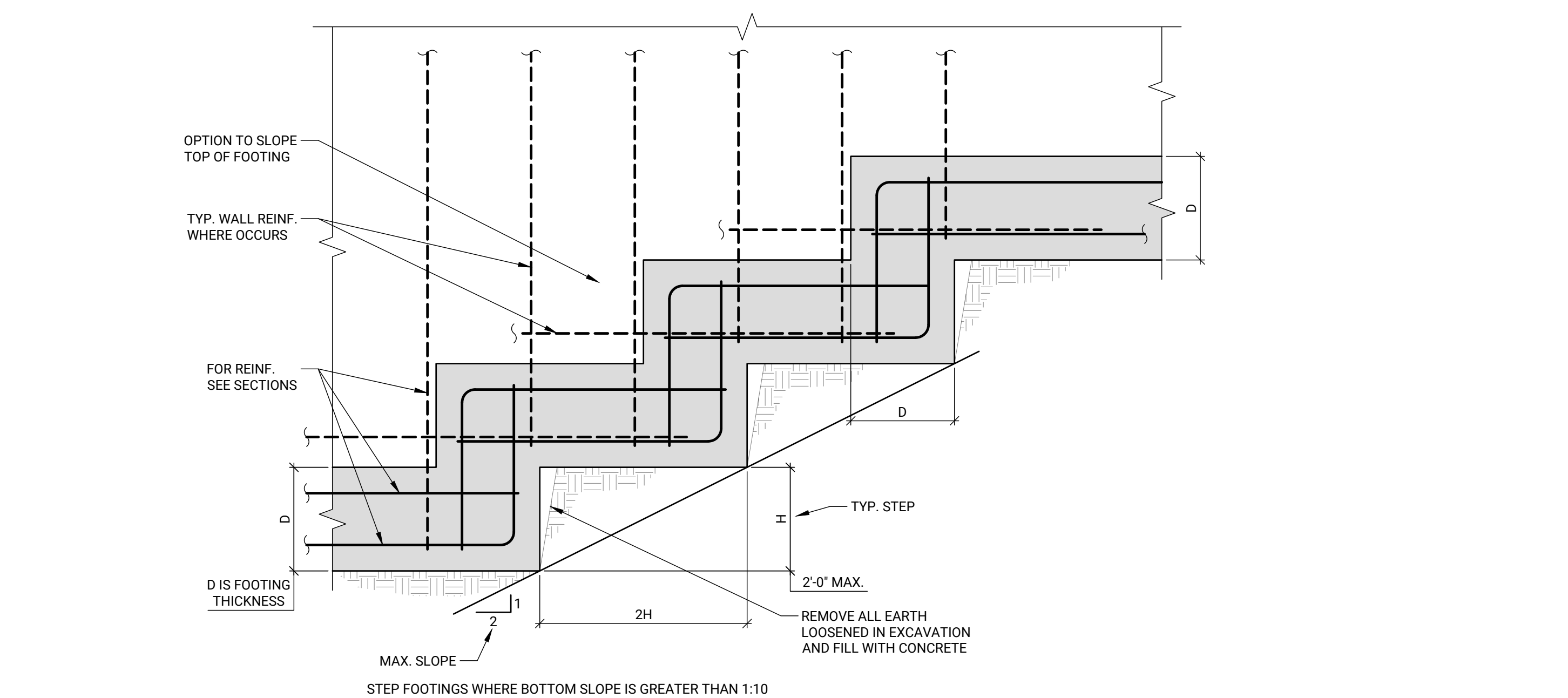


CONCRETE STRENGTH f_c'	LOCATION	REBAR SIZE										
		GRADE 60										
		#3	#4	#5	#6	#7	#8	#9	#10	#11		
≥ 2500	l_s = LAP SPLICE LENGTH, INCHES (CLASS B = $1.3x l_d$)											
	TOP*	24	32	39	47	55	63	80	101	124		
	BOTTOM	19	25	30	37	42	49	62	77	95		
	l_s = TENSION DEVELOPMENT LENGTH, INCHES											
≥ 3000	l_s = LAP SPLICE LENGTH, INCHES (CLASS B = $1.3x l_d$)											
	TOP*	24	29	37	43	50	58	73	91	112		
	BOTTOM	17	23	28	33	39	45	56	71	88		
	l_s = TENSION DEVELOPMENT LENGTH, INCHES											
≥ 4000	l_s = LAP SPLICE LENGTH, INCHES (CLASS B = $1.3x l_d$)											
	TOP*	24	25	32	38	43	50	63	80	98		
	BOTTOM	16	20	24	29	34	38	49	62	76		
	l_s = TENSION DEVELOPMENT LENGTH, INCHES											
TOP*	15	19	24	29	33	38	48	61	75			
BOTTOM	12	15	18	22	26	29	37	47	58			



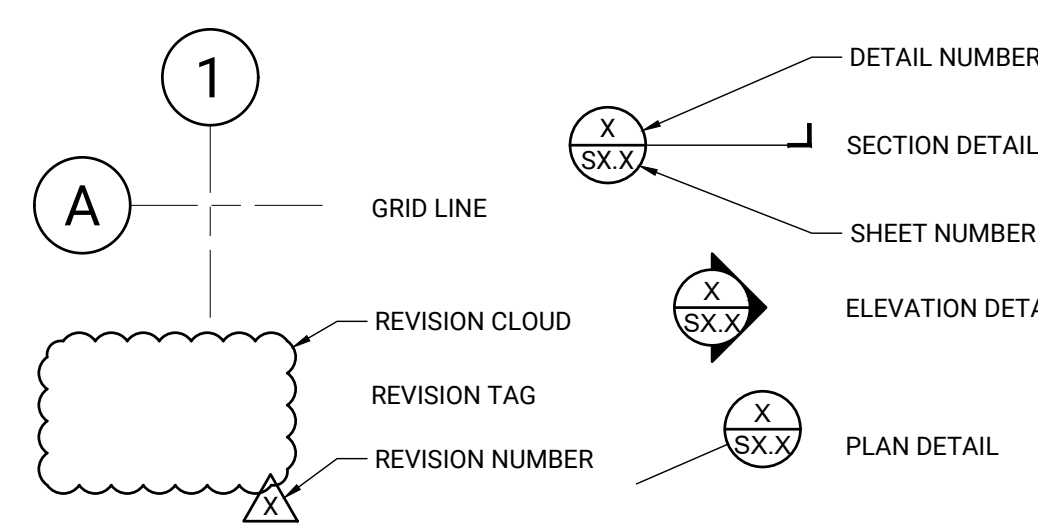
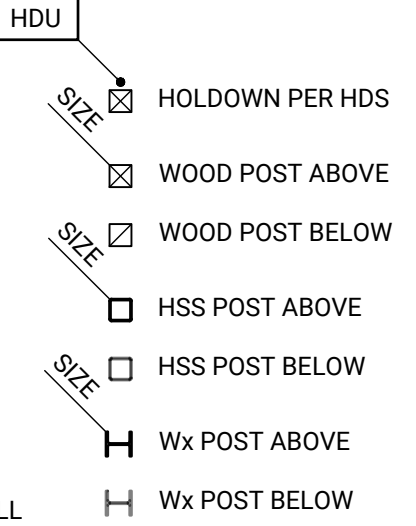
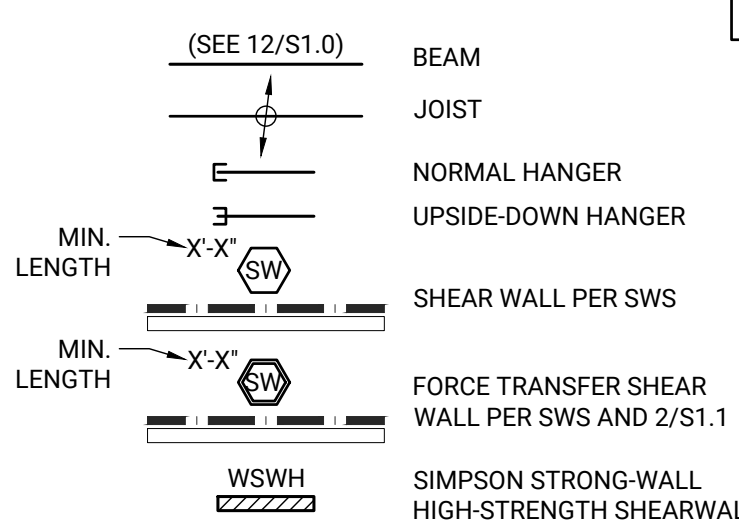
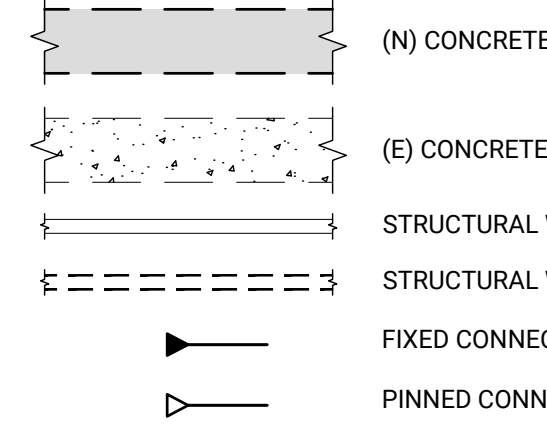
5 HOOK DEVELOPMENT LENGTH
NTS

BAR SIZE	l_{dh} (HOOK DEVELOPMENT LENGTH)		
	$f_c=3000\text{psi}$	$f_c=4000\text{psi}$	$f_c=5000\text{psi}$
#3	6"	6"	6"
#4	8"	7"	6"
#5	10"	9"	8"
#6	12"	10"	9"
#7	14"	12"	11"
#8	16"	14"	12"
#9	18"	15"	14"
#10	20"	17"	16"
#11	22"	19"	17"
#14	38"	33"	29"
#18	50"	43"	39"



- NOTES:
1. KEYS WHERE REQUIRED SHALL BE FORMED NOT STAMPED.
 2. ALL HORIZONTAL JOINTS: FOLLOWING CURE OF LIFT BELOW, SAND BLAST TO 1/2" AMPLITUDE, OR APPLY RETARDER DURING POUR AND CLEAN JOINT WITH AIR AND WATER.
 3. PROVIDE CONTINUOUS KEYS FOR WALLS GREATER THAN 8" THICK. PROVIDE CONTINUOUS & INTERMITTENT KEYS FOR WALLS GREATER THAN 12" THICK.
 4. WHERE APPROVED BY THE ENGINEER, INTERMITTENT KEYS MAY BE REPLACED BY ROUGHENING TO UNIFORM EXPOSE LARGE AGGREGATE OVER THE ENTIRE JOINT SURFACE.

PLAN SYMBOLS LEGEND:

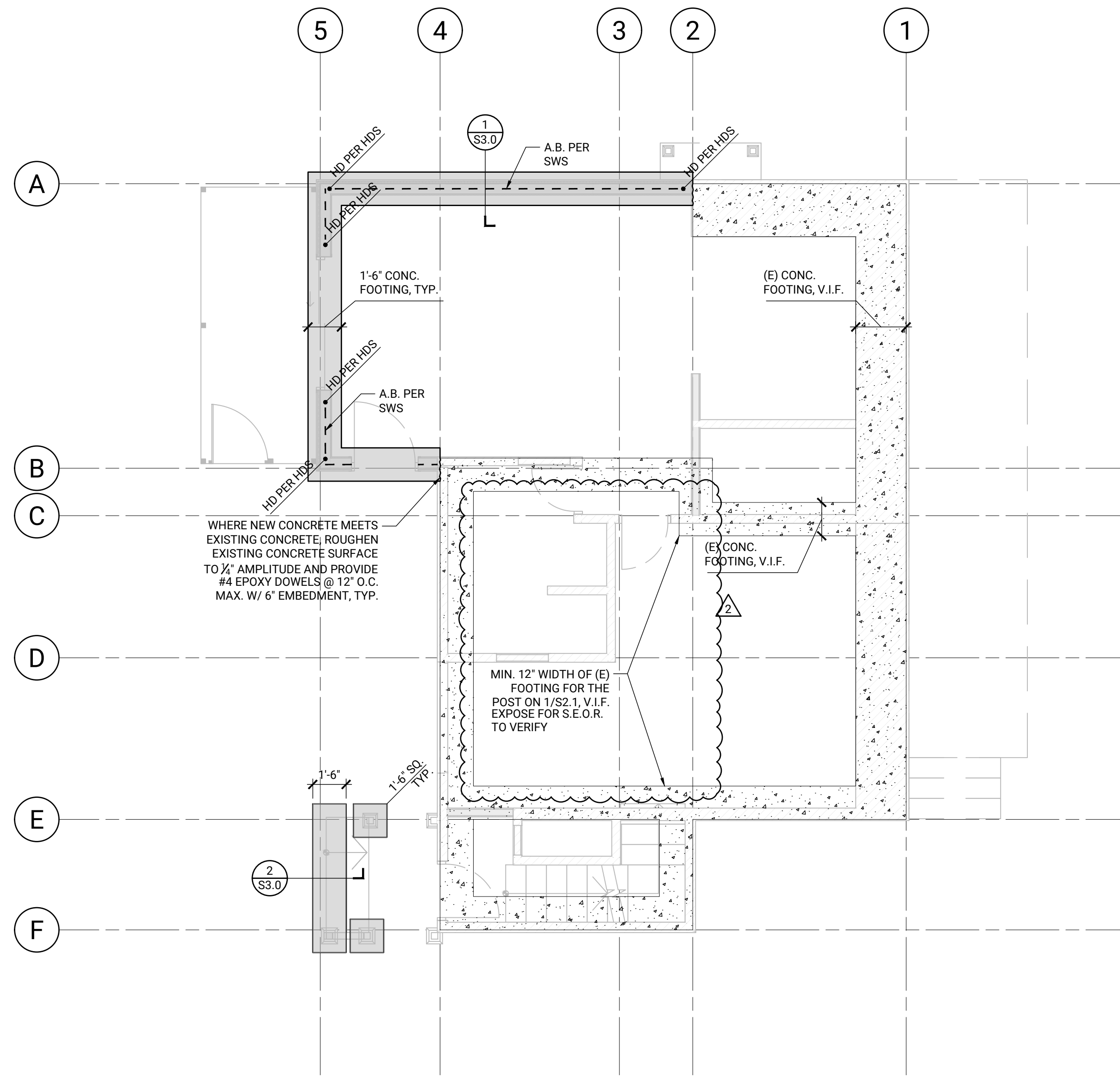


SHEET NOTES:

- FOR GENERAL NOTES SEE SHEET S0 SERIES.
- FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
- FOR CUSTOM DETAILS SEE SHEET S3 SERIES.
- IF (E) CONDITIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
- WATERPROOFING, DRAINAGE, AND VENTILATION BY OTHERS.
- ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX, SEE 10/S1.1.
- FOR HOLDOWN INSTALLATION AT (E)/(N) FOOTING SEE 1/S1.2.
- ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
- ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
- FOR SHEAR WALLS TYPE 2 & 3, PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES PER SWS, SEE 3/S1.1.
- 4x, 6x AND 8x MAY BE MADE UP OF (2)-2x, (3)-2x AND (4)-2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 2/S1.1.
- HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N.
- HANGERS FOR 4x OR 6x BEAMS TO BE HU U.O.N.
- NEW HEADERS TO BE 4x6 U.O.N.
- PROVIDE SIMP. EPCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
- SHORING OF EXISTING STRUCTURE BY CONTRACTOR.
- PLAN DIMENSIONS SHOWN ARE APPROXIMATE.
- UNLESS OTHERWISE NOTED, ANY SIMPSON PRODUCT USED SHALL FILL ALL NAIL/SCREW BOLT HOLES TO ACHIEVE MAXIMUM RATED CAPACITY.

KEY NOTES:

- 5' MIN. S.O.G. W/ #4 @ 12" O.C. EA. WAY PER 3/S1.3. SUBMIT CONSTRUCTION & CONTROL JOINT LOCATIONS TO SEOR PRIOR TO CONSTRUCTION PER 4/S1.3 & GENERAL NOTES
- (E) S.O.G.
- 3/4" PLYWOOD FLOOR W/ 10d E.N. @ 6" O.C. & F.N. @ 12" O.C. PER 10/S1.2, UNBLOCKED
- (E) ROOF/FLOOR SHEATHING
- (E) DECKING
- 1x6 [3/4"x5/8" TRUE] FLAT TREX DECKING, W/ 1/2" GAPS BETWEEN ADJACENT PLANKS & (2) 20d NAILS IN EACH PLANK @ EACH JOIST



WHERE NEW CONCRETE MEETS EXISTING CONCRETE, ROUGHEN EXISTING CONCRETE SURFACE TO 1/2" AMPLITUDE AND PROVIDE #4 EPOXY DOWELS @ 12" O.C. MAX. W/ 6" EMBEDMENT, TYP.

MIN. 12" WIDTH OF (E) FOOTING FOR THE POST ON 1/S2.1, V.I.F. EXPOSE FOR S.E.O.R. TO VERIFY

1 FOUNDATION PLAN
1/4" = 1'-0"



THE CONTRACTOR MUST NOTIFY WMSTRUCTURAL ON OR BEFORE COMMENCEMENT OF CONSTRUCTION. SEND AN EMAIL TO INFO@WMSTRUCTURAL.COM STATING DATE OF CONSTRUCTION KICK-OFF.

SEOR STAMP



03.26.2024
DATE SIGNED

AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET
SAUSALITO, CA 94965

**429.5 JOHNSON STREET -
ADU CONVERSION**

SUBMITTAL

PERMIT	08.31.2023
△ PLAN CHECK 1 RESPONSE	11.27.2023
△ PERMIT REV. 2	03.26.2024

23-505
wmstructural JOB NUMBER

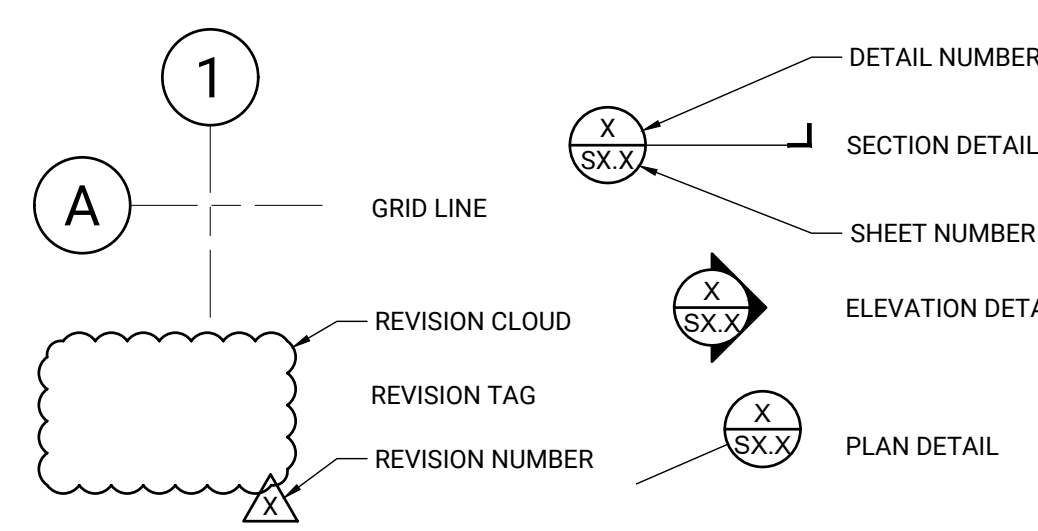
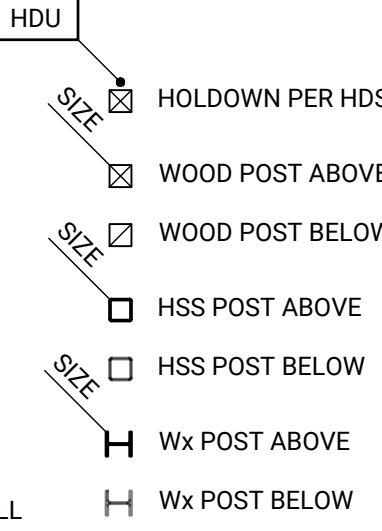
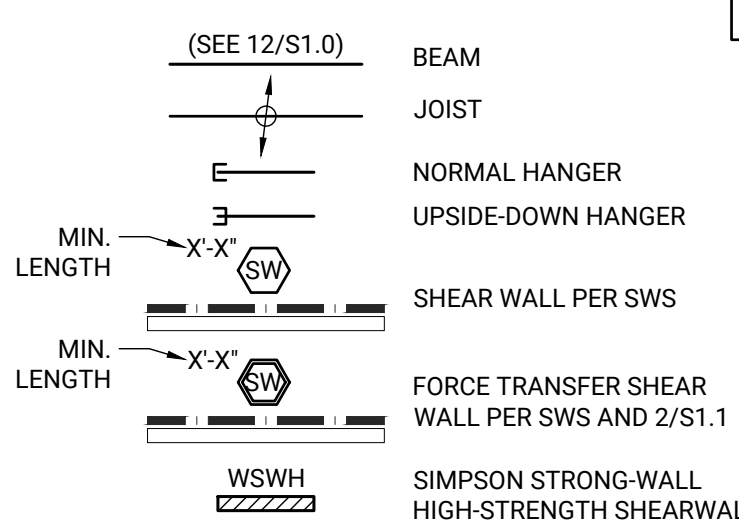
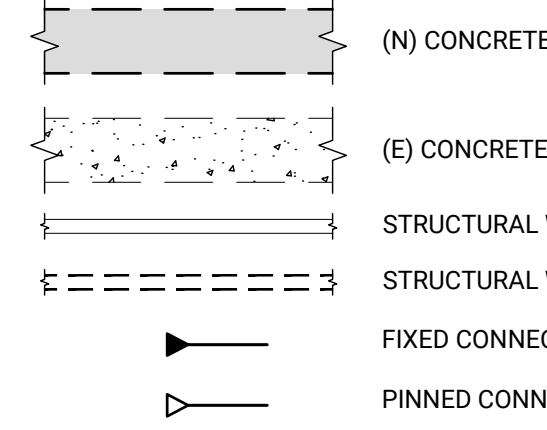
AA
DRAWN BY

1/4" = 1'-0"
SCALE

FOUNDATION PLAN
SHEET TITLE

S2.0

PLAN SYMBOLS LEGEND:



SHEET NOTES:

- FOR GENERAL NOTES SEE SHEET S0 SERIES.
- FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
- FOR CUSTOM DETAILS SEE SHEET S3 SERIES.
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- HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N.
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KEY NOTES:

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**429.5 JOHNSON STREET -
ADU CONVERSION**

SUBMITTAL

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023
PERMIT REV. 2	03.26.2024

23-505

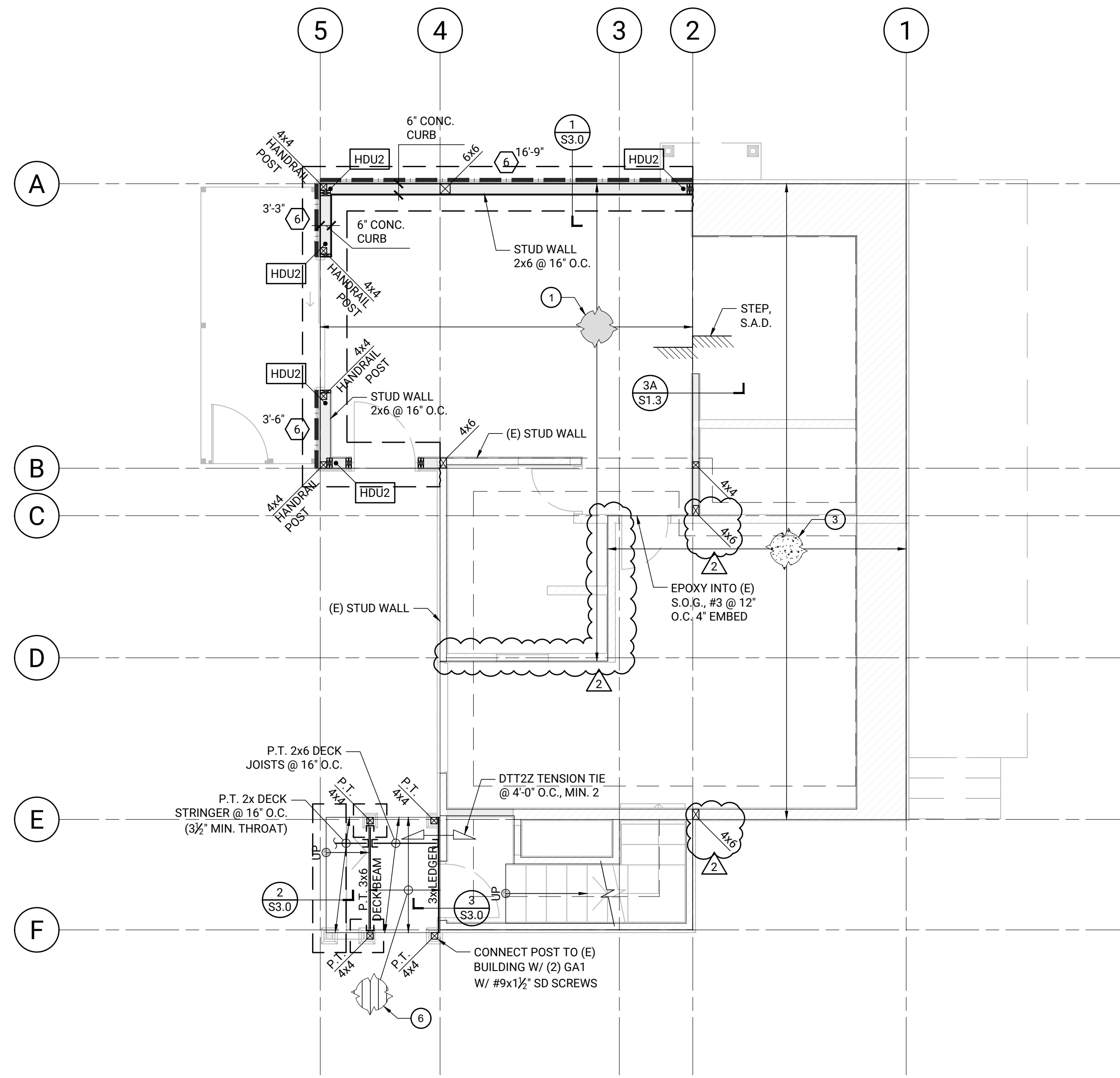
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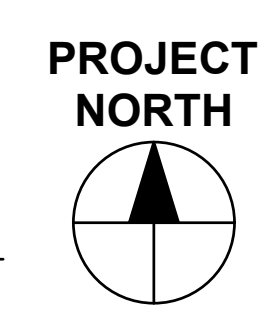
1/4" = 1'-0"
SCALE

LEVEL 1 FRAMING PLAN
SHEET TITLE

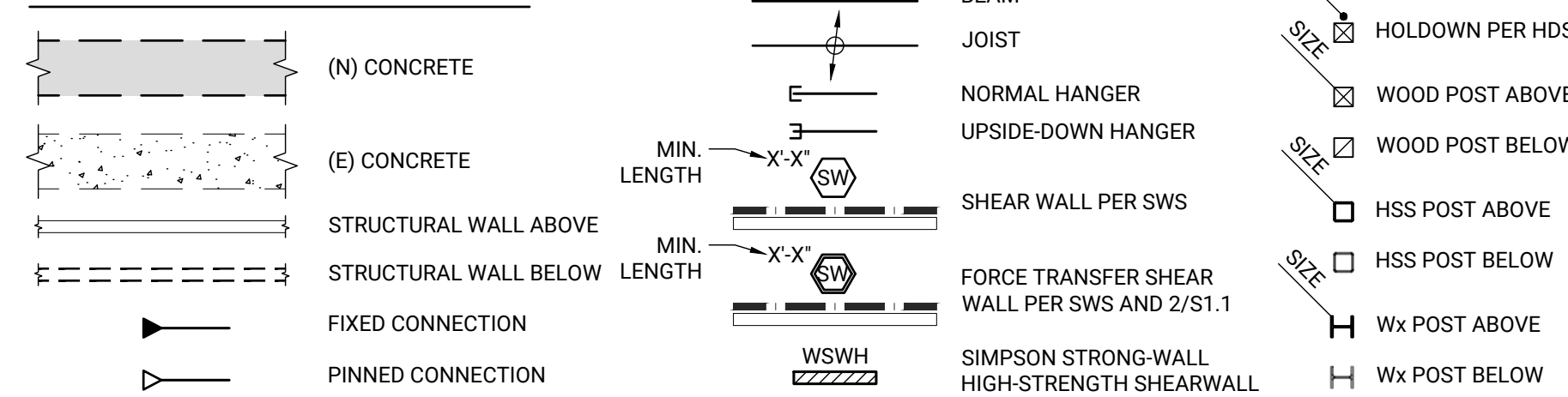
S2.1



1 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



PLAN SYMBOLS LEGEND:



SHEET NOTES:

- FOR GENERAL NOTES SEE SHEET S0 SERIES.
- FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
- FOR CUSTOM DETAILS SEE SHEET S3 SERIES.
- IF (E) CONDITIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
- WATERPROOFING, DRAINAGE, AND VENTILATION BY OTHERS.
- ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX, SEE 10/S1.1.
- FOR HOLDOWN INSTALLATION AT (E)/(N) FOOTING SEE 1/S1.2.
- ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
- ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
- FOR SHEAR WALLS TYPE 2 & 3, PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES PER SWS, SEE 3/S1.1.
- 4x, 6x AND 8x MAY BE MADE UP OF (2)-2x, (3)-2x AND (4)-2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 2/S1.1.
- HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N.
- NEW HEADERS TO BE 4x6 U.O.N.
- PROVIDE SIMP. EPCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
- SHORING OF EXISTING STRUCTURE BY CONTRACTOR.
- PLAN DIMENSIONS SHOWN ARE APPROXIMATE.
- UNLESS OTHERWISE NOTED, ANY SIMPSON PRODUCT USED SHALL FILL ALL NAIL/SCREW BOLT HOLES TO ACHIEVE MAXIMUM RATED CAPACITY.

KEY NOTES:

- 5" MIN. S.O.G. W/ #4 @ 12" O.C. EA. WAY PER 3/S1.3. SUBMIT CONSTRUCTION & CONTROL JOINT LOCATIONS TO SEOR PRIOR TO CONSTRUCTION PER 4/S1.3 & GENERAL NOTES
- (E) S.O.G.
- 3/4" PLYWOOD FLOOR W/ 10d E.N. @ 6" O.C. & F.N. @ 12" O.C. PER 10/S1.2, UNBLOCKED
- (E) ROOF/FLOOR SHEATHING
- (E) DECKING
- 1x6 [3/4"x5/8" TRUE] FLAT TREX DECKING, W/ 1/2" GAPS BETWEEN ADJACENT PLANKS & (2) 20d NAILS IN EACH PLANK @ EACH JOIST

SEOR STAMP



03.26.2024
DATE SIGNED

AHJ STAMP

OWNERS
 CITY OF SAUSALITO

PROJECT ADDRESS
 429.5 JOHNSON STREET
 SAUSALITO, CA 94965

**429.5 JOHNSON STREET -
 ADU CONVERSION**

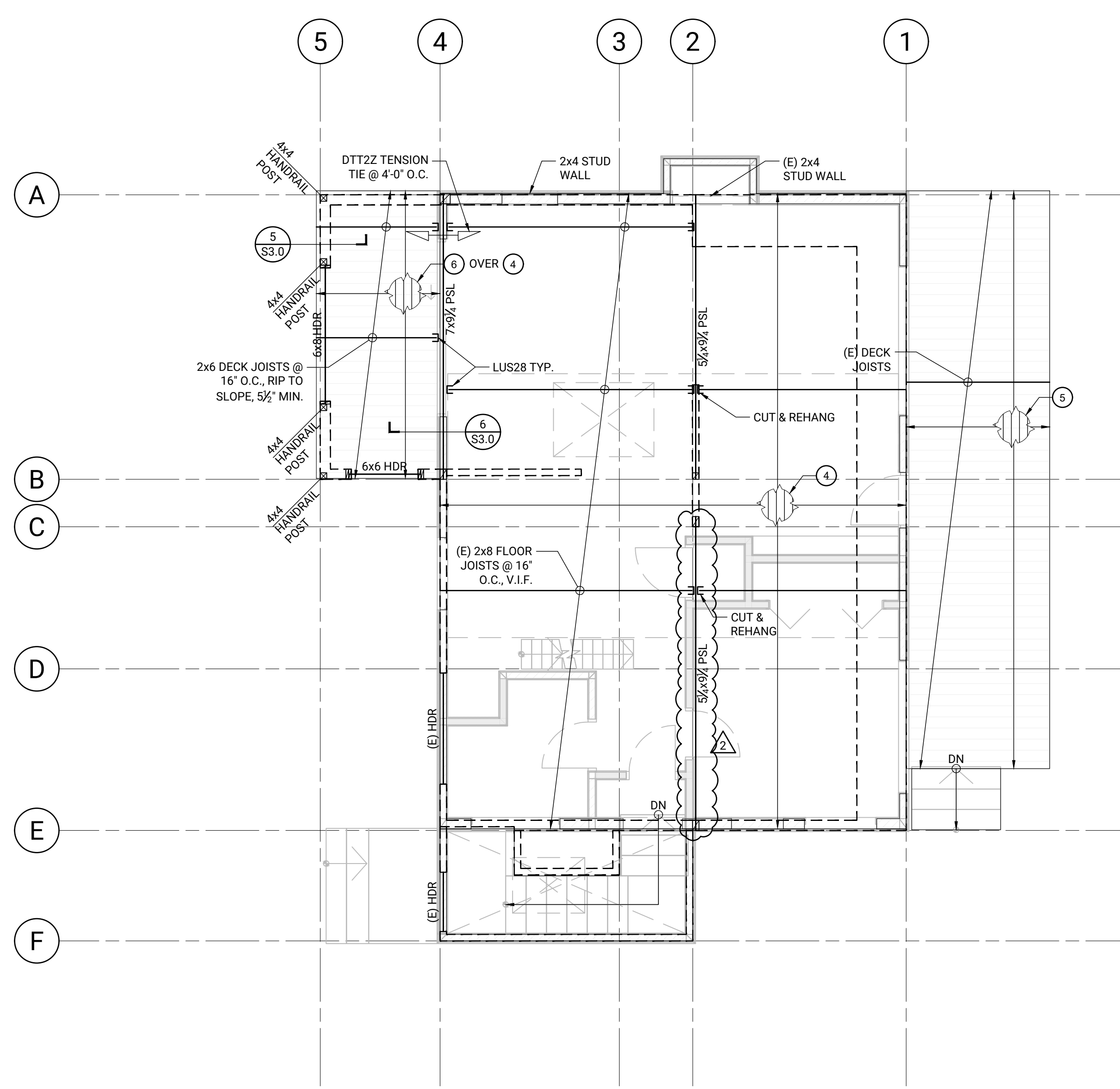
SUBMITTAL

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023
PERMIT REV. 2	03.26.2024

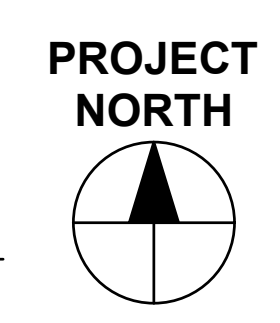
23-505
 wmstructural JOB NUMBER
 AA
 DRAWN BY
 1/4" = 1'-0"
 SCALE

LEVEL 2 FRAMING PLAN
 SHEET TITLE

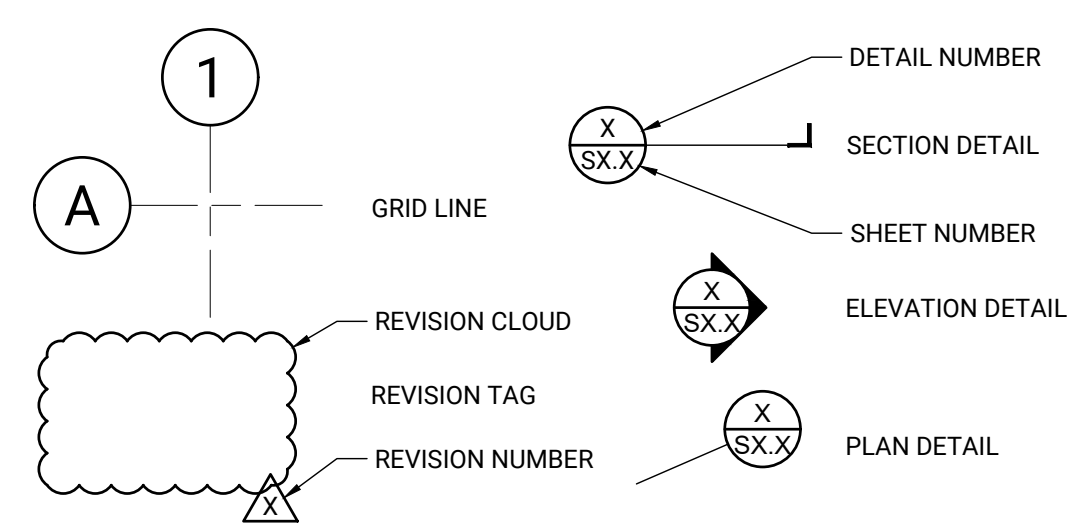
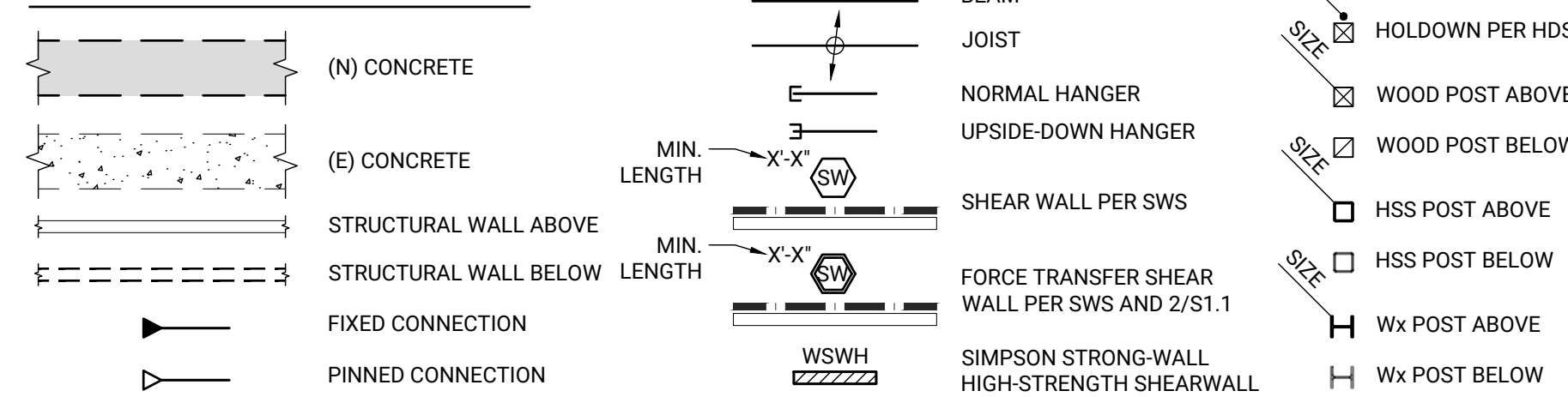
S2.2



1 SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0"



PLAN SYMBOLS LEGEND:

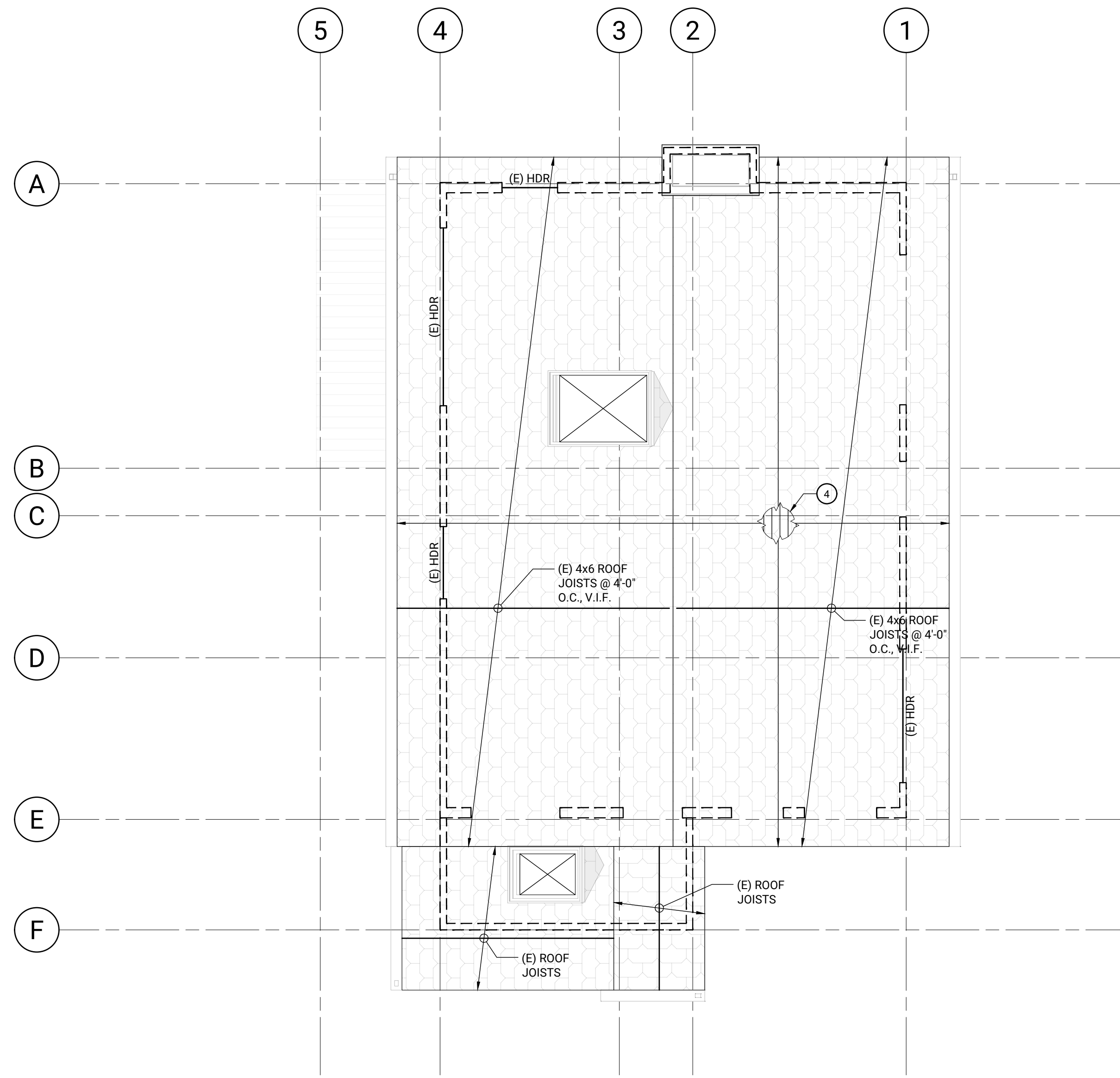


SHEET NOTES:

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- FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
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- ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
- FOR SHEAR WALLS TYPE 2 & 3, PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES PER SWS, SEE 3/S1.1.
- 4x, 6x AND 8x MAY BE MADE UP OF (2)-2x, (3)-2x AND (4)-2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 2/S1.1. HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N.
- HANGERS FOR 4x OR 6x BEAMS TO BE HU U.O.N.
- NEW HEADERS TO BE 4x6 U.O.N.
- PROVIDE SIMP. EPCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
- SHORING OF EXISTING STRUCTURE BY CONTRACTOR.
- PLAN DIMENSIONS SHOWN ARE APPROXIMATE.
- UNLESS OTHERWISE NOTED, ANY SIMPSON PRODUCT USED SHALL FILL ALL NAIL/SCREW BOLT HOLES TO ACHIEVE MAXIMUM RATED CAPACITY.

KEY NOTES:

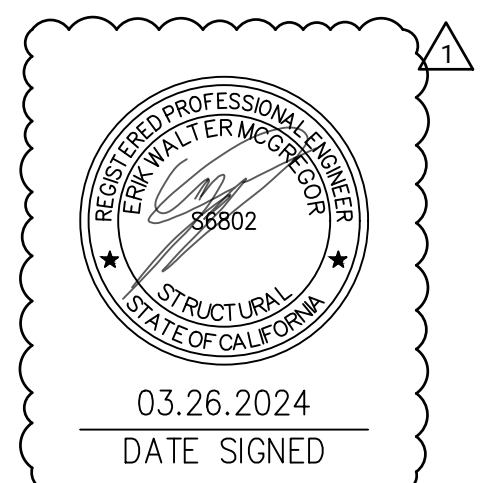
- 5" MIN. S.O.G. W/ #4 @ 12" O.C. EA. WAY PER 3/S1.3. SUBMIT CONSTRUCTION & CONTROL JOINT LOCATIONS TO SEOR PRIOR TO CONSTRUCTION PER 4/S1.3 & GENERAL NOTES
- (E) S.O.G.
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- (E) ROOF/FLOOR SHEATHING
- (E) DECKING
- 1x6 [3/4"x5/8" TRUE] FLAT TREX DECKING, W/ 1/2" GAPS BETWEEN ADJACENT PLANKS & (2) 20d NAILS IN EACH PLANK @ EACH JOIST



1 ROOF FRAMING PLAN
 1/4" = 1'-0"



SEOR STAMP



AHJ STAMP

OWNERS

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 SAUSALITO, CA 94965

**429.5 JOHNSON STREET -
 ADU CONVERSION**

SUBMITTAL

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023

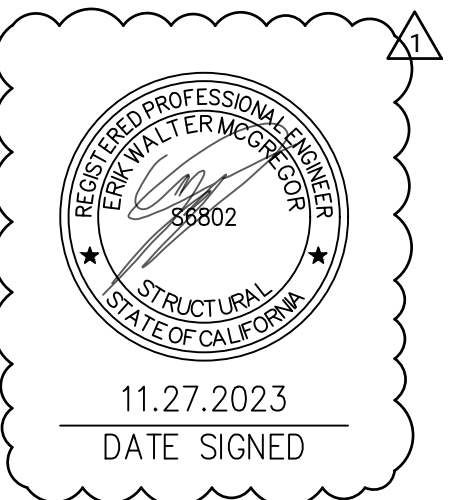
23-505
 wmstructural JOB NUMBER

AA
 DRAWN BY

1/4" = 1'-0"
 SCALE

ROOF FRAMING PLAN
 SHEET TITLE

SEOR STAMP



AHJ STAMP

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429.5 JOHNSON STREET -
ADU CONVERSION

SUBMITTAL

PERMIT	08.31.2023
△ PLAN CHECK 1 RESPONSE	11.27.2023

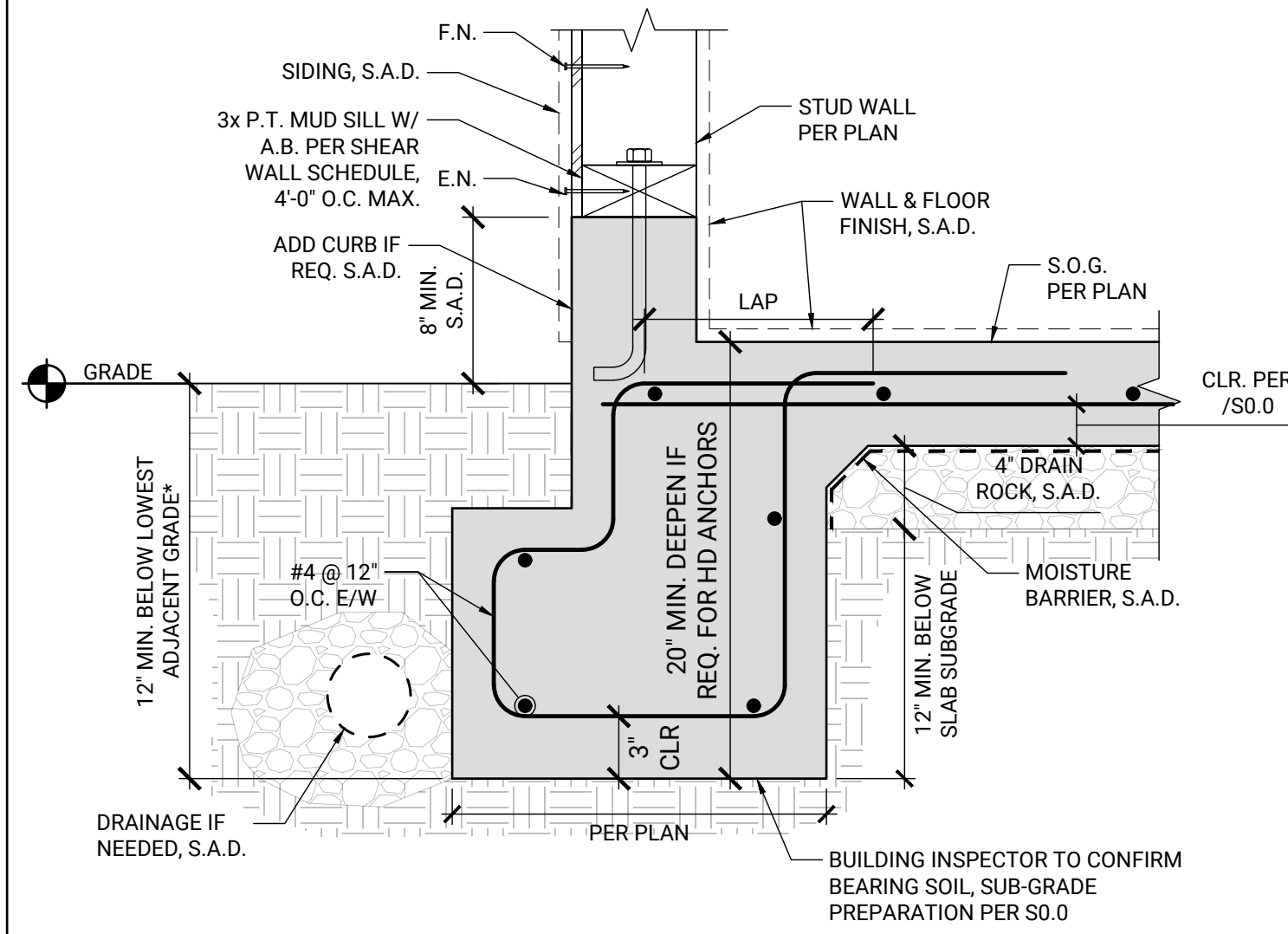
23-505
wmstructural JOB NUMBER

AA
DRAWN BY

1 1/2" = 1'-0"
SCALE

CUSTOM DETAILS
SHEET TITLE

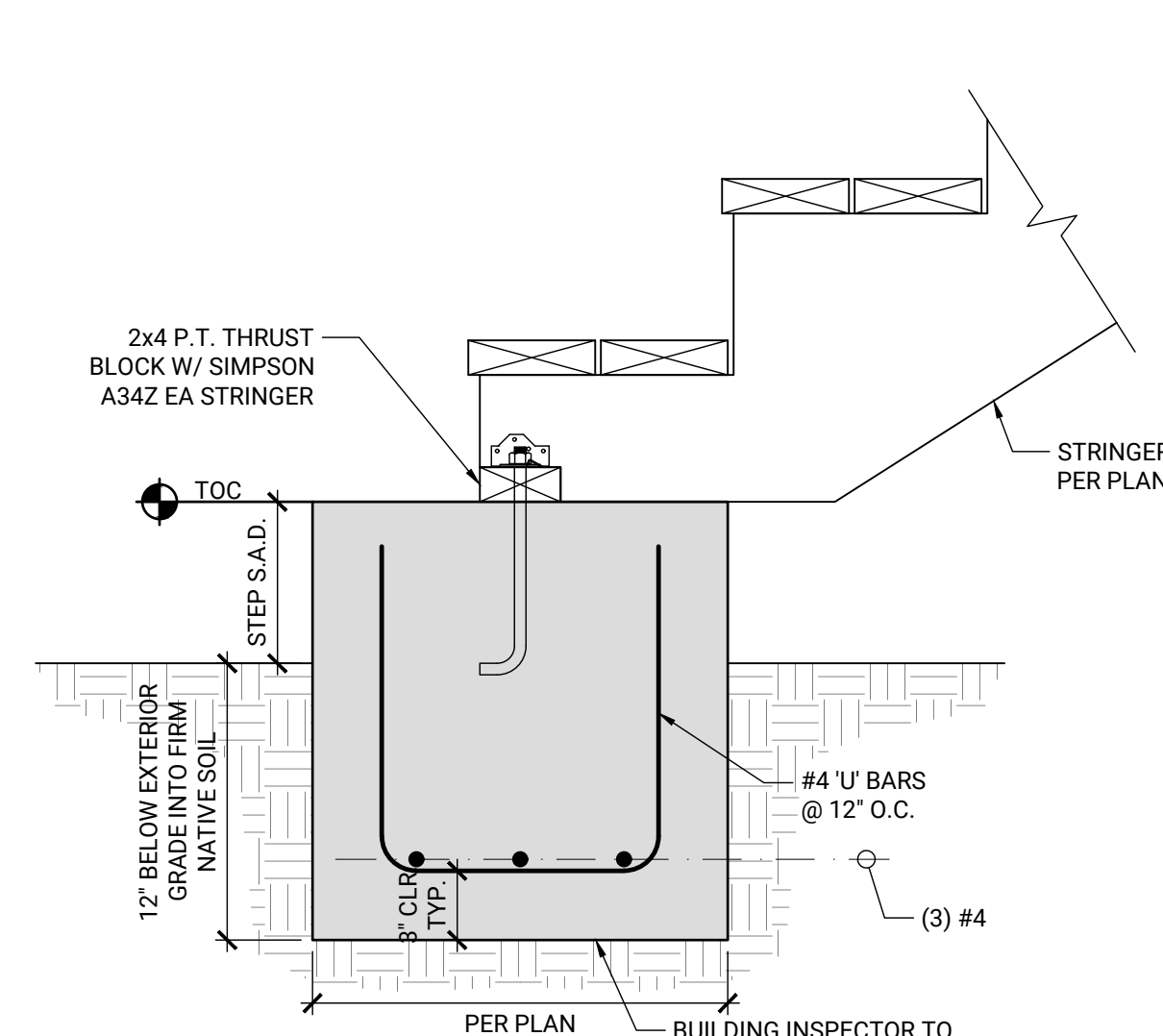
S3.0



*LOWEST ADJACENT EXTERIOR FINISHED GRADE SHOULD BE CONSIDERED TO BE THE LOWEST GRADE WITHIN 5 FEET OF THE EDGE OF THE FOUNDATION

1 TYPICAL FOUNDATION

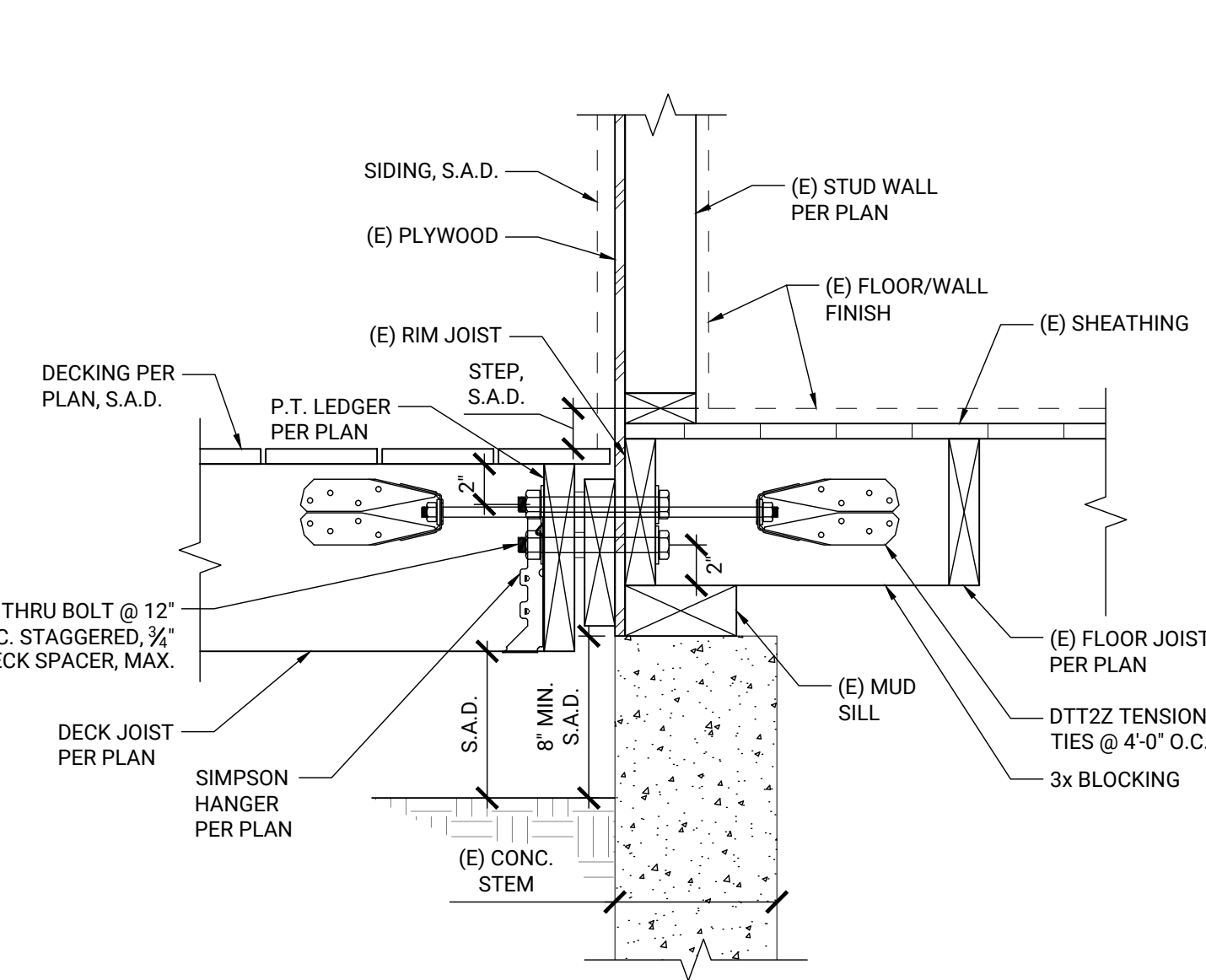
1-1/2" = 1'-0"



*LOWEST ADJACENT EXTERIOR FINISHED GRADE SHOULD BE CONSIDERED TO BE THE LOWEST GRADE WITHIN 5 FEET OF THE EDGE OF THE FOUNDATION

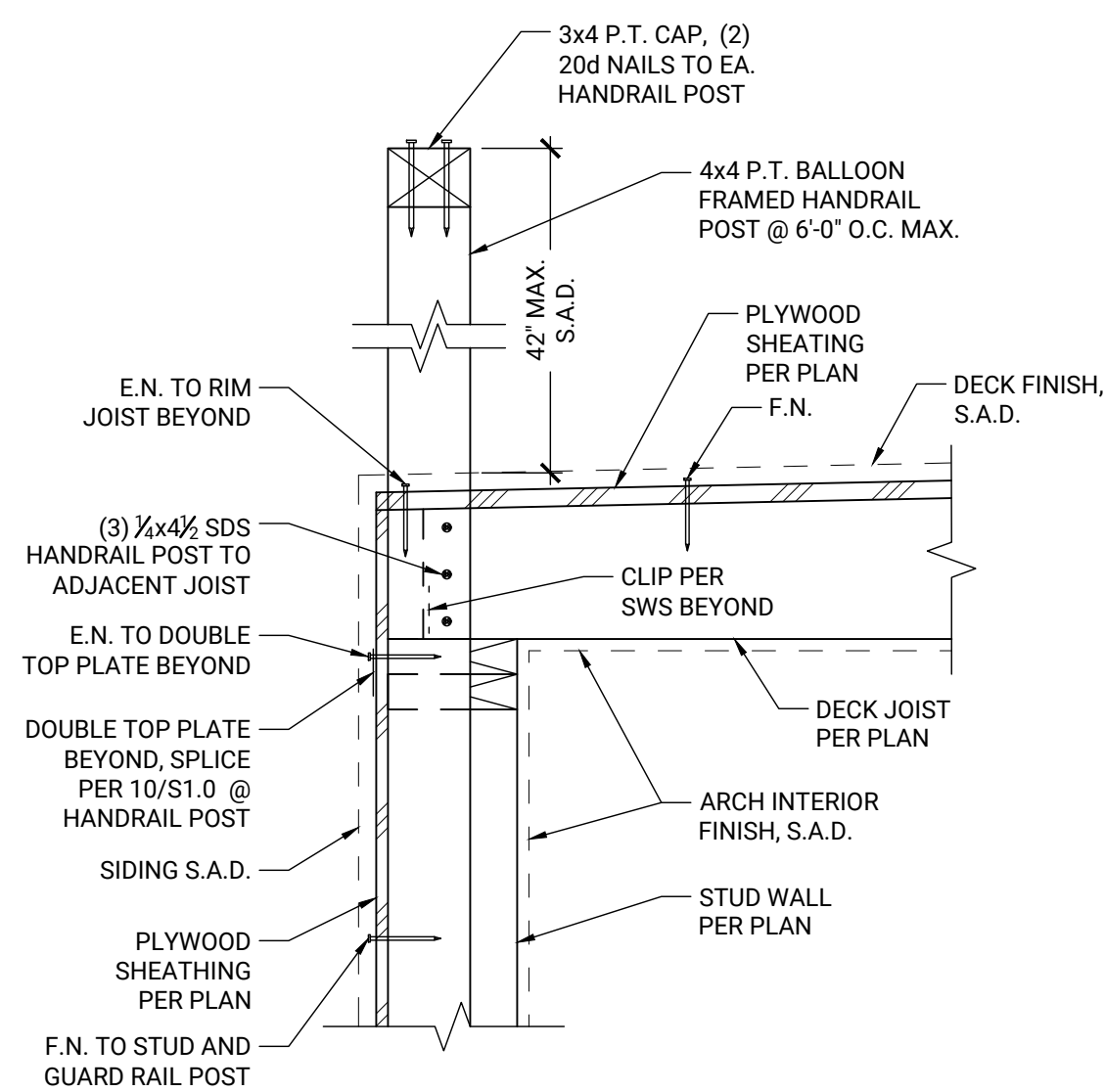
2 STAIR FOOTING

1-1/2" = 1'-0"



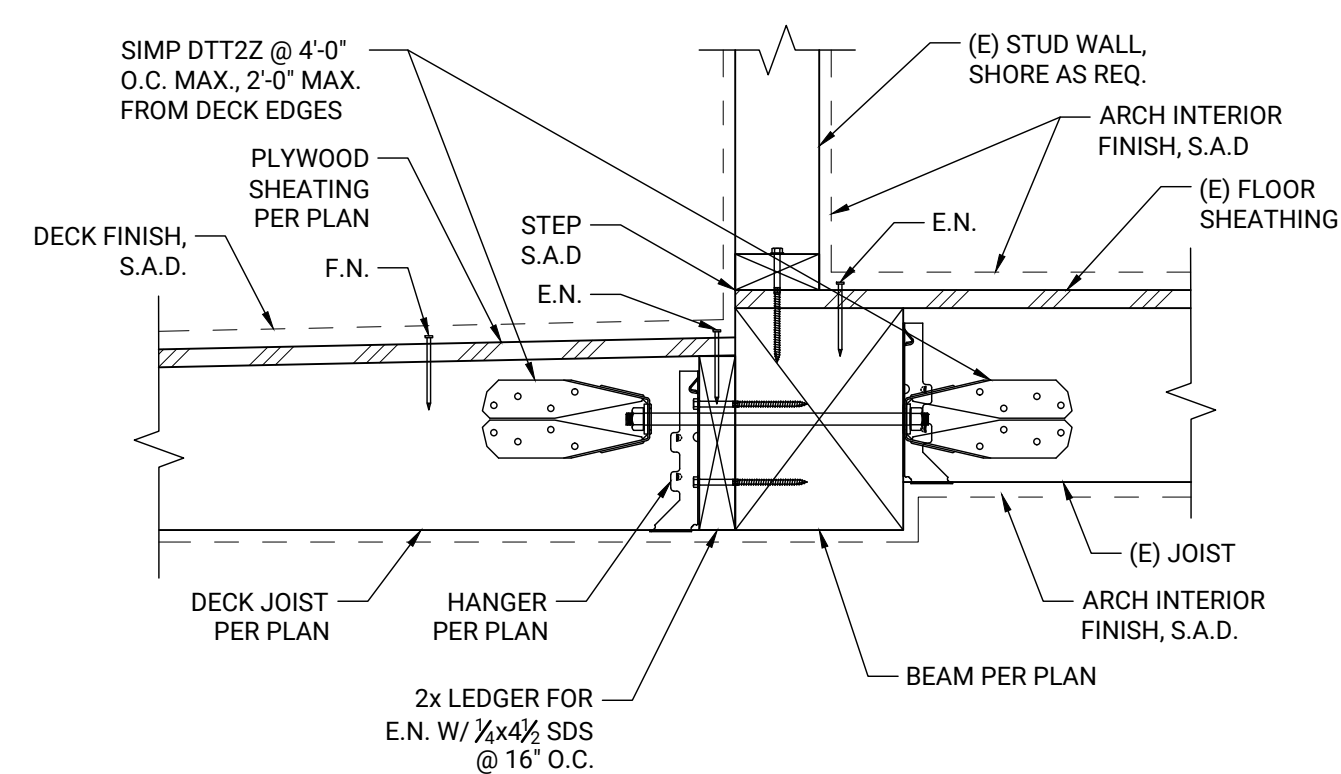
3 LEDGER TO DECKING

1-1/2" = 1'-0"



5 DECK EDGE @ HANDRAIL

1-1/2" = 1'-0"



6 DECK TO BEAM

1-1/2" = 1'-0"