



LOCATION



BLDG CODES



PHOTOS

# 429.5 JOHNSON

Sausalito, California



www.dnnarchitecture.com

DNN ARCHITECTURE

DNN Architecture • 1A Gate 5 Road • Sausalito, CA 94965  
T: 415.348.8910 • E: info@dnnarchitecture.com



CONSTRUCTION SET

PROJECT DATA

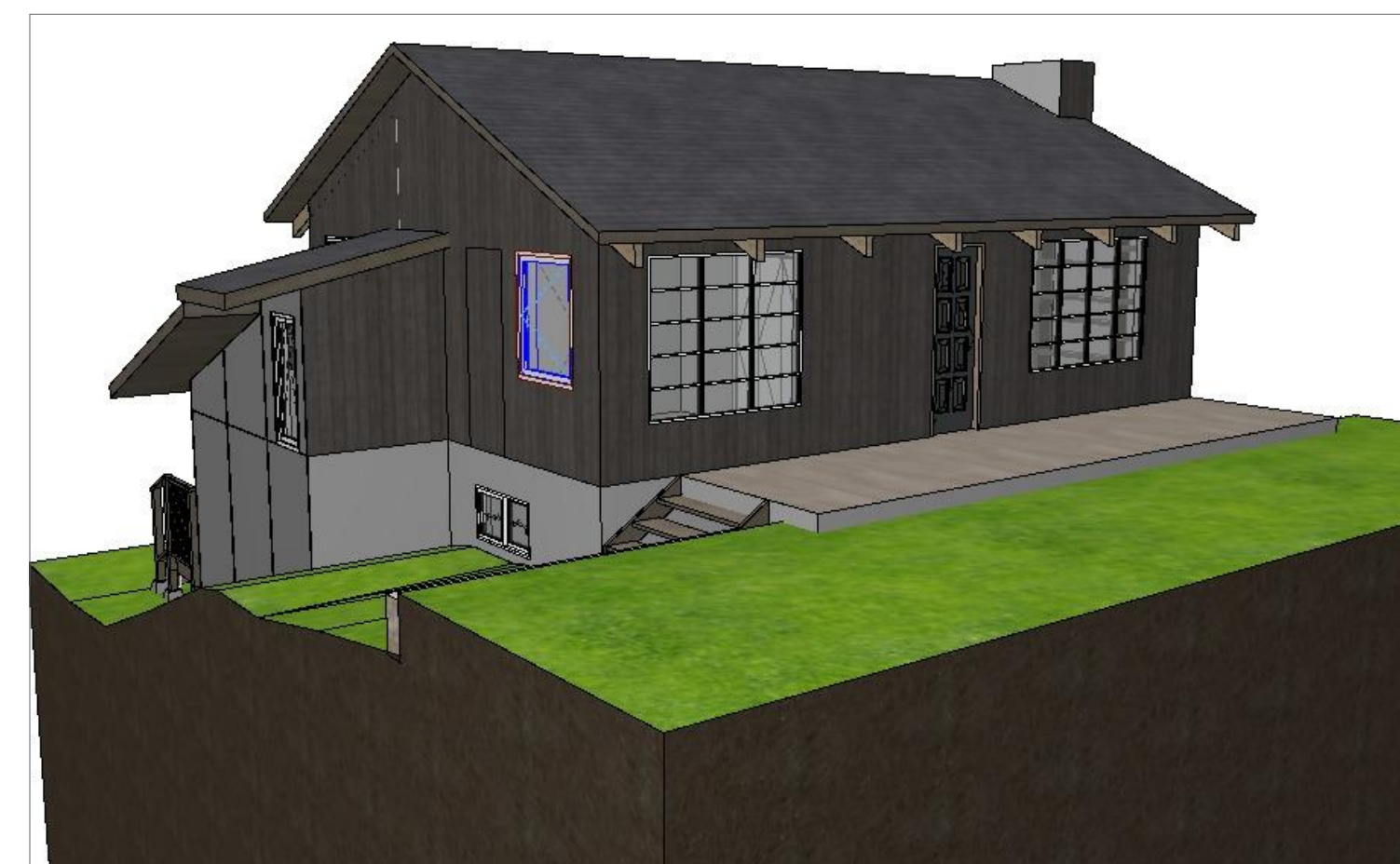
23.0220  
429.5 JOHNSON  
429.5 Johnson St  
Sausalito, California  
94965

APN: 065-062-19

#	REASON	DATE
1	Plan Check	11/29/23
2	Plan Check	3/26/24
3	Plan Check	4/30/24
4	Construction	5/16/24
5		
6		

09/22/2023

## A0.0



### PROJECT DATA

- DESCRIPTION:**
1. CREATE NEW ADU
  2. DEMOLITION OF (E) BALCONY & STAIR
  3. CONSTRUCTION OF NEW BALCONY AND PATIO
  4. INTERIOR REMODEL
  5. DRIVEWAY ALTERATION & NEW ACCESSIBLE PARKING SPOT
  6. REMOVAL OF EXISTING HVAC & WATER HEATER

**LOCATION:** 429.5 Johnson St  
Sausalito, California 94965  
**APN:** 065-062-19  
**LOT SIZE:** 3900 SQ.FT.

BUILDING AREA CALCULATION:	EXISTING	ADDITION	PROPOSED
UNCONDITIONED			
1ST STORY (GARAGE)	338 ft <sup>2</sup>	-338 ft <sup>2</sup>	0 ft <sup>2</sup>
1ST STORY	369 ft <sup>2</sup>	338 ft <sup>2</sup>	707 ft <sup>2</sup>
2ND STORY	677 ft <sup>2</sup>	0 ft <sup>2</sup>	677 ft <sup>2</sup>
<b>TOTAL CONDITIONED AREA:</b>	<b>1,046 ft<sup>2</sup></b>	<b>338 ft<sup>2</sup></b>	<b>1,384 ft<sup>2</sup></b>

UNIT TOTAL C.A.:	EXISTING	ADDITION	PROPOSED
UNIT 1	1,046 ft <sup>2</sup>	-339 ft <sup>2</sup>	707 ft <sup>2</sup>
UNIT 2	0 ft <sup>2</sup>	677 ft <sup>2</sup>	677 ft <sup>2</sup>

**CONSTRUCTION:** V-B V-B V-B  
**ZONE/HEIGHT:** R-3, 32 FT R-3, 32 FT R-3, 32 FT  
**OCCUPANCY:** R-3 R-3 R-3  
**NO. OF UNITS:** 1 2 2  
**NO. OF STORIES:** 2 2 2

WURIS BOX SERVICE MUST BE THROUGH BAY CITIES REFUSE. THE CITY OF SAUSALITO HAS AN EXCLUSIVE FRANCHISE AGREEMENT WITH BAY CITIES REFUSE AND RECYCLING SERVICES

CONTRACTOR SHALL APPLY FOR A DEMOLITION PERMIT WITH BAAQMD AND PROVIDE A J NUMBER TO THE CITY OF SAUSALITO PRIOR TO COMMENCING DEMOLITION

2 PRIOR TO ISSUANCE OF BUILDING PERMIT, TEST THE SEWER LATERAL AND PROVIDE EVIDENCE THAT THE SEWER LATERAL IS IN SATISFACTORY CONDITION OR INCLUDE ITS REPAIR ON THE CONSTRUCTION PERMIT APPLICATION

3 BUILDING AND SITE WILL BE IN FULL COMPLIANCE OF CBC 11-B

### FIRE PROTECTION

1. SMOKE AND CO DETECTORS SHALL BE INSTALLED AS REQUIRED BY CODE, (CFC R314 & R315), WHERE INDICATED ON PLANS, AND POWERED BY 110V AC CURRENT WITH 9V BATTERY BACK-UP
2. THE MATERIALS USED IN CONSTRUCTION ON THE EXTERIOR OF THE STRUCTURE SHALL COMPLY WITH BUILDING STANDARDS IN CHAPTER 7A OF THE CALIFORNIA BUILDING CODE AND/OR SECTION 337 OF THE CALIFORNIA RESIDENTIAL CODE.

### CODE DATA

2022 CA BUILDING CODE  
2022 CA MECHANICAL CODE  
2022 CA ELECTRICAL CODE  
2022 CA PLUMBING CODE  
2022 CA ENERGY CODE  
2022 CA GREEN BUILDING CODE  
2022 CA RESIDENTIAL CODE  
2022 CA FIRE CODE

### DEFERRED ITEMS

1. TREE REMOVAL PERMIT (IF REQUIRED)
2. REPLACEMENT OF EXISTING SEWER LINE(S)

### SPECIAL INSPECTIONS

1. CONTINUOUS INSPECTOR OF EPOXIED REBAR

### PROJECT CONTACTS

**OWNER:** City of Sausalito  
420 Litho St.  
Sausalito, CA 94965  
E:  
T: (415) 289-4100

**ARCHITECT:** DNM ARCHITECTURE  
1A GATE 5 ROAD  
SAUSALITO, CA 94965  
DAVID MARLATT, AIA  
E: david@dnnarchitecture.com  
T: 415-348-8910

**CONTRACTOR:** TBD

**STRUCTURAL ENGINEER:** WM STRUCTURAL  
4098 PIEDMONT AVE, STE 279  
OAKLAND, CA 94611  
ERIK MCGREGOR  
E: erik@wmstructural.com  
T: 510-995-6428

### DRAWING INDEX

SHT	TITLE	9/22/23	11/23/23	03/26/24	04/30/24	05/16/24
A0.0	PROJECT DATA	X	X	X	X	X
A0.1	GENERAL AND PROJECT NOTES	X				
A0.2	TYPICAL ASSEMBLIES	X	X		X	
A0.3	CONDITIONS OF APPROVAL		X			
A0.9	EXISTING AND PROPOSED AREA CALCS	X	X	X		
A0.10	DEMOLITION CALCULATIONS	X	X	X		
A1.0	SITE PLAN	X	X	X	X	X
A1.1	EXISTING FLOOR PLANS	X				X
A1.2	DEMOLITION FLOOR PLAN	X				X
A1.3	PROPOSED FLOOR PLANS	X	X	X		X
A1.4	ROOF PLANS	X		X		X
A1.5	ACCESSIBILITY COMPLIANCE				X	X
A2.0	DEMO ELEVATIONS	X				
A2.1	ELEVATIONS	X	X	X	X	X
A3.0	DEMOLITION SECTIONS	X		X		X
A3.1	PROPOSED SECTIONS	X		X	X	
A4.0	INTERIOR ELEVATIONS					X
A5.0	DETAILS	X			X	X
A6.0	WINDOW & DOOR SCHEDULES	X	X	X	X	X
A6.1	WINDOW FLASHING SEQUENCE	X				
A7.0	CALGREEN CHECKLIST	X				
A7.1	CALGREEN CHECKLIST	X				
A7.2	MANDATORY REQUIREMENTS SUMMARY	X				
A7.3	QII CHECKLIST - INFILTRATION SEALING	X				
A7.4	QII CHECKLIST - INSULATION INSTALLATION	X				
A7.5	ENERGY CODE COMPLIANCE - CF1R	X		X	X	
A7.6	ENERGY CODE COMPLIANCE - CF1R	X		X	X	
A7.7	ENERGY CODE COMPLIANCE - CF1R	X		X	X	
E1.0	UTILITY PLANS	X		X	X	
F1.0	FINISH SCHEDULE : LOWER UNIT					X
F1.1	FINISH SCHEDULE : UPPER UNIT					X
P1.0	PLUMBING SCHEDULE & CUTSHEETS				X	X
S0.0	GENERAL NOTES	X	X			
S0.1	GENERAL NOTES	X	X			
S0.2	STATEMENT OF SPECIAL INSPECTIONS	X	X		X	
S1.0	TYPICAL WOOD DETAILS	X	X			
S1.1	TYPICAL SHEAR WALL DETAILS	X	X			
S1.2	TYPICAL HOLDOWN& DIAPHRAM DETAILS	X	X			
S1.3	TYPICAL CONCRETE DETAILS	X	X		X	
S2.0	FOUNDATION PLAN	X	X	X	X	
S2.1	LEVEL 1 FRAMING PLAN	X	X	X	X	
S2.2	LEVEL 2 FRAMING PLAN	X	X	X	X	
S2.3	ROOF FRAMING PLAN	X	X		X	
S3.0	CUSTOM FOUNDATION DETAILS	X	X			

## GENERAL NOTES

1. THE WORD CONTRACTOR AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.
2. THE TERM CONSTRUCTION DOCUMENTS SHALL MEAN ALL OF THE DRAWINGS, SCHEDULES AND SPECIFICATIONS AND OTHER WRITTEN ORDERS ISSUED BY THE ARCHITECT'S, ENGINEERS' AND OTHER DESIGN PROFESSIONALS FOR THE PURPOSE OF CONSTRUCTING THE PROJECT.
3. CONTRACTOR SHALL PROMPTLY NOTIFY OWNER'S REPRESENTATIVE IF THE CONTRACTOR BECOMES AWARE DURING THE PERFORMANCE OF THE WORK THAT THE CONSTRUCTION DOCUMENTS ARE AT VARIANCE WITH APPLICABLE CODE REQUIREMENTS. IF CONTRACTOR PERFORMS WORK WHICH HE KNOWS OR SHOULD KNOW IS CONTRARY TO APPLICABLE CODE REQUIREMENTS WITHOUT THE AGREEMENT OF OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH WORK AND SHALL BEAR THE RESULTANT LOSSES INCLUDING WITHOUT LIMITATION THE COSTS OR CORRECTING DEFECTIVE WORK.
4. CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (C.B.C.) AS AMENDED AS OF THE DATE OF THESE DRAWINGS AND WITH LOCAL ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION OVER OWNER, CONTRACTOR, ANY SUBCONTRACTOR, THE PROJECT, THE PROJECT SITE, THE WORK, OR THE PROSECUTION OF THE WORK.
5. CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE WITH THE CONSTRUCTION DOCUMENTS SUCH FIELD MEASUREMENTS, CONDITIONS AND OTHER INFORMATION KNOWN TO CONTRACTOR BEFORE COMMENCING THE WORK. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AT ANY TIME SHALL BE PROMPTLY REPORTED IN WRITING TO THE OWNER.
6. **DO NOT SCALE DRAWINGS**. WRITTEN DIMENSIONS TAKE PRECEDENCE. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. ELEVATION DIMENSIONS ARE TO SUBFLOORS AND PLATES U.O.N. LARGER SCALE DRAWINGS TAKE PRECEDENCE OUT SMALLER SCALE DRAWINGS.
7. CONTRACTOR SHALL CAREFULLY STUDY AND REVIEW THE CONSTRUCTION DOCUMENTS AND INFORMATION FURNISHED BY OWNER AND SHALL PROMPTLY REPORT TO OWNER'S REPRESENTATIVE ANY ERRORS INCONSISTENCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR INCONSISTENCIES WITH APPLICABLE CODE REQUIREMENTS OBSERVED BY THE CONTRACTOR. IF CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY WHICH HE KNOWS OR SHOULD KNOW INVOLVES AN ERROR, INCONSISTENCY OR OMISSION REFERRED TO ABOVE WITHOUT NOTIFYING AND OBTAINING THE WRITTEN CONSENT OF OWNER'S REPRESENTATIVE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTANT LOSSES INCLUDING, WITHOUT LIMITATION, COSTS OF CORRECTING DEFECTIVE WORK.
8. ALL STANDARD NOTES CONTAINED HEREIN ARE TYPICAL UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION OF ALL SUB-CONTRACTORS WORK AND THE COMPLETION OF SAID WORK. CONTRACTOR SHALL REVIEW ALL MATERIALS AND WORKMANSHIP AND REJECT DEFECTIVE WORKMANSHIP WITHOUT WAITING FOR THE ARCHITECT OR OWNER TO REJECT THE WORK.
10. CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTIBLE TO OWNER PRIOR TO COMMENCEMENT OF WORK.
11. BY SUBMITTAL OF BID, CONTRACTOR WARRANTS TO OWNER THAT ALL MATERIALS AND EQUIPMENT TO BE FURNISHED ARE NEW UNLESS NOTED OTHERWISE AND ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS.
12. ALL TRADE NAMES AND BRAND NAMES CONTAINED HEREIN ESTABLISH QUALITY STANDARDS. SUBSTITUTIONS ARE PERMITTED WITH PRIOR APPROVAL BY OWNER.
13. WHERE CONSTRUCTION DETAILS FOR A PART OF THIS PROJECT ARE NOT SHOWN, THE WORK SHALL BE THE SAME AS OTHER SIMILAR WORK FOR WHICH DETAILS ARE SHOWN.
14. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR SCHEDULING AND THE WORK CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY AND FOR THE COMPLIANCE OF APPLICABLE OSHA SAFETY STANDARDS. JOB SITE OBSERVATIONS BY THE OWNER OR ARCHITECT ARE NOT INTENDED TO INCLUDE CHECKING THE CONTRACTOR'S SAFETY STANDARDS.
15. CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND MATERIALS STORED ON THE SITE FROM RAIN OR ANY ADVERSE WEATHER CONDITIONS, VANDALISM AND THEFT. ANY MATERIALS OR WORK LEFT UNPROTECTED AND THEN DAMAGED OR STOLEN SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
16. CONTRACTOR SHALL OBTAIN ALL CHANGE ORDERS IN WRITING PRIOR TO COMMENCING ANY WORK NOT INCLUDED IN THE ORIGINAL CONTRACT. FAILURE TO OBTAIN SUCH AUTHORIZATION MAY INVALIDATE CONTRACTOR'S CLAIM TO ADDITIONAL COMPENSATION.
17. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AGAINST GRAVITY AND SEISMIC LOADS - AND TAKE COMPLETE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF SUCH BRACING - UNTIL ALL STRUCTURAL ITEMS HAVE BEEN COMPLETELY INSTALLED AS PER THE CONSTRUCTION DOCUMENTS.
18. CONTRACTOR SHALL GUARANTEE HIS WORK AND THAT OF HIS SUB-CONTRACTOR'S FOR MINIMUM OF ONE YEAR FROM THE DATE OF "SUBSTANTIAL COMPLETION." CONTRACTOR'S GUARANTEE SHALL NOT VOID OR SHORTEN ADDITIONAL WARRANTIES THAT MAY BE AVAILABLE TO THE OWNER THROUGH PRODUCT MANUFACTURERS OR CONSUMER LAW.
19. THE CONSTRUCTION DOCUMENTS AND ALL COPIES THEREOF FURNISHED TO CONTRACTOR ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED ON OTHER WORK.

## ABBREVIATIONS

@	At	INT.	Interior
A.F.F.	Above Finished Floor	INS.	Insulation
ADJ.	Adjacent	JST	Joist
AGG	Aggregate	JT	Joint
ALUM	Aluminum	K.	Kitchen
APPROX	Approximate	LAV.	Lavatory
ARCH	Architect, Architectural	L.F.	Linear Foot or Feet
B/T	Between	LR	Living Room
BC	Bottom of curb	LVL	Laminated Vertical Lumber
BD.	Board	MAX	Maximum
BK	Back of Walk	M.B.	Metal Bolt
BLDG.	Building	MTL	Metal
BLK.	Block or Blocking	[N]	New
BM	Beam	N.I.C.	Not in Contract
BR	Bedroom	N.T.S	Not to Scale
BRK.	Brick	NO.	Number
CAB.	Cabinet	O.C.	On Center
C.F.	cement fiber	O.H.	Opposite Hand
C.J.	Control Joint	OPG.	Opening
CLG.	Ceiling	OPP.	Opposite
C.L.	Centerline	OSB	Oriented Strand Board
CLR	Clear	P.T.	Pressure Treated
C.M.U.	Concrete Masonry Unit	PART.	Partition
COL	Column	PL.	Plate, Property Line
CONC	Concrete	PLWD	Plywood
CONT.	Continuous	PLYWD	Plywood
CTR	Center	PSL	Parallel Strand Lumber
CTRL.	Control	PT	Paint, Painted
D.B.I.	Dept. of Bldg. Inspection	QTY	Quantity
DBL.	Double	RCP	Receptacle
DEM	Demolish	REQ'D	Required
DET.	Detail	REV.	Revision
D.F.	Douglas Fir	RM	Room
DHW	Domestic Hot Water	R.O.	Rough Opening
DIA.	Diameter	RWD	Redwood
DIM	Dimension(s)	S.A.D.	See Architectural Drawings
DN	Down	SCHEDULE	Schedule
DR	Dining Room	S.D.	Smoke Detector
DWG.	Drawing	S.E.D	See Electrical Drawings
[E]	Existing	SECT	Section
EA.	Each	SF	Square Foot or Feet
E.J.	Expansion Joint	SGL.	Single
ELEC	Electrical	SHT	Sheet
ELEV	Elevation	SIM.	Similar
EQ.	Equal	SPEC	Specification, Specified
EXP	Expansion	S.S.	Stainless Steel
EXT.	Exterior	S.S.D	See Structural Drawing Standard
F.D.	Floor Drain	STOR	Storage
FDN.	Foundation	SW	Shear Wall
F.F.	Finished Floor	T.C.	Top of Curb
FIN.	Finish	T.F.	Top of Footing
FLR.	Floor	T.O.P.	Top of Plate
F.O.S.	Face of Studs	T.W.	Top of Wall
FRPL	Fireplace	TEMP	Tempered, Temporary
FT.	Foot or Feet	THK	Thick
FTG.	Footing	TS	Tube Steel
FURN.	Furnace	TYP.	Typical
GA	Gauge	UNO	Unless Noted Otherwise
GALV	Galvanized	V.I.F.	Verify in Field
GRD	Ground	W/	With
GRN	Granite	W.C.	Water Closet
GYP.	Gypsum	WD.	Wood
HB	Hose Bib	WO	Without
HD	Hold Down	W.W.F.	Welded Wire Fabric
HDR.	Header	W.W.M.	Welded Wire Mesh
HDWR	Hardware		
INCL.	Include		

## PROJECT NOTES

### PHASING

Coordinate phasing of Work and occupancy date(s) with Owner. Provide safety and security measures as appropriate if building is occupied before project completion date

### PERMITS & RELATED FEES

Owner will pay for

- Permits and fees related to Planning Department entitlements
- General building permit fees
- Permit fees for any work contracted directly by the Owner outside of the Project scope
- Required HERS and other third-party Special Inspection fees
- Contractor will pay for all other permits and fees as part of the Work, including but limited to:
  - Electrical, plumbing, mechanical permits, if not included under general building permit
  - Street use and temporary encroachments for the Work
  - Temporary power
  - Debris removal and landfill diversion or other impact fees

### CONSTRUCTION SCHEDULE

Provide construction schedule before start of Work including key milestones, long lead materials and trades, inspections, and dates when Owner selections are required. Update schedule as needed, and no less frequently than each payment request.

### ALLOWANCES

Allowances should be provided for items for which no specific product is selected. Allowance items are to both furnish and install, e.g. a stone countertop or to furnish items only with installation included in the base contract, e.g. tile.

**NO ALLOWANCE ITEM SHOULD BE ORDERED WITHOUT THE CLIENT'S EXPRESS AUTHORIZATION.** Contractor should provide Client a schedule of the date when final selection and purchase of each allowance item must be completed to avoid delaying the Work.

Contractor shall submit written proposals for purchase of allowance items prior to placing order. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance. Contractor shall return unused materials purchased under an allowance to manufacturer or supplier for credit to Client, if possible. If requested by Client when it is not economically practical to return the material for credit, unused material should be saved and prepared for storage by Owner. Otherwise, disposal of unused material is Contractor's responsibility.

Contractor shall examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

### QUALITY REQUIREMENTS

Testing and inspecting services may be required to verify compliance with certain requirements specified or indicated in Special Inspections document or the plans. These services do not relieve Contractor of responsibility for compliance with the Contract Document requirements.

1. Testing and inspecting services shall be performed by independent certified testing agencies or the Engineer of Record or the Architect as indicated in the Special Inspection document.
2. Owner will provide testing and inspecting services not specified to be provided by Contractor.
3. Contractor is responsible for scheduling inspections and tests and notifying testing agency.
4. Contractor shall pay for additional testing and inspecting required as a result of tests and inspections indicating noncompliance with requirements which are no fault of the Client.

Cooperate with testing agencies and provide auxiliary services as requested, including the following:

1. Access to the Work.
2. Incidental labor and facilities to assist inspections and tests.
3. Adequate quantities of materials for testing, and assistance in taking samples.
4. Facilities for storing and curing test samples.
5. Security and protection for samples and test equipment.

### TEMPORARY FACILITIES AND CONTROLS

Contractor shall provide and pay for temporary facilities including:

1. Power, if not available on site.
2. Toilets. Comply with regulations and health codes for type, number, location, operation, and maintenance of fixtures and facilities.
3. Storage as required.
4. Heating and cooling as required for curing materials or for protecting installed construction from adverse weather if required.
5. Environmental controls as required by authorities having jurisdiction including, but not limited to, erosion and sediment control.

Collect waste daily and legally dispose of waste off-site when containers are full. Dispose of material according to applicable laws and regulations. Remove temporary facilities and controls before Substantial Completion. Personnel remaining after Substantial Completion will be permitted to use permanent facilities, under conditions acceptable to Owner

### GREEN REQUIREMENTS

1. Quality Insulation Installation (QII) is **not** required for this project, but is considered a "best practice." Insulation and sealants shall be installed in compliance with applicable QII (Quality Insulation Installation) guidelines: see architectural sheets provided for a selection of installation recommendations and diagrams.
2. Comply with all local regulations regarding waste diversion. Recycle or salvage a minimum of 65% of construction and demolition waste.
3. Wall and floor framing shall not be enclosed when framing members exceed 19% moisture content.
4. Use FSC Certified lumber and plywood sheathing
5. Provide Energy Star rated appliances where applicable. Vent fans less than 400 cfm must comply with max. sones limitation per CalGreen.

## PRODUCT REQUIREMENTS

Request product substitutions in writing with adequate documentation including product to be replaced and documentation showing compliance of proposed substitution with applicable requirements. List changes to other Work & schedules required to accommodate the substitution and any proposed changes in the Contract Sum or the Contract Time should the substitution be accepted.

Submit requests sufficiently in advance of when materials are required in the Work to allow processing of request and subsequent submittals, if any. Do not submit unapproved substitutions on Shop Drawings or other submittals.

Architect or Owner will review the proposed substitution and notify Contractor of its acceptance or rejection. Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss, including theft. Comply with manufacturer's written instructions.

1. Schedule delivery to minimize long-term storage at Project site and to prevent overcrowding of construction spaces.
2. Deliver products to Project site in manufacturer's original sealed container or packaging, complete with labels and instructions for handling, storing, unpacking, protecting, and installing. Include Chain of Custody documentation, if required.
3. Inspect products on delivery to ensure compliance with the Contract Documents and to ensure that products are undamaged and properly protected & labeled.
4. Store materials in a manner that will not endanger Project structure.
5. Store products that are subject to damage by the elements, undercover in a weather tight enclosure above ground, with ventilation adequate to prevent condensation.

Provide products that comply with the Contract Documents, are undamaged, and are new at the time of installation

1. Provide products of the same kind from a single source. Ceramic tile and fabrics must be of a single production batch.
2. Provide products complete with accessories, trim, finish, and other devices and components needed for a complete installation and the intended use and effect.
3. Select products to comply with all the following that are applicable:
  - a. Where a product or manufacturer is named, provide the indicated item. Substitutions may be permitted only for items marked "S".
  - b. Where a product is described with required characteristics, provide a product that complies with those characteristics.
  - c. Where compliance with performance requirements is specified, provide products that comply and are recommended in writing by the manufacturer for the application.
  - d. Where compliance with codes, regulations, or standards, is specified, select a product that complies with the codes, regulations, or standards referenced.
4. Unless otherwise indicated, Owner or Architect will select color, pattern, and texture of each product from manufacturer's full range of options that includes both standard and premium items.

## EXECUTION AND CLOSEOUT REQUIREMENTS

Maintain a copy of the Contract Drawings as Record Drawings. Mark drawings to show installation that varies from the Work originally shown and provide to Client.

Provide Client with all available operation and maintenance data. Include Manufacturer's operation and maintenance, brochures, Spare parts list, Wiring diagrams, Copies of warranties.

Clean each surface or item as follows before requesting inspection for certification of Substantial Completion:

1. Remove labels that are not permanent. **DO NOT REMOVE DOOR AND WINDOW LABELS UNTIL FINAL INSPECTION IS PASSED.**
2. Clean transparent materials, including mirrors. Remove excess glazing compounds. Replace chipped or broken glass.
3. Clean exposed finishes to a dust-free condition, free of stains, films, and foreign substances. Leave concrete floors broom clean.
4. Wipe surfaces of mechanical and electrical equipment. Remove excess lubrication. Clean plumbing fixtures. Clean light fixtures and lamps.
5. Clean the site. Sweep paved areas; remove stains, spills, and foreign deposits. Rake grounds to a smooth, even-textured surface.

Before requesting Substantial Completion inspection, complete the following:

1. Obtain and submit lien and other releases permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, and similar releases.
2. Complete startup testing of systems and instruction of operation and maintenance personnel.
3. Remove temporary facilities and controls.
4. Complete final cleaning requirements, including touchup painting.
5. Touch up and otherwise repair and restore marred exposed finishes to eliminate visual defects.
6. If requested by Owner, facilitate delivery of spare parts, extra materials, and similar items to storage facility indicated by owner. Owner will reimburse Contractor for standard and reasonable travel costs.

Upon request for inspection, Architect will proceed with inspection or advise Contractor of unfulfilled requirements. Architect will reinspect the Work on receipt of notice that the Work has been completed. On completion of reinspection, Architect will authorize a payment. If the Work is incomplete, Architect will advise Contractor of the Work that is incomplete or obligations that have not yet been fulfilled.

### LOCAL CONDITIONS

Contractor is responsible to respect all local ordinances relating to work hours, street use permits, debris collection, and other relevant local ordinances and regulations.

All construction and demolition debris must be recycled using a certified facility in compliance with local applicable ordinances and standards.

### CLEANING AND WASTE MANAGEMENT

Do not permit construction debris to accumulate more than one week. Remove all waste and surplus materials as needed to maintain a clean, safe, and orderly work site.

Assure proper protection in case of weather changes during nights & weekends.

Construction site to be in a clean and orderly condition throughout the construction process. Clean interior spaces prior to the start of finish painting and the application of other finishes.

At the conclusion of construction, clean the project per Closeout Requirements.



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DNN ARCHITECTURE

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CONSTRUCTION SET

GENERAL AND PROJECT NOTES

23.0220  
**429.5 JOHNSON**

429.5 Johnson St  
Sausalito, California  
94965

APN: 065-062-19

REVISIONS	
# REASON	DATE
1.	_____
2.	_____
3.	_____
4.	_____
5.	_____
6.	_____

**09/22/2023**

**A0.1**



**CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION**  
**OFFICE OF THE STATE FIRE MARSHAL**  
**FIRE ENGINEERING & INVESTIGATIONS DIVISION**  
**BUILDING MATERIALS LISTING PROGRAM**

**LISTING SERVICE**

<b>LISTING No.:</b>	8140-2026:0502
<b>CATEGORY:</b>	8140 - EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I.)
<b>LISTEE:</b>	JAMES HARDIE BUILDING PRODUCTS, INC. 10901 Elm Avenue, Fontana, CA, 92337 Contact: Haldeman, Alex (951) 545-8359 Email: alex.haldeman@jameshardie.com
<b>DESIGN:</b>	*Hardie® Architectural Panel, noncombustible fiber-cement panel siding, 5/16" thick. Refer to manufacturer's installation instructions and product data sheets.
<b>RATING:</b>	Noncombustible Tested in accordance with ASTM E136
<b>INSTALLATION:</b>	In accordance with listee's printed installation instructions, applicable codes and ordinances, and in a manner acceptable to the authority having jurisdiction.
<b>MARKING:</b>	Listee's name, model number, rating, and SFM label.
<b>APPROVAL:</b>	Listed as exterior siding material for use in the Wildland Urban Interface areas. Compliance in accordance with Chapter 7A of the California Building Code. Refer to listee's Installation Instruction Manual for details.
<b>NOTES:</b>	

\*Revision 3-23-22  
VWW



This listing is based upon technical data submitted by the applicant. OSFM Fire Engineering staff has reviewed the test results and/or other data but does not make an independent verification of any claims. This listing is not an endorsement or recommendation of the item listed. This listing should not be used to verify correct operational requirements or installation criteria. Refer to listee's data sheet, installation instructions and/or other suitable information sources.

Date Issued: 07/06/2023

Listing Expires: 06/30/2024

Authorized By: **David Castillo**, Program Coordinator  
Fire Engineering & Investigations Division



**CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION**  
**OFFICE OF THE STATE FIRE MARSHAL**  
**FIRE ENGINEERING & INVESTIGATIONS DIVISION**  
**BUILDING MATERIALS LISTING PROGRAM**

**LISTING SERVICE**

<b>LISTING No.:</b>	8140-2022:0001
<b>CATEGORY:</b>	8140 - EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I.)
<b>LISTEE:</b>	BODYGUARD WOOD PRODUCTS C/- 8385 White Oak Avenue, Rancho Cucamonga, CA, 91730 Contact: Spraggon, Wayne +64 27 801 4101 Email: waynes@bodyguardwood.com
<b>DESIGN:</b>	Bodyguard® V-Rustic siding Pattern Number 793, 794 and 795, preservative treated pine, minimum 3/4x6 inches dimension, with no through holes or loose knots, installed over oriented strand board (OSB) with a 7/16" minimum thickness. For horizontal installation only. Refer to the manufacturer's installation instructions and product data sheets.
<b>RATING:</b>	Compliance in accordance with Chapter 7A of the California Building Code.
<b>INSTALLATION:</b>	In accordance with listee's printed installation instructions, applicable codes and ordinances and in a manner acceptable to the authority having jurisdiction.
<b>MARKING:</b>	Listee name, Model number, rating and SFM label.
<b>APPROVAL:</b>	Listed as exterior siding for use in the Wildland Urban Interface areas.
<b>NOTES:</b>	

Issued 05-16-11  
bh



This listing is based upon technical data submitted by the applicant. OSFM Fire Engineering staff has reviewed the test results and/or other data but does not make an independent verification of any claims. This listing is not an endorsement or recommendation of the item listed. This listing should not be used to verify correct operational requirements or installation criteria. Refer to listee's data sheet, installation instructions and/or other suitable information sources.

Date Issued: 07/17/2023

Listing Expires: 06/30/2024

Authorized By: **David Castillo**, Program Coordinator  
Fire Engineering & Investigations Division



**CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION**  
**OFFICE OF THE STATE FIRE MARSHAL**  
**FIRE ENGINEERING & INVESTIGATIONS DIVISION**  
**BUILDING MATERIALS LISTING PROGRAM**

**LISTING SERVICE**

<b>LISTING No.:</b>	8110-2327:0500
<b>CATEGORY:</b>	8110 - DECKING FOR WILDLAND URBAN INTERFACE (W.U.I.)
<b>LISTEE:</b>	ICP Construction 150 Dascomb Rd, Andover, MA, 01810 Contact: Malek, Adrienne (951) 837-5959 Email: amalek@icpgrp.com
<b>DESIGN:</b>	Pli-Dek ESR-2097 Walking Deck System. Product consists of a polymer modified cementitious coating covering 2.5 lbs/sq. yd. of galvanized metal lath over a minimum 5/8" plywood substrate.
<b>RATING:</b>	Refer to manufacturer's installation instructions and product data sheets.  Class A Flame Spread Index: 0 Smoke Developed Index: 5 Max Flame Front: 8.5 feet
<b>INSTALLATION:</b>	In accordance with listee's printed installation instructions, applicable codes and ordinances, and in a manner acceptable to the authority having jurisdiction.
<b>MARKING:</b>	Listee's name, model number, rating, and SFM label.
<b>APPROVAL:</b>	Listed as decking material for use in the Wildland Urban Interface areas. Refer to listee's Installation Instruction Manual for details.
<b>NOTES:</b>	

12-02-20 VWW



This listing is based upon technical data submitted by the applicant. OSFM Fire Engineering staff has reviewed the test results and/or other data but does not make an independent verification of any claims. This listing is not an endorsement or recommendation of the item listed. This listing should not be used to verify correct operational requirements or installation criteria. Refer to listee's data sheet, installation instructions and/or other suitable information sources.

Date Issued: 06/02/2023

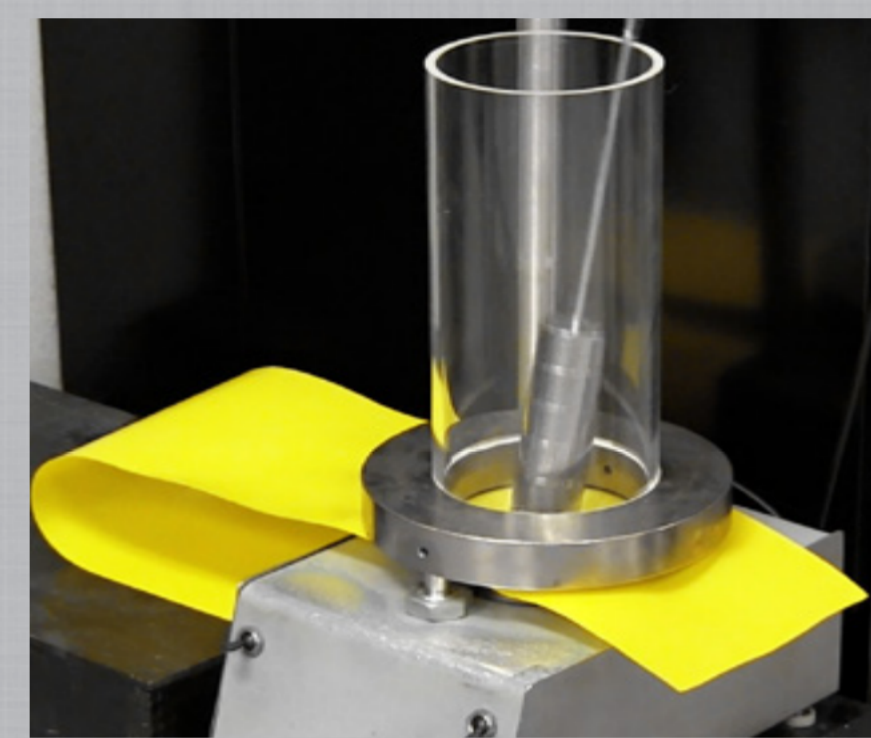
Listing Expires: 06/30/2024

Authorized By: **David Castillo**, Program Coordinator  
Fire Engineering & Investigations Division

**PROPERTIES OF 10 MIL HUSKY® YELLOW GUARD® CLASS A VAPOR RETARDER**

Properties	Test Method	ASTM E 1745 Class A Requirements	Yellow Guard® Vapor Retarder Test Result	Measures
Permeance	ASTM F 1249	0.1 perms	0.028 perms/0.0126 WVTR	Resistance to water vapor
Puncture Resistance	ASTM D 1709 Method B	2200 g	3500 g	Impact energy required to cause failure
Tensile Strength	ASTM D 882	45.0 lbf/in	50 lbf/in	Force required to break/rupture film
Permeance After Conditioning (ASTM F 1249)	ASTM E 154			Resistance to water vapor after:
	Section 8	0.1 perms	0.030 perms	-wetting, drying, and soaking
	Section 11	0.1 perms	0.031 perms	-heat conditioning
	Section 12	0.1 perms	0.031 perms	-low-temperature conditioning
	Section 13	0.1 perms	0.032 perms	-soil organism exposure
Thickness			10 mils	
Roll Dimensions			14 ft x 210 ft	
Roll Weight			142.4 lbs	

\*WVTR (Water Vapor Transmission Rate) in g(100 in<sup>2</sup> · day)  
Perm = grains/(ft<sup>2</sup> · hr · inHg)



**Limited Replacement Warranty**

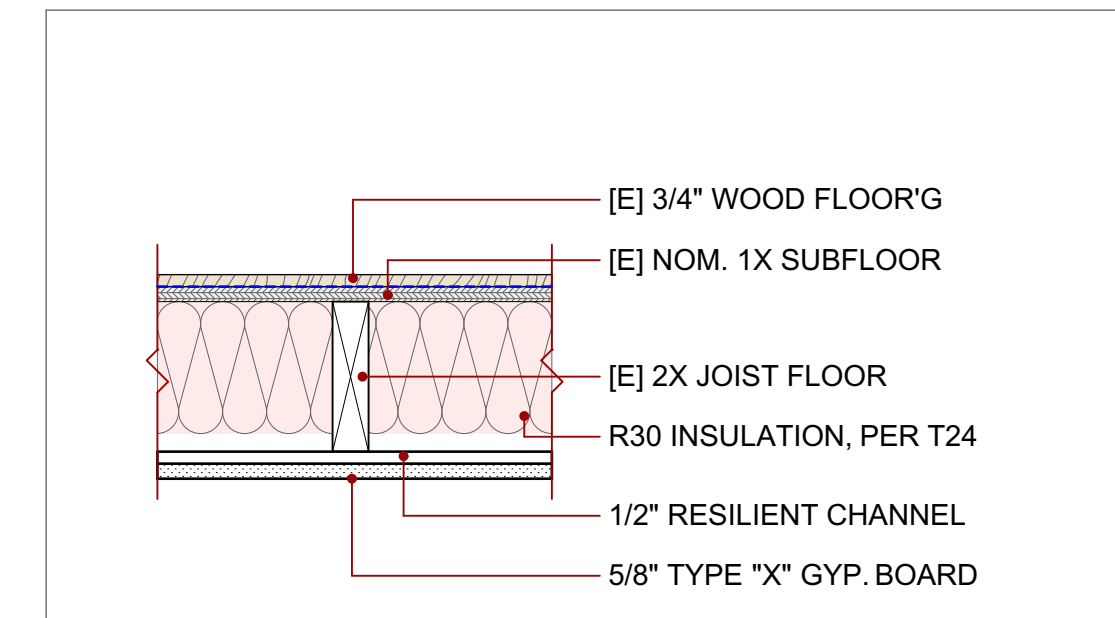
Poly-America provides a limited replacement warranty on Husky® Yellow Guard® vapor retarder representing that the vapor retarder is free from material defects for a period of 1 year from the date of sale. The specific details of Poly-America's limited replacement warranty are available at <http://www.yellowguard.com/limitedwarranty.pdf>.

**Poly-America**

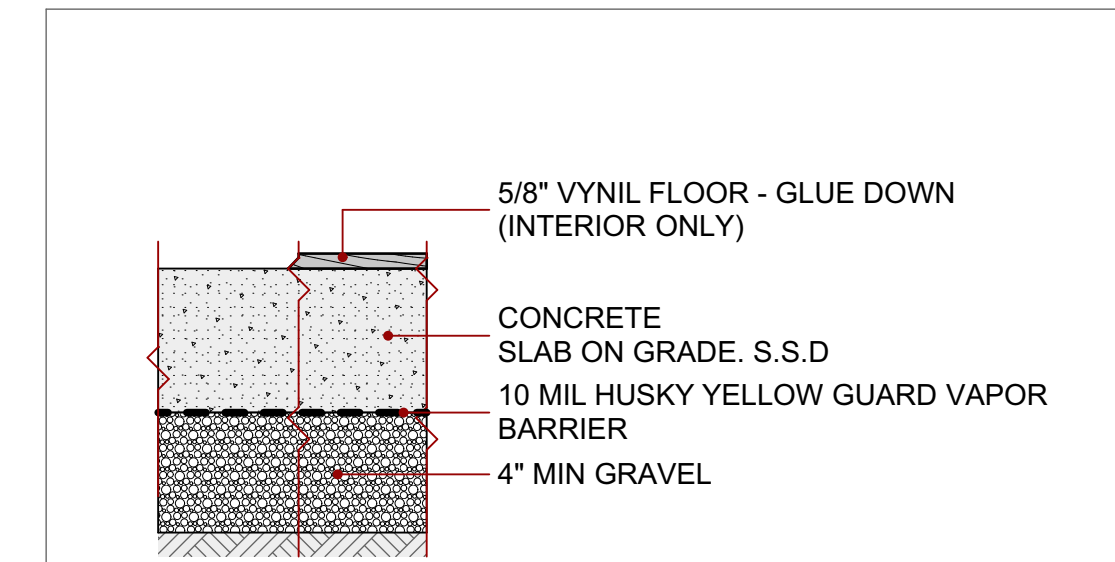
2000 W. Marshall Dr. • Grand Prairie, TX 75051

800-527-3322 • 972-337-7610 • Fax 972-337-7016 • [www.yellowguard.com](http://www.yellowguard.com) • [yellowguard@poly-america.com](mailto:yellowguard@poly-america.com)

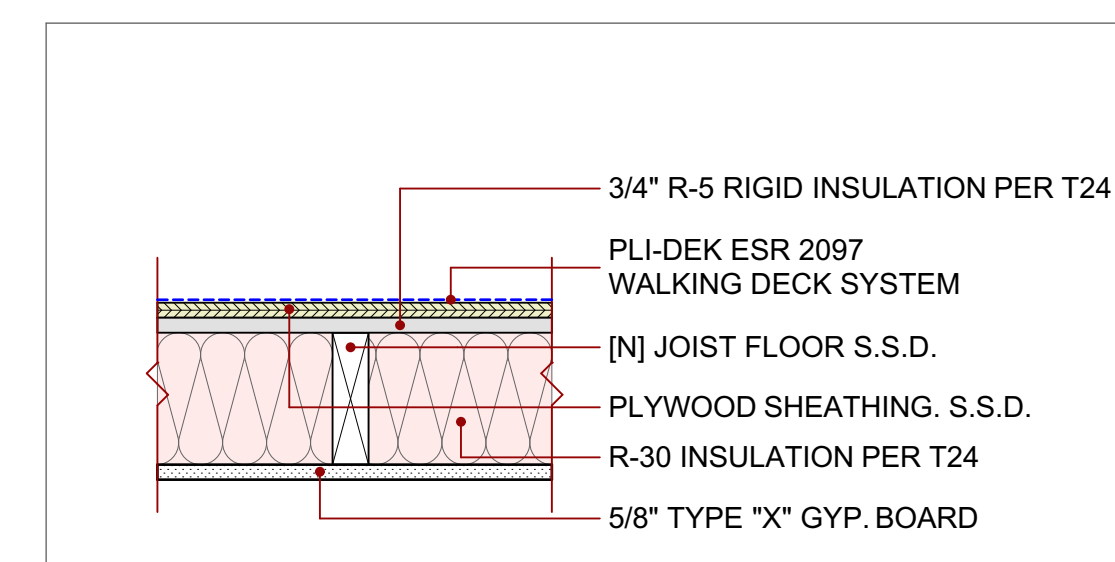
The information provided herein has been compiled by Poly-America, L.P. and to the best of our knowledge accurately represents Poly-America's Yellow Guard® vapor retarders at the time of publication. This publication is offered "as is" for preliminary planning purposes only, without any warranties of any kind. Final determination of suitability of this information or these products for the use contemplated and its manner of use is the sole responsibility of the end user. Poly-America, L.P. assumes no liability in connection with the use of this information and these products. This information is subject to change without notice. 17-00-0000 Rev 06/21



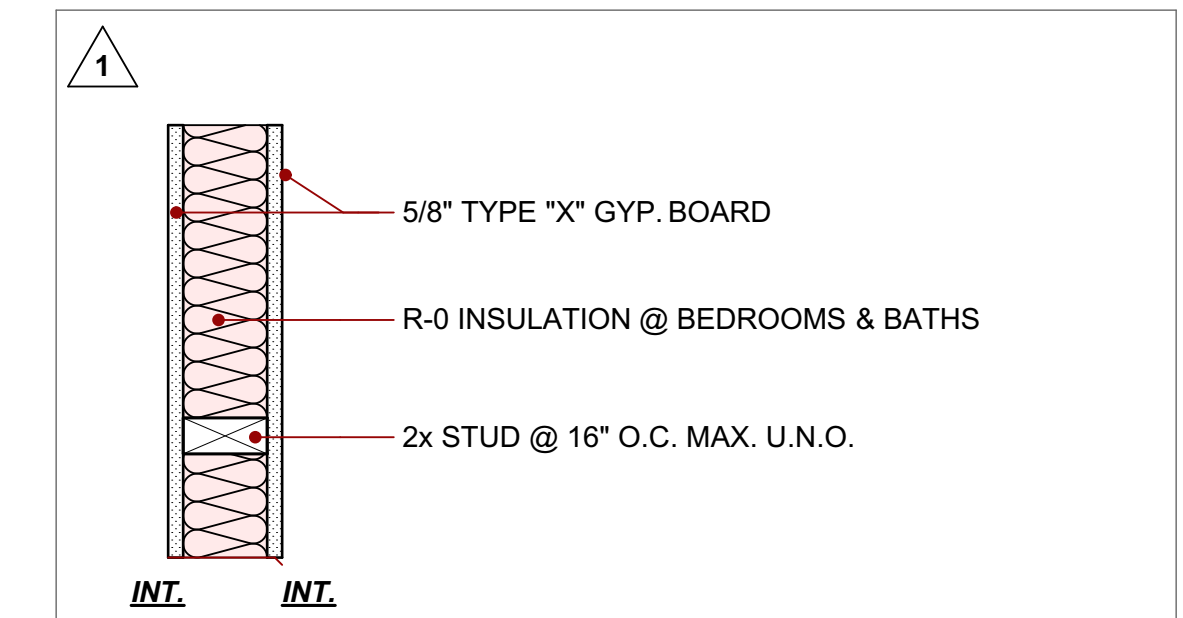
**F2** INTERIOR FLOOR  
1 HOUR RATED FLOOR PER C.B.C. TABLE 721.1(3) 13-1.4



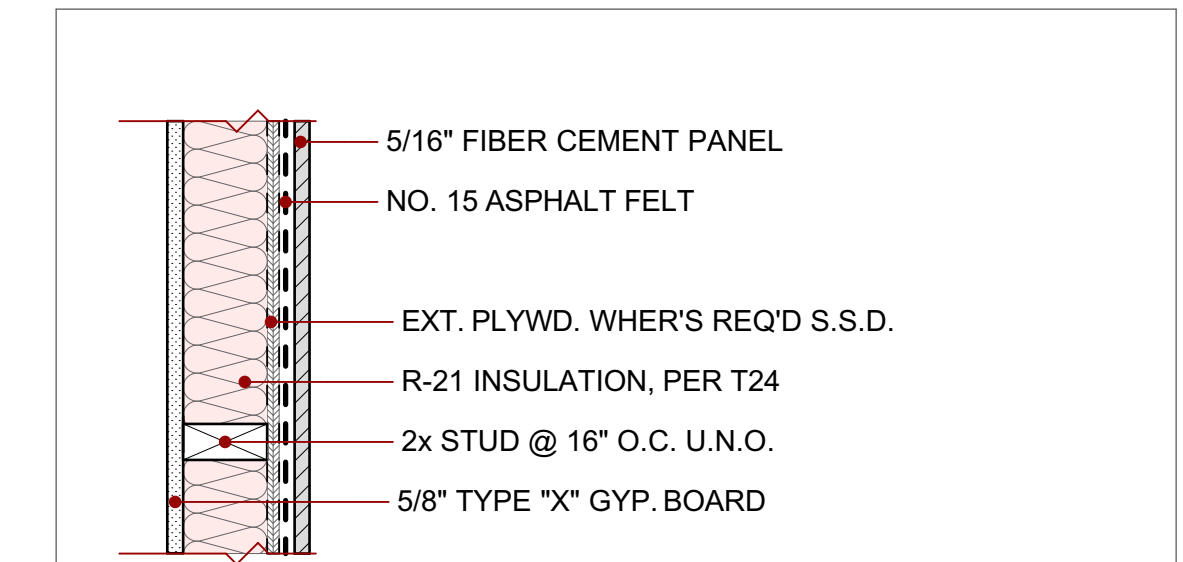
**F3** SLAB ON GRADE - TYP  
NO FIRE RATING



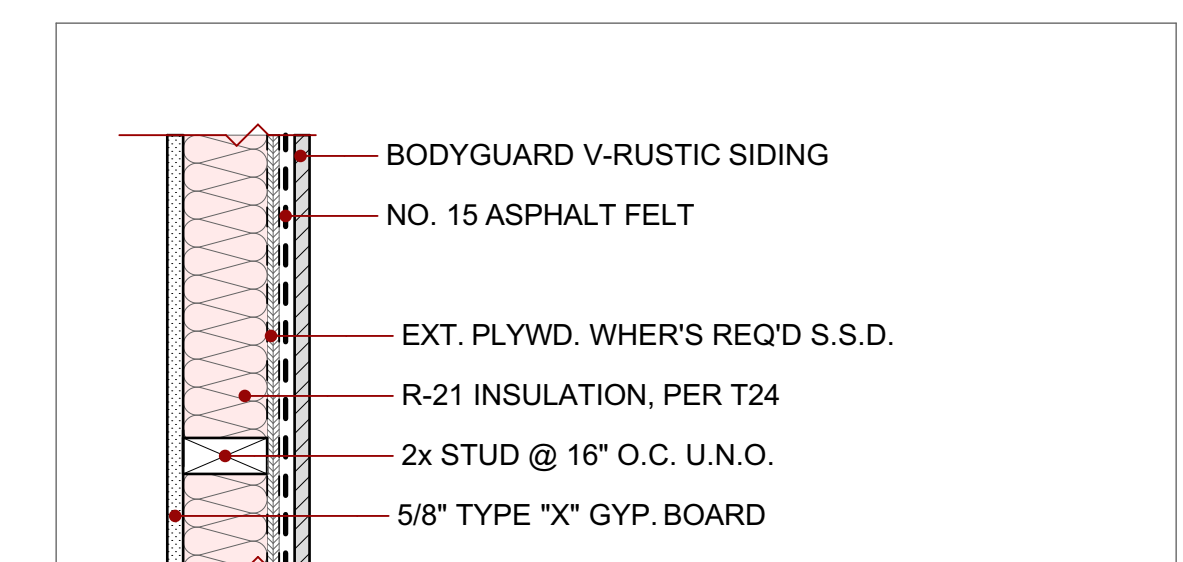
**R1** UNVENTED FIRE RATED ROOF/DECK:  
COMPLIES WITH CRC 806.5.1.2



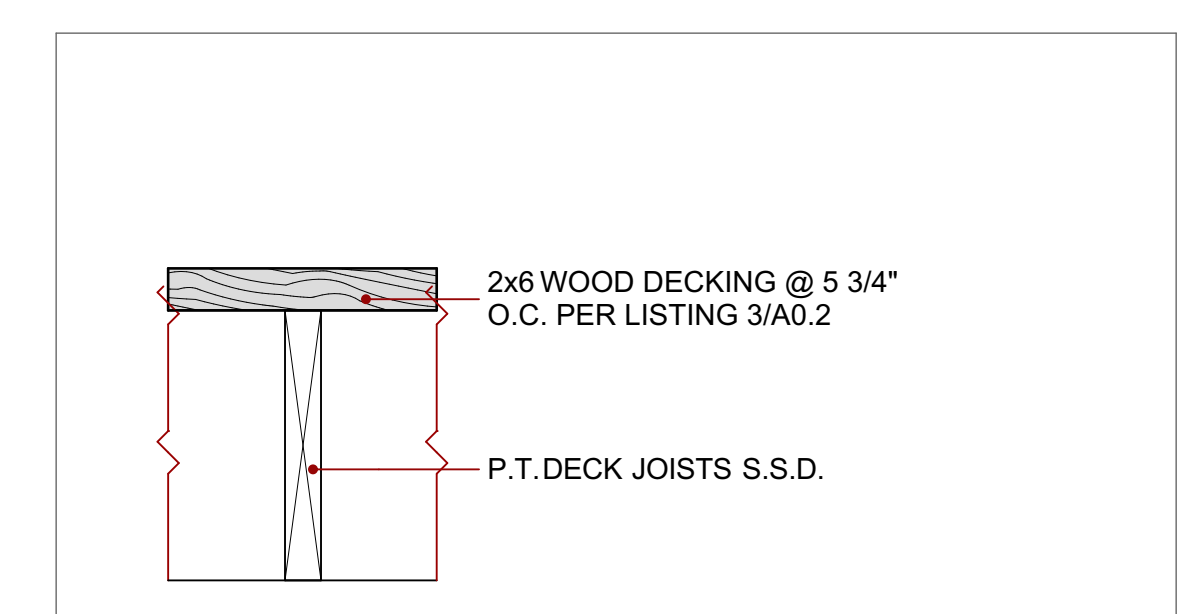
**W1** INTERIOR WALL:  
1-HOUR FIRE RATED, PER C.B.C. TABLE 721.1(2), ITEM 14-1.3



**W2** TYPICAL EXTERIOR WALL:  
1-HOUR FIRE RATED, PER C.B.C. TABLE 721.1(2), ITEM 16-1.1



**W3** TYPICAL EXTERIOR WALL:  
1-HOUR FIRE RATED, PER C.B.C. TABLE 721.1(2), ITEM 16-1.1



**F1** [E] WOOD DECK  
NO FIRE RATING



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CONSTRUCTION SET

TYPICAL ASSEMBLIES

23.0220

**429.5 JOHNSON**

429.5 Johnson St  
Sausalito, California  
94965

APN: 065-062-19

REVISIONS

#	REASON	DATE
1.	Plan Check	11/29/23
2.	Plan Check	3/26/24
3.	Plan Check	4/30/24
4.		
5.		
6.		

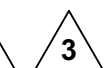
09/22/2023

TYP. ASSEMBLIES

1

**A0.2**

SCALE: 1 1/2" = 1'-0"





SOUTHERN MARIN FIRE PROTECTION DISTRICT

FIRE PREVENTION DIVISION

28 Liberty Ship Way, Ste. 2800, Sausalito, CA 94965

Phone: (415) 380-1120 | Email: prevention@smfd.org | Web: www.smfd.org

October 26<sup>th</sup>, 2023

Attn: Permit Technician
City of Sausalito | Community Development Department
Permit.technician@sausalito.gov

Re: 429 1/2 JOHNSON ST, SAUSALITO, CA 94965 PN: B2023-00926

The proposed plans for the above-listed project have been reviewed. Based on the plans as submitted, the items noted below shall be imposed by the Southern Marin Fire Protection District (SMFD) in accordance with current requirements of the 2022 California Fire Code and SMFD ordinance and standards.

Although our plan review is comprehensive and intended to be complete, non-compliant elements and conditions may occasionally be overlooked, or some elements may lack clarity, or an element may be misrepresented on the submitted plans. Please be aware non-compliant elements and conditions not addressed in plan review are subject to field review, and compliance with all applicable codes and laws will be required based on the results of the onsite inspection.

Please Note: This project is within the Wildland Urban Interface (WUI) Zone as determined by the Southern Marin Fire Protection District.

The following documents were reviewed:

- Drawings by: Erik McGregor Dated: 8-31-2023 Titled: 429.5 JOHNSON ST-ADU CONVERSION

Project Description:

Convert upper and lower unit into ADUs.

This application was found to be complete and the following conditions should be noted for the project:

PRIOR TO PERMIT ISSUANCE:

- 1. Redlines required. Please provide the following redlines to the approved set of plans with the Building Department prior to issuance:
a. Include on the cover sheet that this property is in the Wildland Urban Interface (WUI).
b. Include on the cover sheet that applicable codes for the 2022 California Fire Code.

CONDITIONS OF APPROVAL:

- 1. A HOLD IS IN PLACE ON THE CLOSE-IN INSPECTION TO VERIFY SCOPE OF WORK. Prior to scheduling any rough inspections with the Building Department, verification of the scope of the project/work and a hazard assessment will be performed. If the project exceeds the projected percentage, it will be treated as a substantial remodel\*\*, and a vegetation management plan, fire sprinkler system, and potential hydrant upgrade will be required to be provided to Southern Marin Fire District and installed prior to the final inspection.
a. SCHEDULING: To schedule a fire inspection, please visit smfd.org/request-an-inspection. Please select "Close-In Inspection" under Construction Inspections to schedule your inspection. Inspections can be scheduled up to 48 hours in advance. Inspections are available Mondays through Thursdays. A passed fire inspection is required to be obtained by the building department prior to scheduling the close in and final inspections.

b. VEGETATION AND FUEL MANAGEMENT: To avoid additional inspections, holds, and/or fees, please make sure all vegetation management is in compliance by the time of the fire inspection.

2. WUI Requirements: This property is located within the Wildland Urban Interface (WUI) and shall be noted on the title sheet of the plans. The materials used in construction on the exterior of the structure shall comply with building standards in Chapter 7A of the California Building Code and/or section 337 of the California Residential Code.

3. Deferred Submittals: Please note on the cover sheet of the drawings all deferred submittals that will be required by Southern Marin Fire District.

4. Fire Sprinkler System Requirements: The current scope of work appears to be less than 50% of the existing structure, and fire sprinklers are not required. However, if further plan review, change in scope of work, or site visit reveals that the work is in excess of 50% of the existing structure, then the requirement for fire sprinklers will be re-evaluated, and sprinklers may be required as noted below.

5. Fire Sprinkler Requirements: The current scope of work appears to be in excess of 50% of the existing structure and is being considered a substantial remodel as defined in SMFD Ordinance 2022/2023 and shall require the installation of fire sprinklers throughout the structure. However, if further review or change in scope reveals that the project is less than 50% of the existing structure, then the project will be re-evaluated.

6. Fire Sprinkler Requirements: If the structure is currently equipped with an existing fire sprinkler system. If any existing system is required to be altered to increase coverage or relocate sprinkler heads, please submit specifications, plans, and a letter of intent to the District for review.

7. A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).

8. Wildland Urban Interface Vegetation Requirements: Any person who owns, leases, controls or maintains any building or structure, vacant lands, open space, and/or lands within specific Wildland Urban Interface areas of the jurisdiction of the Southern Marin Fire Protection District, shall comply with the following:

- a. Cut and remove all fire prone vegetation within 30 feet of structures, up to 150 feet when topographic or combustible vegetative types necessitate removal as determined by the Fire Code Official.
b. Remove accumulated dead vegetation on the property.
c. Cut and remove tree limbs that overhang wood decks and roofs.
d. Remove that portion of any tree which extends within 10 feet of any chimney or stovepipe, roof surfaces and roof gutters
e. Clean any leaves and needles from roof and gutters.
f. Cut and remove growth less than 3-inches in diameter, from the ground up to a maximum height of 10 feet, provided that no crown shall be raised to a point so as to remove branches from more than the lower one-third of the tree's total height.
g. Vegetation clearance requirements for new construction and substantial remodels in Wildland-Urban Interface Areas shall be in accordance with the 2018 International Wildland-Urban Interface Code, as amended by the Southern Marin Fire Protection District
h. Clearance of flammable brush or vegetative growth from fire access road or driveways. The fire code official is authorized to require, within 10 feet on each side and 15 feet in height of highways, streets, fire apparatus roads and driveways, to be abated of flammable vegetation and other combustible growth.

EXCEPTION 1: When approved by the Fire Code Official, single specimens of trees, ornamental shrubbery or similar plants, or plants used as ground covers, provided they do not form a means of rapidly transmitting fire from the native growth to any structure.

EXCEPTION 2: When approved by the Fire Code Official, grass and other vegetation located more than 30 feet (9144 mm) from buildings or structures less than 18 inches (457 mm) in height above the ground need not be removed where necessary to stabilize soil and prevent erosion.

9. Roof Deck Materials: The roof deck shall be a class-A roofing assembly. The material shall either cover the entire surface or have clearance to enable the undersurface to be cleaned of debris. The materials must be specified on the plans.

10. The address shall be posted in accordance with requirements of the California Fire Code and SMFD standard 205 (Premises Identification).

- a. Properties located within the Wildland Urban Interface are required to have an approved address marker visible from across the street in contrasting colors per 2019 CA Fire Code.
b. Properties located within the Wildland Urban Interface are required to have an approved address marker that is reflectorized per CA Public Resource Code 4291.
c. Each dwelling unit (primary and ADU) shall have address numbers posted in a conspicuous place, clearly visible from the street. Numbers should be minimum 4" in height and contrasting in color to their background. Show location(s) on plan.

11. Smoke / CO Detectors shall be installed in accordance with the California Residential Code (CRC R314 &R315).

12. Prior to occupancy, a spark arrestor shall be installed on the chimney(s).

13. This project shall comply with California Fire Code Chapter 33 - Fire Safety During Construction and Demolition. These requirements include but are not limited to: Temporary Heating Equipment, Precautions Against Fire, Flammable and Combustible Liquids, Flammable Gases, Owners Responsibility for Fire Protection, Fire Reporting, Access for Fire Fighting, Means of Egress, Water Supply for Fire Protection, Standpipes, Automatic Fire Sprinkler Systems, Portable Fire Extinguishers, Motorized Construction Equipment, and Safeguarding Roofing Operations.

14. Fire access to the project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.

\*\*Substantial Remodel Defined - The renovation of any structure, which combined with any additions to the structure, affects a floor area which exceeds fifty percent of the existing floor area of the structure within any 36-month period. When any changes are made in the building, such as walls, columns, beams or girders, floor or ceiling joists and coverings, roof rafters, roof diaphragms, foundations, piles or retaining walls or similar components, the floor area of all rooms affected by such changes shall be included in computing floor areas for the purposes of applying this definition. This definition does not apply to the replacement and upgrading of residential roof coverings.

Any revisions that include additional floor area, reduction of floor area, or modifications to existing or new walls, floors, ceilings, or roofs shall be submitted as revised drawings to the District for further review.

Final occupancy approval shall not be granted/released until authorization to the Community Development Agency has been received from the Fire District.

Thank you,

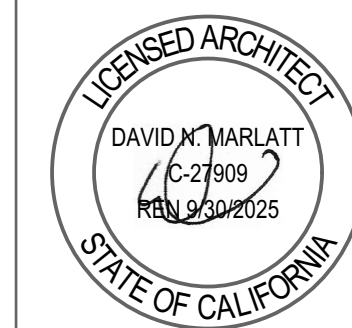
[Signature]

Marshall Nau - Deputy Fire Marshal
mnau@smfd.org Office: (415)906-4470 | Cell: (415)847-3903



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CONSTRUCTION SET

CONDITIONS OF APPROVAL

23.0220

429.5 JOHNSON

429.5 Johnson St

Sausalito, California
94965

APN: 065-062-19

REVISIONS

Table with 3 columns: #, REASON, DATE. Row 1: 1, Plan Check, 11/29/23. Rows 2-6 are blank.

09/22/2023

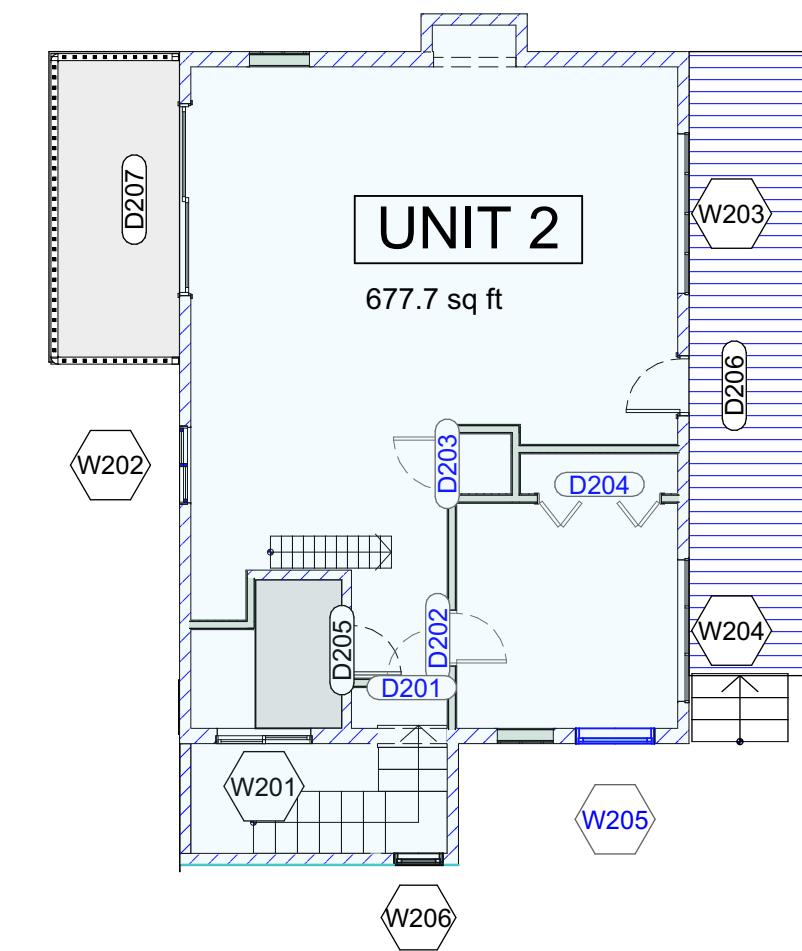
A0.3

WALL TYPE KEY	
	WALL TO REMAIN
	WALL TO DEMO
	WALL TO BUILD

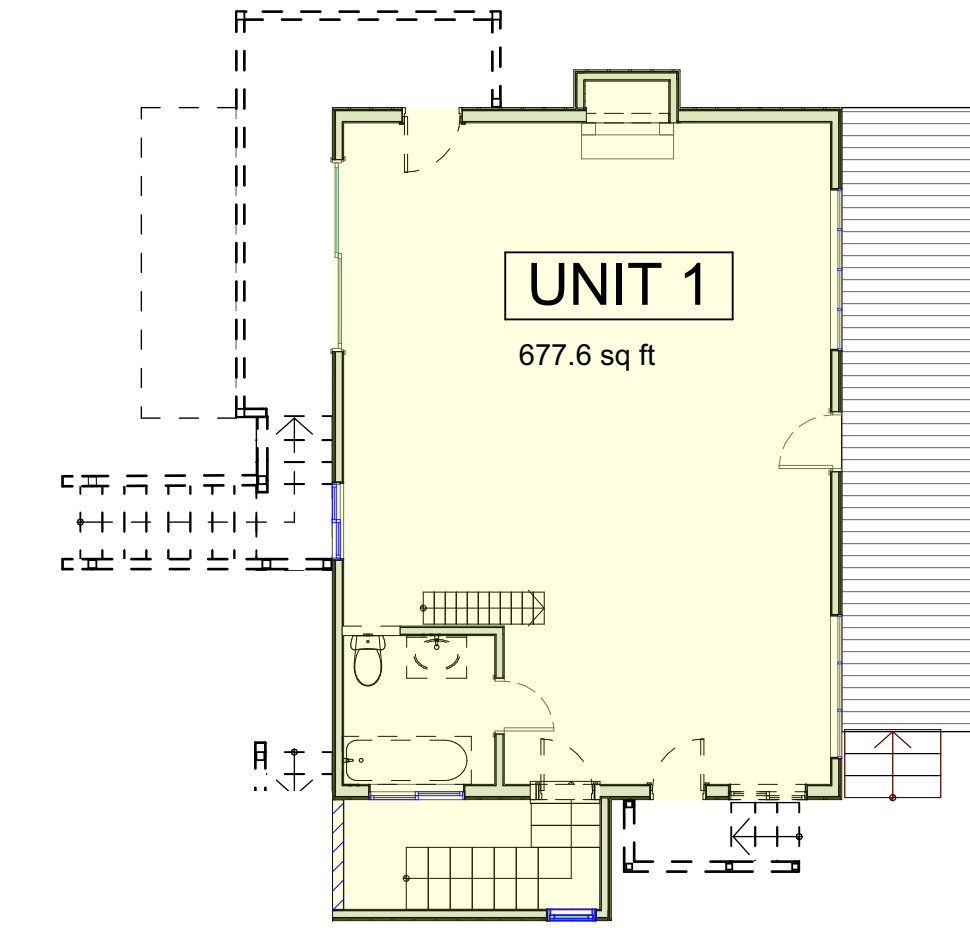
### WALLS - LINEAR FOUNDATION MEASUREMENTS

SECOND STORY		LOAD BEARING WALLS
EXISTING		193.3
EXISTING TO REMAIN		155.3
EXISTING TO REMOVE		38 <b>19.6%</b>

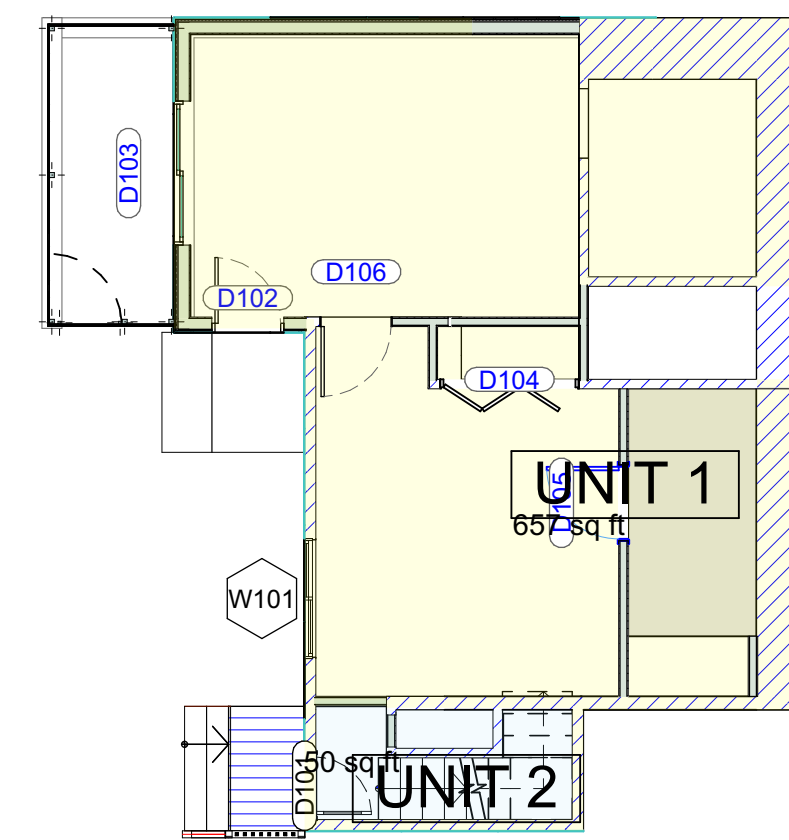
FIRST STORY		LOAD BEARING WALLS
EXISTING		127.2
EXISTING TO REMAIN		121.6
EXISTING TO REMOVE		5.6 <b>4%</b>



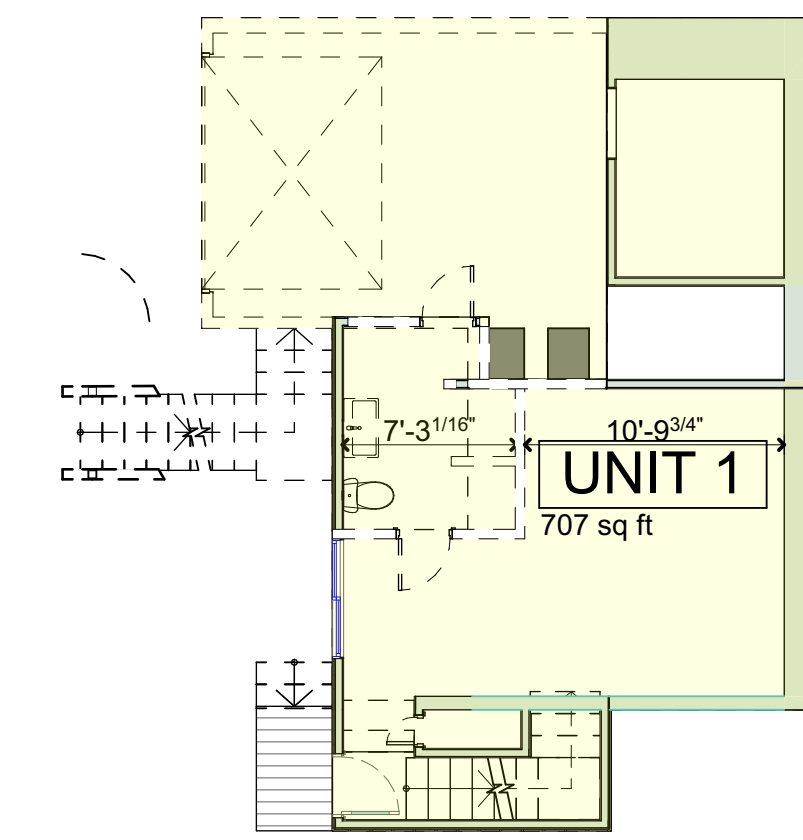
[N] SECOND STORY 3  
SCALE: 1/8" = 1'-0"



[E] SECOND STORY 4  
SCALE: 1/8" = 1'-0"



[N] FIRST STORY 2  
SCALE: 1/8" = 1'-0"



[E] FIRST STORY 1  
SCALE: 1/8" = 1'-0"

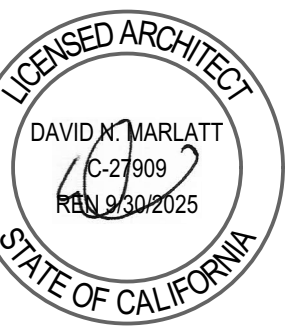
PROPOSED FLOOR AREA			
	UNIT 1	UNIT 2	TOTAL
FIRST STORY	657 SF	50 SF	707 SF
SECOND STORY	0 SF	677.7 SF	677 SF
TOTAL	657 SF	727 SF	1,384 SF

EXISTING FLOOR AREA			
	UNIT 1	UNIT 2	TOTAL
FIRST STORY	707 SF	0 SF	707 SF
SECOND STORY	677 SF	0 SF	677 SF
TOTAL	1,384 SF	0 SF	1,384 SF



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## CONSTRUCTION SET

# EXISTING AND PROPOSED AREA CALCS

23.0220  
**429.5 JOHNSON**  
 429.5 Johnson St  
 Sausalito, California  
 94965

APN: 065-062-19

REVISIONS	
#	REASON DATE
1.	Plan Check 11/29/23
2.	Plan Check 3/26/24
3.	
4.	
5.	
6.	

09/22/2023

# A0.9



**WALL TYPE KEY**

- WALL TO REMAIN
- WALL TO DEMO
- WALL TO BUILD

1

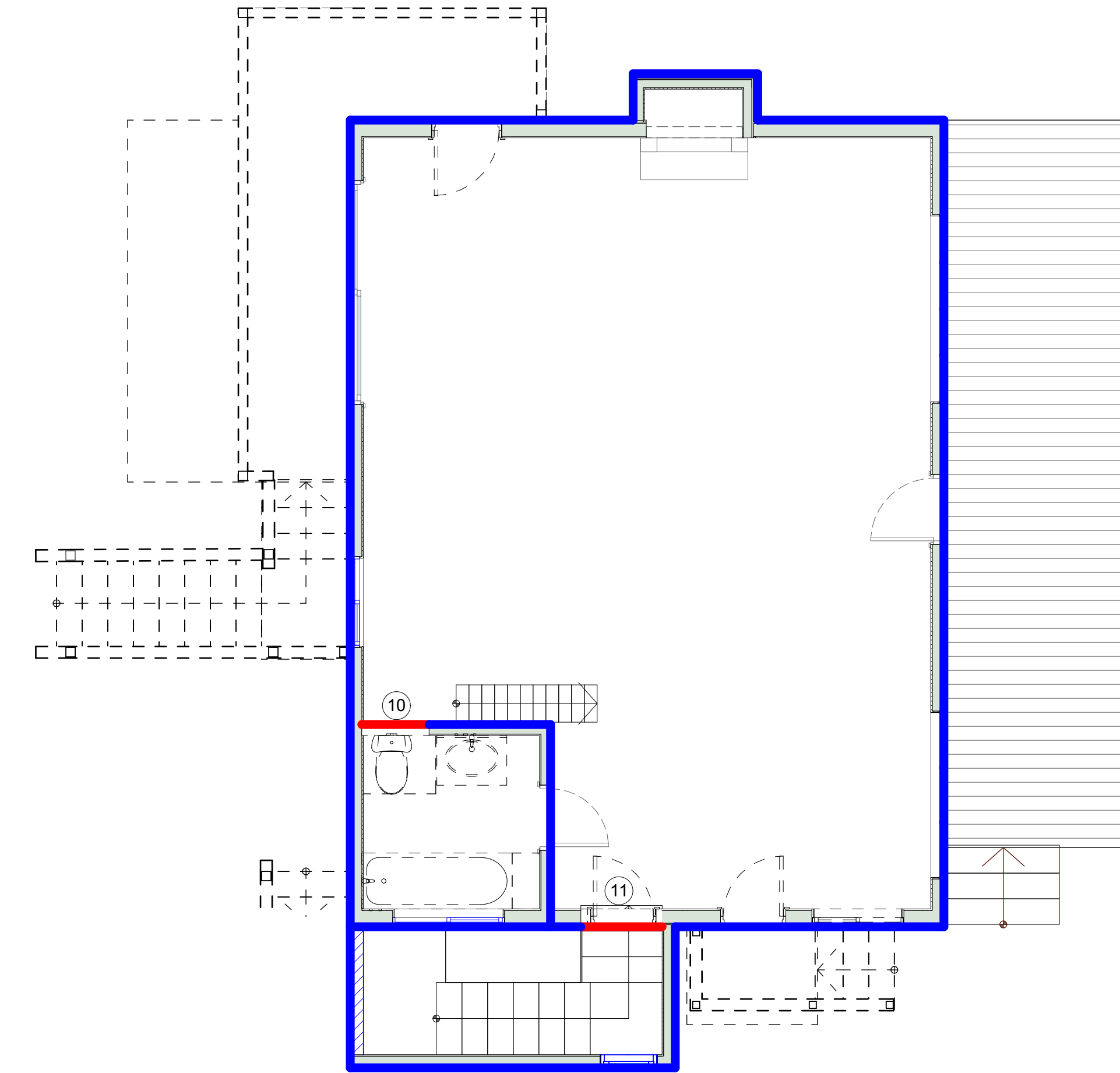
INT&EXT WALLS	EXISTING	DEMO	TO REMAIN	TOTAL
1ST FLOOR	201	75.2	126.8	37.4%
2ND FLOOR	127.2	5.6	121.6	4%
<b>TOTAL</b>	<b>328.2</b>	<b>80.8</b>	<b>248.4</b>	<b>24.6%</b>

**1ST FLOOR INT.&EXT. DEMO** 2

INT&EXT WALLS	EXISTING
1	16.8
2	12.9
3	5.4
4	6.5
5	2.1
6	13.9
7	6.6
8	3
9	8
<b>TOTAL</b>	<b>75.2</b>

**2ND FLOOR INT.&EXT. DEMO** 1

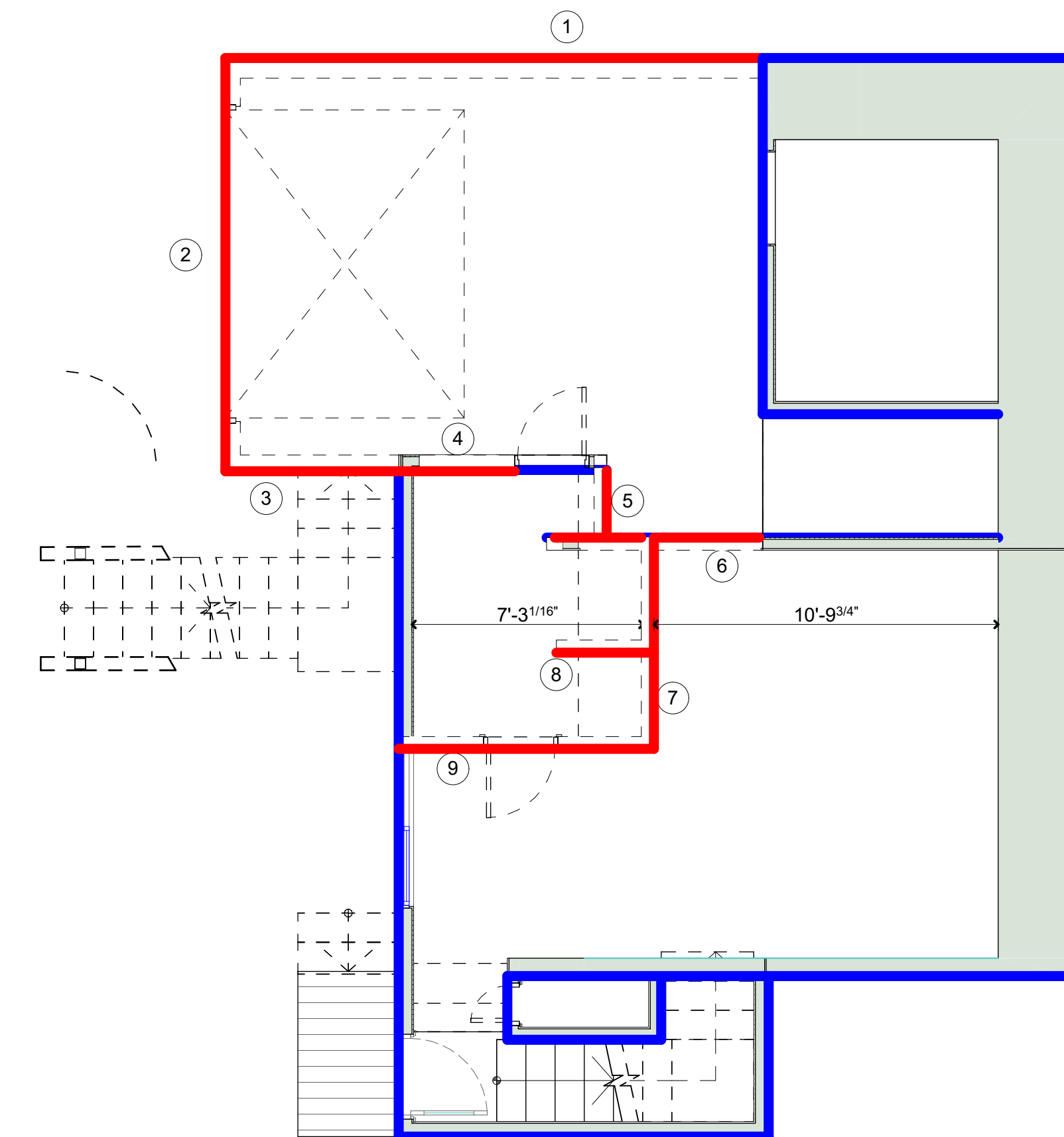
INT&EXT WALLS	EXISTING
10	2.33
11	3.33
<b>TOTAL</b>	<b>5.66</b>



SECOND DEMO CALCULATION

SCALE: 1/4" = 1'-0"

2



FIRST DEMO CALCULATION

SCALE: 1/4" = 1'-0"

1



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CONSTRUCTION SET

**DEMOLITION CALCULATIONS**

23.0220  
**429.5 JOHNSON**  
 429.5 Johnson St  
 Sausalito, California  
 94965

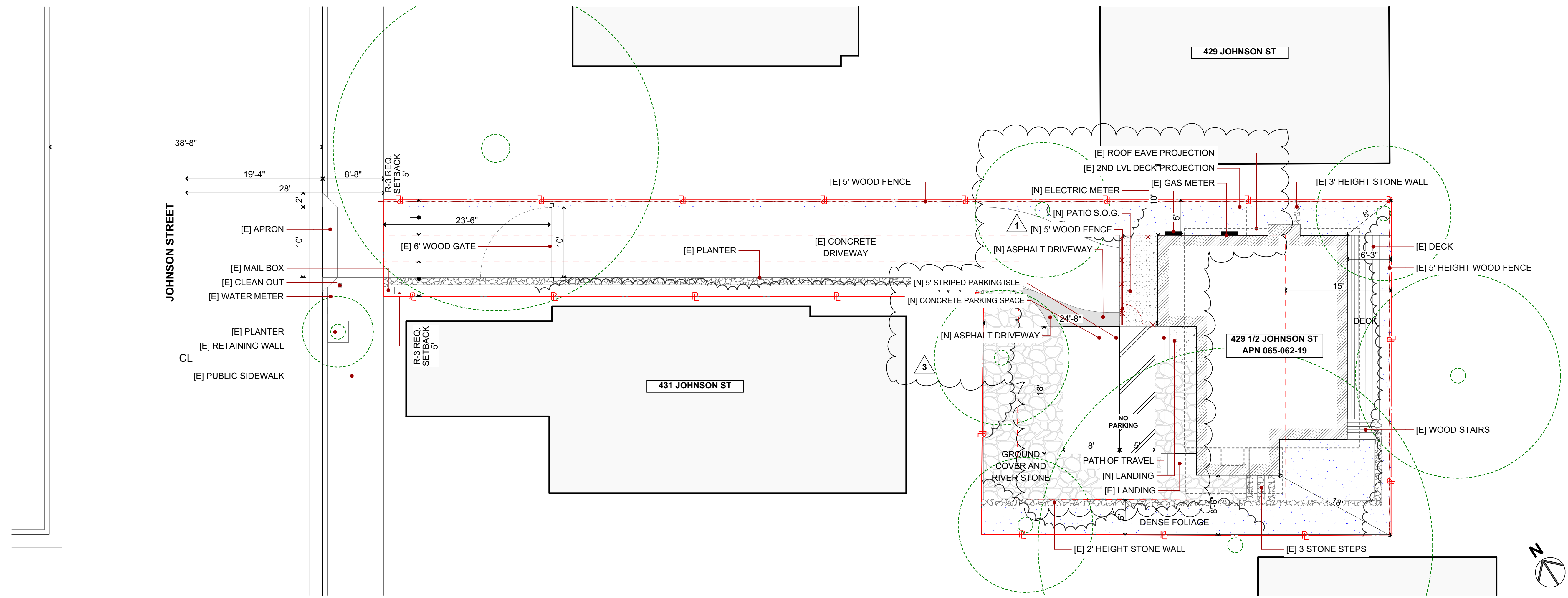
APN: 065-062-19

#	REASON	DATE
1	Plan Check	11/29/23
2	Plan Check	3/26/24
3.		
4.		
5.		
6.		

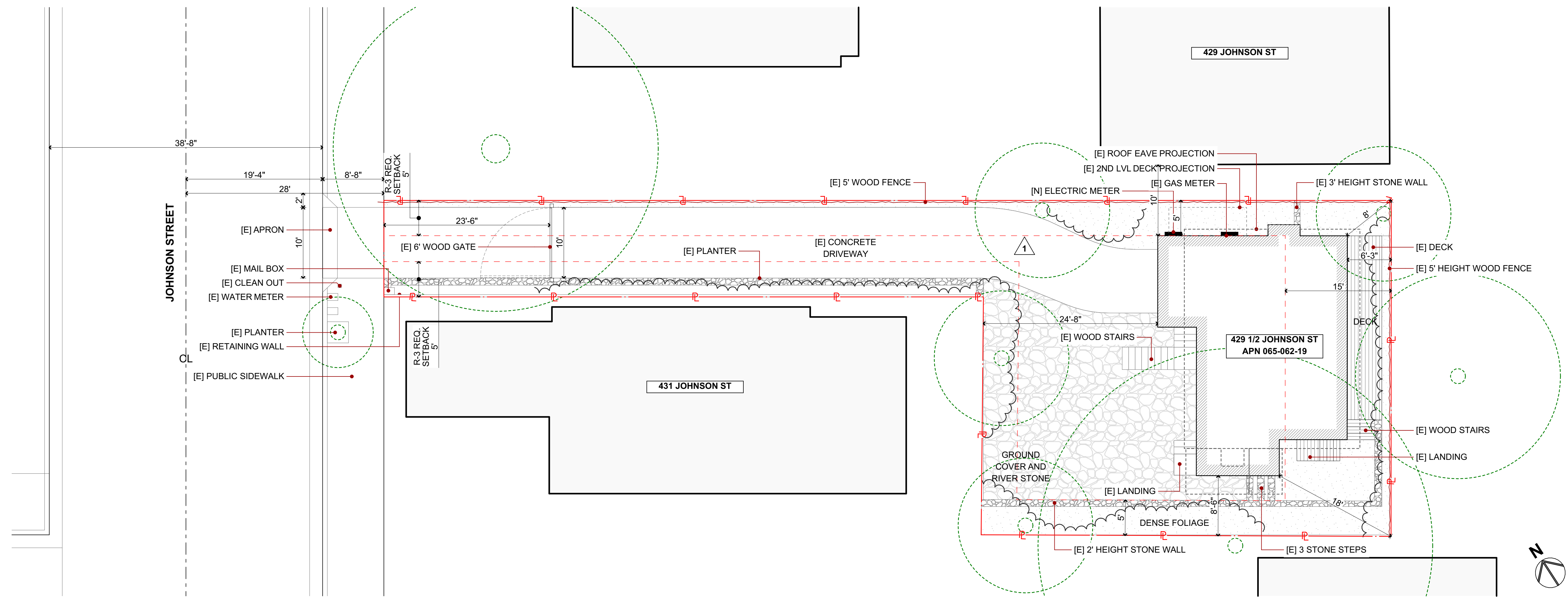
09/22/2023

**A0.10**

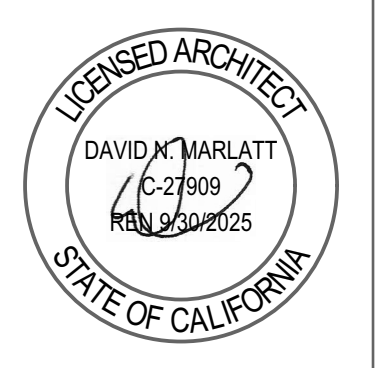
2



[N] SITE PLAN 2  
SCALE: 1/8" = 1'-0"



[E] SITE PLAN 1  
SCALE: 1/8" = 1'-0"



CONSTRUCTION SET  
**SITE PLAN**

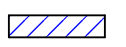


23.0220  
**429.5 JOHNSON**  
 429.5 Johnson St  
 Sausalito, California  
 94965  
 APN: 065-062-19

#	REASON	DATE
1.	Plan Check	11/29/23
2.	Plan Check	4/30/24
3.	Construction	5/16/24
4.		
5.		
6.		

09/22/2023

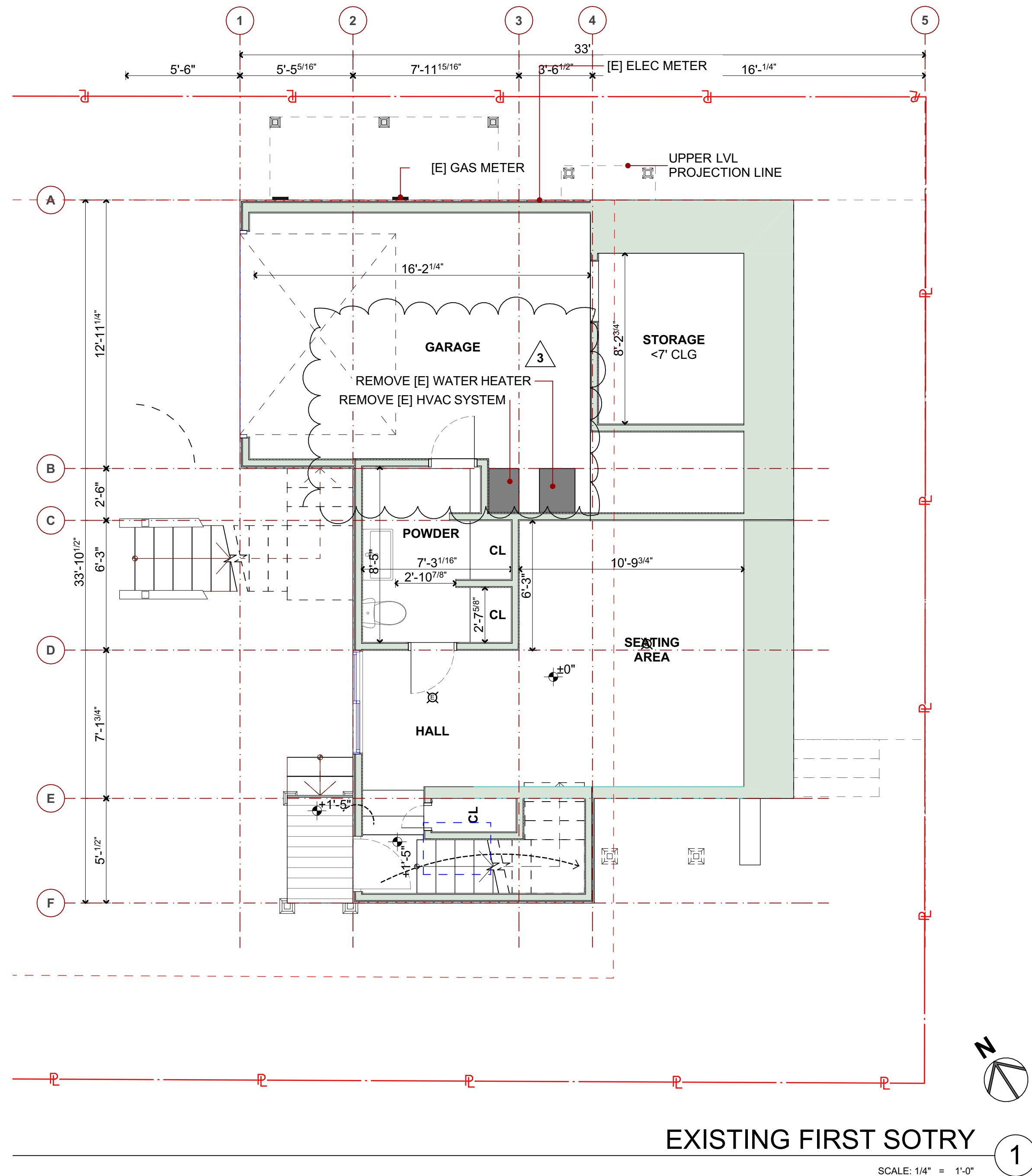
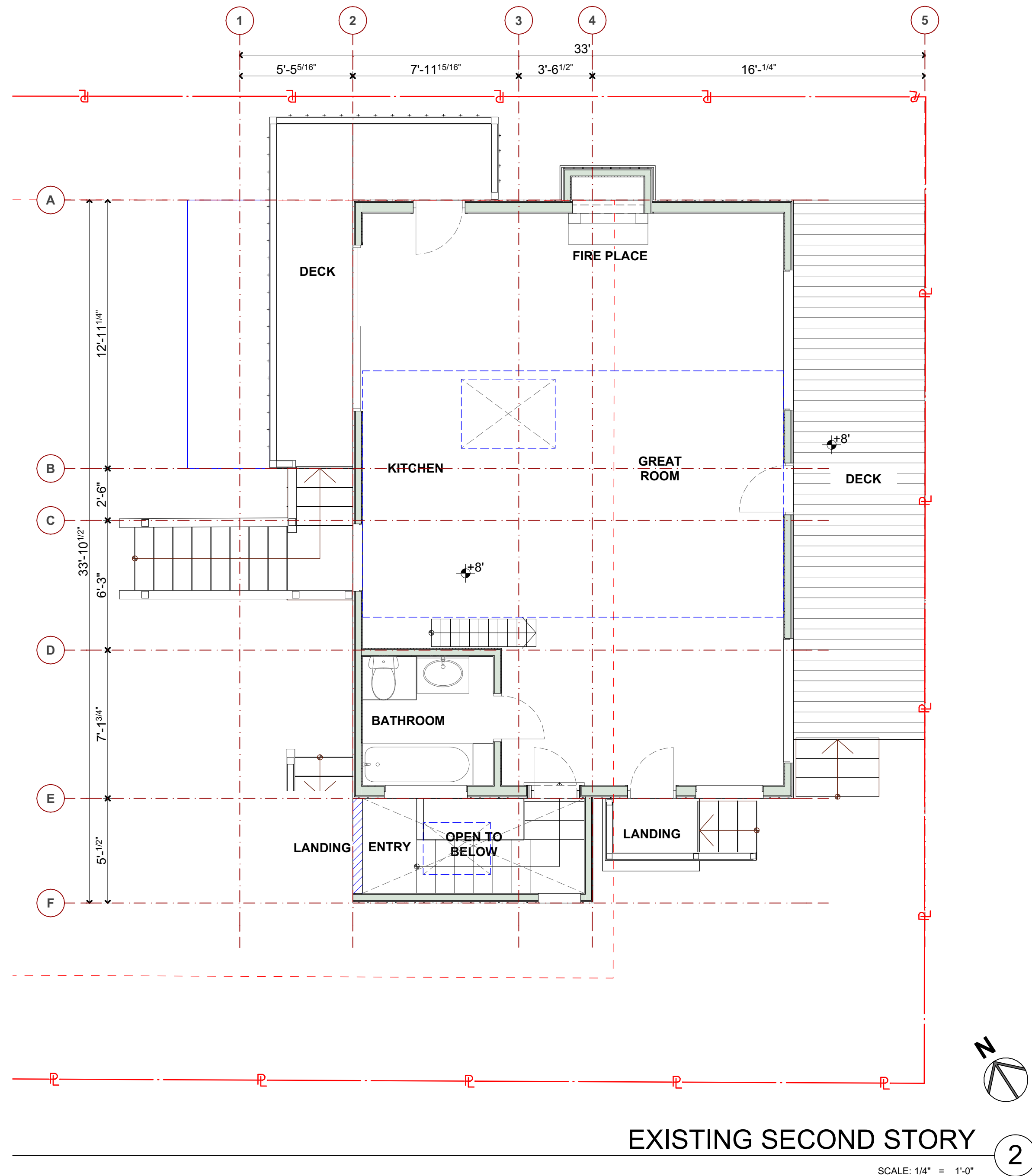
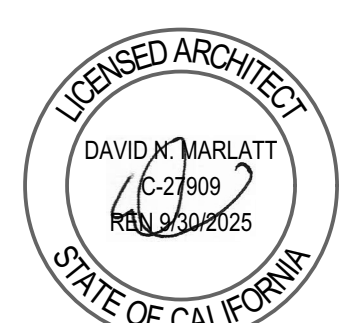
**A1.0**

**WALL TYPE KEY**

	WALL TO REMAIN
	WALL TO BUILD
	[E] & [N] 1-HR F.R. WALL



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CONSTRUCTION SET

**EXISTING FLOOR PLANS**

23.0220  
 429.5 JOHNSON  
 429.5 Johnson St  
 Sausalito, California  
 94965  
 APN: 065-062-19

#	REASON	DATE
1.	Construction	5/16/24
2.		
3.		
4.		
5.		
6.		

09/22/2023

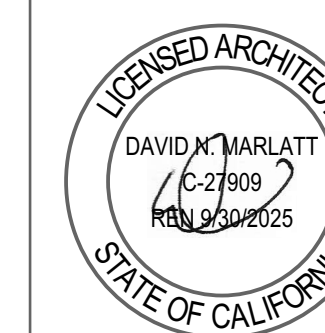
**A1.1**





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CONSTRUCTION SET

# DEMOLITION FLOOR PLAN

23.0220  
429.5 JOHNSON  
429.5 Johnson St  
Sausalito, California  
94965

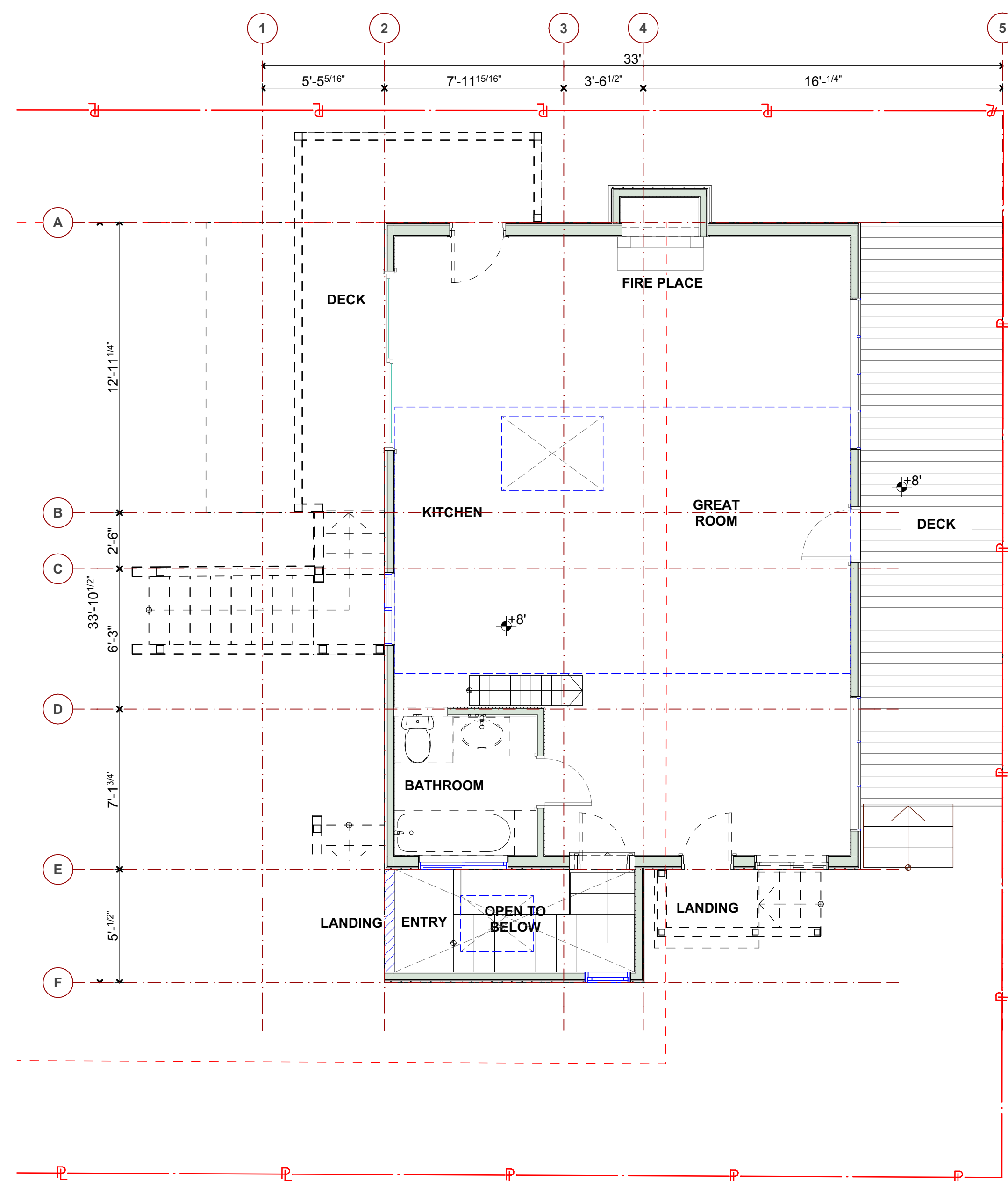
APN: 065-062-19

REVISIONS

#	REASON	DATE
1.	Plan Check	3/26/24
2.	Construction	5/16/24
3.		
4.		
5.		
6.		

09/22/2023

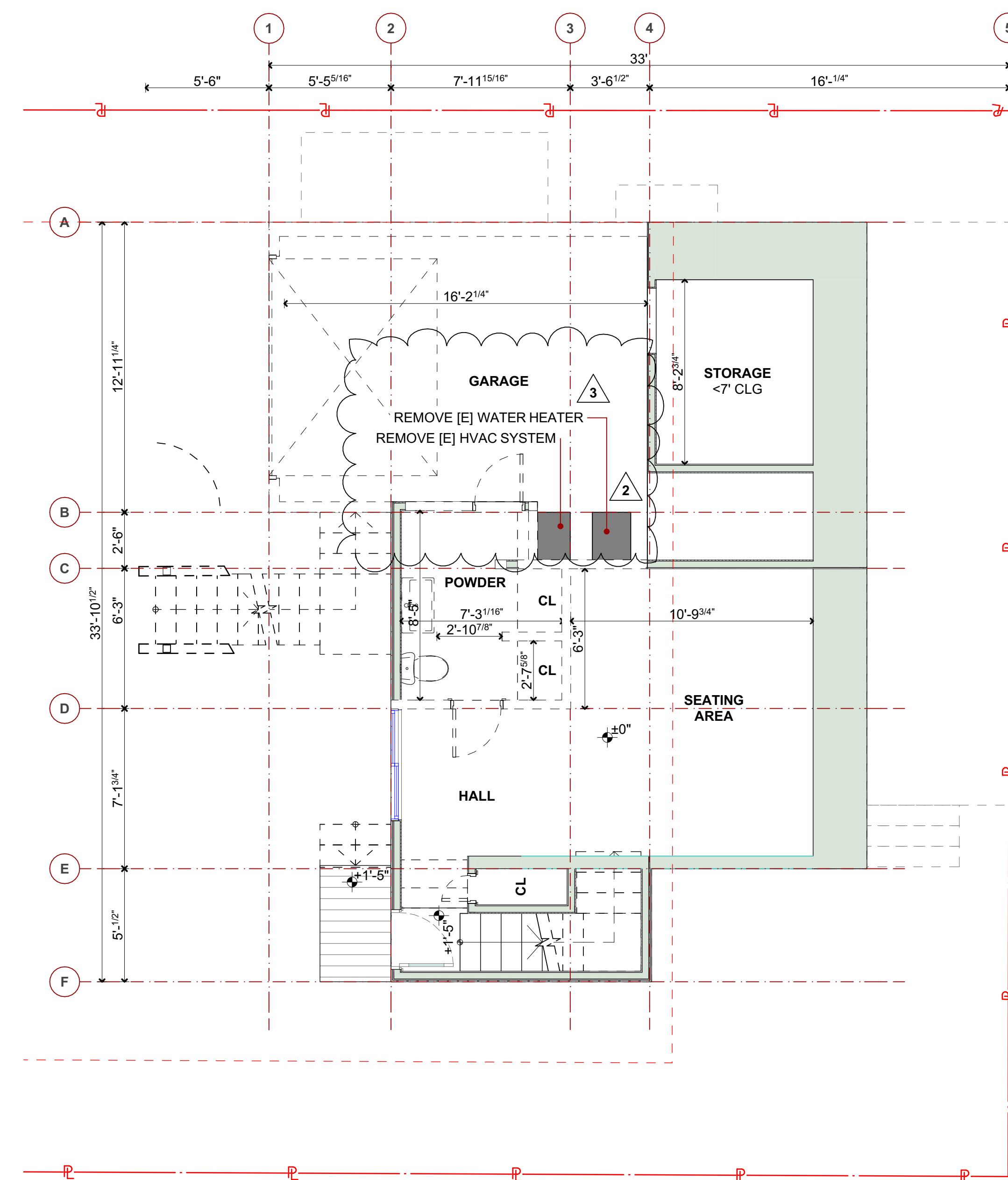
# A1.2



DEMO SECOND STORY

SCALE: 1/4" = 1'-0"

2



DEMO FIRST STORY

SCALE: 1/4" = 1'-0"

1

**GENERAL NOTES**

- TUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. [R307.2]
- WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. [R702.3.7] WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. [R702.3.7.1]
- MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. [R702.4.2]

**GENERAL ROOF NOTES**

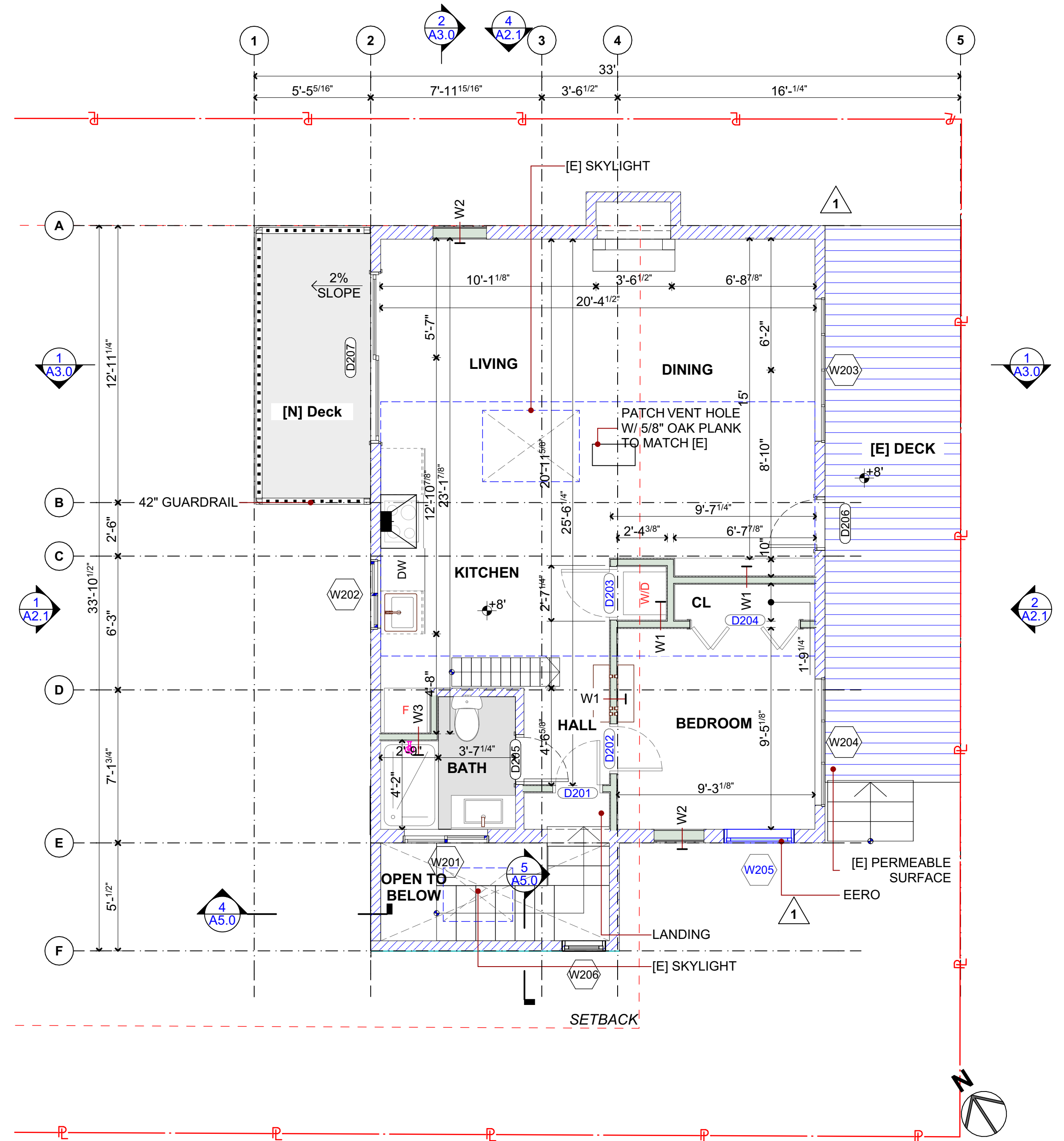
- THE INSTALLATION OF LIQUID APPLIED ROOFING SHALL COMPLY WITH THE PROVISIONS OF R905.15 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. LIQUID APPLIED ROOFING SHALL COMPLY WITH ASTM C836, C957, D1227, D3468, D6083, D6694, OR D6947.
- OPERABLE SKYLIGHT MUST BE PROTECTED BY A NON-COMBUSTIBLE MESH SCREEN WITH OPENINGS NO LARGER THAN 1/8 INCH. R337.8.2.2

**WALL TYPE KEY**

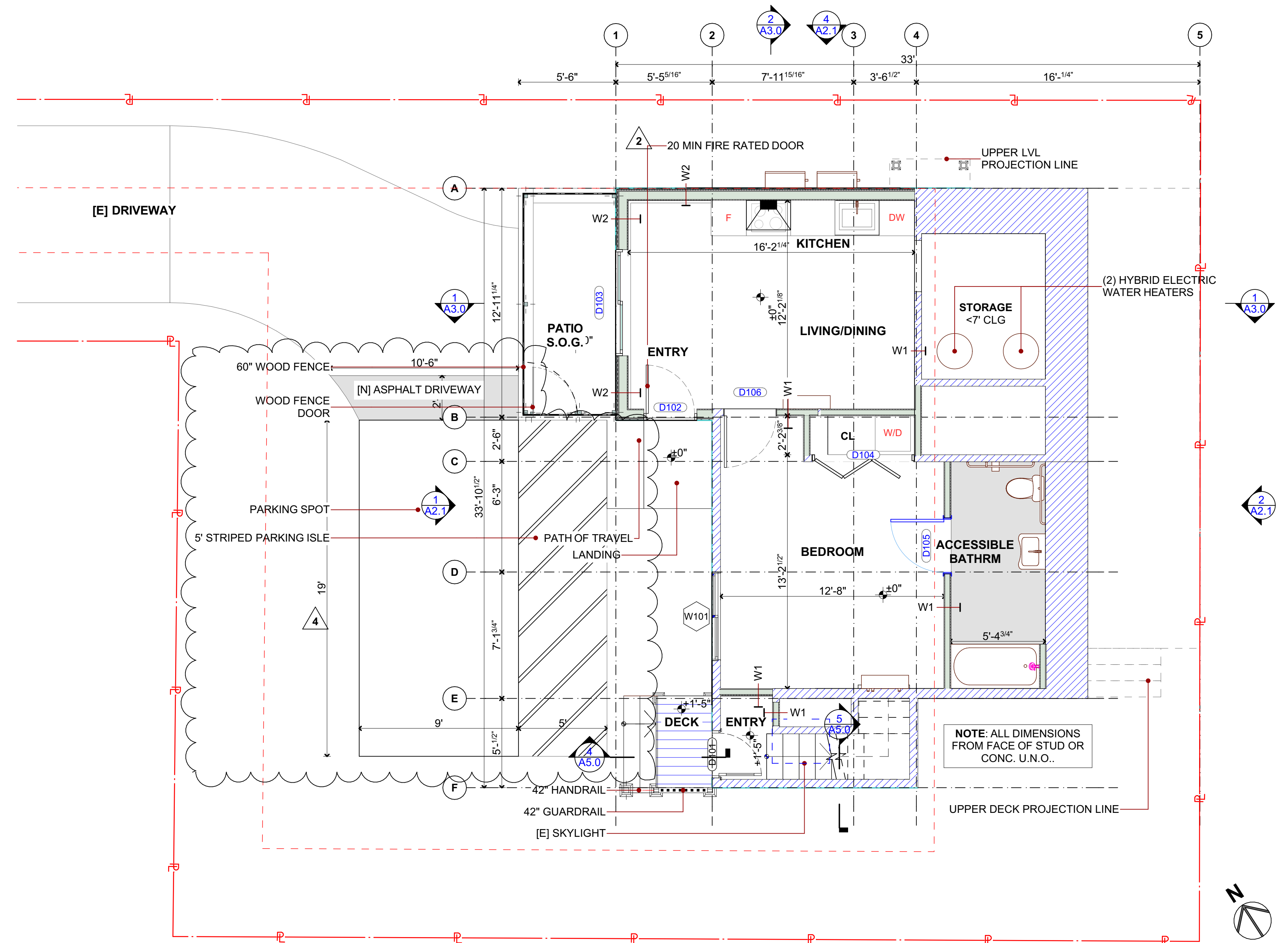
- WALL TO REMAIN
- WALL TO BUILD
- [E] & [N] 1-HR F.R. WALL

**GLAZING AND OPENABLE AREAS**

- UNIT 1 BEDROOM:**  
 AREA : 187 SQFT  
 GLAZING AREA: 15 SQFT  
 OPENING AREA: 7.5 SQFT  
 GLAZING PCT:8%  
 OPENING PCT:4%
- UNIT 2 BEDROOM:**  
 AREA : 86 SQFT  
 GLAZING AREA: 43 SQFT  
 OPENING AREA: 6.5 SQFT  
 GLAZING PCT:50%  
 OPENING PCT:8.7%



PROPOSED SECOND STORY 2



PROPOSED FIRST STORY 1

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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CONSTRUCTION SET

PROPOSED FLOOR PLANS

23.0220  
 429.5 JOHNSON  
 429.5 Johnson St  
 Sausalito, California  
 94965

APN: 065-062-19

REVISIONS

#	REASON	DATE
1.	Plan Check	11/29/23
2.	Plan Check	3/26/24
3.	Plan Check	4/30/24
4.	Construction	5/16/24
5.		
6.		

09/22/2023

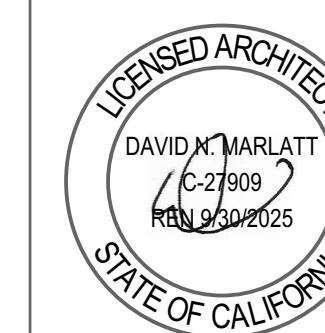
A1.3

3



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CONSTRUCTION SET

ROOF PLANS

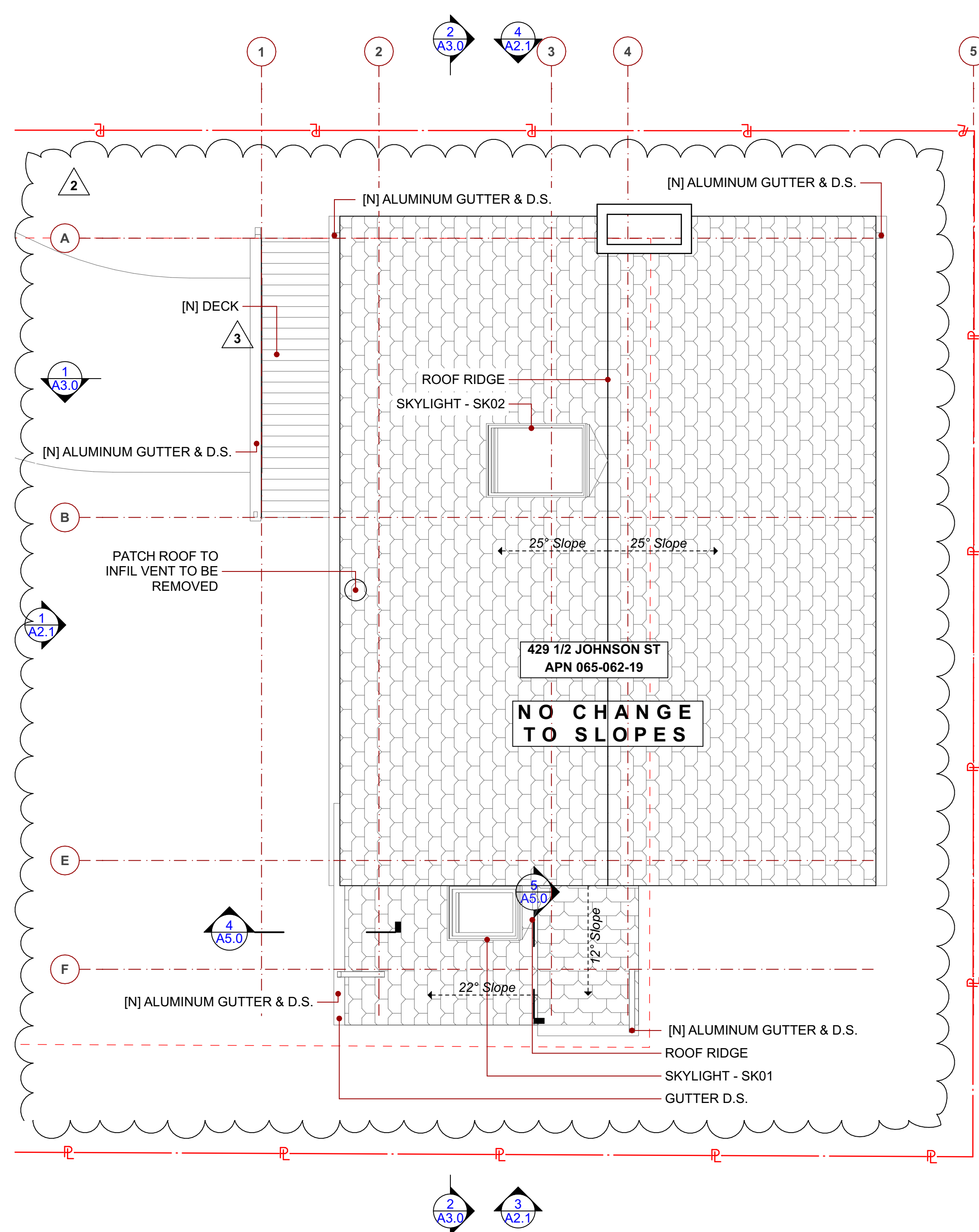
23.0220  
**429.5 JOHNSON**  
429.5 Johnson St  
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94965

APN: 065-062-19

#	REASON	DATE
1	Plan Check	4/30/24
2	Construction	5/16/24
3		
4		
5		
6		

09/22/2023

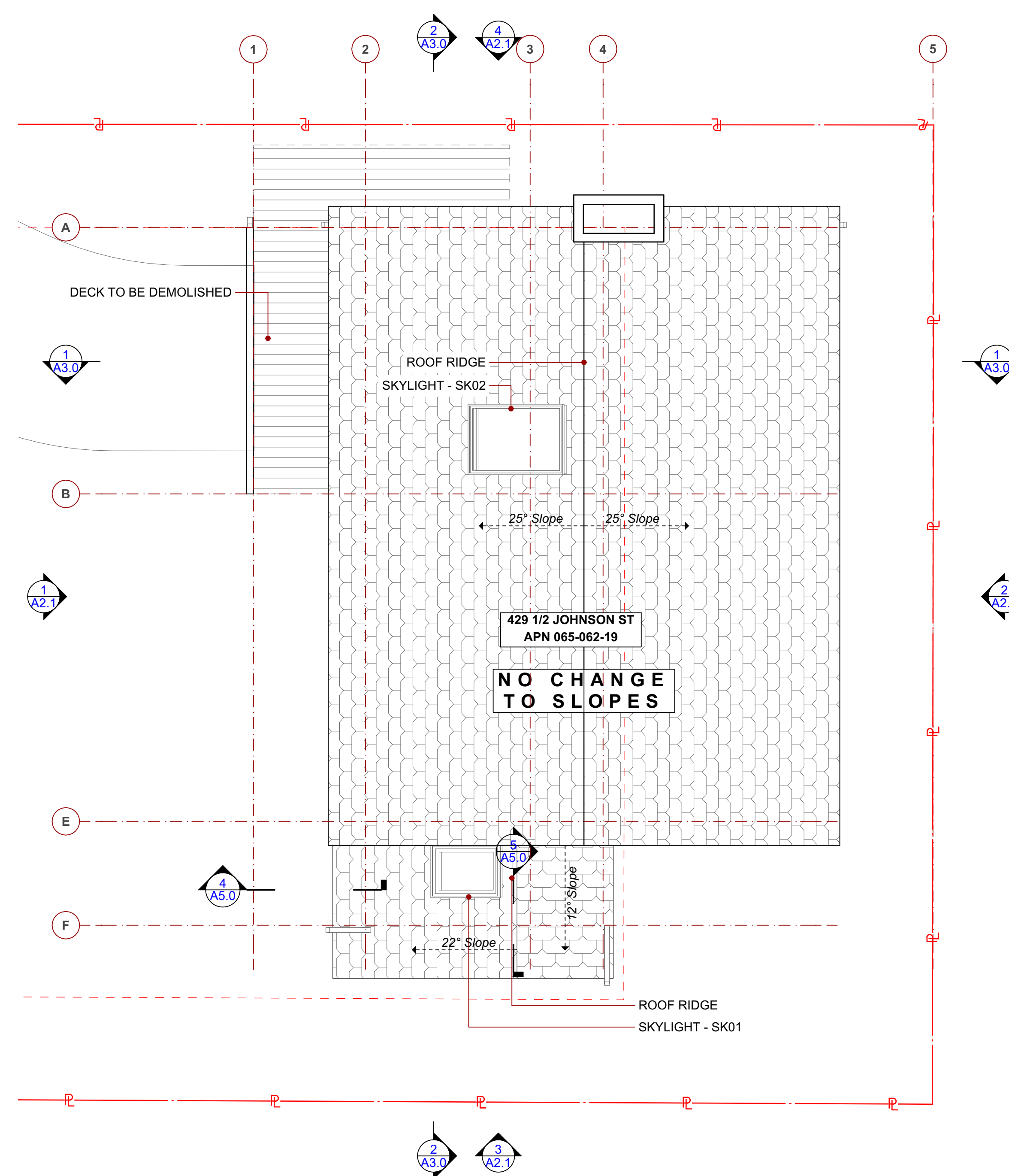
**A1.4**



PROPOSED ROOF

SCALE: 1/4" = 1'-0"

2



[E] ROOF

SCALE: 1/4" = 1'-0"

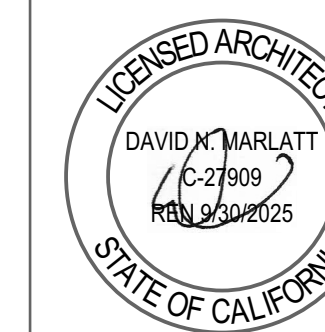
1





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CONSTRUCTION SET

DEMO ELEVATIONS

23.0220  
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94965

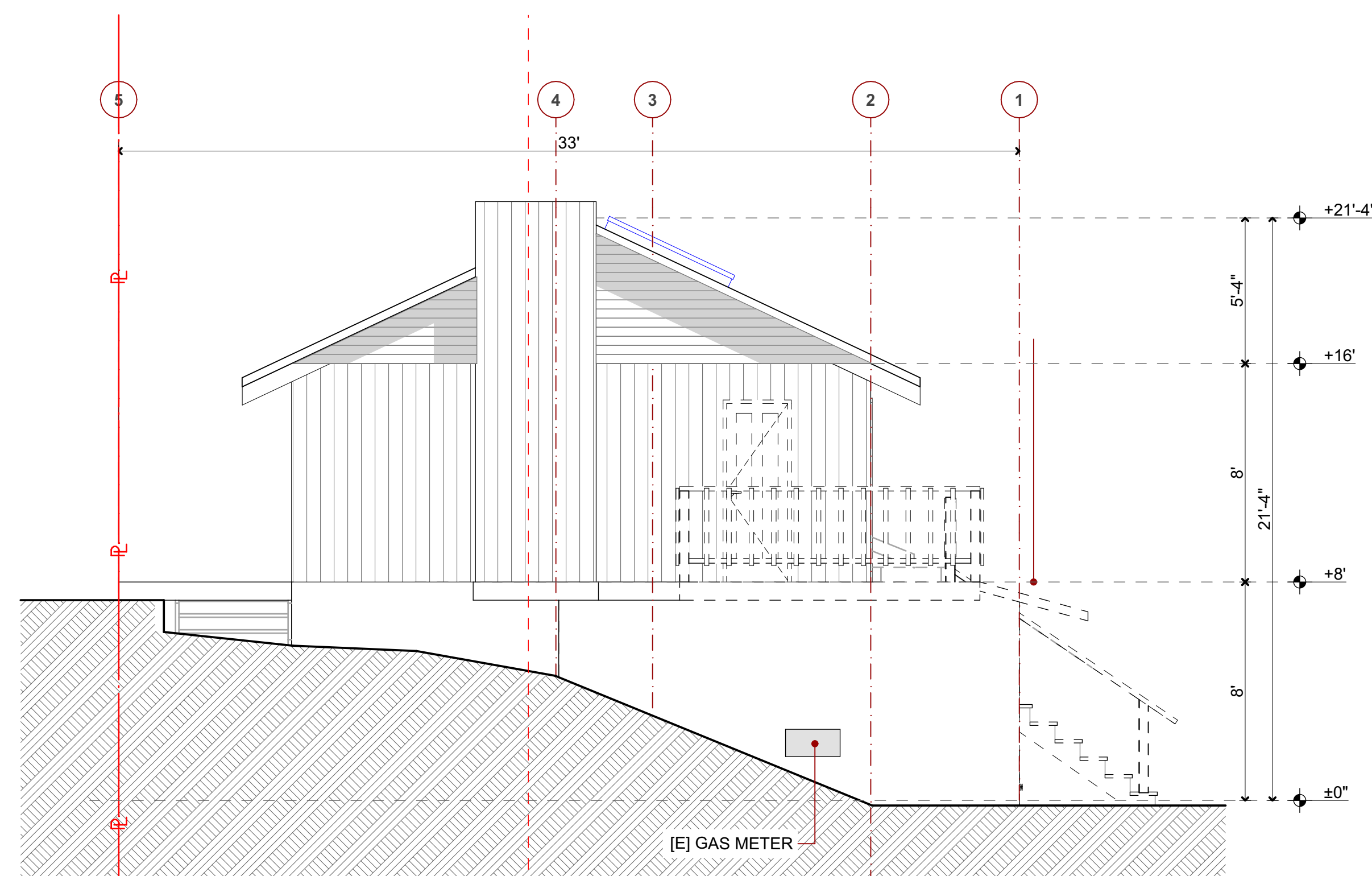
APN: 065-062-19

REVISIONS

#	REASON	DATE
1.		
2.		
3.		
4.		
5.		
6.		

09/22/2023

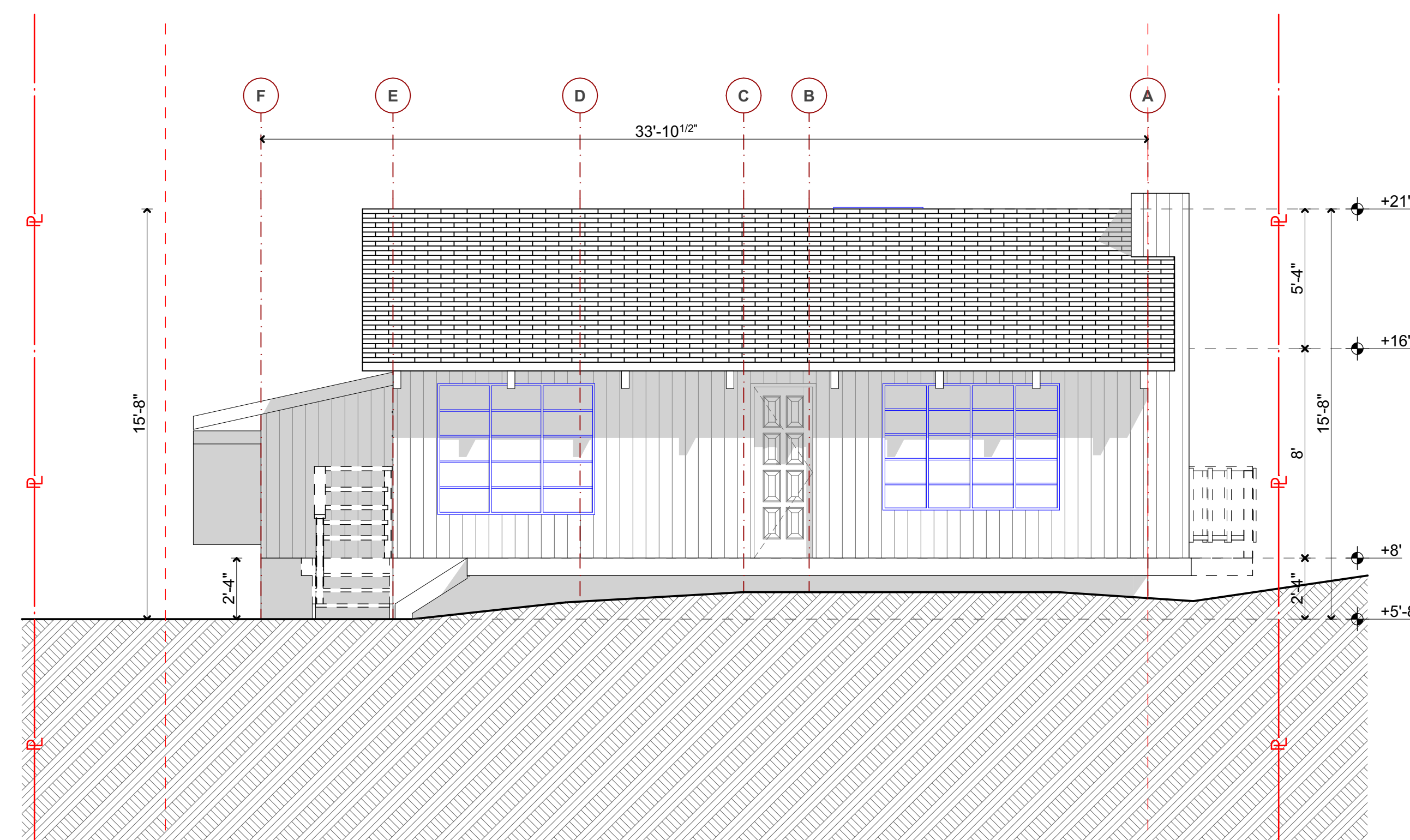
**A2.0**



DEMO EAST ELEVATION

SCALE: 1/4" = 1'-0"

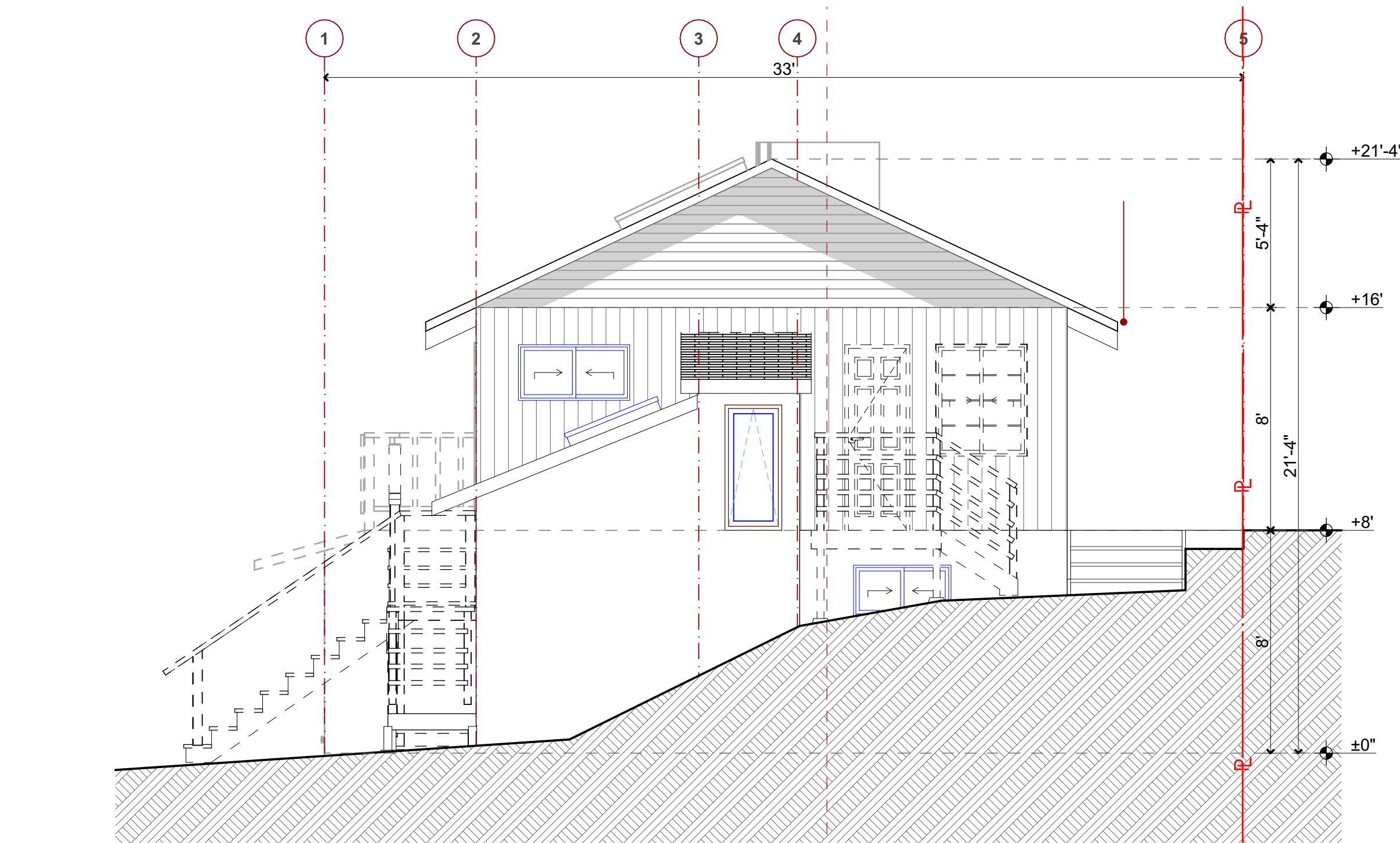
4



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

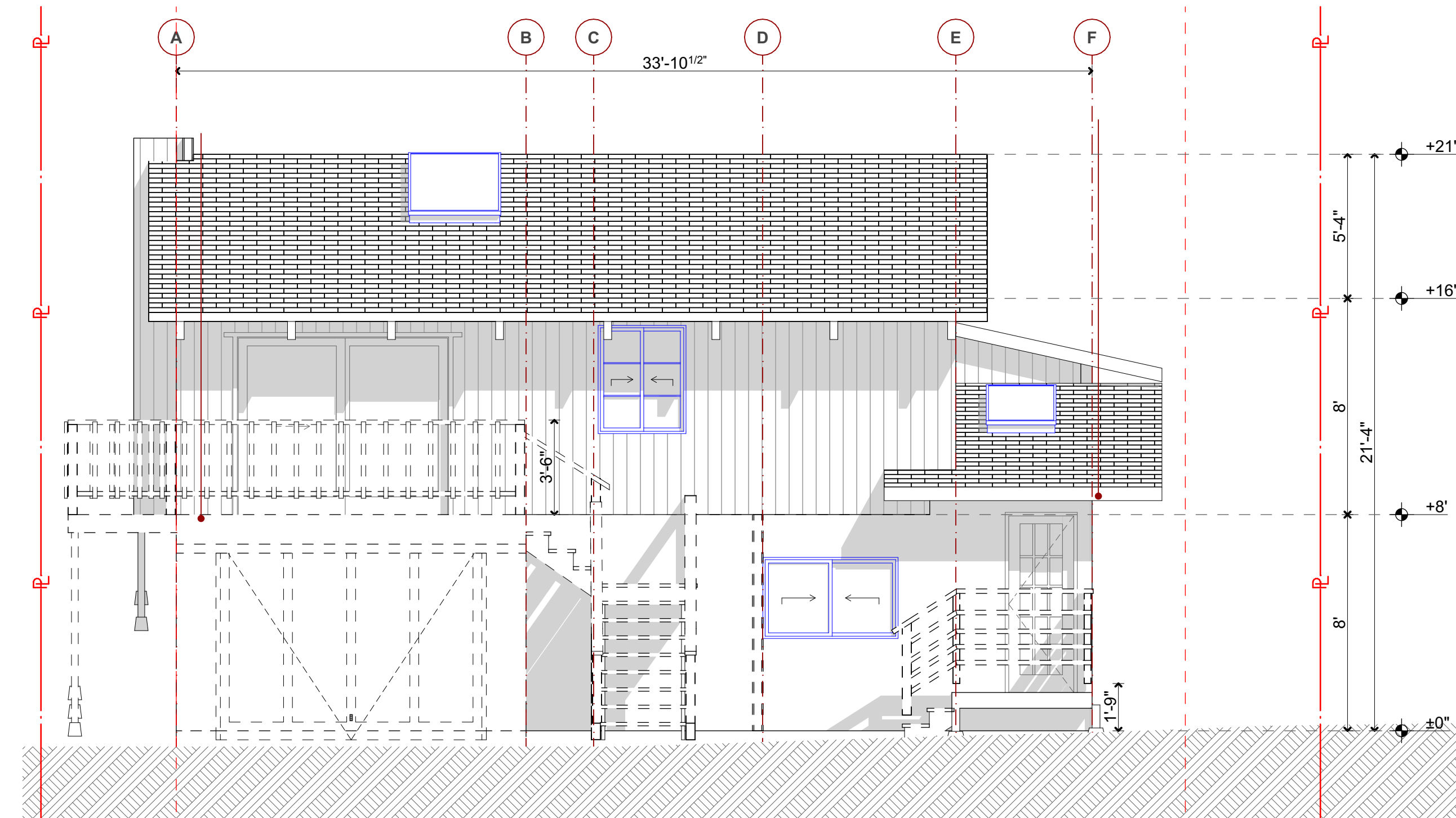
2



WEST ELEVATION

SCALE: 1/4" = 1'-0"

3



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1

**MATERIAL KEY**

- A** [E] VERTICAL 10" WOOD SIDING
- B** [E] HORIZONTAL 6" WOOD SIDING
- C** [E] DOOR AND WINDOW
- D** [E] CONCRETE FOUNDATION
- E** [E] WOOD ROOF SHINGLES
- F** [N] HARDIE PANEL SIDING
- G** [N] BODYGUARD V-RUSTIC SIDING

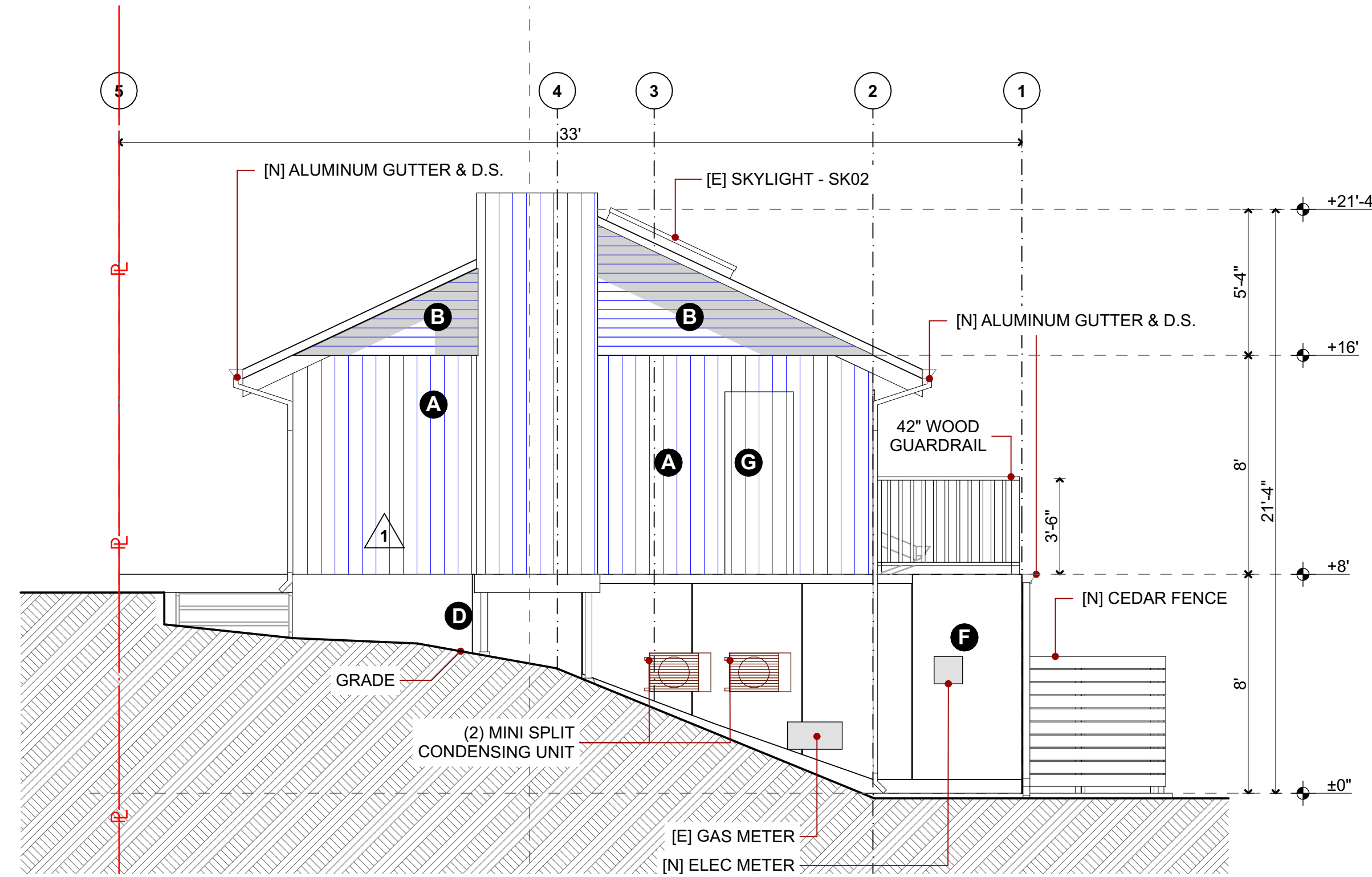
**NEW EXTERIOR DOORS SHALL HAVE IGNITION RESISTANT CLADDING & TEMP. GLASS**  
**NEW EXTERIOR WINDOWS SHALL MEET SFM STANDARD 12-7A-2**



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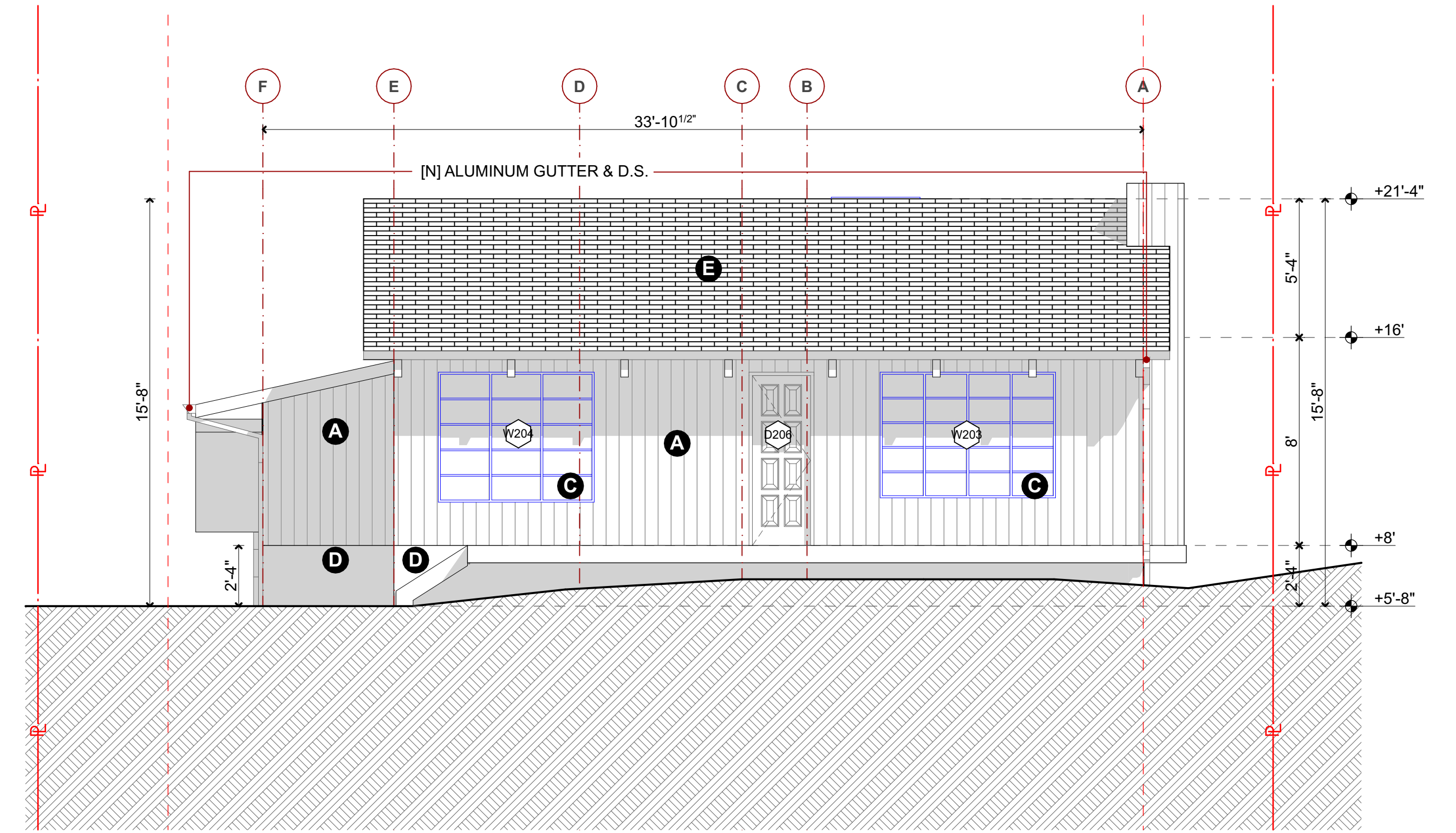


**CONSTRUCTION SET**  
**ELEVATIONS**



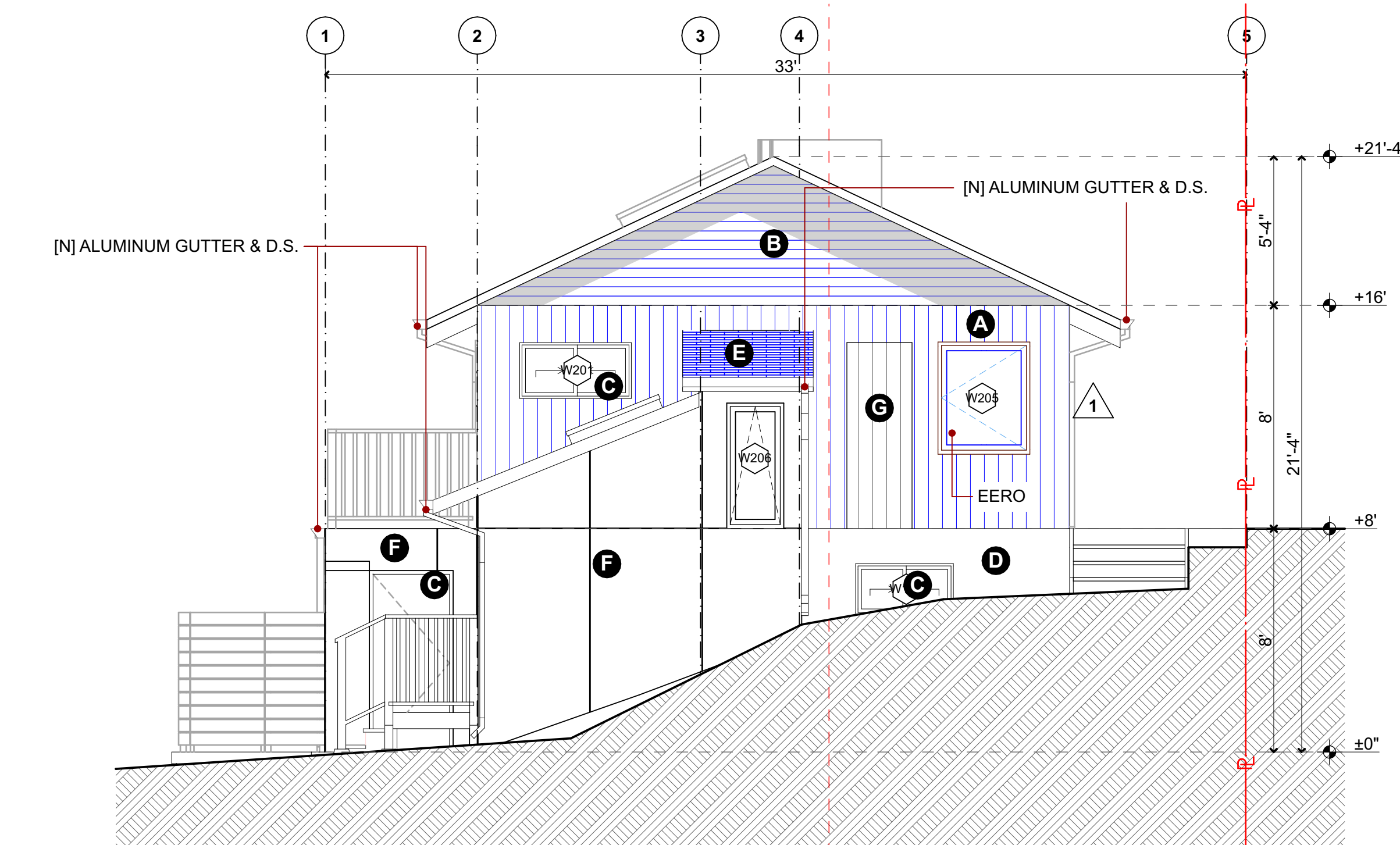
**NORTH-EAST ELEVATION** ④

SCALE: 1/4" = 1'-0"



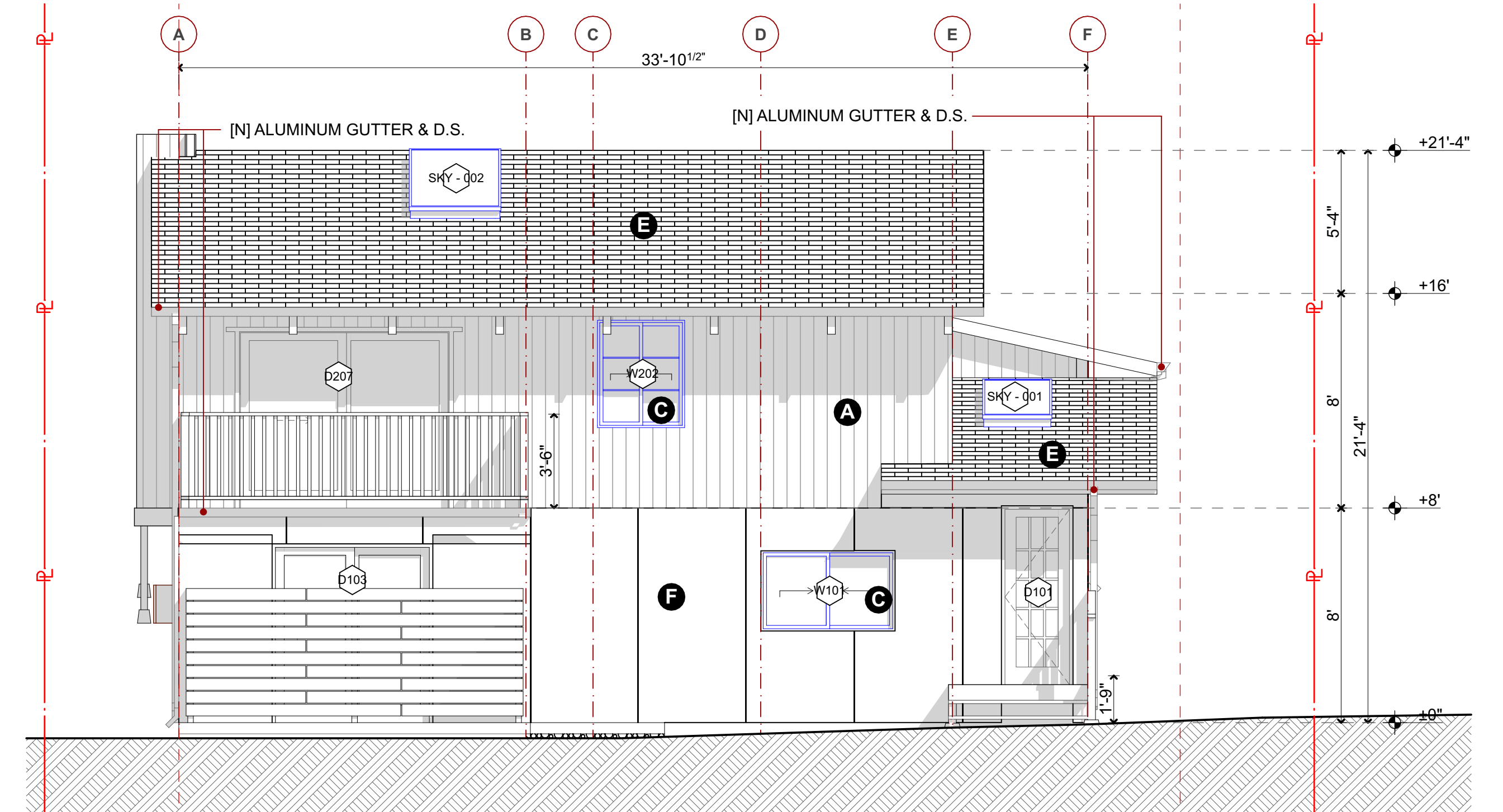
**SOUTH-EAST ELEVATION** ②

SCALE: 1/4" = 1'-0"



**SOUTH-WEST ELEVATION** ③

SCALE: 1/4" = 1'-0"



**NORTH-WEST ELEVATION** ①

SCALE: 1/4" = 1'-0"

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APN: 065-062-19

**REVISIONS**

#	REASON	DATE
1.	Plan Check	11/29/23
2.	Plan Check	3/26/24
3.	Plan Check	4/30/24
4.	Construction	5/16/24
5.		
6.		

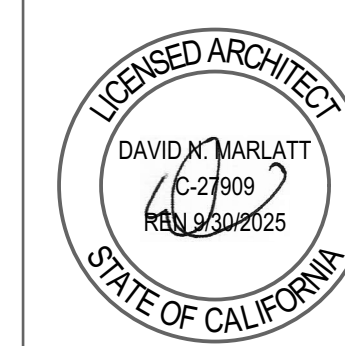
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A2.1



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CONSTRUCTION SET

**DEMOLITION SECTIONS**

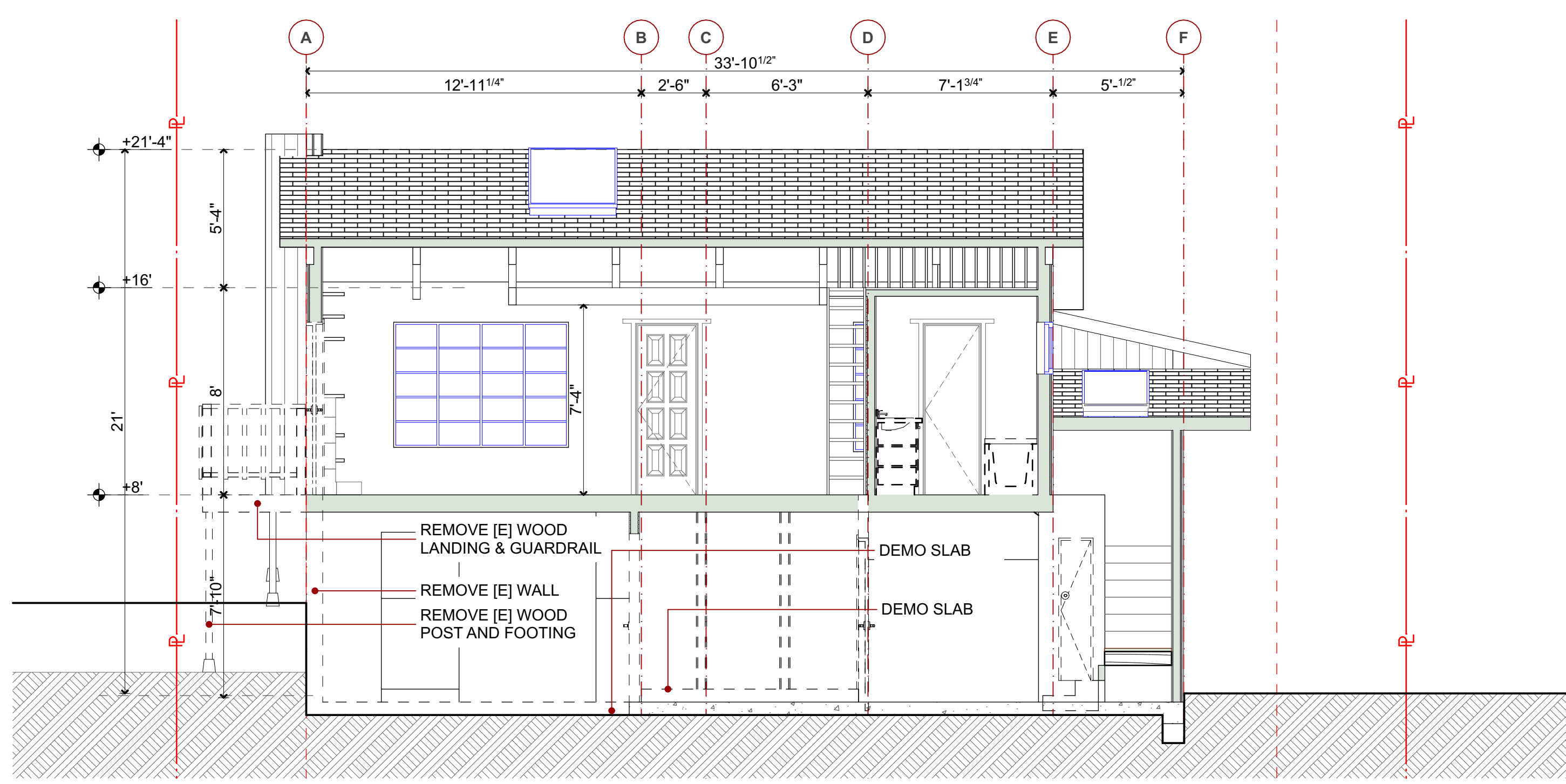
23.0220  
**429.5 JOHNSON**  
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APN: 065-062-19

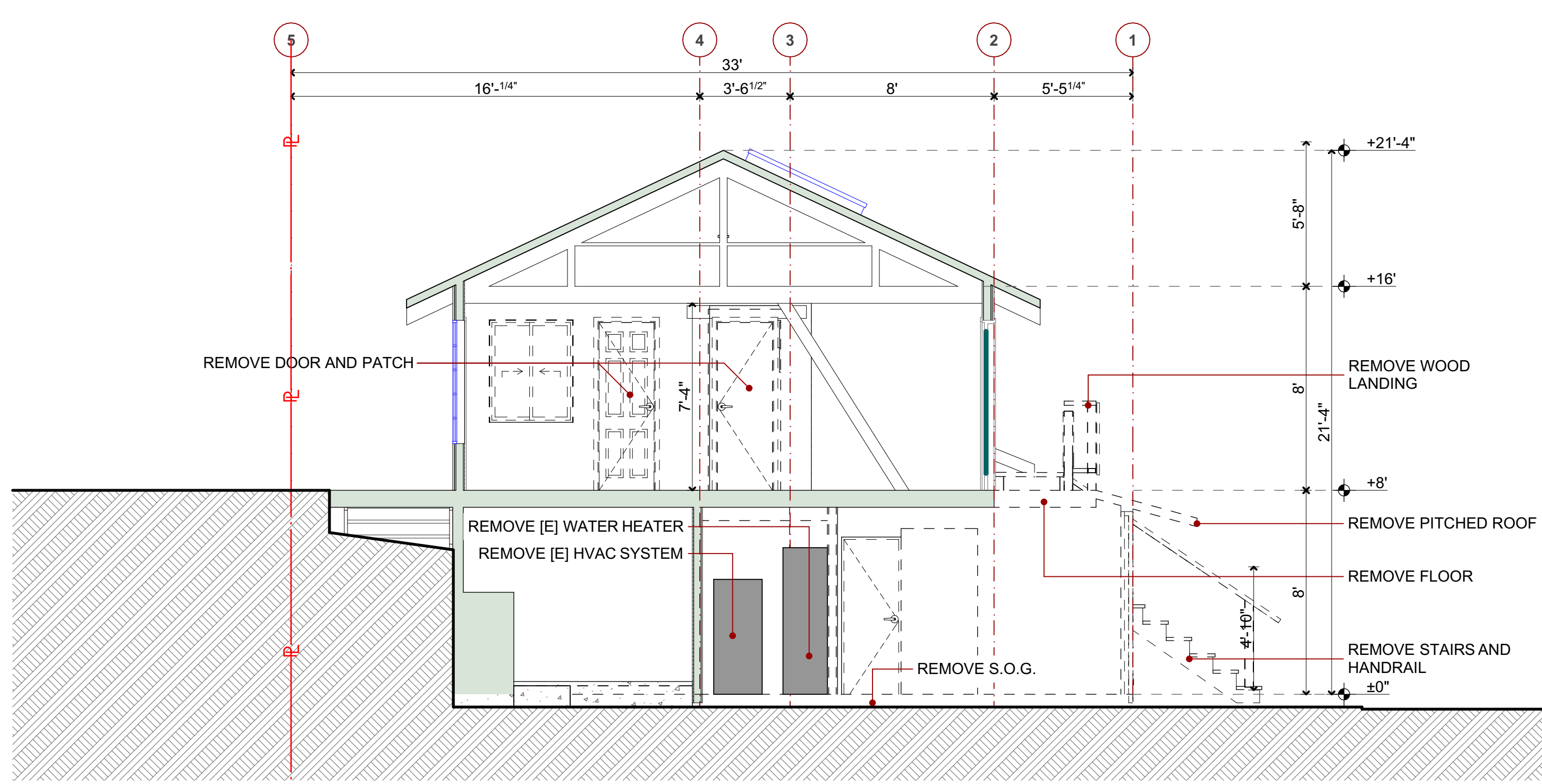
REVISIONS		
#	REASON	DATE
1	Plan Check	3/26/24
2	Construction	5/16/24
3		
4		
5		
6		

09/22/2023

**A3.0**



[E] CROSS SECTION 2  
SCALE: 1/4" = 1'-0"

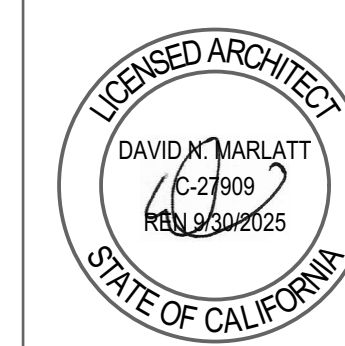


[D] LONGITUDINAL SECTION 1  
SCALE: 1/4" = 1'-0"



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CONSTRUCTION SET

**PROPOSED SECTIONS**

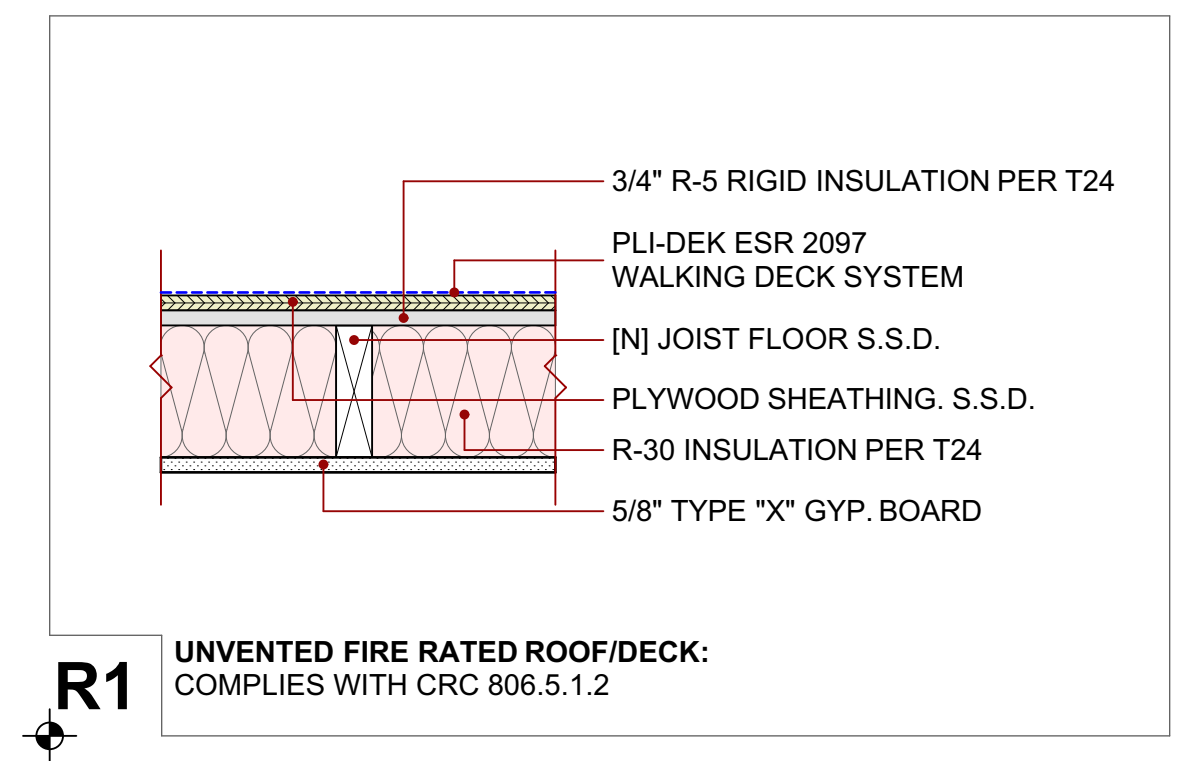
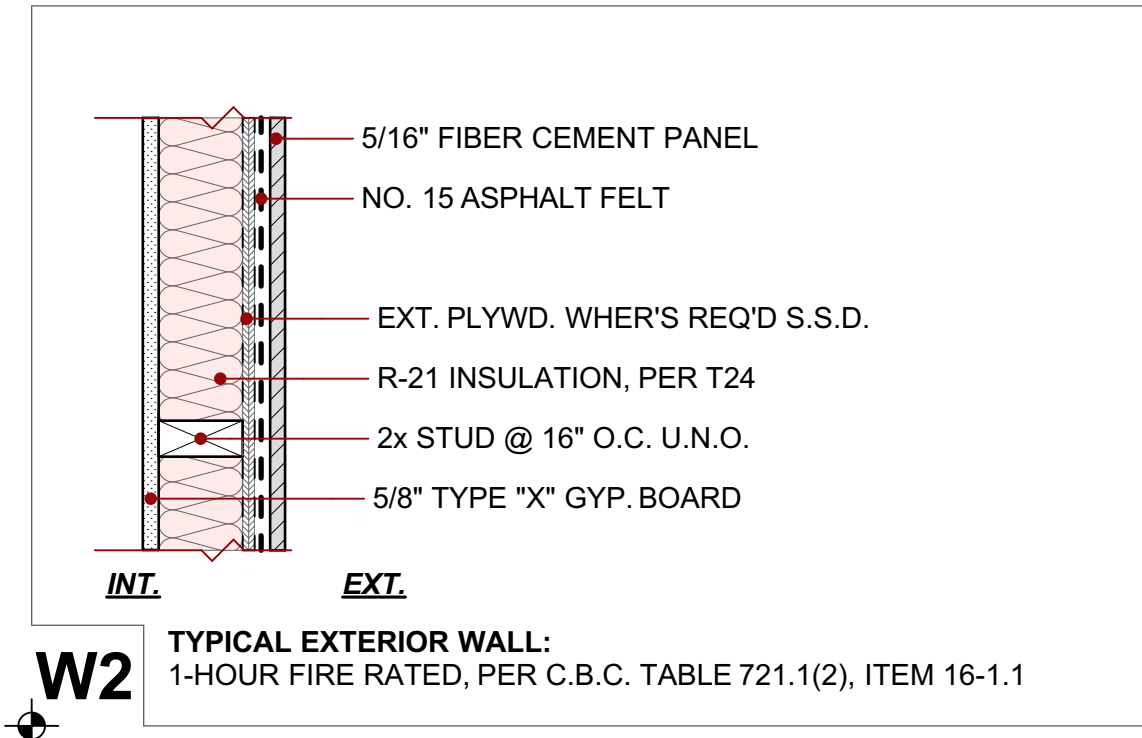
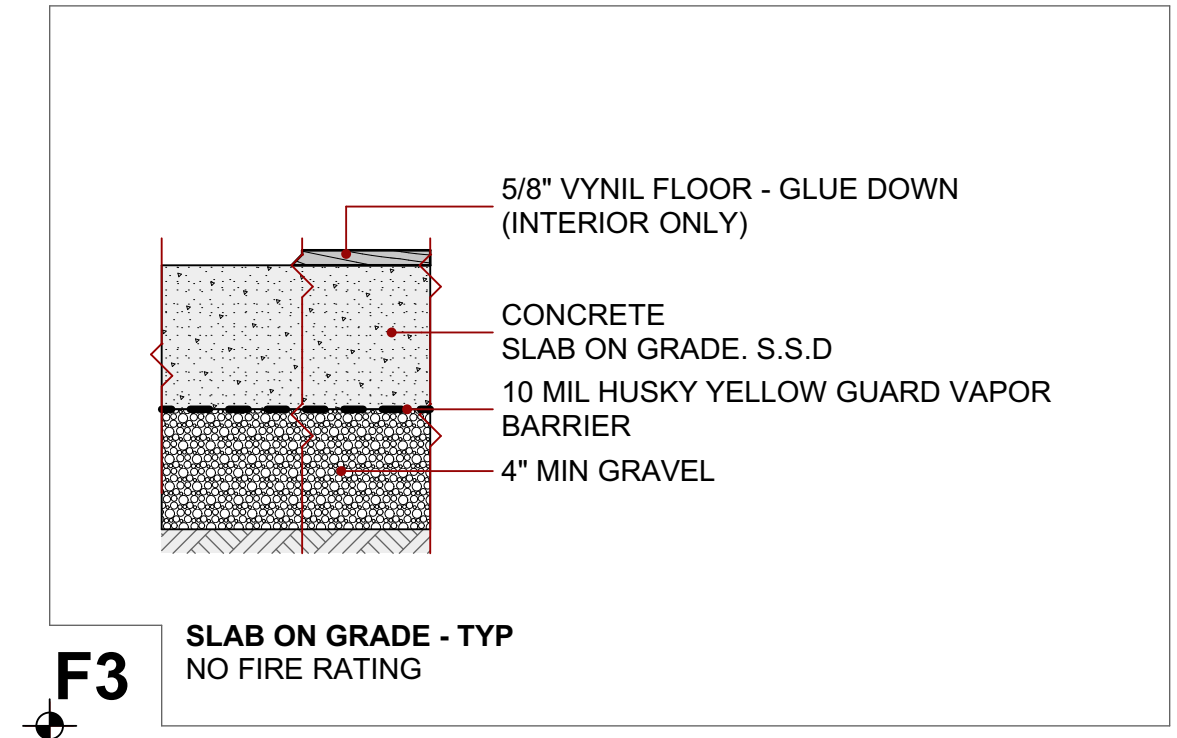
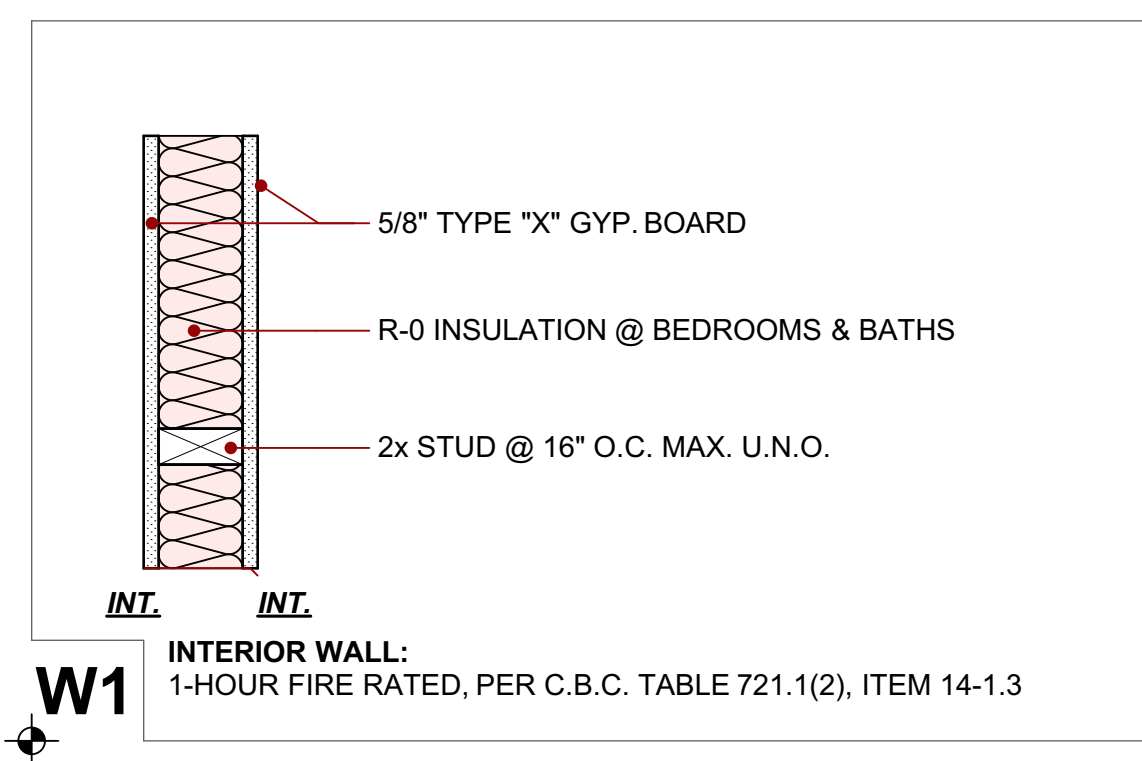
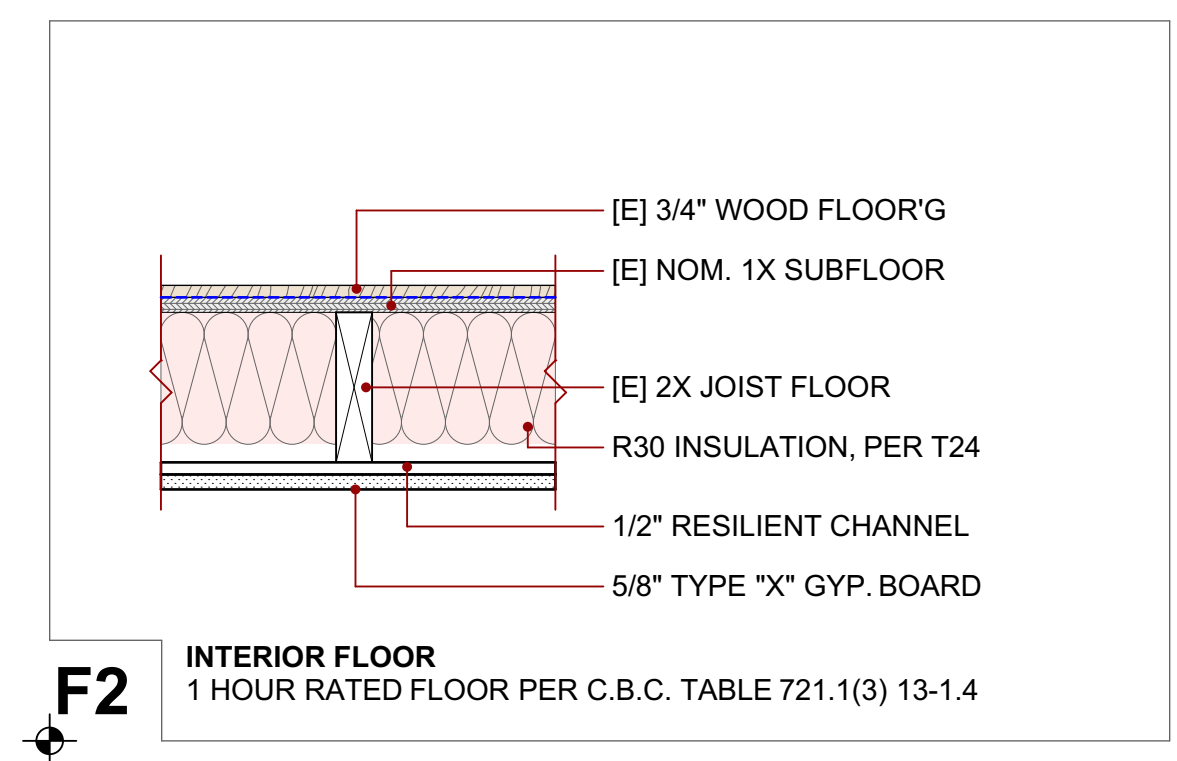
23.0220  
**429.5 JOHNSON**  
429.5 Johnson St  
Sausalito, California  
94965

APN: 065-062-19

REVISIONS	
#	REASON DATE
1	Plan Check 3/26/24
2	Plan Check 4/30/24
3	Construction 5/16/24
4.	
5.	
6.	

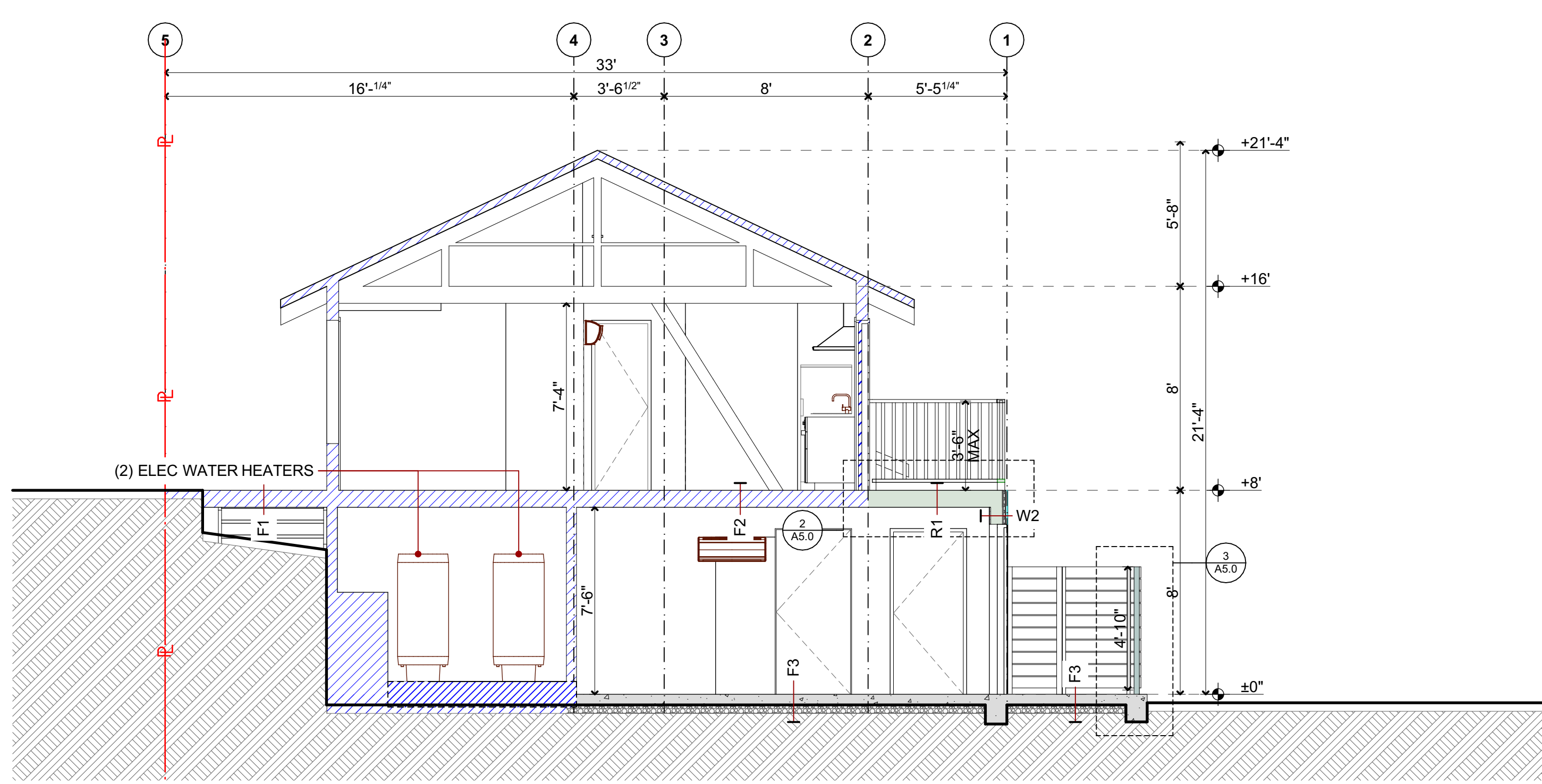
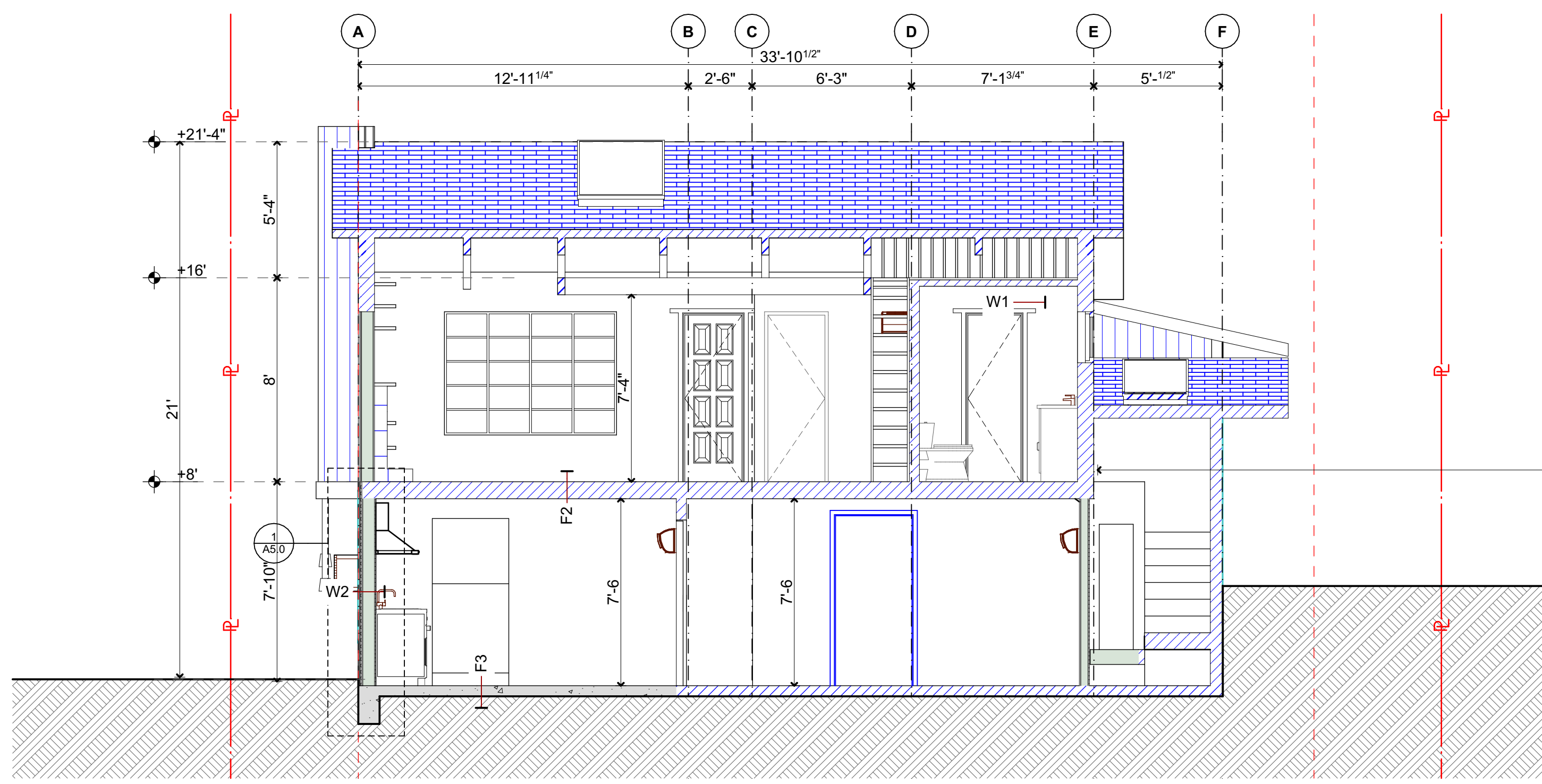
09/22/2023

**A3.1**



TYP. ASSEMBLIES 3

SCALE: 1 1/2" = 1'-0"

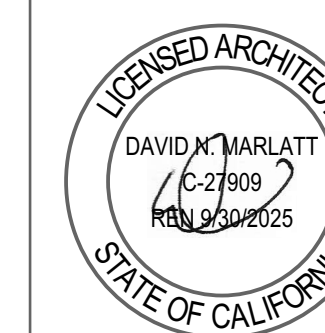






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CONSTRUCTION SET

INTERIOR ELEVATIONS

23.0220  
**429.5 JOHNSON**  
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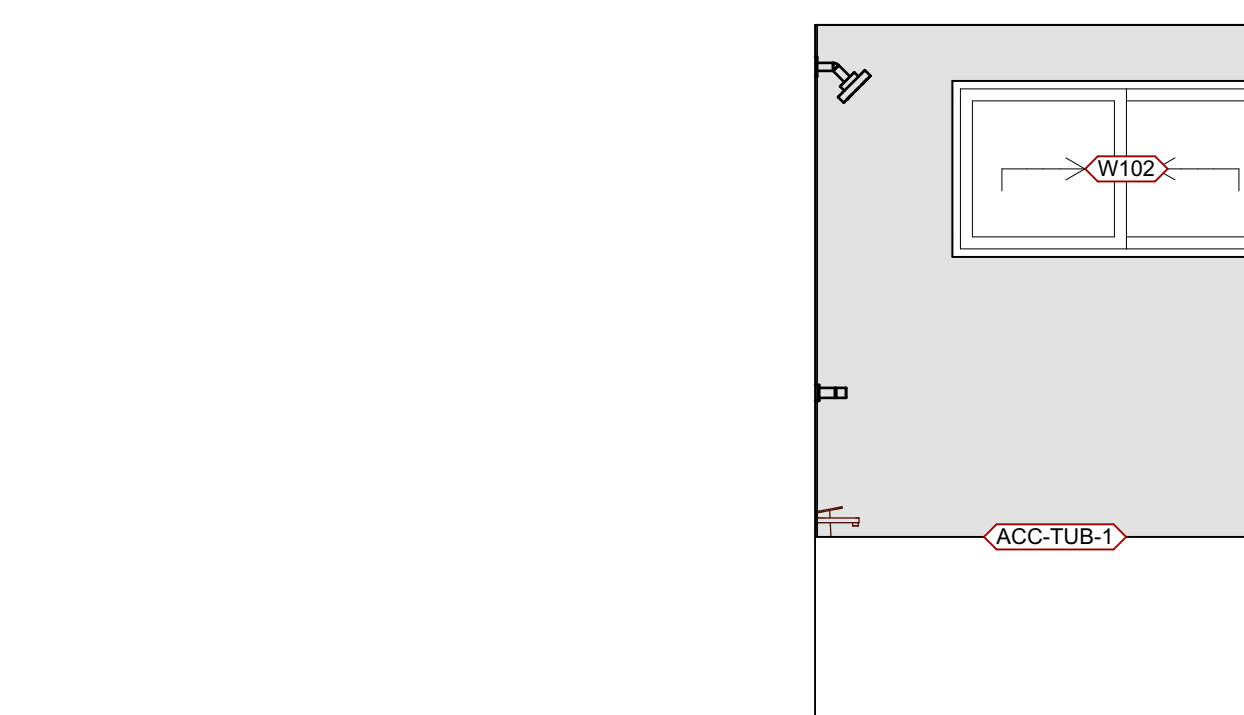
APN: 065-062-19

REVISIONS		
#	REASON	DATE
1.	Construction	5/16/24
2.		
3.		
4.		
5.		
6.		

5/16/2024

**A4.0**

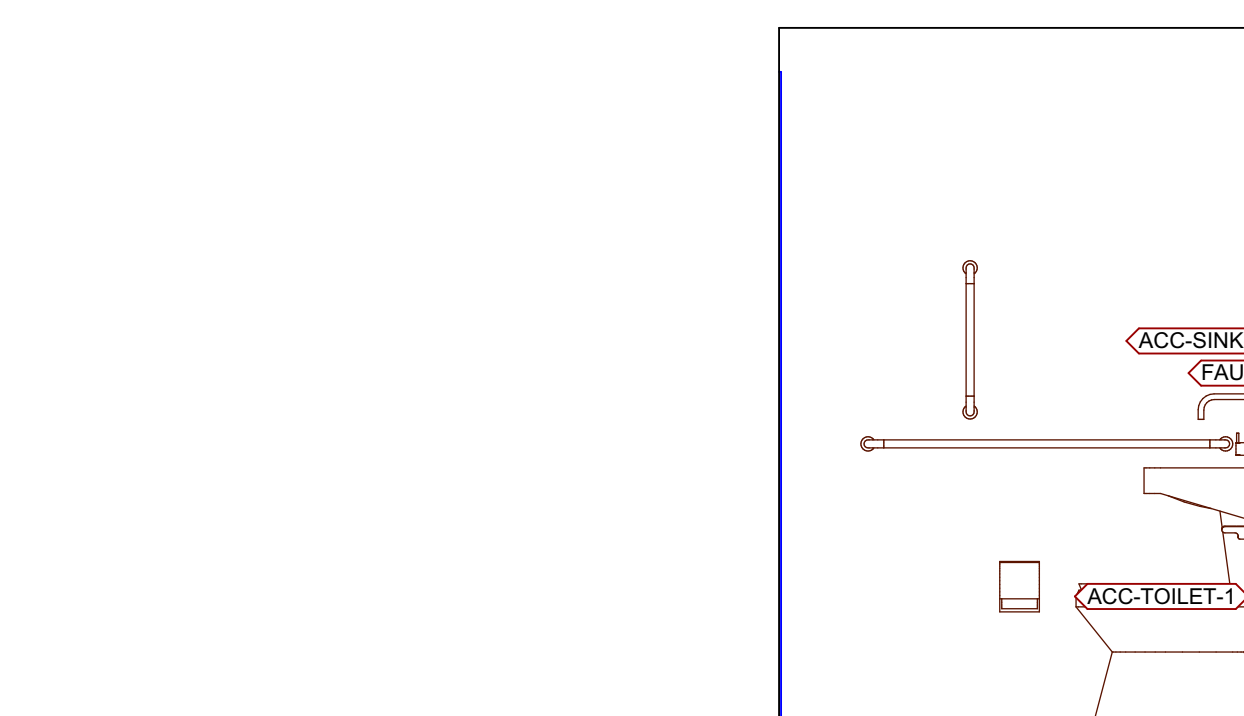
1



UNIT 1 ACC BATH South

SCALE: 1/2" = 1'-0"

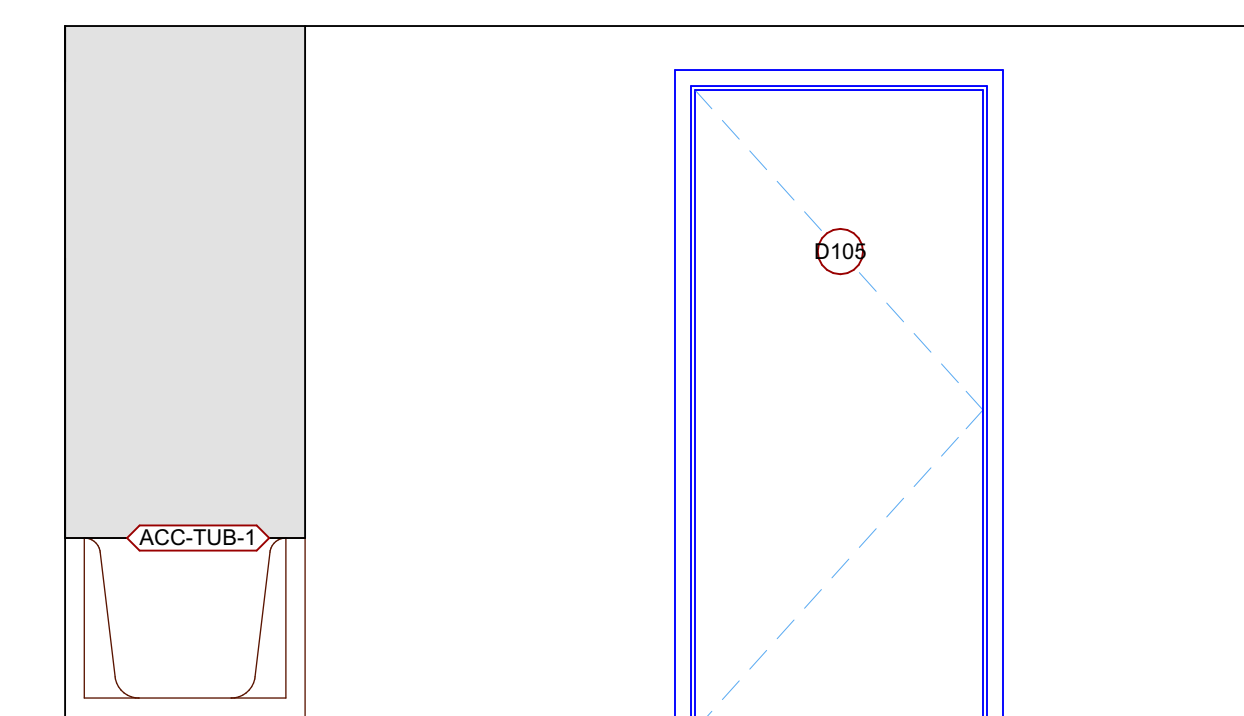
3



UNIT 1 ACC BATH North

SCALE: 1/2" = 1'-0"

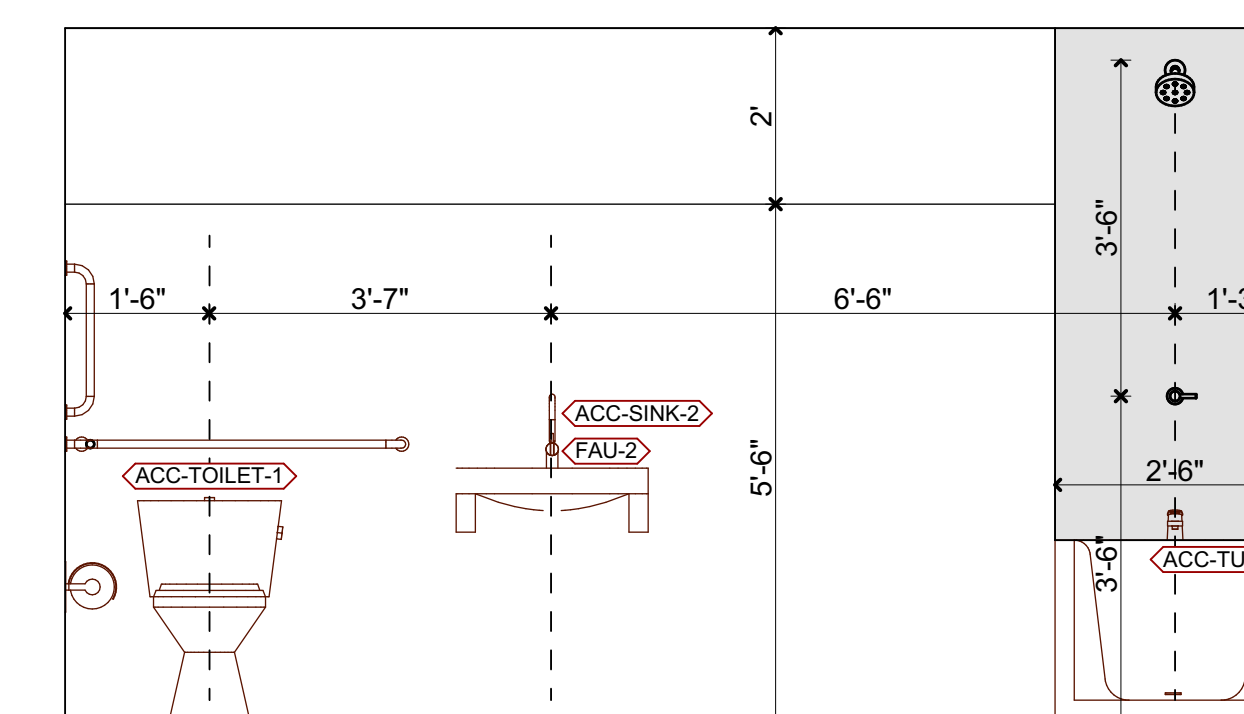
2



UNIT 1 ACC BATH West

SCALE: 1/2" = 1'-0"

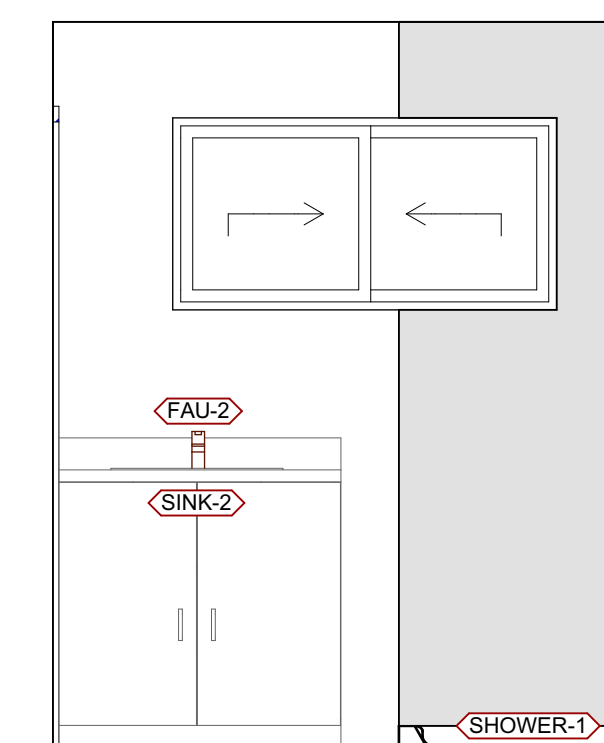
4



UNIT 1 ACC BATH East

SCALE: 1/2" = 1'-0"

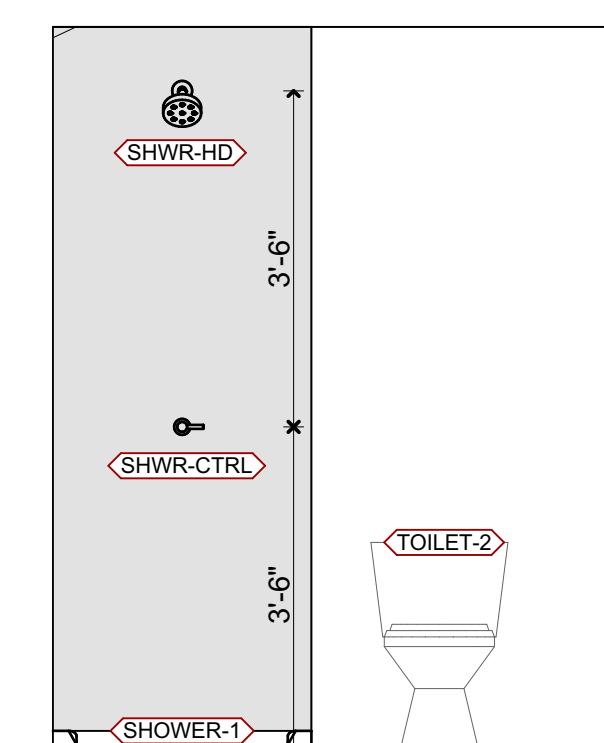
1



UNIT 2 BATHRM South

SCALE: 1/2" = 1'-0"

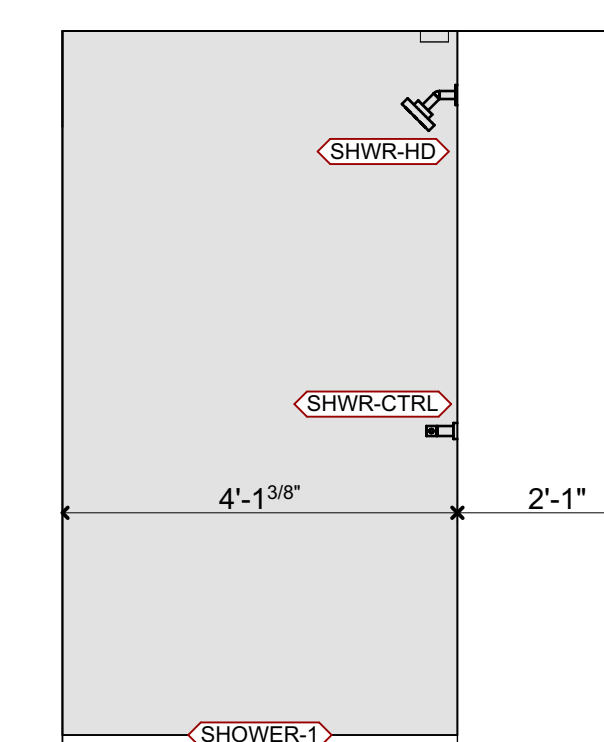
7



UNIT 2 BATHRM North

SCALE: 1/2" = 1'-0"

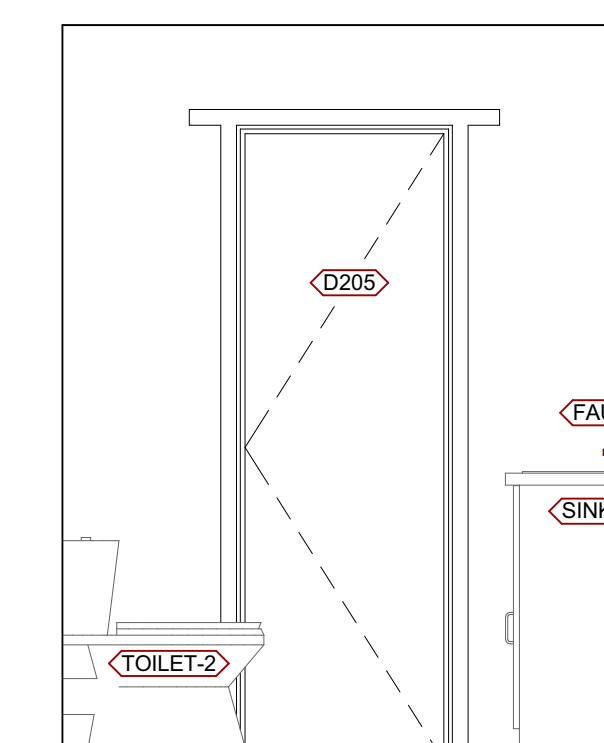
6



UNIT 2 BATHRM West

SCALE: 1/2" = 1'-0"

8



UNIT 2 BATHRM East

SCALE: 1/2" = 1'-0"

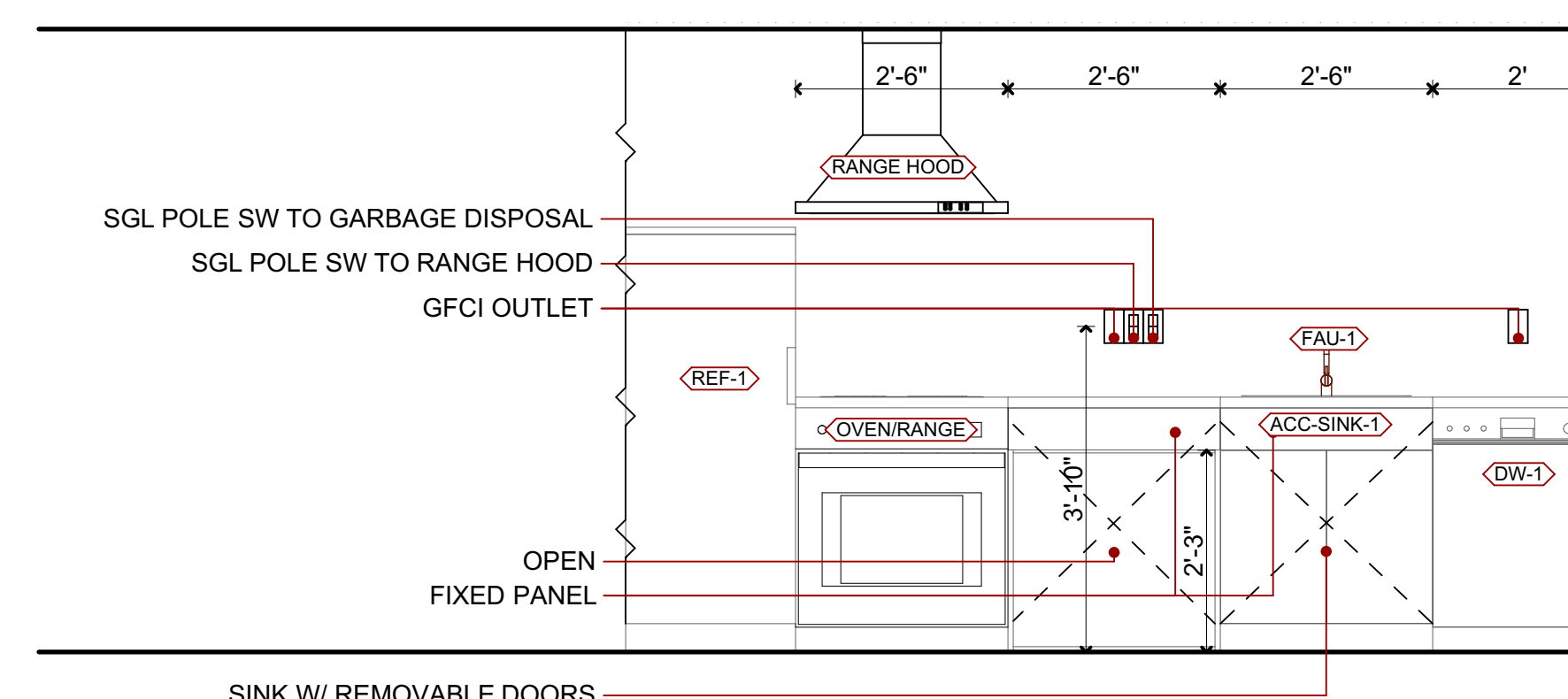
5



UPPER UNIT KITCHEN

SCALE: 1/2" = 1'-0"

11



ACCESSIBLE KITCHEN

SCALE: 1/2" = 1'-0"

10

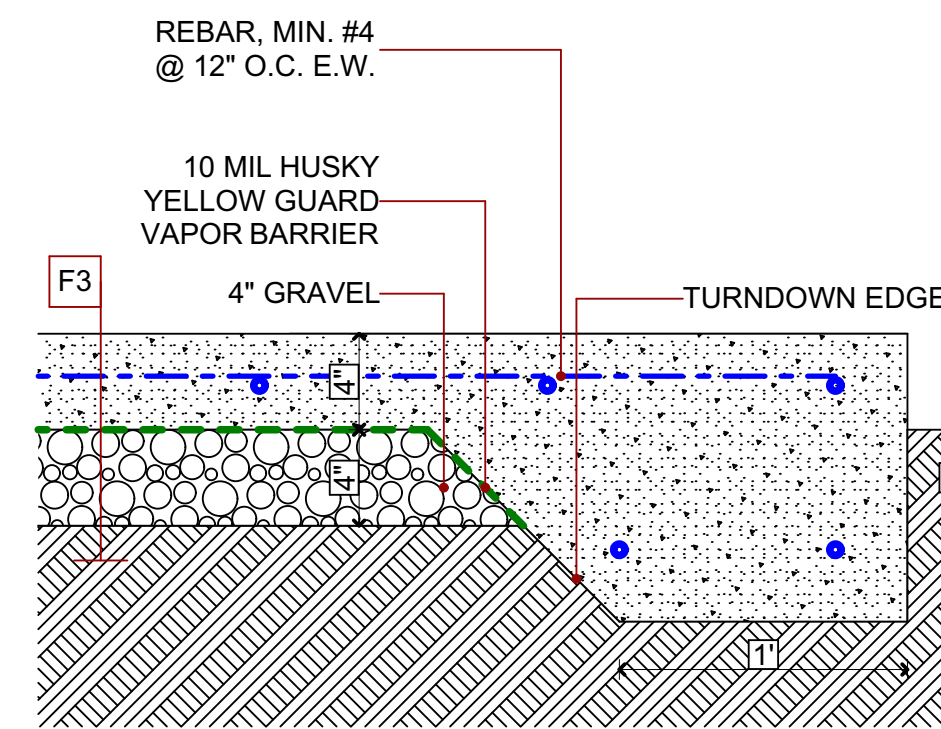


ID	QTY	MFR	DESCRIPTION	NOTES
ACC-SINK-1	1	ELKAY	CROSTOWN ADA SINK KIT : ECTSRAD25226TBG	KITCHEN SINK FOR LOWER UNIT
ACC-SINK-2	1	KOHLER	GRENWICH K-2031	SINK FOR LOWER UNIT
ACC-TOILET-1	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR LOWER UNIT
ACC-TUB-1	1	DURAVIT	30" X 60" BATHTUB, 18" HT.; # 700441000000090	BATHTUB FOR LOWER UNIT
FAU-1	2	KOHLER	JULY FAUCET : K-97282-4	BATHROOM FAUCET FOR BOTH UNITS
FAU-2	2	MISENO	KITCHEN FAUCET : MNO191LCP	KITCHEN FAUCET FOR BOTH UNITS
SHOWER-1	1	DreamLine	SlimLine 48 in.x 32 in. Single Threshold Alcove Shower Pan Base in White with Center Drain	SHOWER PAN FOR UPPER UNIT
SHWR-CTRL	2	TBD	SHOWER CONTROLS TBD	
SHWR-HD	2	TBD	SHOWER HEAD TBD	
SINK-2	1	DEERVALLEY	Ally 20.87 in. Undermount Bathroom Sink W/ Overflow Drain	BATHROOM SINK & VAULTY FOR UPPER UNIT
SINK-3	1	KRAUS	Standart PRO 16 Gauge Stainless Steel 21 in. Undermount Sink	KITCHEN SINK FOR UPPER UNIT
TOILET-2	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR UPPER UNIT

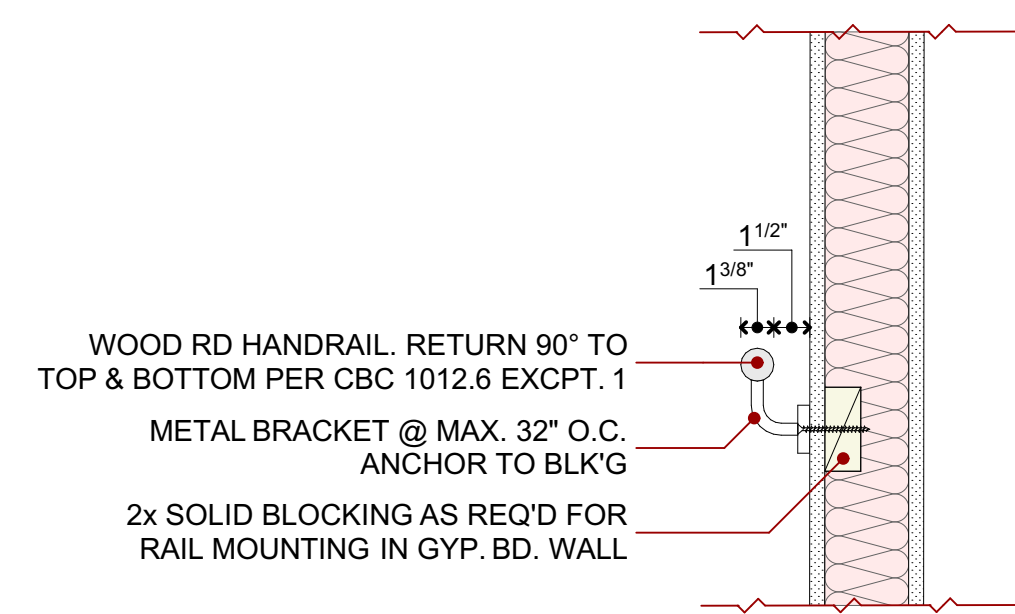
FIXTURE SCHEDULE

SCALE: 1" = 1'-0"

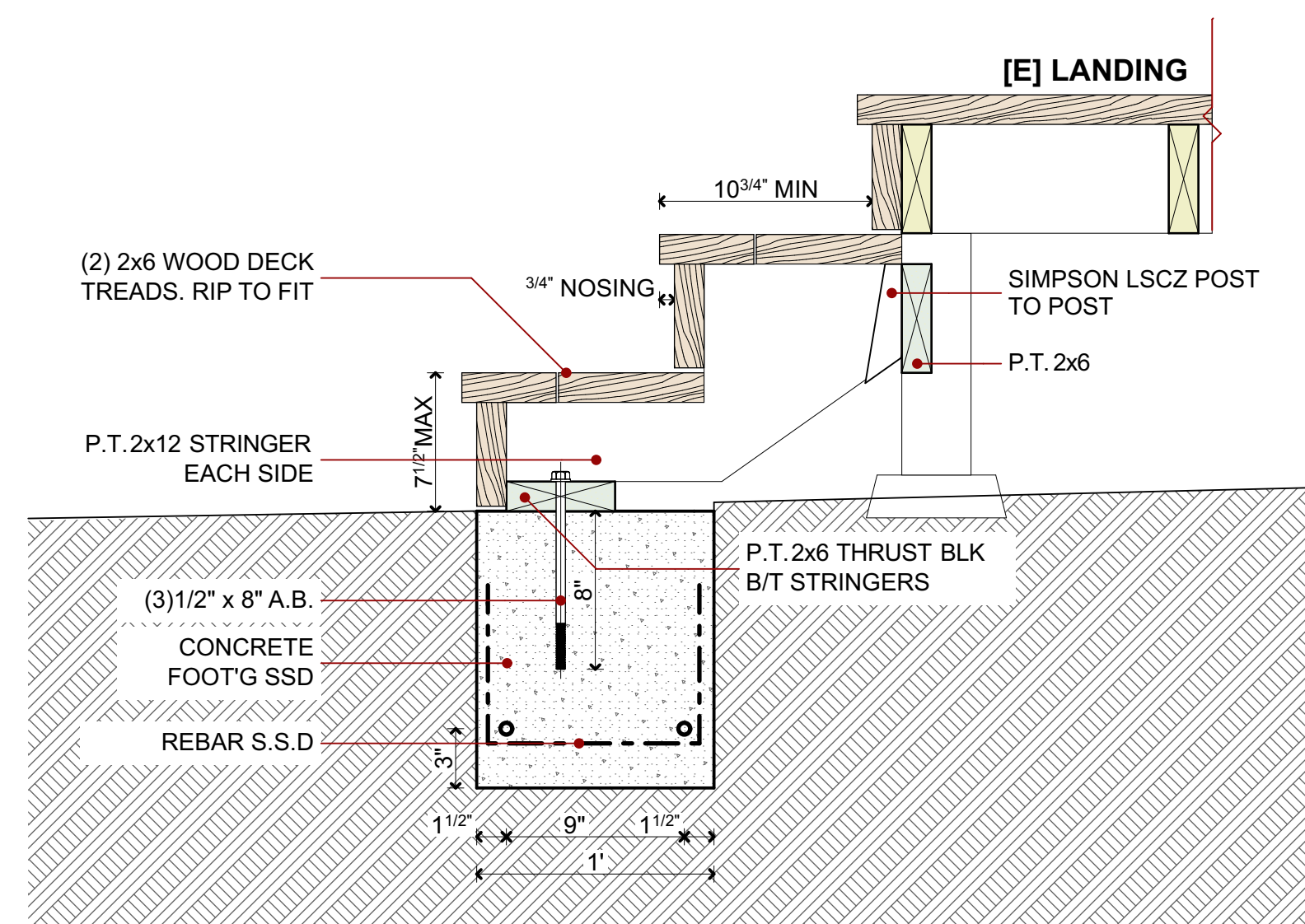
9



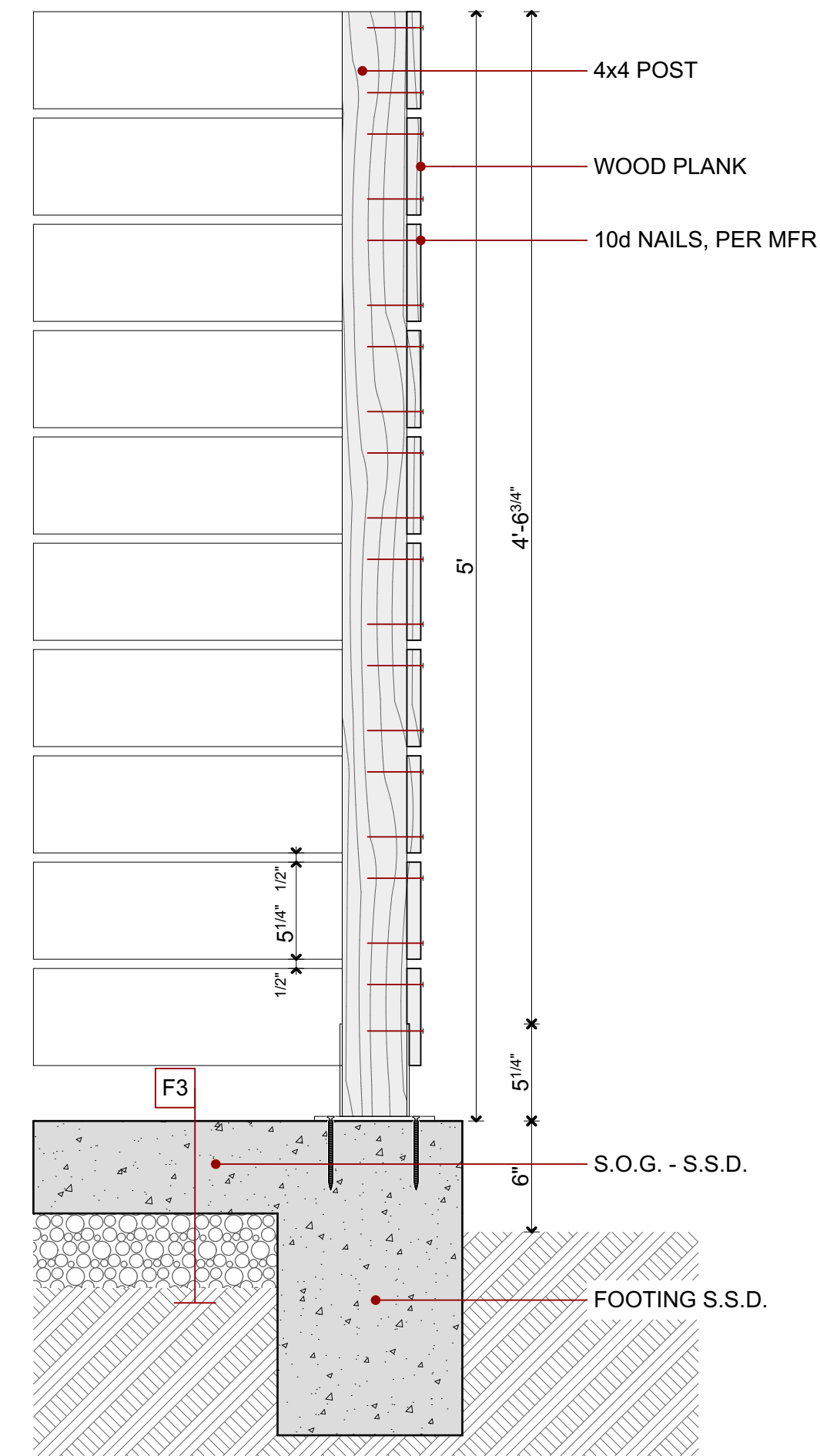
**SLAB ON GRADE DETAIL** (6)  
SCALE: 1 1/2" = 1'-0"



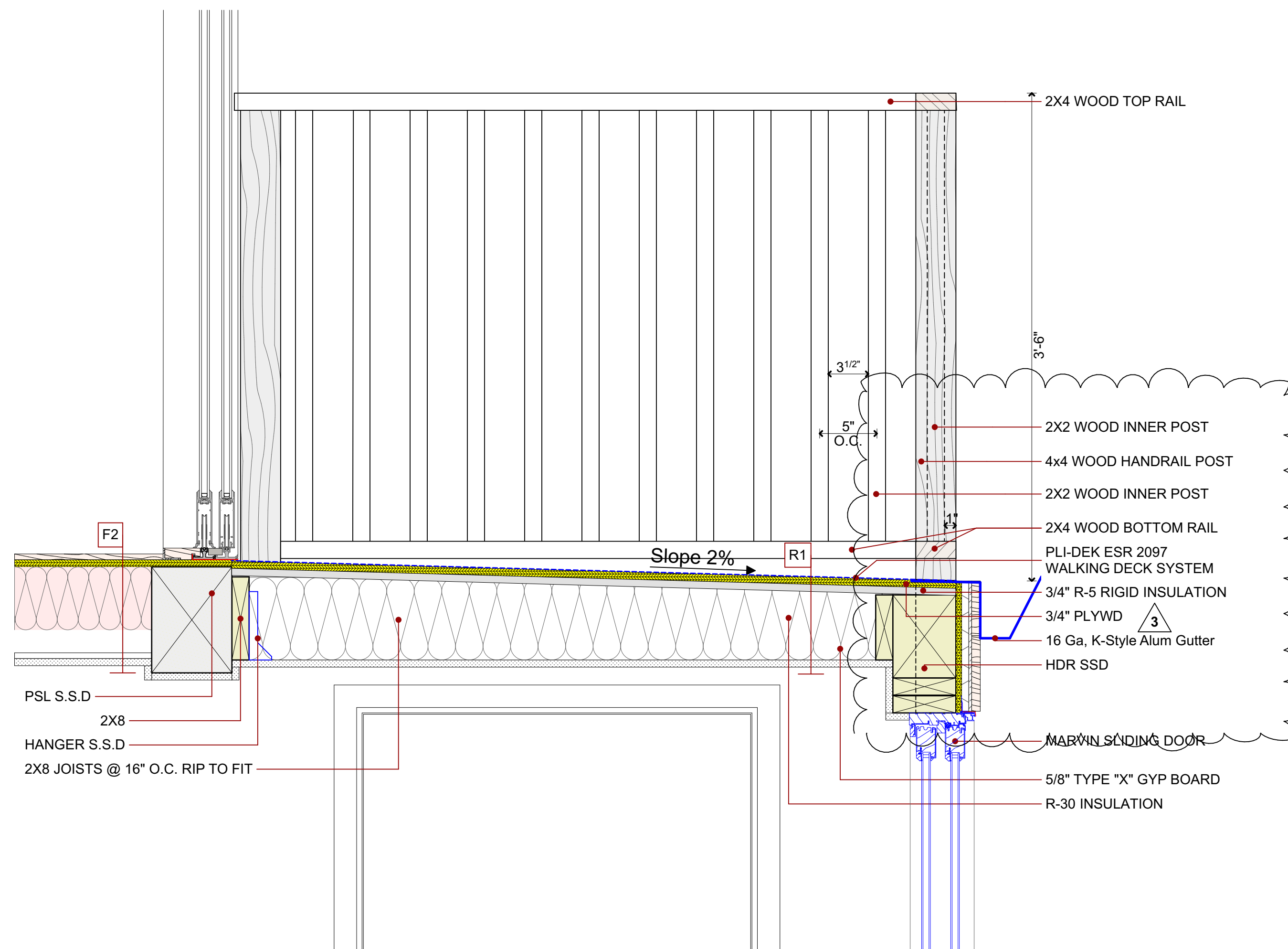
**HANDRAIL TYP DETAIL** (5)  
SCALE: 1 1/2" = 1'-0"



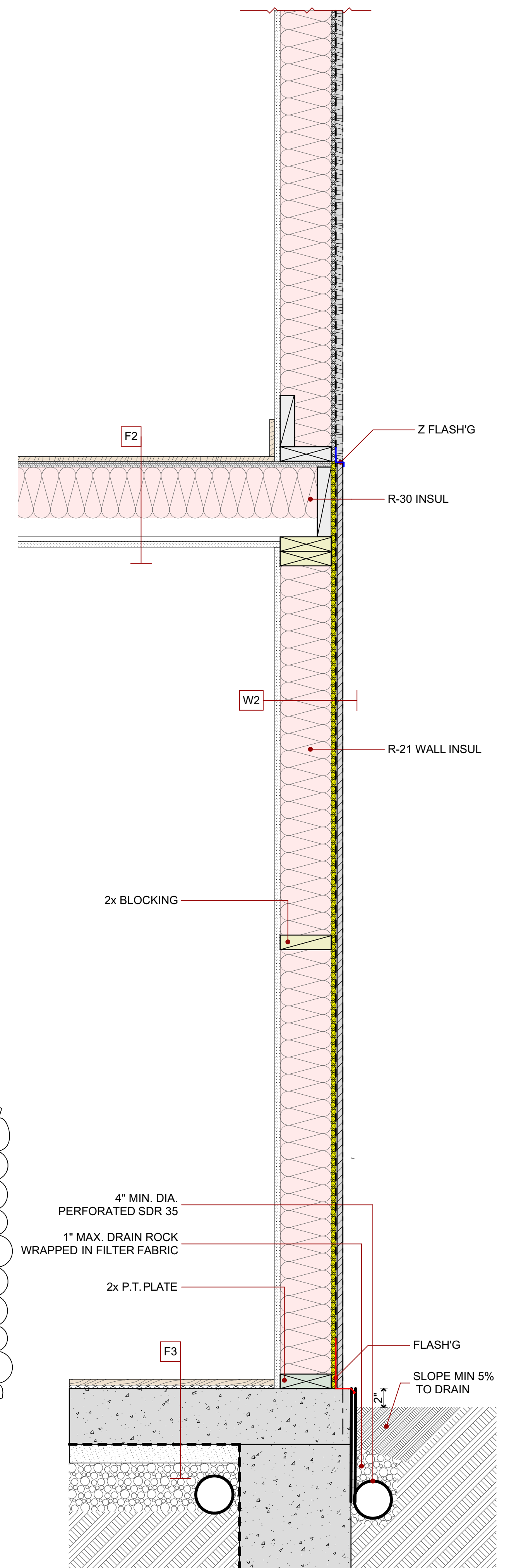
**ACCESS STAIRS** (4)  
SCALE: 1 1/2" = 1'-0"



**WOOD FENCE** (3)  
SCALE: 1 1/2" = 1'-0"



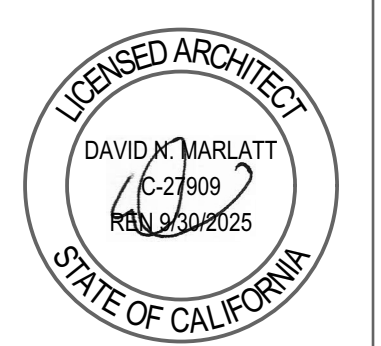
**HANDRAIL AND HEADER** (2)  
SCALE: 1 1/2" = 1'-0"



**EXT WALL DETAIL** (1)  
SCALE: 1 1/2" = 1'-0"



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**CONSTRUCTION SET**  
**DETAILS**

23.0220  
**429.5 JOHNSON**  
429.5 Johnson St  
Sausalito, California  
94965  
APN: 065-062-19

#	REASON	DATE
1.	Plan Check	3/26/24
2.	Plan Check	4/30/24
3.	Construction	5/16/24
4.		
5.		
6.		

09/22/2023

**A5.0**

**SHEET NOTES**

1. Floor or ground surface within required maneuvering clearances shall not slope exceeding 1:48, detectable warnings shall not be permitted
2. Operable parts shall be operable with one hand and shall not require light grasping, pinching or twisting of the wrist. The force required to activate operable parts shall be 5 pounds (22.2 N) maximum. Operable parts of such hardware shall be 34 inches (864 mm) minimum and 44 inches (1118mm) maximum above the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides.
3. Swinging door and gate surfaces within 10 inches (254 mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other and be free of sharp or abrasive edges. Cavities created by added kick plates shall be capped.



**CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION  
OFFICE OF THE STATE FIRE MARSHAL  
FIRE ENGINEERING & INVESTIGATIONS DIVISION  
BUILDING MATERIALS LISTING PROGRAM**

**LISTING SERVICE**

<b>LISTING No.:</b>	8150-2017-0010
<b>CATEGORY:</b>	8150 - EXTERIOR DOOR FOR WILDLAND URBAN INTERFACE (W.U.I)
<b>LISTEE:</b>	Plastpro, Inc. 5200 West Century Blvd. 9F, Los Angeles, CA, 90045 Contact: Some, Alex (440) 969-9773 (440) 969-9786 Email: alexsome@plastproinc.com
<b>DESIGN:</b>	3/0 8/0 Woodgrain, smooth skin, true white oak door. Refer to listee's data sheet for detailed product description and operational considerations.
<b>RATING:</b>	Compliance in accordance with Chapter 7A of the California Building Code.
<b>INSTALLATION:</b>	In accordance with listee's printed installation instructions, applicable codes and ordinances and in a manner acceptable to the authority having jurisdiction.
<b>MARKING:</b>	Listee name, Model number, rating and SFM label.
<b>APPROVAL:</b>	Listed as an Exterior Door Assembly for use in the Wildland Urban Interface areas.
<b>NOTES:</b>	

07-03-12 gt

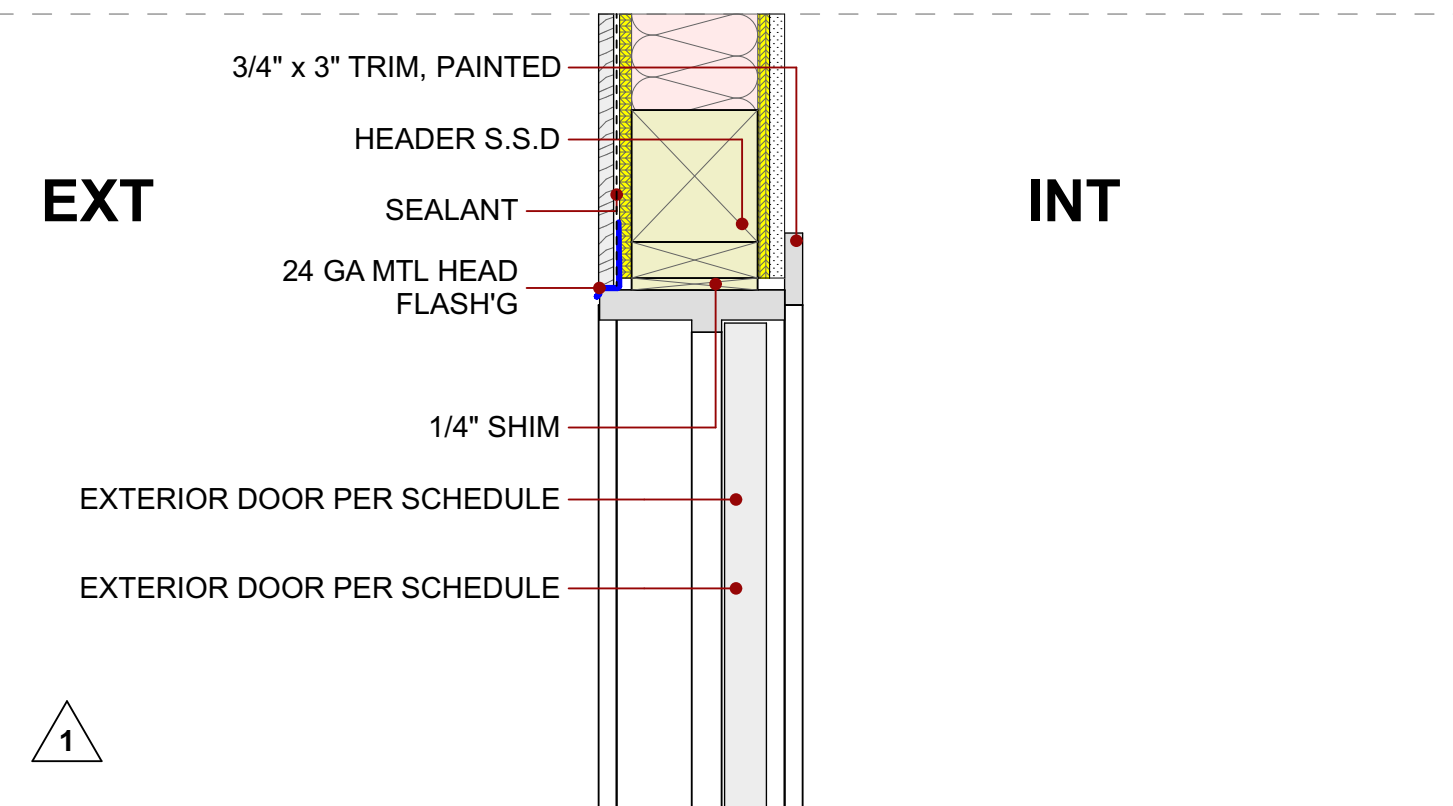


This listing is based upon technical data submitted by the applicant. OSFM Fire Engineering staff has reviewed the test results and/or other data but does not make an independent verification of any claims. This listing is not an endorsement or recommendation of the item listed. This listing should not be used to verify correct operational requirements or installation criteria. Refer to listee's data sheet, installation instructions and/or other suitable information sources.

Date Issued: 04/09/2024

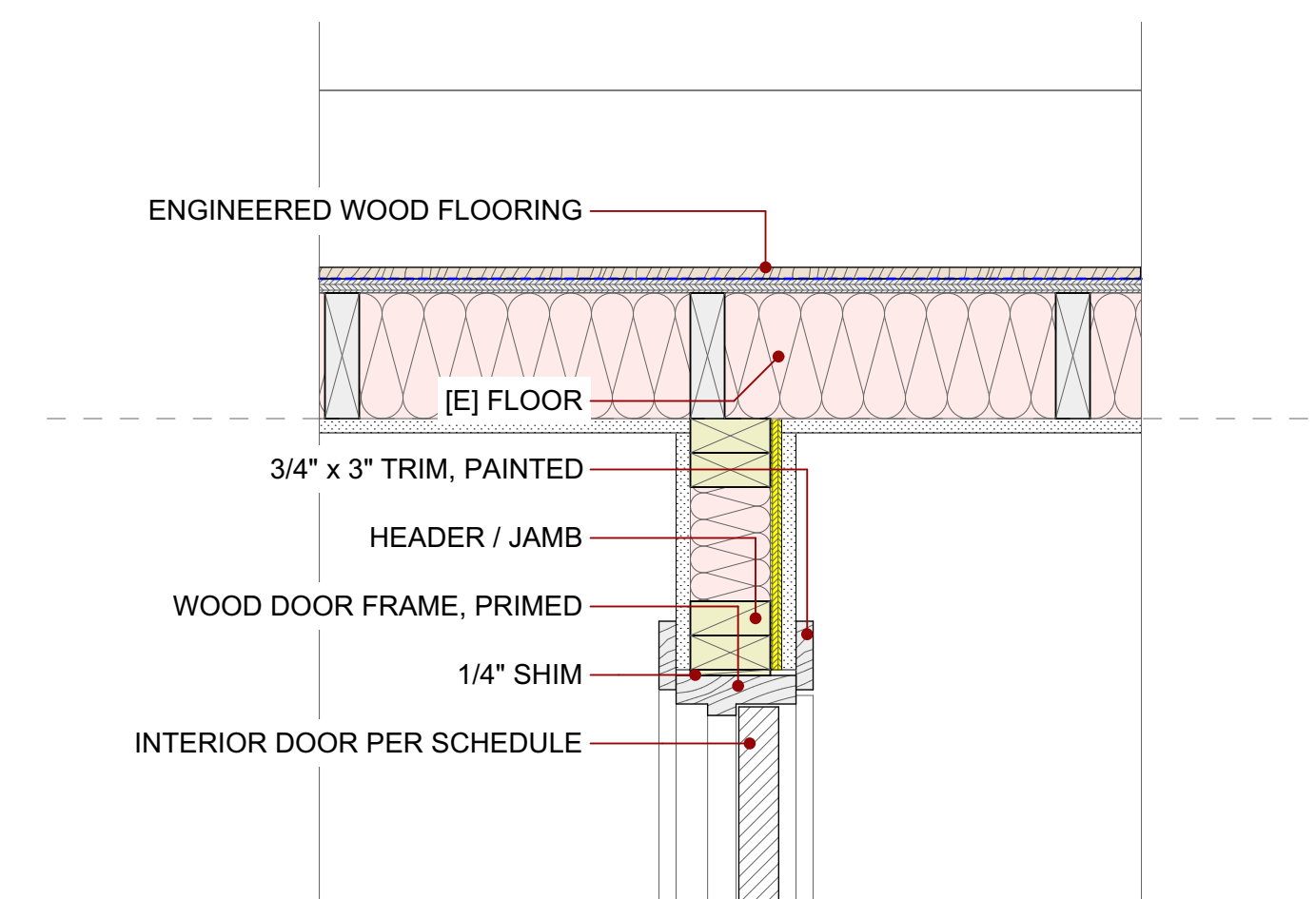
Listing Expires: 06/30/2025

Authorized By: David Castillo, Program Coordinator  
Fire Engineering & Investigations Division



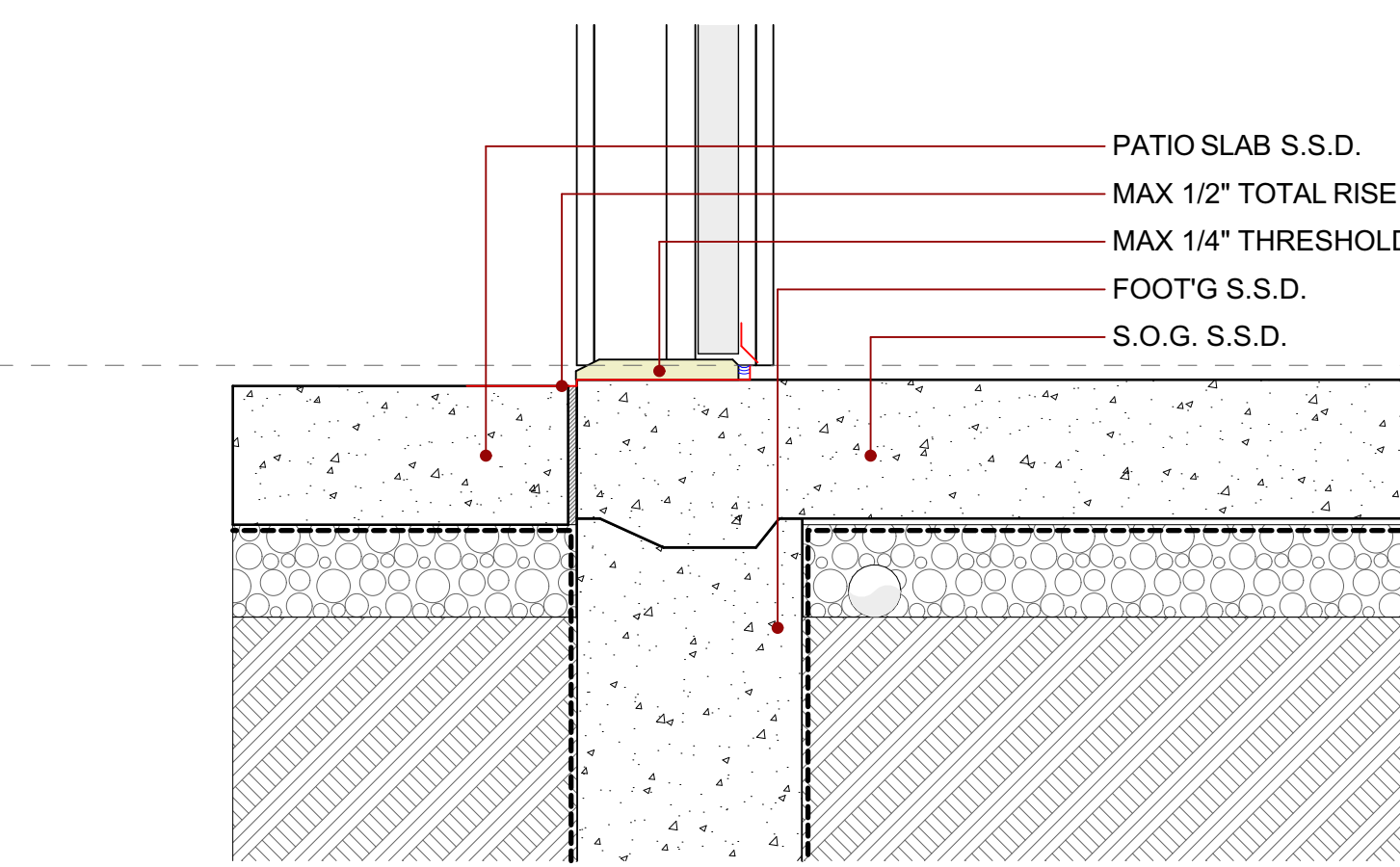
**EXT DOOR FLASHING DETAIL 6**

SCALE: 1 1/2" = 1'-0"



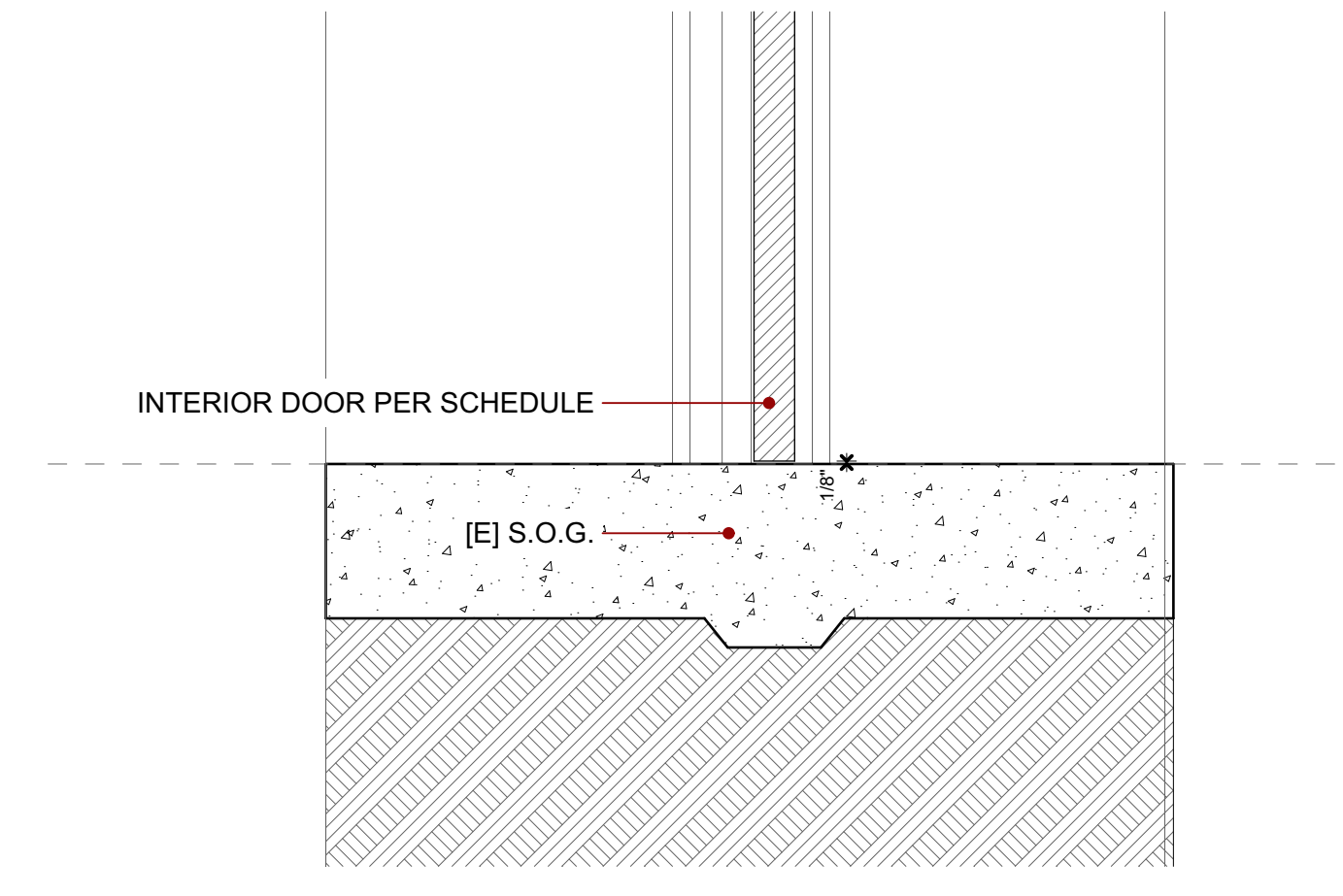
**DOOR HEADER 4**

SCALE: 1 1/2" = 1'-0"



**EXT DOOR THRESHOLD DETAIL 5**

SCALE: 1 1/2" = 1'-0"



**DOOR SILL 3**

SCALE: 1 1/2" = 1'-0"

**NEW EXTERIOR DOORS: SHALL HAVE IGNITION RESISTANT CLADDING**

**AL NEW DOORS SHALL HAVE LEVER STYLE DOOR HANDLES**

MARK	STATUS	NOM. LEAF SIZE		AREA	HAND	INT/EXT	U-FACTOR	SHGC	RATING	NOTES
		W	H							
D101	Existing	2'-8"	6'-8"	17.78	R	Exterior				
D102	New	3'	6'-6"	19.50	L	Interior				
D103	New	6'	6'-8"	40.00	R	Exterior				MARVIN ESSENTIAL FIBERGLASS SLIDING PATIO DOOR W/ TEMPERED GLASS
D104	New	5'-6"	6'-8"	36.67		Interior				
D105	New	3'	6'-8"	20.00	R	Interior				
D106	New	3'	6'-6"	19.50	R	Exterior				20 MIN FIRE RATED DOOR 1-3/4" SOLID CORE W/ SELF CLOSING HINGES
D201	New	2'-4"	6'-8"	15.56	R	Interior				
D202	New	2'-4"	6'-8"	15.56	R	Interior				
D203	New	2'-6"	6'-8"	16.67	R	Interior				
D204	New	5'	6'-2"	30.83	L	Interior				
D205	Existing	2'-4"	6'-8"	15.56	R	Interior				
D206	Existing	2'-6"	6'-8"	16.67	L	Exterior				
D207	Existing	8'	6'-8"	53.33	R	Exterior				

**DOOR SCHEDULE 2**

**NEW EXTERIOR WINDOWS SHALL MEET SFM STANDARD 12-7A-2**

MARK	Status	FRAME SIZE		AREA	SILL HT	HDR HT	U-FACTOR	SHGC	TEMPER	NOTES
		W	H							
W101	Existing	5'	3'	15.00	3'-9"	6'-9"				
W102	Existing	3'-6"	1'-10"	6.42	4'-11"	6'-9"				
W201	Existing	4'	2'	8.00	4'-8"	6'-8"				
W202	Existing	3'-3"	4'	13.00	3'	7'				
W203	Existing	6'-9"	4'-10"	32.63	1'-10"	6'-8"				
W204	Existing	6'	5'	30.00	1'-8"	6'-8"				
W205	New	3'-3"	4'	13.00	2'-8"	6'-8"		YES		MARVIN ESSENTIAL FIBERGLASS CSMT
W206	Existing	2'	4'-5 <sup>3/4</sup> "	8.96	8'	12'-5 <sup>3/4</sup> "				

**WINDOW SCHEDULE 1**

ID	QTY	MFR	DESCRIPTION	NOTES
DIFF	4	LG	WALL MOUNT DIFFUSER FROM MINI SPLIT	
DW-1	2	HONEYWELL	18" DISHWASHER : HDS18SS	
EWB	2	RHEEM	Gladiator 50 Gal. Smart Electric Water Heater : # XE50M12CS45U0	
MINI SPL	2	LG	WALL MOUNTED 2 ZONE MINI SPLIT : L2H18W07090000-A	
OVEN/RANGE	2	LG	30" ELECTRIC CONVECTION RANGE & OVEN : LREL6323	
RANGE HOOD	2	WINFLO	30" Wall Mount Range Hood : # WR003C30	
REF-1	2	WHIRLPOOL	24" Top Freezer Refrigerator : # WRT112CZJZ	
W/D	2	GE	24" CONDENSING WASHER/DRYER : GFQ14ESSNWW	

**APPLIANCE SCHEDULE 7**

SCALE: 1" = 1'-0"

SKYLIGHT SCHEDULE			
MARK	LENGHT	WIDTH	NOTES
SKY - 001	3'-6"	2'-6"	EXISTING
SKY - 002	5'	3'-4"	EXISTING

**SKYLIGHT SCHEDULE 8**



**DNM ARCHITECTURE**  
DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965  
T: 415.348.8910 • E: info@dnmarchitecture.com



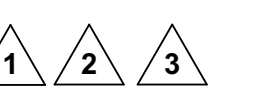
**CONSTRUCTION SET**  
**WINDOW & DOOR SCHEDULES**

23.0220  
**429.5 JOHNSON**  
429.5 Johnson St  
Sausalito, California  
94965  
APN: 065-062-19

REVISIONS	
#	REASON DATE
1.	Plan Check 11/29/23
2.	Plan Check 3/26/24
3.	Plan Check 4/30/24
4.	Construction 5/16/24
5.	
6.	

09/22/2023

**A6.0**



### GENERAL NOTES FOR FIRST STORY ELECTRICAL PLANS

ALL COVERED SWITCHES, OUTLETS, AND CONTROLS OPERATED ON A FREQUENT BASIS MUST BE IN ACCESSIBLE LOCATIONS

PERPENDICULAR CLEAR FLOOR SPACE MUST BE PROVIDED FOR FOREWARD REACH TO CONTROLS

Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches maximum and the depth of the obstruction shall be 24 inches maximum. The high side reach shall be 48 inches maximum for a reach depth of 10 inches maximum. Where the reach depth exceeds 10 inches, the high side reach shall be 46 inches maximum for a reach depth of 24 inches maximum.

Where there is no obstruction, 48 inches maximum measured from the top of the receptacle box and 15 inches minimum measured from the bottom of the receptacle box to the finish floor.

Where the reach is over an obstruction, electrical receptacles, controls and switches shall comply with Sections 11B-308.3 and 11B-309.2.

When the reach is over a kitchen work surface and base cabinet, the work surface shall be 36 inches maximum above the finish floor and 25 1/2 inches maximum in depth. The base cabinet shall be 24 inches maximum in depth.

Where receptacles are provided in a kitchen at a corner work surface, one receptacle shall be located 36 inches from either wall at the inside corner.

### CO/SD DETECTORS

CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN EXISTING DWELLINGS WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR IF ADDITION EXCEEDS \$1,000.00. CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE OF EACH DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDES BASEMENTS.

### GENERAL NOTES FOR ELECTRICAL PLANS

ALL RECEPTACLES SHALL BE 125V, 15 OR 20 AMP AND LISTED AS TAMPER-RESISTANT PER CEC SECT. 406.12.

PROVIDE SEPARATE 20 AMP CIRCUITS FOR EACH BATHROOM.

ALL RECEPTACLES SHALL BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS UNO AS PER CEC 210.12.

ALL ELECTRICAL OUTLETS LOCATED ON A FIRE RATED WALL SHALL COMPLY WITH CRC R302.4.2 EXCEPTIONS 1 & 2.

ALL OUTDOOR GROUND FAULT CIRCUIT-INTERRUPTERS SHALL BE 120V, 15 OR 20 AMP AS PER CEC 210.8(A).

PROVIDE A 20 AMP DEDICATED CIRCUIT FOR LAUNDRY RECEPTACLE OUTLET AS PER CEC 210.11 (C) (2).

PROVIDE A DEDICATED BRANCH CIRCUIT FOR ANY CENTRAL HEATING EQUIPMENT AS PER CEC 422.12.

PROVIDE A 20 AMP DEDICATED CIRCUIT FOR THE GARBAGE DISPOSAL AND DISHWASHER AS PER CEC 430.53.

ALL PERMANENT LUMINAIRES TO BE HIGH EFFICACY AND COMPLY WITH CEC 150 (K).

ALL EXISTING SWITCHING V.I.F.

RE-USE OUTLETS AND SWITCHING WHERE POSSIBLE

1 CURRENT ELECTRICAL SERVICE IS OVERHEAD AND WILL NEED TO BE UPGRADED AS A RESULT OF THIS PROJECT

ALL OVERHEAD UTILITY SERVICE DROPS MUST BE REPLACED WITH UNDERGROUND UTILITY SERVICE LATERALS

SECOND METER WILL NOT BE INSTALLED AT THE NEW UNIT

WHEN EQUIPMENT IS REPLACED, TYPE 1 OR TYPE 2 SURGE PROTECTIVE DEVICES MUST BE INSTALLED PER CEC 230.67 (D)

### MECHANICAL NOTES

GAS VENT TERMINATIONS SHALL MEET THE REQS. OF CMC 802.6 \* SFMC 802.6.1. (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS) THROUGH WALL VENT TERMINATION PER SFMC 802.2.6.

COMBUSTION AIR SHALL MEET THE REQS. OF CMC CHAPTER 7.

ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1. EXHAUST SHALL NOT DISCHARGE TO PUBLIC WALKWAY.

ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1203.1.

PROVIDE 26 GAUGE DUCT IN GARAGE

CLOTHES DRYER EXHAUST SHALL BE MIN. 4", TERMINATE TO OUTSIDE OF THE BLDG. BE EQUIPPED WITH BACK-DRAFT DAMPER AND MEET THE REQS. OF CMC 504.4. PROVIDE 100 SQ. INCH MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.

Air exhaust and intake openings that terminate outdoors shall be protected with corrosion resistant screens, louvers, or grilles having an opening size on not less than 1/2" and not more than 1/2". Openings shall be protected against local weather conditions

### MAXIMUM FLOW RATES:

TOILETS - 1.28 GPF  
LAVATORY - 1.2 GPM @ 60 PSI  
KITCHEN - 1.8 GPM @ 60 PSI  
SHOWERS - 1.8 GPM @ 80 PSI

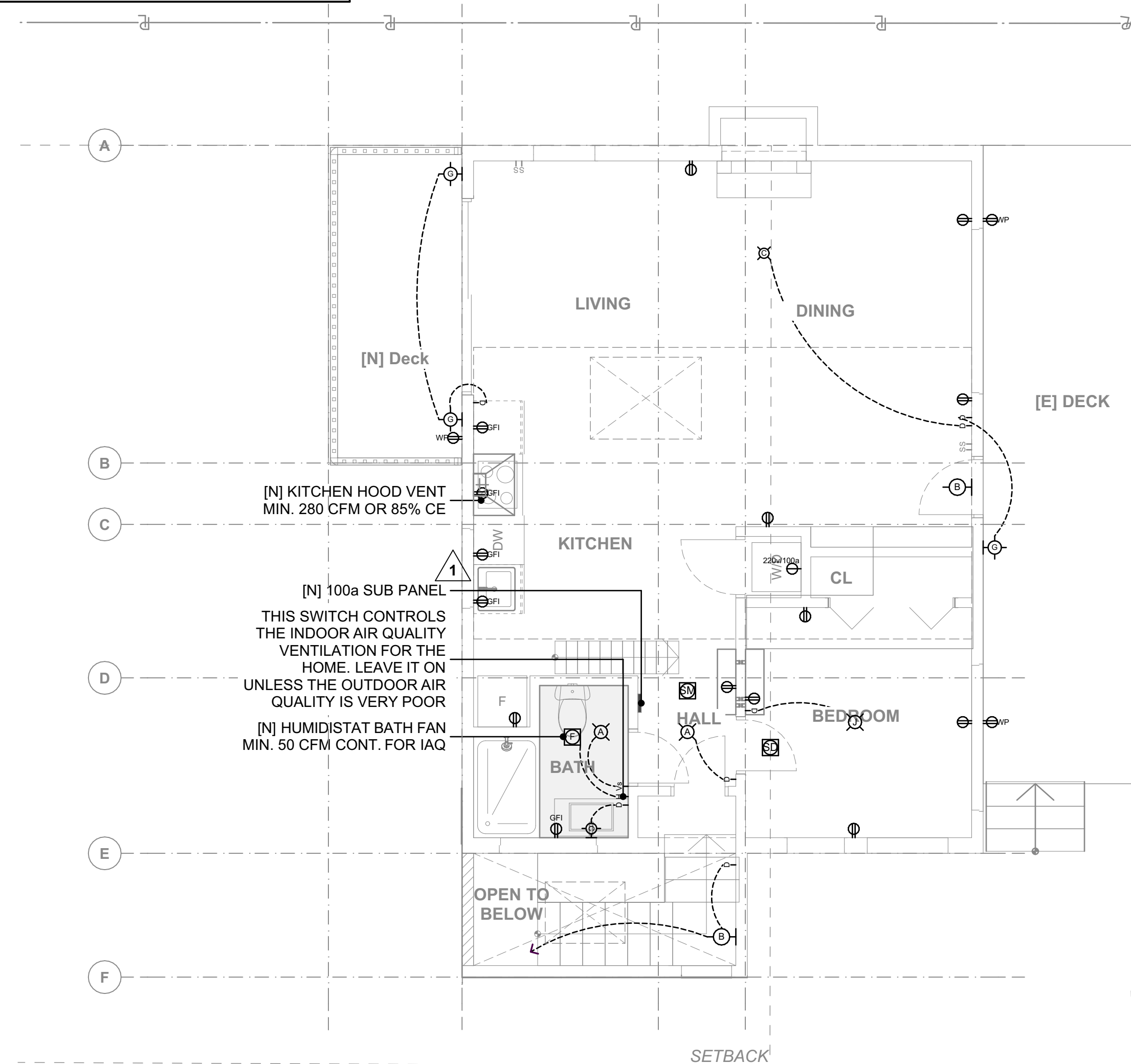
### PLUMBING NOTES

ABS piping cannot be used underground for sewer lateral piping located beyond the building drain clean out.

SYMBOL	TYPE	QTY	NOTES
⊕ 220v/110a	100A	2	100a OUTLET FOR CONDENSING W/D
⊕	A	15	RECESSED LED FIXTURE
⊕	A	2	VERIFY TO CODE
⊕	A	1	CHANDELIER
⊕	C	3	LED SCONCE BATH. VERIFY HT W/OWNER.
⊕	D	15	DIMMER SWITCH
⊕	F	2	ENERGY STAR RATED HUMIDISTAT BATH FAN 100 cfm
⊕	G	6	LED EXT WALL SCONCEON DAYLIGHT CONTROLLED BY PHOTOCELL & MOTION SENSOR PER CEC 150(K) (3)(a)(ii)
⊕ GFI	GFI	9	110v/20a GFI DUPLEX OUTLET @ 42" AFF
⊕ H	H	2	HUMIDISTAT SWITCH
⊕	H	2	Switch for hood vent
⊕	J	1	J BOX FOR LED PENDANT LIGHT
⊕	OU	20	110v/20a DUPLEX OUTLET @ 16" AFF
⊕	S	4	SGL POLE SWITCH
⊕ SD	SD	2	SMOKE DETECTOR
⊕ SM	SM	2	NEST SMOKE AND CO DETECTOR
⊕ Vs	V	2	VACANCY SWITCH
⊕ WP	WP	4	110v/20a WP GFI DUPLEX OUTLET @ 16" AFF

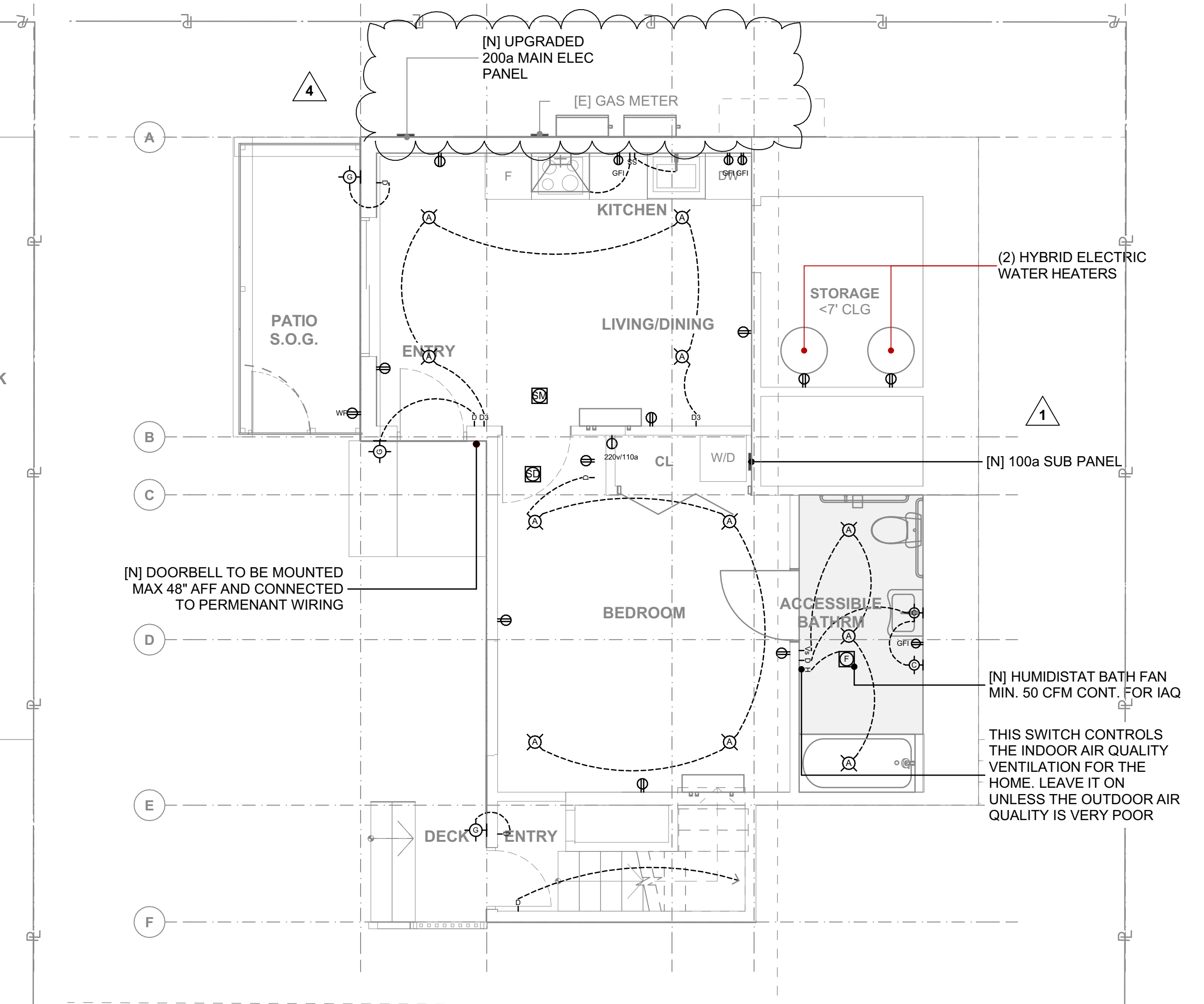
### SERVICE PANEL CALCULATOR PER CEC 220.83

1	General Plug loads	Area	V/A
		1384	3 4,152
2	Dedicated loads	Amps	Volts
MAIN	Kitchen Branch 1	20	1,500
Kitchen Branch 2	20	1,500	
Laundry Branch 1	20	1,500	
Dishwasher	12	120	1,440
Electric Oven & Range	12	240	2,880
Refrigerator	2.5	115	288
Stacking Washer Dryer	30	240	7,200
ADU	Kitchen Branch 1	20	1,500
Kitchen Branch 2	20	1,500	
Laundry Branch 1	20	1,500	
Electric Oven & Range	12	240	2,880
Refrigerator	2.5	115	288
Kitchen Hood	2.3	120	276
Stacking Washer Dryer	30	240	7,200
COMMON	Hybrid DHW		2,750
Hybrid DHW			2,750
3	Loads before HVAC		41,103
4	Subtract 8kVA		33,103
5	Multiply subtotal x .4		13,241
6	Add back 8kVA		8,000
7	Sub total		21,241
8a	Add HVAC	20	208 4,160 (2) 2 Zone Heat pump
8b		4	208 832 4 AHUs
9	Total		26,233
10	DESIGN LOAD (Divide total by 230)		114
11	PROPOSED SERVICE PANEL		200



UTILITY SECOND STORY

SCALE: 1/4" = 1'-0"



UTILITY FIRST STORY

SCALE: 1/4" = 1'-0"

### UTILITIES SCHEDULE

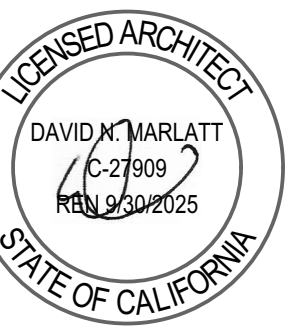
SCALE: 1" = 1'-0"

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**DNM ARCHITECTURE**  
DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965  
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CONSTRUCTION SET

UTILITY PLANS

23.0220  
429.5 JOHNSON  
429.5 Johnson St  
Sausalito, California  
94965

APN: 065-062-19

### REVISIONS

#	REASON	DATE
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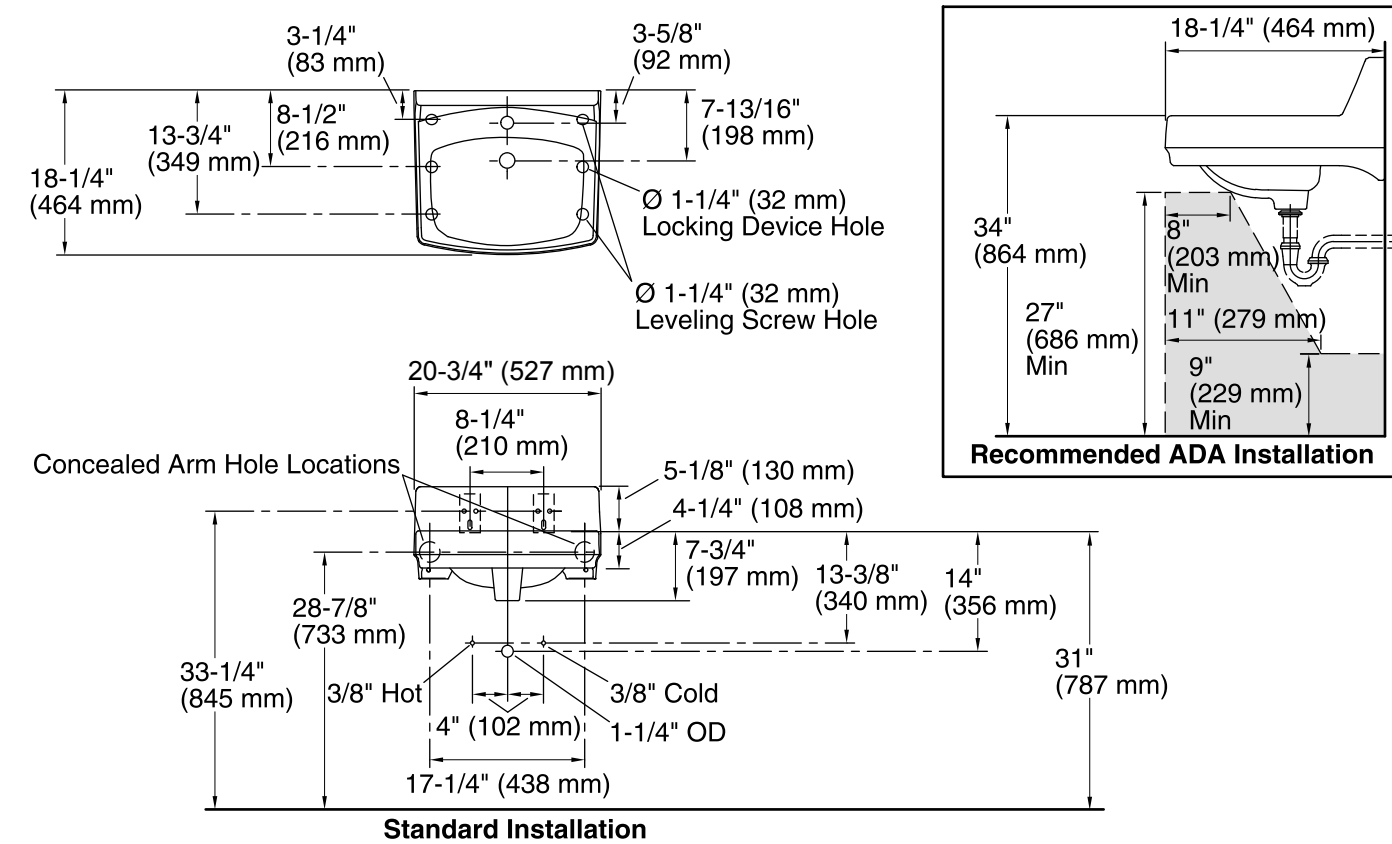
09/22/2023

E1.0

2 3

**KOHLER**

**Greenwich™**  
Wall-Mount Bathroom Sink  
**K-2031**



**Technical Information**  
All product dimensions are nominal.  
Bowl configuration: Single  
Installation: Wall-mount  
Bowl area (Center) Length: 10\"/>

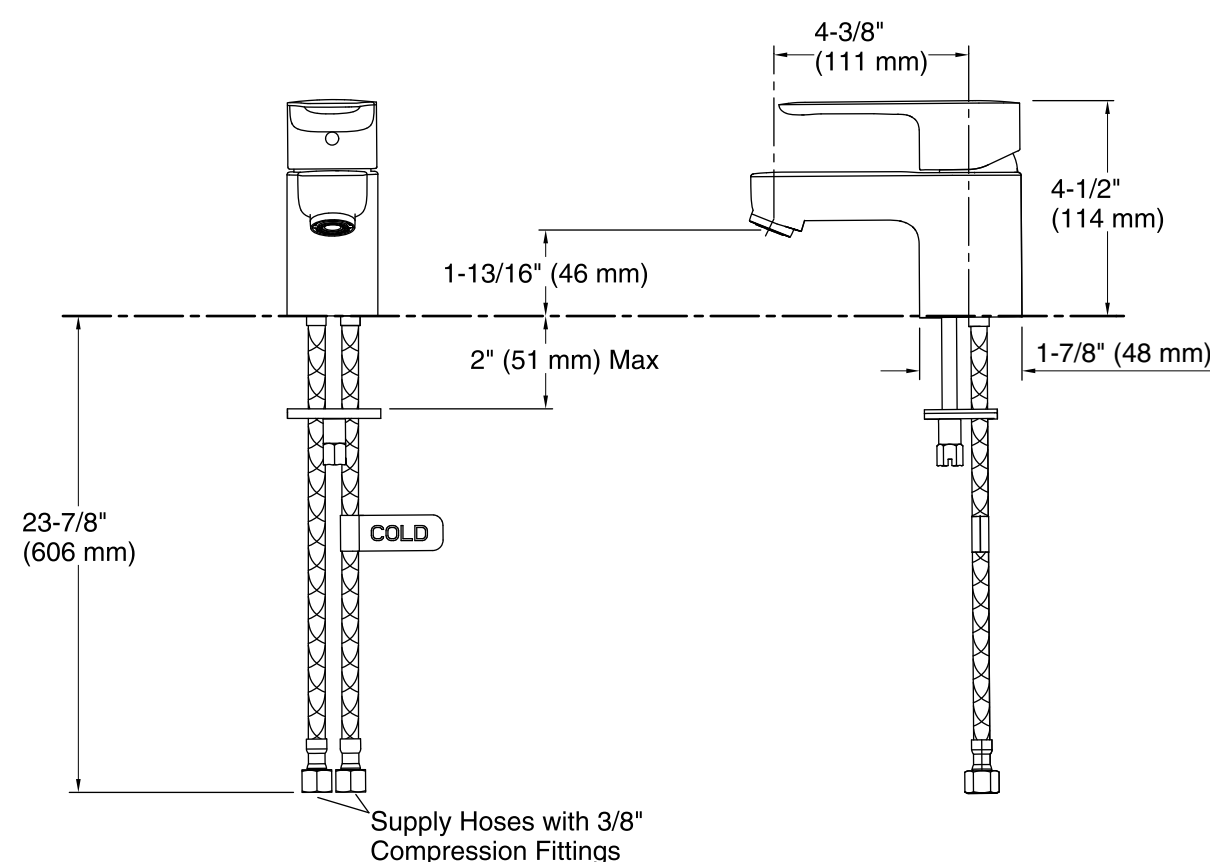
**Notes**  
Install this product according to the installation instructions.  
ADA compliant when installed to the specific requirements of these regulations.

USA/Canada: 1-800-4KOHLER (1-800-456-4537)  
Kohler Co. reserves the right to make revisions without notice to product specifications.  
For the most current Specification Sheet, go to [www.kohler.com](http://www.kohler.com).  
3-7-2017 06:31



**KOHLER** Faucets

**July**  
Single-hole Commercial Faucet  
**K-97282-4**



**Technical Information**  
All product dimensions are nominal.  
**Spout:**  
Spout reach: 4-3/8\"/>

**Notes**  
Install this product according to the installation guide.  
ADA, OBC, CSA B651 compliant when installed to the specific requirements of these regulations.

USA/Canada: 1-800-4KOHLER (1-800-456-4537)  
Kohler Co. reserves the right to make revisions without notice to product specifications.  
For the most current Specification Sheet, go to [www.kohler.com](http://www.kohler.com).  
1-13-2017 07:11



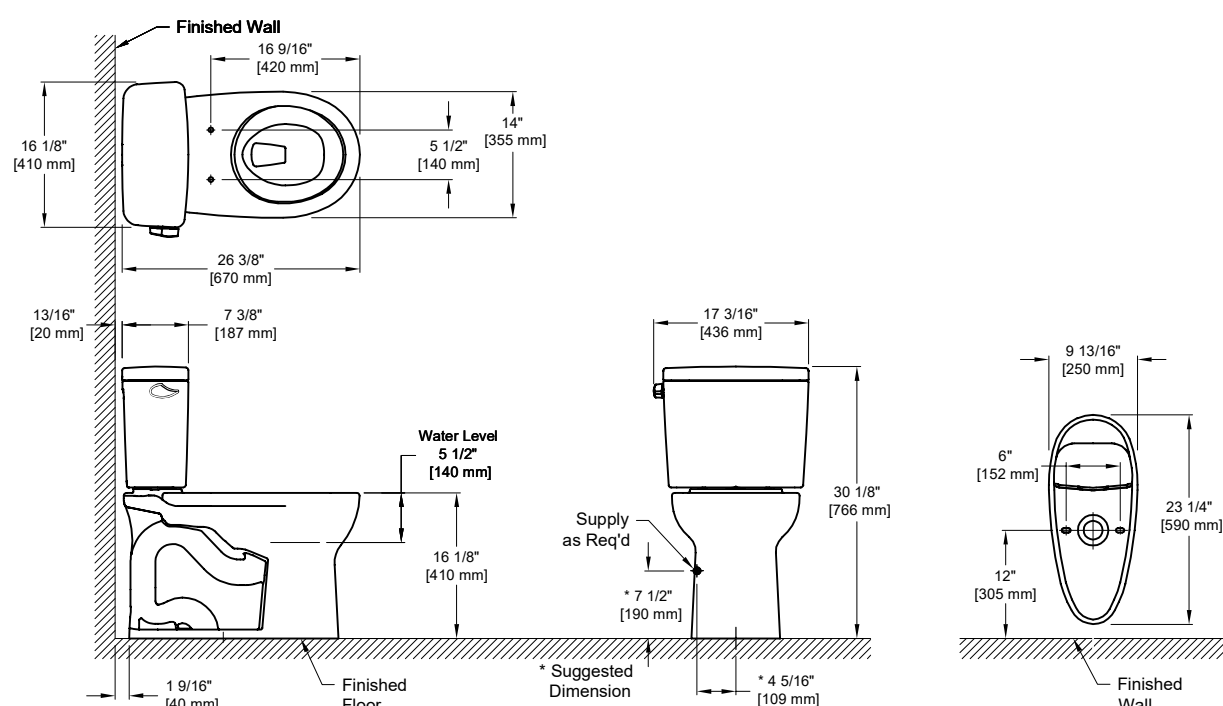
**CST775CEF(R)(G)**

Drake® Two-Piece Toilet, 1.28 GPF

**SPECIFICATIONS**

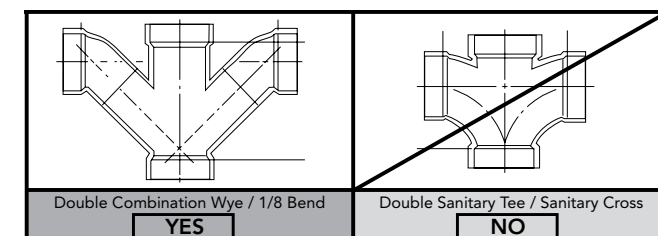
Water Use	1.28 GPF (4.8 LPF)
Flush System	TORNADO FLUSH®
Min. Water Pressure	8 psi (Flowing)
Water Surface	9" x 6-5/8"
Trap Diameter	2-1/8"
Rough-in	12"
Trap Seal	2-1/8"
Warranty	One Year Limited Warranty
Material	Vitreous China
Shipping Weight	C775CEF(G) 53 lbs. S7776EA and S7776ER 32 lbs.
Shipping Dimensions	C775CEF(G) 27-5/8" L x 15-1/2" W1 x 11-1/8" W2 x 18" H S7776EA and S7776ER 18-3/4" L x 8-7/8" W x 16-1/4" H

**DIMENSIONS**



**INSTALLATION NOTES**

Back-to-Back Toilet Installations:  
TOTO recommends the use of a nationally listed, double sanitary tee-ye only, in vertical waste stacks, in accordance with the stipulations noted in the majority of nationally recognized plumbing codes.



To maintain adequate wall gap between the back of the tank and wall, mount the floor flange at a nominal 12" rough-in distance.

**TOTO**

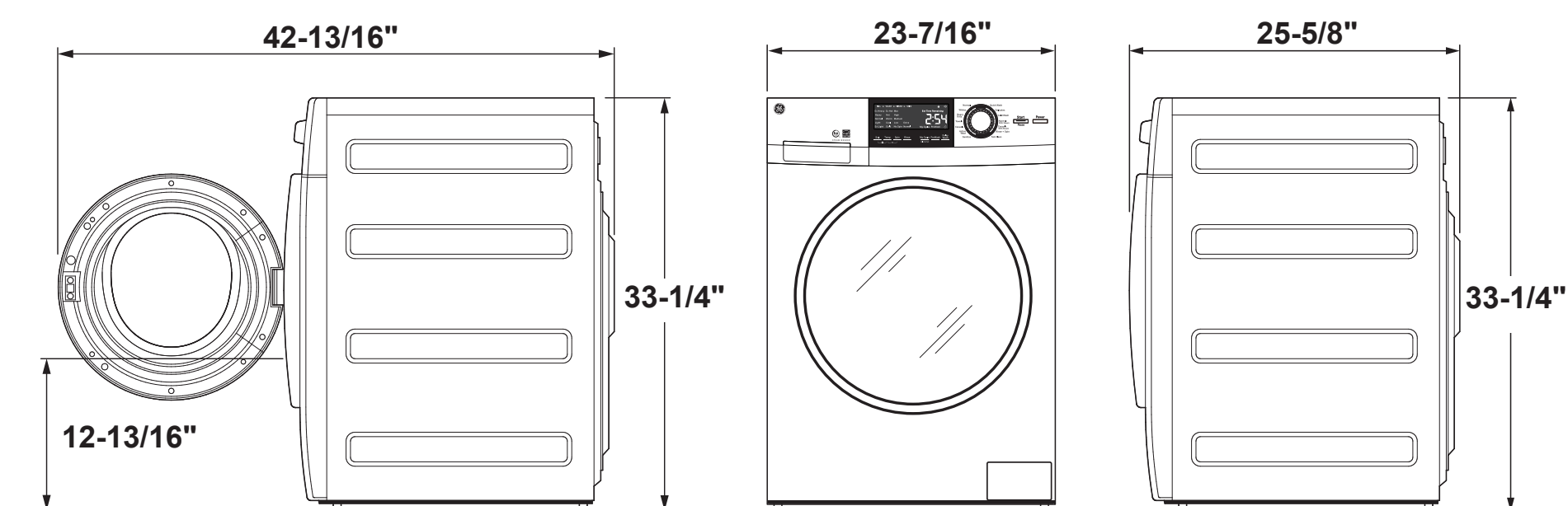
Ph: (888) 295-8134 | Fax: (800) 699-4889 | [www.totousa.com](http://www.totousa.com) | © TOTO USA # SS-02036 v.02

**GFQ14ESSNWW**

GE® 24" 2.4 Cu. Ft. Capacity Front Load Washer/Condenser Dryer Combo

**DIMENSIONS AND INSTALLATION INFORMATION (IN INCHES)**

**INSTALLATION INFORMATION:** For complete information, see installation instructions packed with your washer.



For answers to your Monogram, GE Café® Series, GE Profile® Series or GE Appliances product questions, visit our website at [geappliances.com](http://geappliances.com) or call GE Answer Center® Service, 800.626.2000.

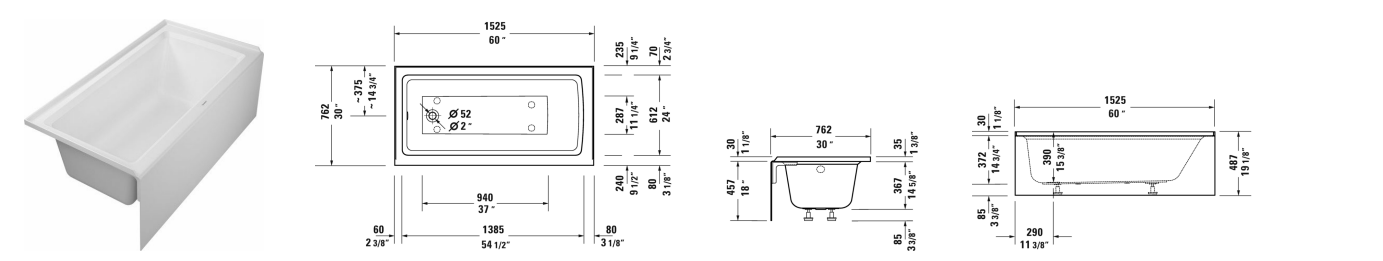


Specification Created 12/19

**DURAVIT**

Architec Bathtub with panel height 18" # 70044100000090

< 60" Inch >



**Bathtub with panel height 18"**  
ADA compliant, above floor rough, rectangle, with integrated panel and flange, flange clips, tub feet, drain left, cUPC® listed, Sanitary acrylic

Colors	Dimension	Weight	Order number
00 White			

Variant	Dimension	Weight	Order number
Base tub	60" x 30" Inch	84 lb	70044100000090

**Infobox**  
\* Complies with the following standards: CSA B45.5/IAPMO Z124

Suitable products	Weight	Order number
Waste and overflow plastic, Chrome trim,		791224
Flange clips 6 pcs., (included), for Architec bathtubs with integrated panel (height 19 1/4") and flange.		790160
Chromed cover fits waste and overflow # 791255,		791225
Tub feet 4 pieces, (included), for Architec bathtubs with integrated panel (height 20 3/8") and flange,		790164
Waste and overflow brass, Chrome trim,		791255

All drawings contain the necessary measurements which are subject to standard tolerances. They are stated in inch & mm and are non-binding. Exact measurements, in particular for customized installation scenarios, can only be taken from the finished ceramic piece.

**ELKAY**  
SPECIFICATIONS

Elkay Crosstown Stainless Steel 25" x 22" x 6"  
Single Bowl Dual Mount ADA Sink Kit  
Model(s) ECTSRA25226TBG

**PRODUCT SPECIFICATIONS**

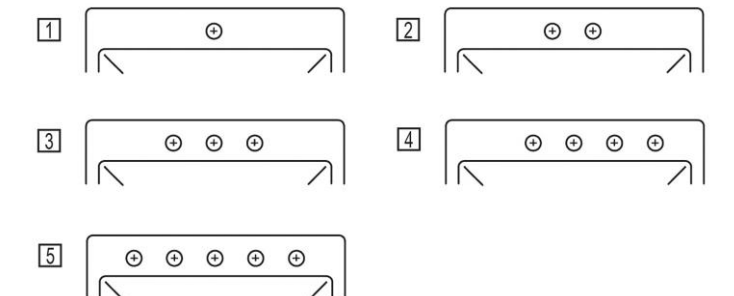
Elkay Crosstown® Stainless Steel 25" x 22" x 6", Single Bowl Dual Mount ADA Sink Kit. Sink is manufactured from 18 gauge 304 Stainless Steel with a Polished Satin finish, Rear Center drain placement, and Sound Guard.

Installation Type:	Drop-in, Undermount
Material:	304 Stainless Steel
Special Features:	Slim Rim
Finish:	Polished Satin
Gauge:	18
Sound Deadening:	Sound Guard
Number of Bowls:	1
Sink Dimensions:	25" x 22" x 6"
Bowl 1 Dimensions:	22-1/2" x 16-3/4" x 6"
Drain Size:	3-1/2" (89mm)
Drain Location:	Rear Center
Minimum Cabinet Size:	30"
Template Included:	Yes
Cutout Template #:	1000001179

Template is available for download at [elkay.com](http://elkay.com)  
**Cutout Dimensions for Top Mount Installation:**  
24-3/8" x 21-3/8" (619mm x 543mm) with 1/2" (12mm) corner radius

**Hole Drilling Configurations:**

1-1/2" (38mm) Diameter Faucet Holes on 4" (102mm) Centers



PART: \_\_\_\_\_ QTY: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
DATE: \_\_\_\_\_  
NOTES: \_\_\_\_\_  
APPROVAL: \_\_\_\_\_

In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit [elkay.com](http://elkay.com) for the most current version of Elkay product specification sheets. This specification describes an Elkay product with design, quality, and functional benefits to the user. When making a comparison of other producers' offerings, be certain these features are not overlooked.

Elkay REV 03212019 2222 Camden Court © 2019 Page 1  
[ECTSRA25226TBG](http://ECTSRA25226TBG) Oak Brook, IL 60523 ECTSRA25226TBG\_spec.pdf



Included with Product: ECTSRA25226T Sink, CTXBG2115 Bottom Grid

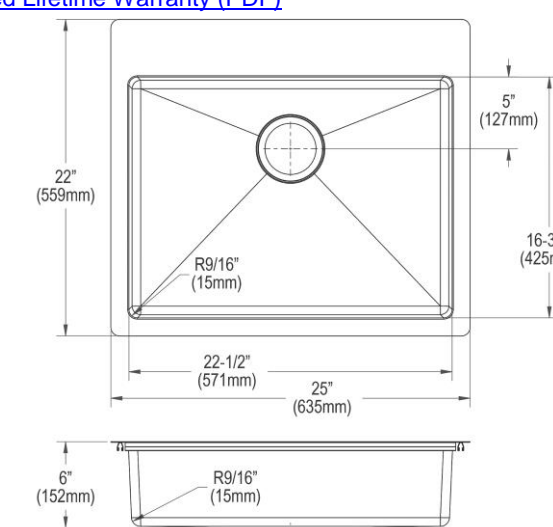
AMERICAN PRIDE. A LIFETIME TRADITION.  
Like your family, the Elkay family has values and traditions that endure. For almost a century, Elkay has been a family-owned and operated company, providing thousands of jobs that support our families and communities.

**Product Compliance:** ADA & ICC A117.1  
ASME A112.19.3/CSA B45.4

Sinks are listed by IAPMO® as meeting the applicable requirements of the Uniform Plumbing Code®, International Plumbing Code®, and National Plumbing Code of Canada.

Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.

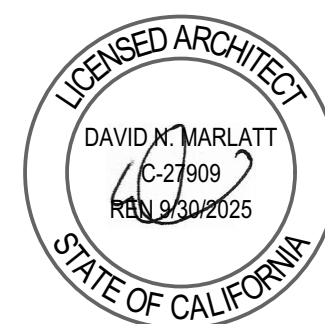
Clean and Care Manual (PDF)  
Installation Instructions (PDF)  
Limited Lifetime Warranty (PDF)



[www.dnmarchitecture.com](http://www.dnmarchitecture.com)

**DNM ARCHITECTURE**

DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965  
T: 415.348.8910 • E: [info@dnmarchitecture.com](mailto:info@dnmarchitecture.com)



CONSTRUCTION SET

PLUMBING SCHEDULE & CUTSHEETS

ID	QTY	MFR	DESCRIPTION	NOTES
ACC-SINK-1	1	ELKAY	CROSSTOWN ADA SINK KIT : ECTSRA25226TBG	KITCHEN SINK FOR LOWER UNIT
ACC-SINK-2	1	KOHLER	GREENWICH K-2031	SINK FOR LOWER UNIT
ACC-TOILET-1	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR LOWER UNIT
ACC-TUB-1	1	DURAVIT	30" X 60" BATHTUB, 18" HT. # 70044100000090	BATHTUB FOR LOWER UNIT
FAU-1	2	KOHLER	JULY FAUCET : K-97282-4	BATHROOM FAUCET FOR BOTH UNITS
FAU-2	2	MISENO	KITCHEN FAUCET : MNO191LCP	KITCHEN FAUCET FOR BOTH UNITS
SHOWER-1	1	DreamLine	SlimLine 48 in.x 32 in. Single Threshold Alcove Shower Pan Base in White with Center Drain	SHOWER PAN FOR UPPER UNIT
SHWR-CTRL	2	MOEN	Gibson Single-Handle Posi-Temp Valve	
SHWR-HD	2	MOEN	HydroEnergetix Single Wall Mount Fixed Shower Head	
SINK-2	1	DEERVALLEY	Ally 20.87 in. Undermount Bathroom Sink W/ Overflow Drain	BATHROOM SINK & VAUTY FOR UPPER UNIT
SINK-3	1	KRAUS	Standart PRO 16 Gauge Stainless Steel 21 in. Undermount Sink	KITCHEN SINK FOR UPPER UNIT
TOILET-2	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR UPPER UNIT

23.0220  
**429.5 JOHNSON**  
429.5 Johnson St  
Sausalito, California 94965

APN: 065-062-19

**REVISIONS**

#	REASON	DATE
1	Plan Check	4/30/24
2	Construction	5/16/24
3.		
4.		
5.		
6.		

4/30/2024

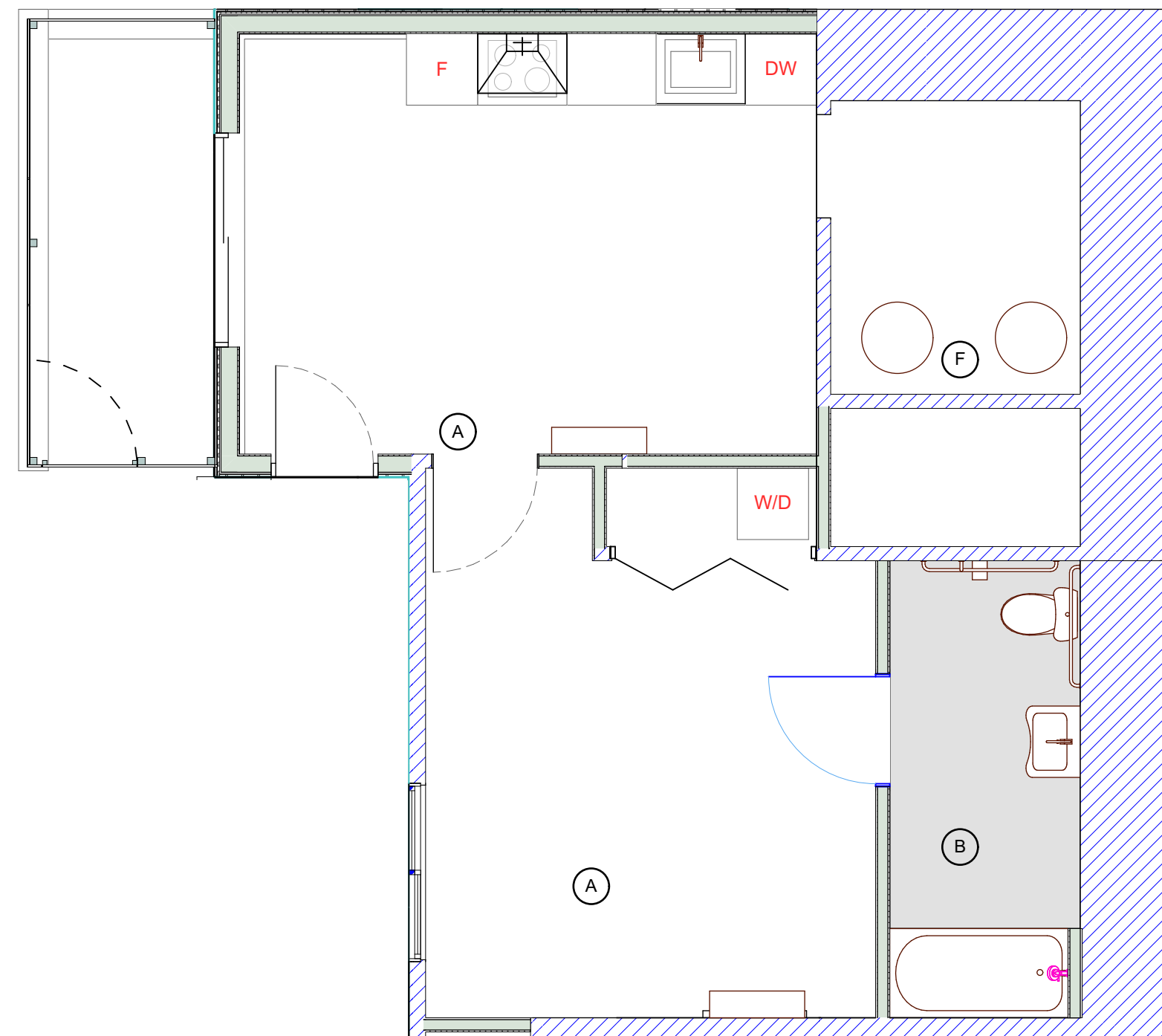
**P1.0**

**FIXTURE SCHEDULE**

SCALE: 1" = 1'-0"

**MATERIAL KEY**

- A** [N] FLOORING : A&A Pro Sky View Ridge Glue Down Waterproof Luxury Vinyl Plank
- B** [N] TILE, FLOOR : MSI Metro Gris 12 in. x 24 in. Matte Porcelain Tile
- C** [N] TILE, WALL : DAL TILE Restore 3 in. x 6 in. Ceramic Bright White Subway Tile
- D** [N] WALL FINISH : 5/8" GYP. Board, Painted white
- E** [E] WALL REFINISH : WHITE PAINT OVER [E] GYP BD OR [E] WOOD PANELING
- F** EXISTING FINISH TO REMAIN



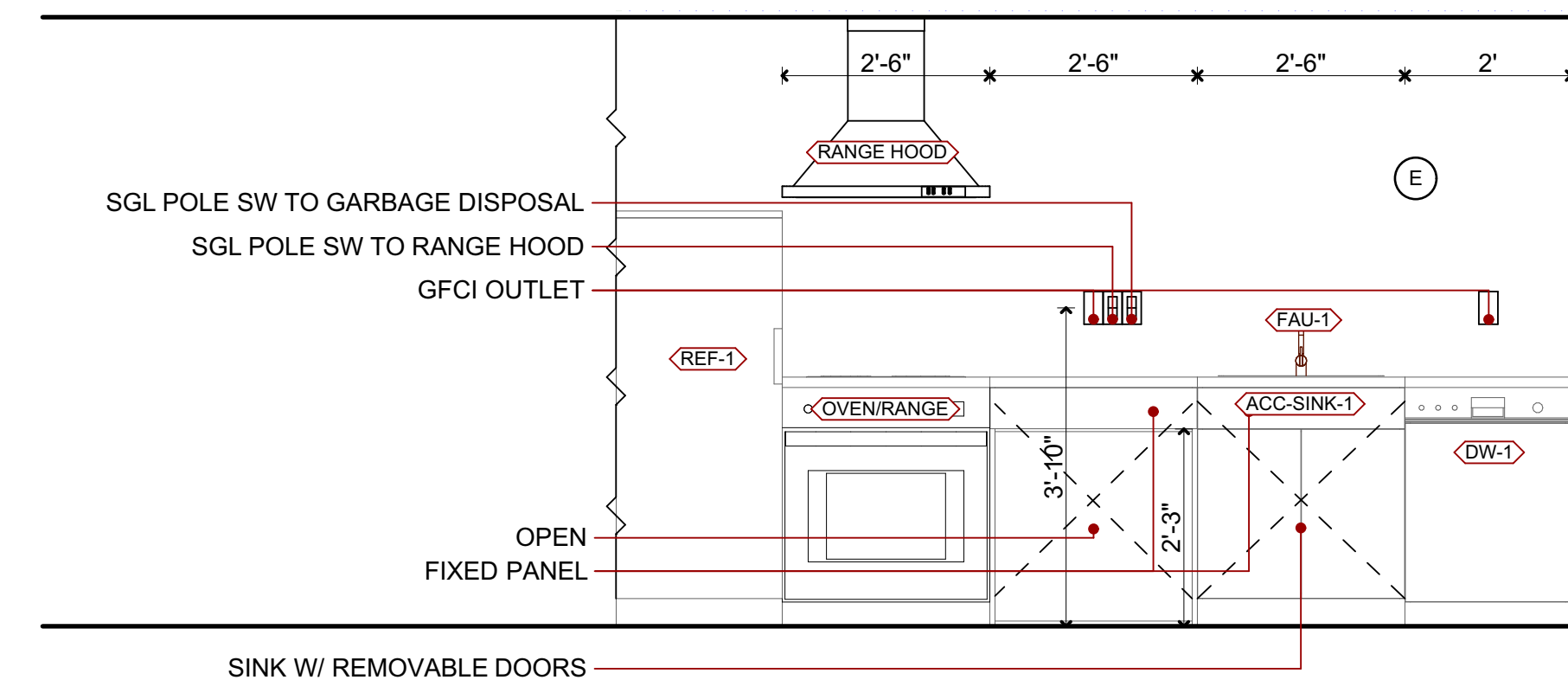
**FINISH FLOORPLAN : UNIT 1**  
SCALE: 1/4" = 1'-0" **12**

ID	QTY	MFR	DESCRIPTION	NOTES
ACC-SINK-1	1	ELKAY	CROSSTOWN ADA SINK KIT : ECTS RAD25226TBG	KITCHEN SINK FOR LOWER UNIT
ACC-SINK-2	1	KOHLER	GRENWICH K-2031	SINK FOR LOWER UNIT
ACC-TOILET-1	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR LOWER UNIT
ACC-TUB-1	1	DURAVIT	30" X 60" BATHTUB, 18" HT. # 70044100000090	BATHTUB FOR LOWER UNIT
FAU-1	2	KOHLER	JULY FAUCET : K-97282-4	BATHROOM FAUCET FOR BOTH UNITS
FAU-2	2	MISENO	KITCHEN FAUCET : MNO191LCP	KITCHEN FAUCET FOR BOTH UNITS
SHOWER-1	1	DreamLine	SlimLine 48 in. x 32 in. Single Threshold Alcove Shower Pan Base in White with Center Drain	SHOWER PAN FOR UPPER UNIT
SHWR-CTRL	2	---	---	---
SHWR-HD	2	---	---	---
SINK-2	1	DEERVALLEY	Ally 20.87 in. Undermount Bathroom Sink W/ Overflow Drain	BATHROOM SINK & VAULTY FOR UPPER UNIT
SINK-3	1	KRAUS	Standart PRO 16 Gauge Stainless Steel 21 in. Undermount Sink	KITCHEN SINK FOR UPPER UNIT
TOILET-2	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR UPPER UNIT

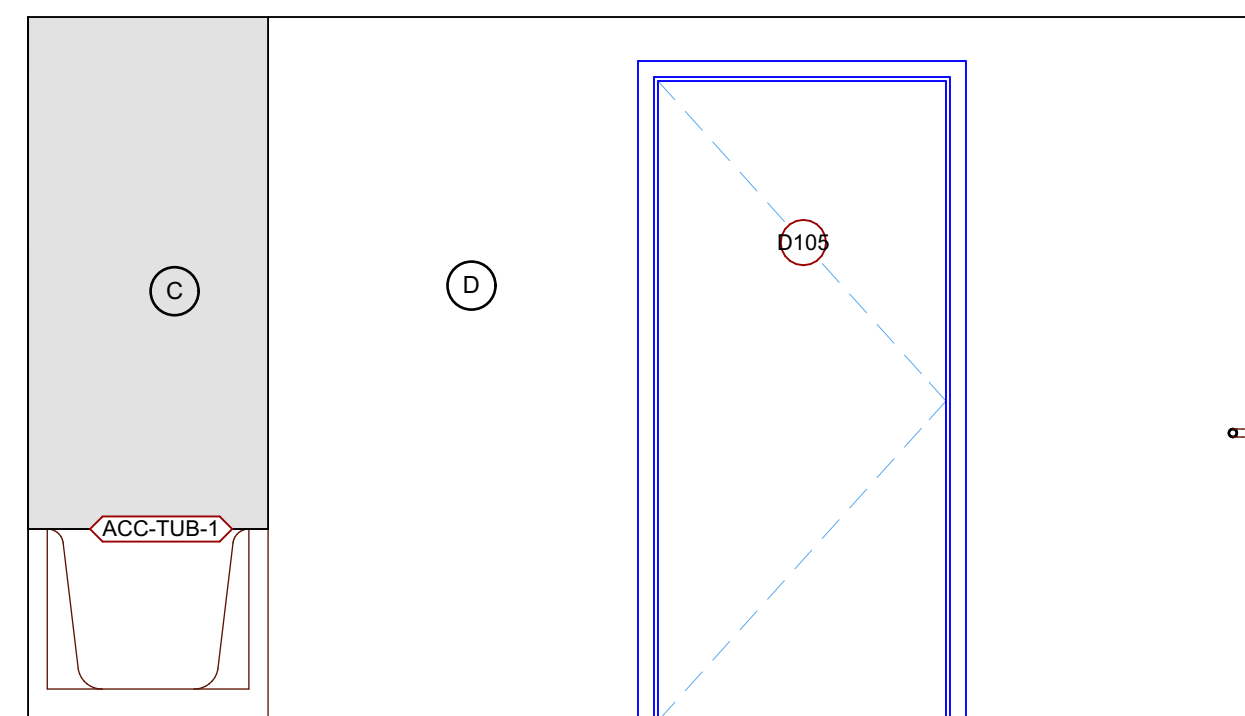
**FIXTURE SCHEDULE**  
SCALE: 1" = 1'-0" **11**

ID	QTY	MFR	DESCRIPTION	NOTES
DIFF	4	LG	WALL MOUNT DIFFUSER FROM MINI SPLIT	
DW-1	2	HONEYWELL	18" DISHWASHER : HDS18SS	
EWH	2	RHEEM	Gladiator 50 Gal. Smart Electric Water Heater : # XE50M12CS45U0	
MINI SPL	2	LG	WALL MOUNTED 2 ZONE MINI SPLIT : L2H18W07090000-A	
OVEN/RANGE	2	LG	30" ELECTRIC CONVECTION RANGE & OVEN : LREL6323	
RANGE HOOD	2	WINFLO	30" Wall Mount Range Hood : # WR003C30	
REF-1	2	WHIRLPOOL	24" Top Freezer Refrigerator : # WRT112CJZ	
WID	2	GE	24" CONDENSING WASHER/DRYER : GFQ14ESSNWW	

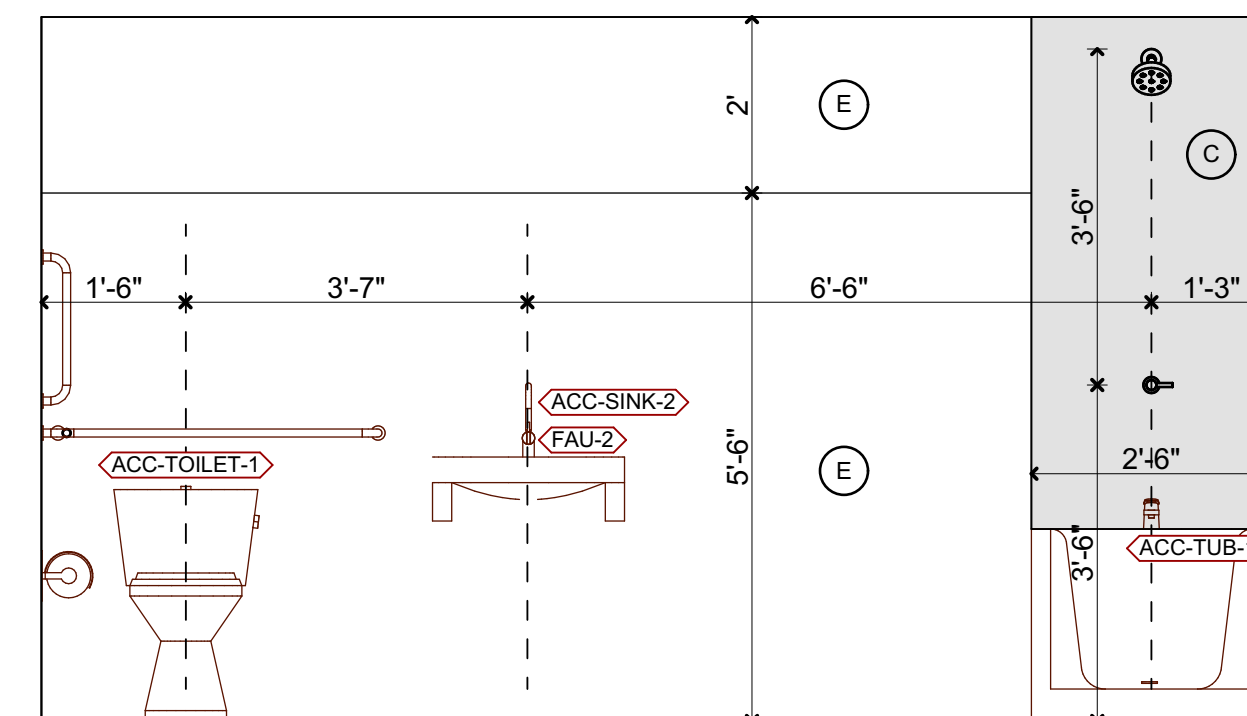
**APPLIANCE SCHEDULE**  
SCALE: 1" = 1'-0" **10**



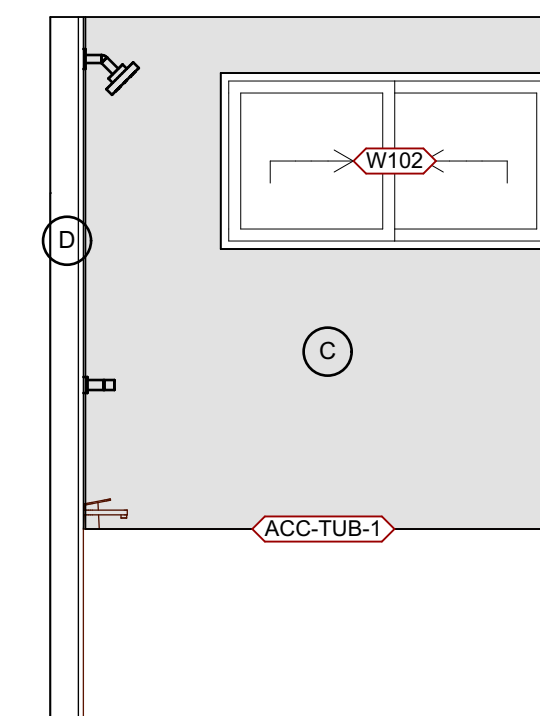
**ACCESSIBLE KITCHEN**  
SCALE: 1/2" = 1'-0" **3**



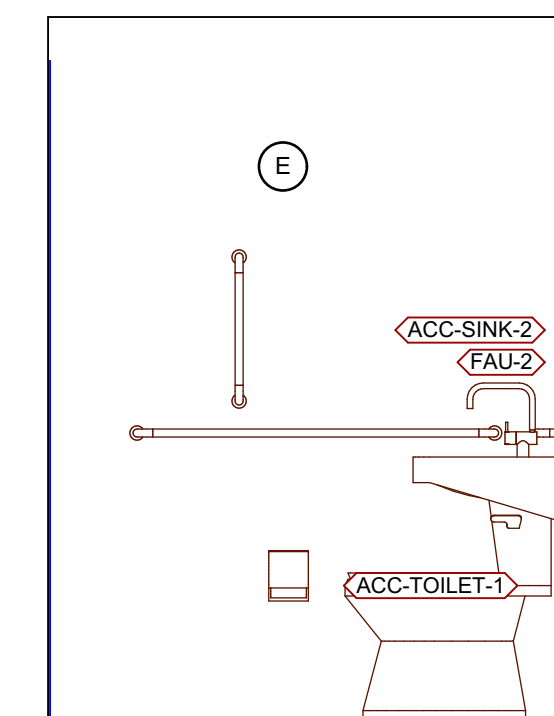
**UNIT 1 ACC BATH West**  
SCALE: 1/2" = 1'-0" **8**



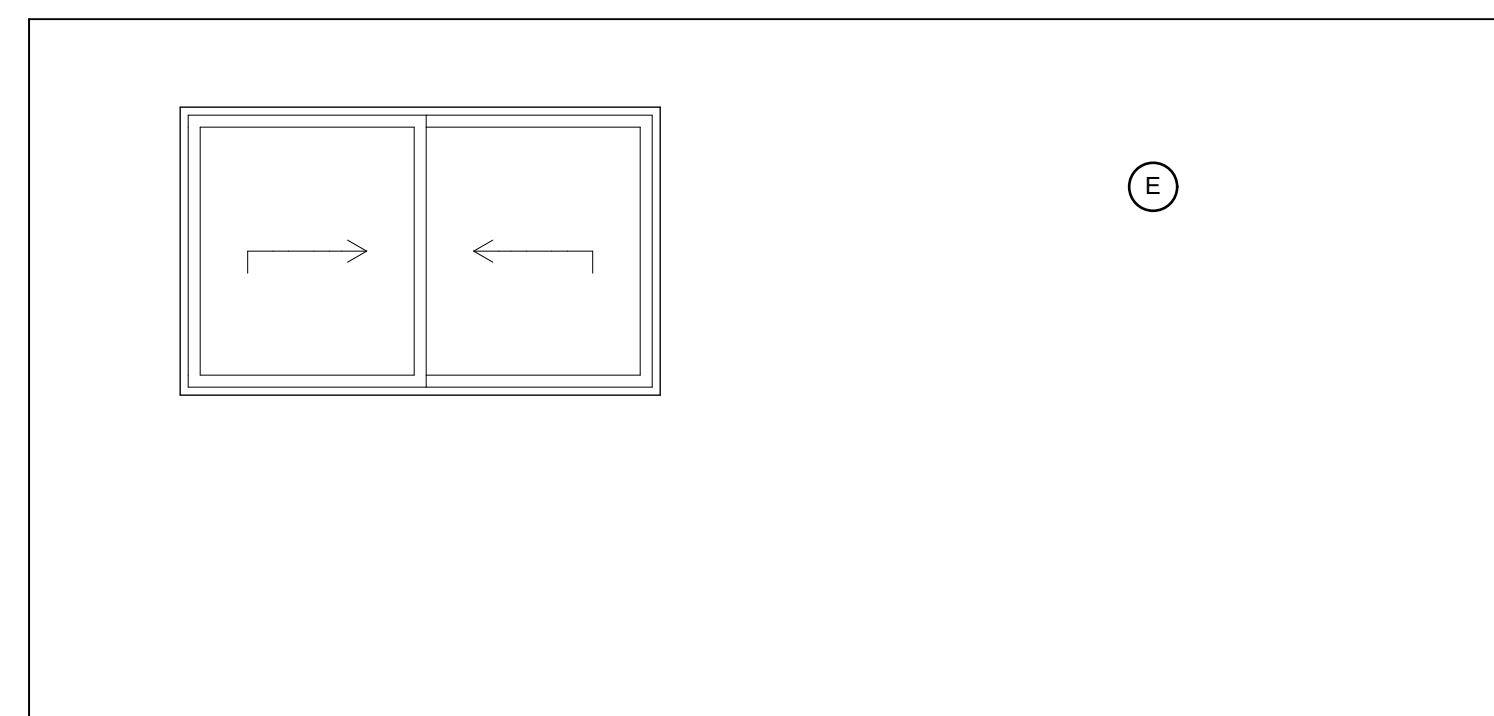
**UNIT 1 ACC BATH East**  
SCALE: 1/2" = 1'-0" **6**



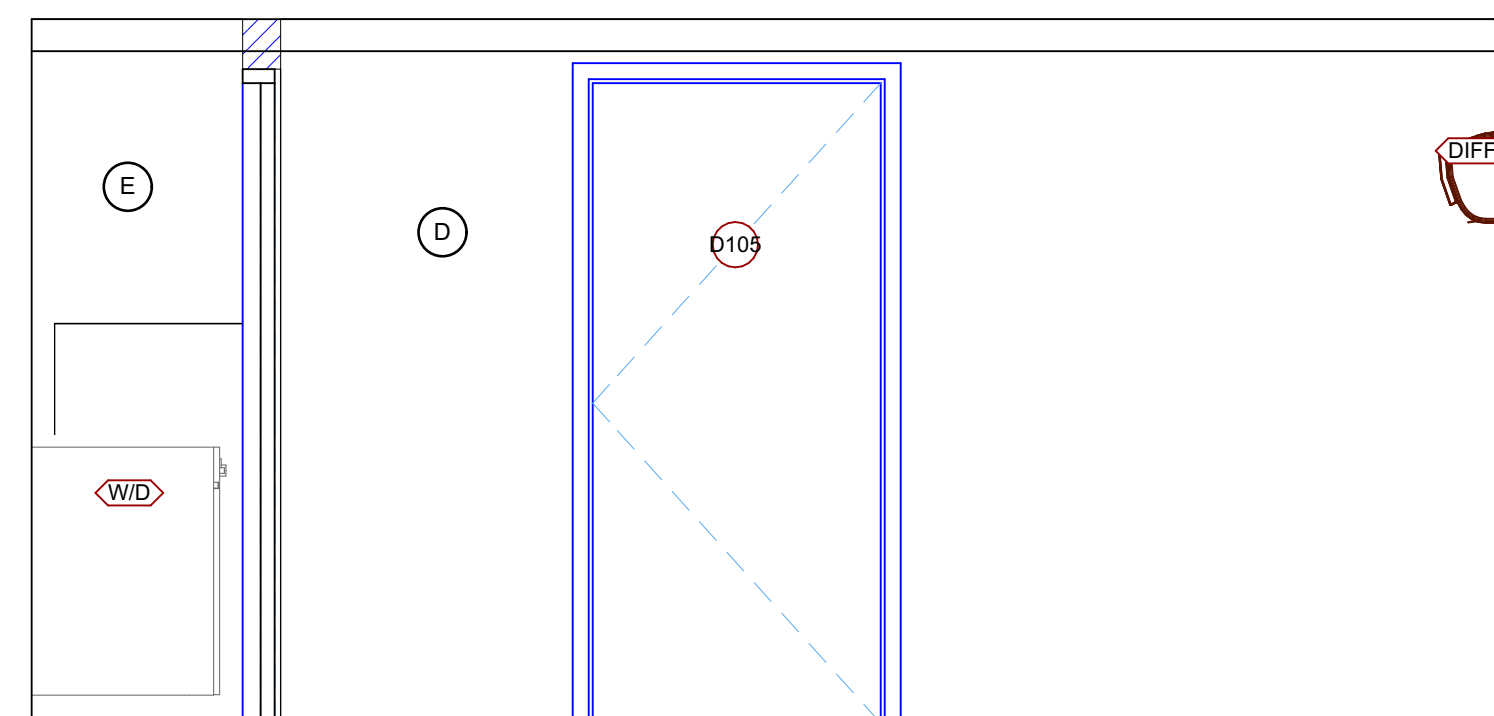
**UNIT 1 ACC BATH South**  
SCALE: 1/2" = 1'-0" **4**



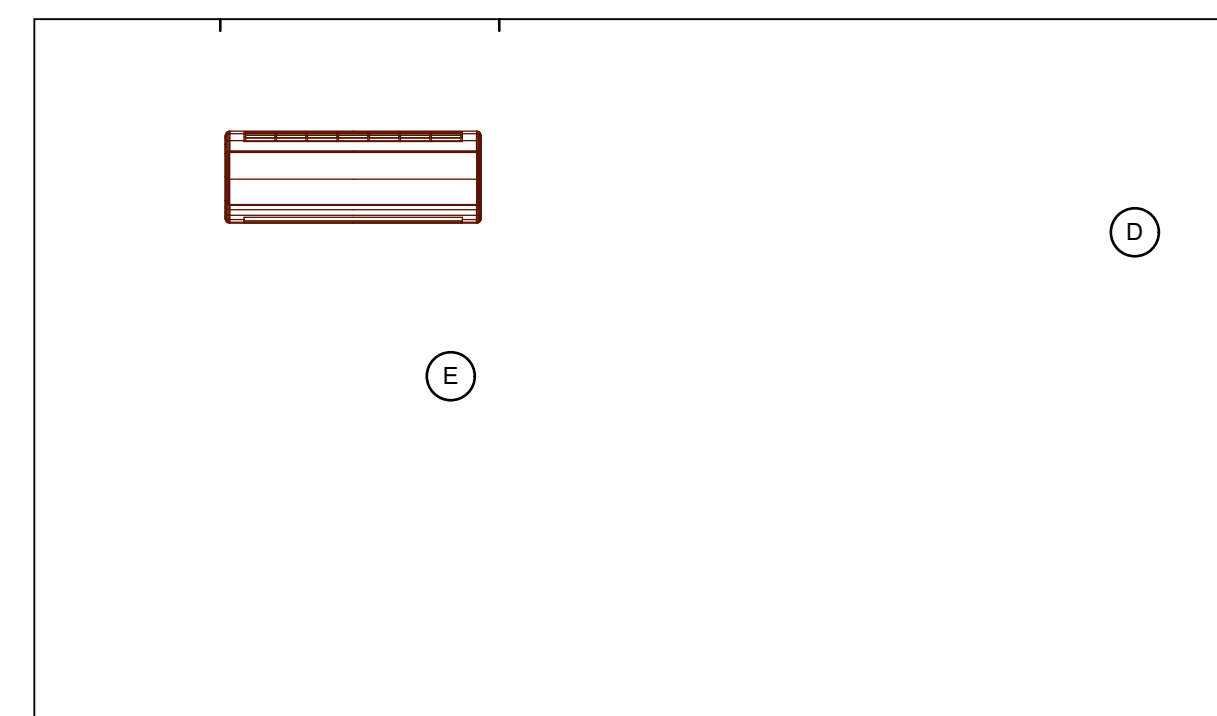
**UNIT 1 ACC BATH North**  
SCALE: 1/2" = 1'-0" **2**



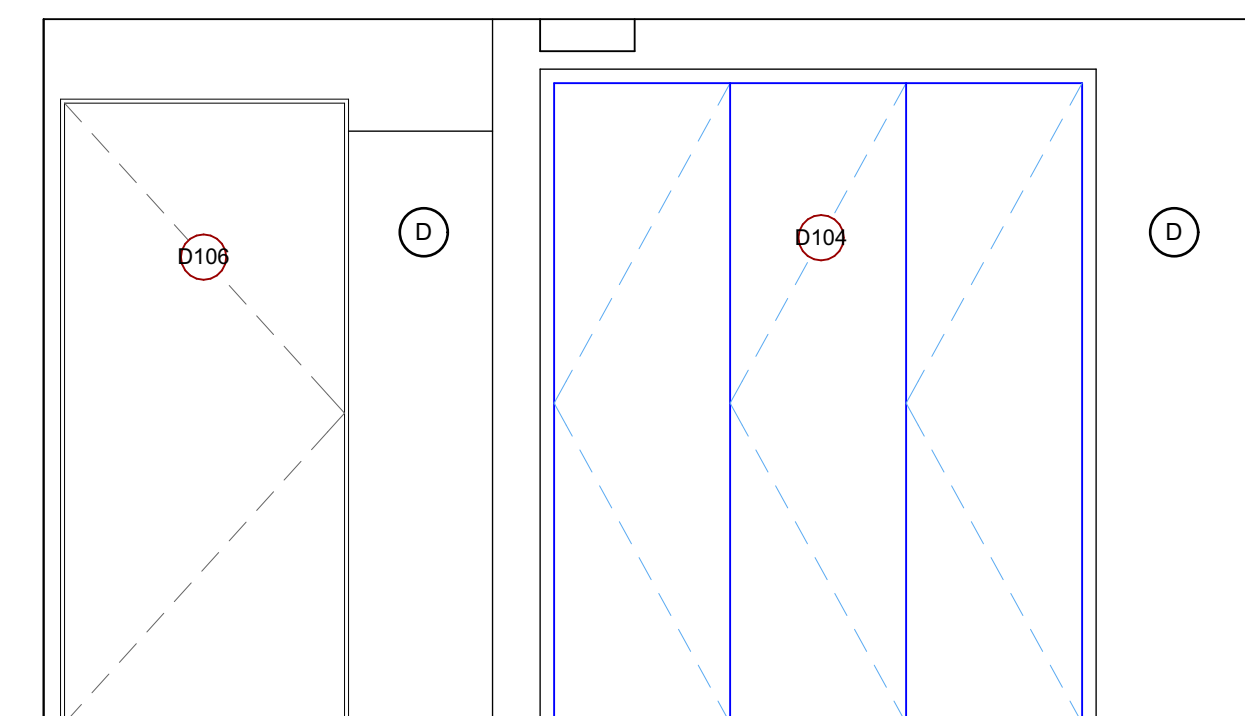
**UNIT 1 BEDROOM West**  
SCALE: 1/2" = 1'-0" **9**



**UNIT 1 BEDROOM East**  
SCALE: 1/2" = 1'-0" **7**



**UNIT 1 BEDROOM South**  
SCALE: 1/2" = 1'-0" **5**



**UNIT 1 BEDROOM North**  
SCALE: 1/2" = 1'-0" **1**



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**CONSTRUCTION SET**  
**FINISH SCHEDULE : LOWER UNIT**

23.0220  
**429.5 JOHNSON**  
429.5 Johnson St  
Sausalito, California  
94965

APN: 065-062-19

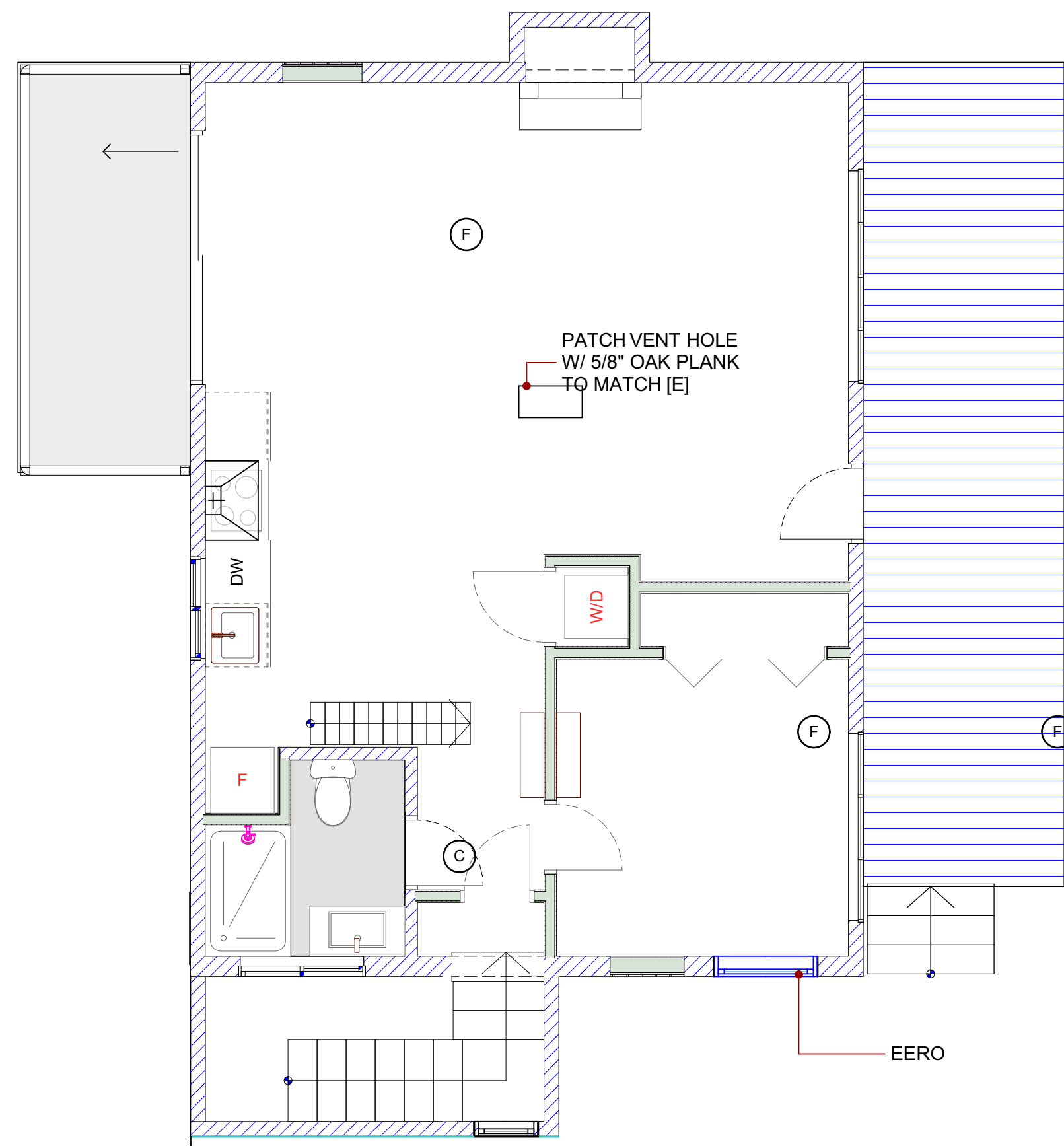
#	REASON	DATE
1.	Construction	5/16/24
2.		
3.		
4.		
5.		
6.		

5/16/2024

**F1.0**

**MATERIAL KEY**

- A** [N] FLOORING : A&A Pro Sky View Ridge Glue Down Waterproof Luxury Vinyl Plank
- B** [N] TILE, FLOOR : MSI Metro Gris 12 in. x 24 in. Matte Porcelain Tile
- C** [N] TILE, WALL : DAL TILE Restore 3 in. x 6 in. Ceramic Bright White Subway Tile
- D** [N] WALL FINISH : 5/8" GYP. Board, Painted white
- E** [E] WALL REFINISH : WHITE PAINT OVER [E] GYP BD OR [E] WOOD PANELING
- F** EXISTING FINISH TO REMAIN



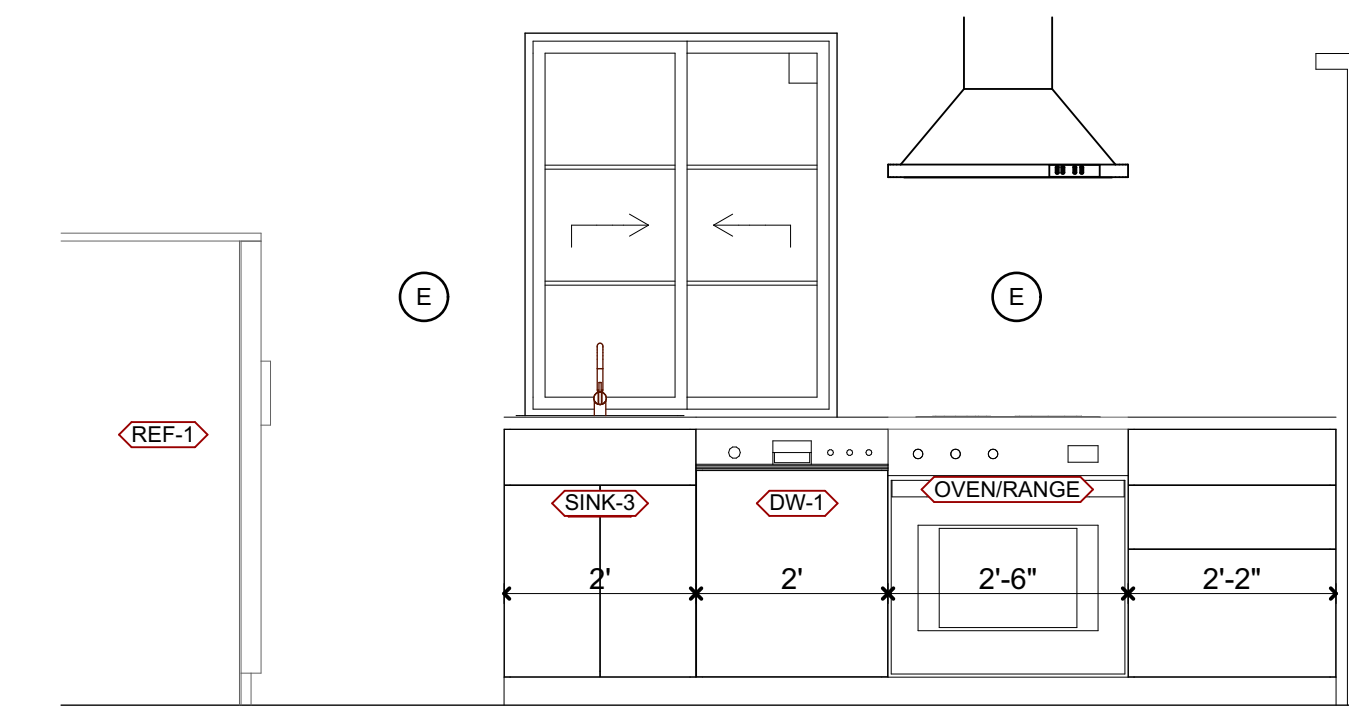
**FINISH FLOORPLAN : UNIT 2** (12)  
SCALE: 1/4" = 1'-0"

ID	QTY	MFR	DESCRIPTION	NOTES
ACC-SINK-1	1	ELKAY	CROSS TOWN ADA SINK KIT : ECTS RAD25226TBG	KITCHEN SINK FOR LOWER UNIT
ACC-SINK-2	1	KOHLER	GRENWICH K-2031	SINK FOR LOWER UNIT
ACC-TOILET-1	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR LOWER UNIT
ACC-TUB-1	1	DURAVIT	30" X 60" BATHTUB, 18" HT. # 70044100000090	BATHTUB FOR LOWER UNIT
FAU-1	2	KOHLER	JULY FAUCET : K-97282-4	BATHROOM FAUCET FOR BOTH UNITS
FAU-2	2	MISENO	KITCHEN FAUCET : MNO191LCP	KITCHEN FAUCET FOR BOTH UNITS
SHOWER-1	1	DreamLine	SlimLine 48 in. x 32 in. Single Threshold Alcove Shower Pan Base in White with Center Drain	SHOWER PAN FOR UPPER UNIT
SHWR-CTRL	2	---	---	---
SHWR-HD	2	---	---	---
SINK-2	1	DEERVALLEY	Ally 20.87 in. Undermount Bathroom Sink W/ Overflow Drain	BATHROOM SINK & VAULTY FOR UPPER UNIT
SINK-3	1	KRAUS	Standart PRO 16 Gauge Stainless Steel 21 in. Undermount Sink	KITCHEN SINK FOR UPPER UNIT
TOILET-2	1	TOTO	DRAKE TWO-PIECE TOILET, CST775CEF(R)(G)	TOILET FOR UPPER UNIT

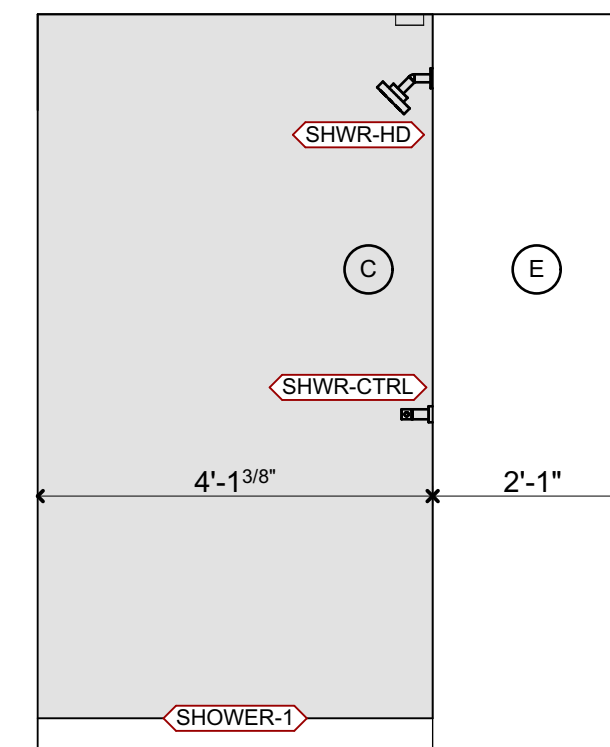
**FIXTURE SCHEDULE** (11)  
SCALE: 1" = 1'-0"

ID	QTY	MFR	DESCRIPTION	NOTES
DIFF	4	LG	WALL MOUNT DIFFUSER FROM MINI SPLIT	
DW-1	2	HONEYWELL	18" DISHWASHER : HDS18SS	
EWH	2	RHEEM	Gladiator 50 Gal. Smart Electric Water Heater : # XE50M12CS45U0	
MINI SPL	2	LG	WALL MOUNTED 2 ZONE MINI SPLIT : L2H18W07090000-A	
OVEN/RANGE	2	LG	30" ELECTRIC CONVECTION RANGE & OVEN : LREL6323	
RANGE HOOD	2	WINFLO	30" Wall Mount Range Hood : # WR003C30	
REF-1	2	WHIRLPOOL	24" Top Freezer Refrigerator : # WRT112CZJZ	
WID	2	GE	24" CONDENSING WASHER/DRYER : GFQ14ESSNWW	

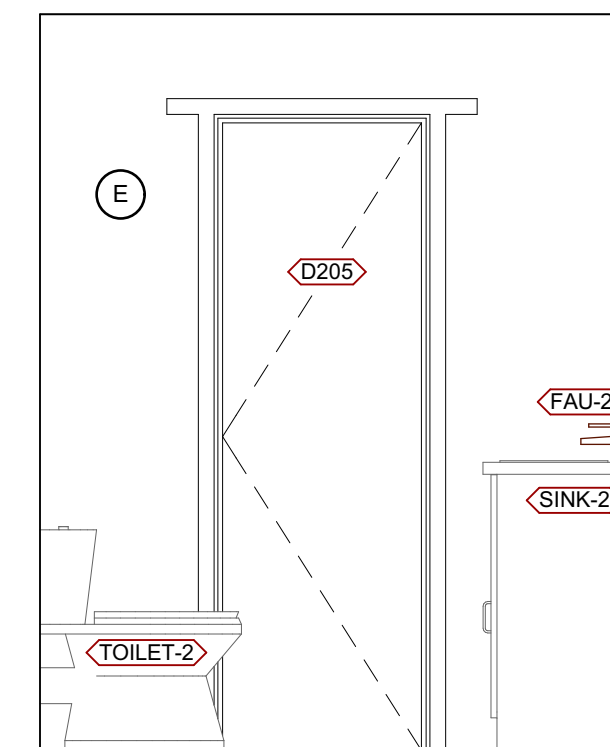
**APPLIANCE SCHEDULE** (10)  
SCALE: 1" = 1'-0"



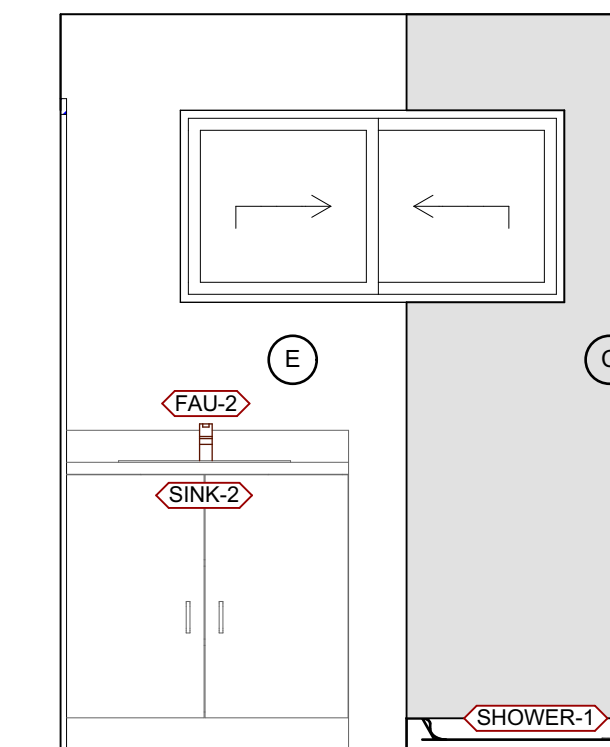
**UPPER UNIT KITCHEN** (3)  
SCALE: 1/2" = 1'-0"



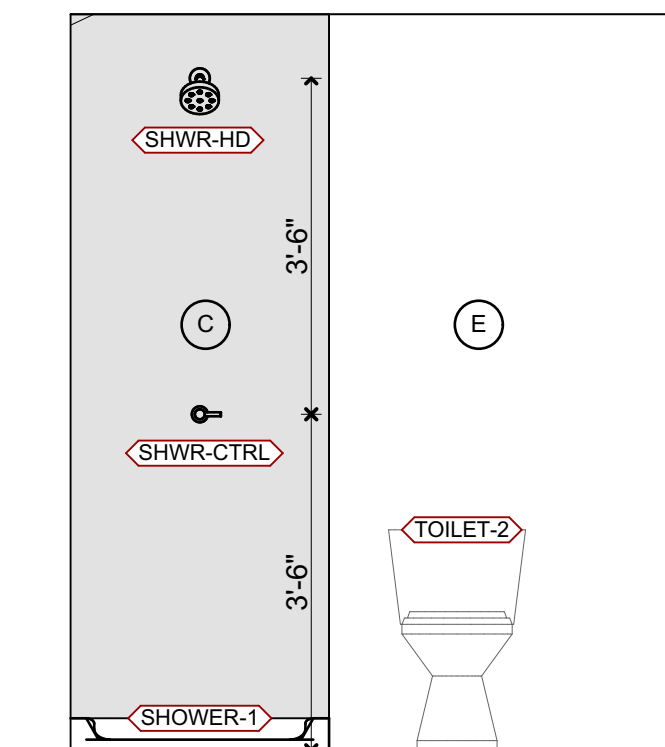
**UNIT 2 BATHRM West** (9)  
SCALE: 1/2" = 1'-0"



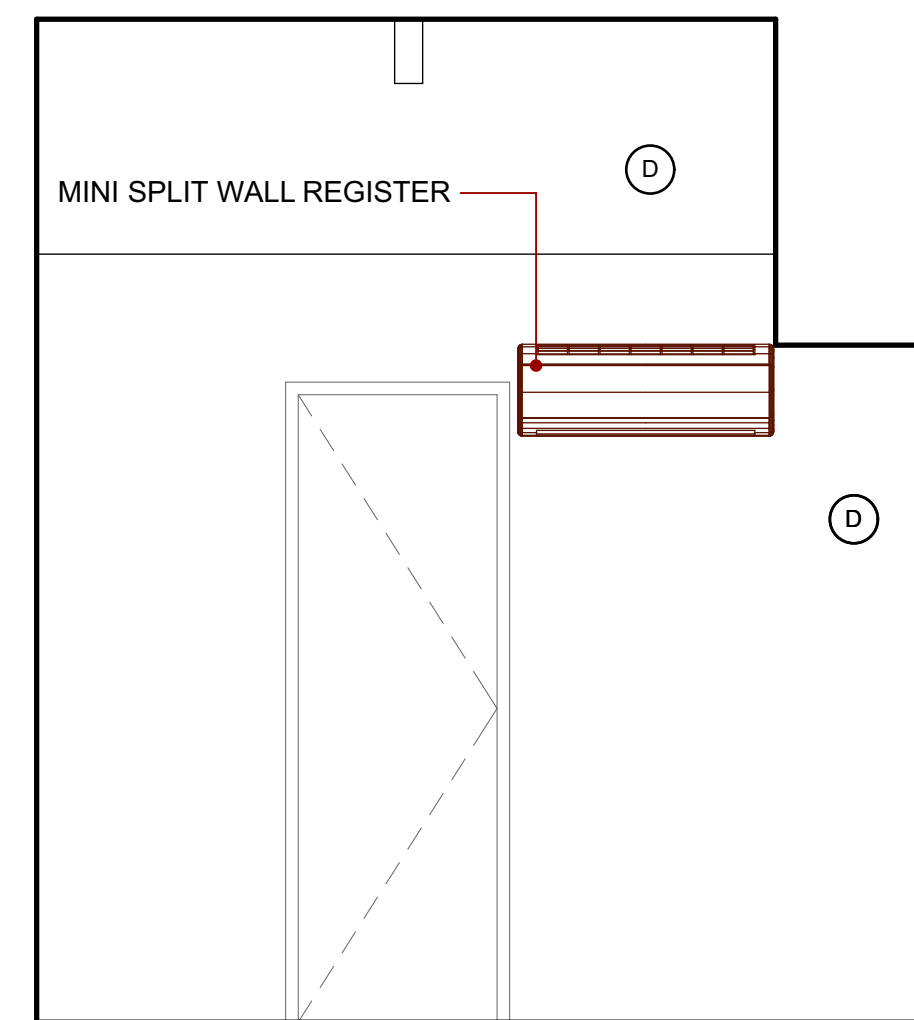
**UNIT 2 BATHRM East** (7)  
SCALE: 1/2" = 1'-0"



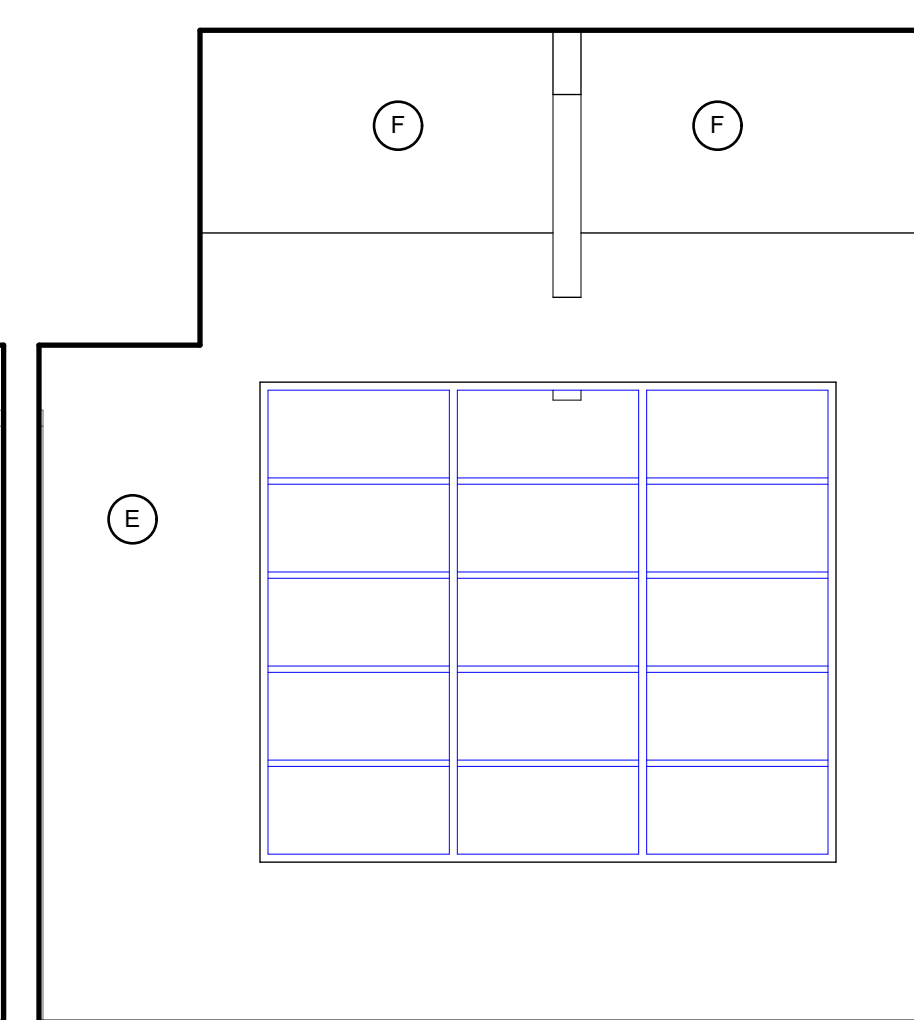
**UNIT 2 BATHRM South** (5)  
SCALE: 1/2" = 1'-0"



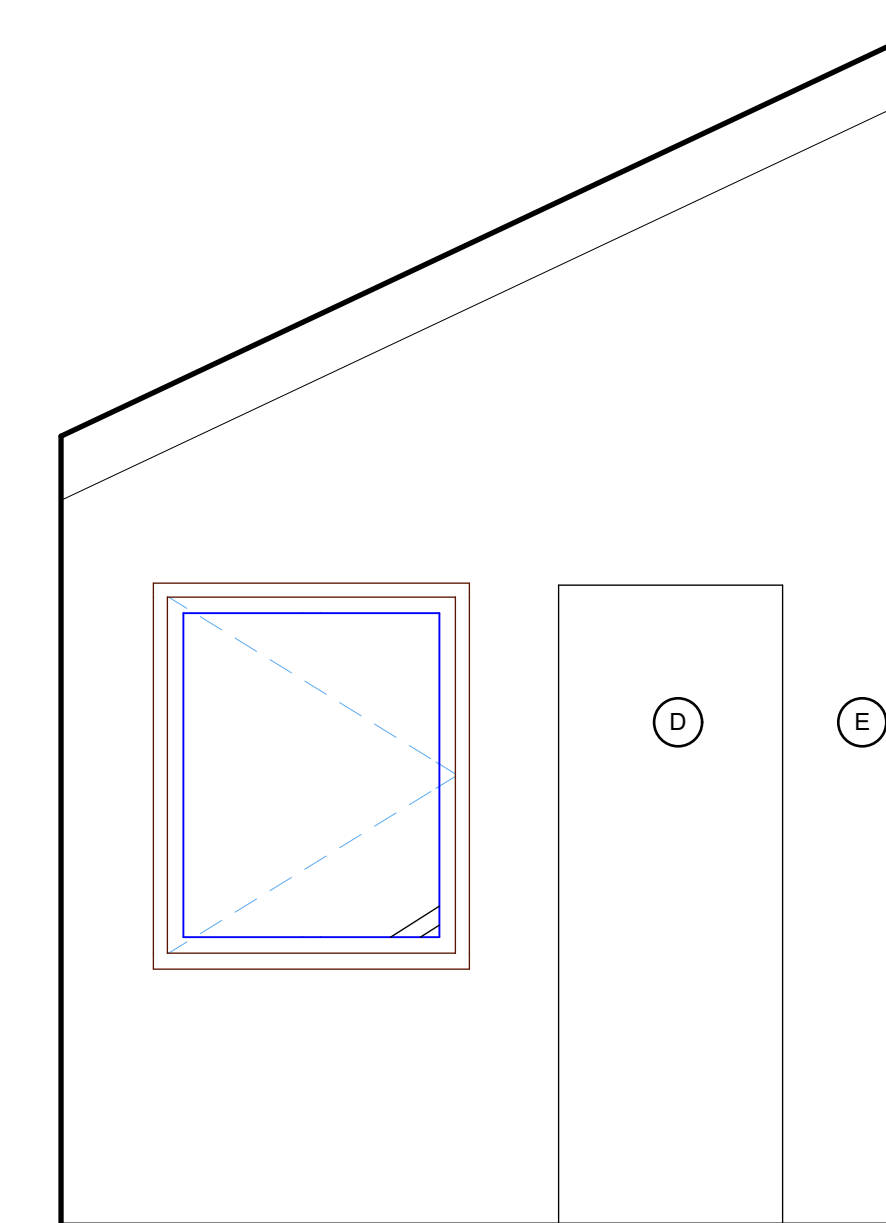
**UNIT 2 BATHRM North** (2)  
SCALE: 1/2" = 1'-0"



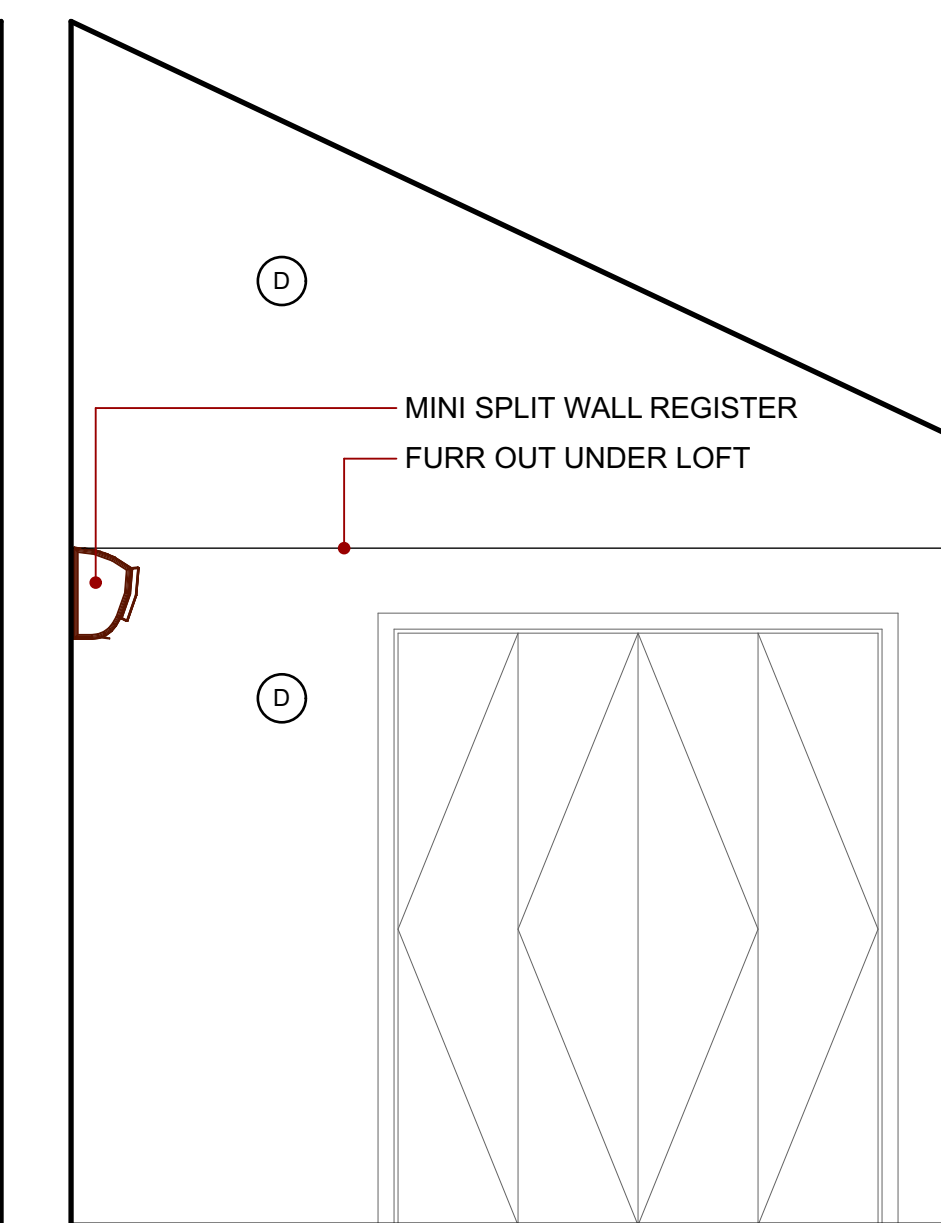
**UNIT 2 BEDROOM West** (8)  
SCALE: 1/2" = 1'-0"



**UNIT 2 BEDROOM East** (6)  
SCALE: 1/2" = 1'-0"



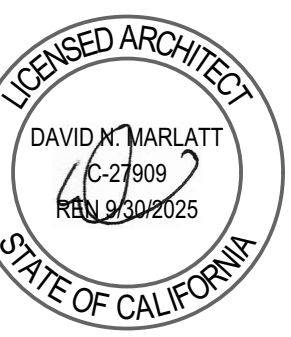
**UNIT 2 BEDROOM South** (4)  
SCALE: 1/2" = 1'-0"



**UNIT 2 BEDROOM North** (1)  
SCALE: 1/2" = 1'-0"



**DNM ARCHITECTURE**  
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CONSTRUCTION SET

**FINISH SCHEDULE : UPPER UNIT**

23.0220  
429.5 JOHNSON  
429.5 Johnson St  
Sausalito, California  
94965

APN: 065-062-19

REVISIONS	
#	REASON DATE
1.	Construction 5/16/24
2.	
3.	
4.	
5.	
6.	

5/16/2024

**F1.1**





**FRAMING LUMBER (UNLESS OTHERWISE NOTED)**

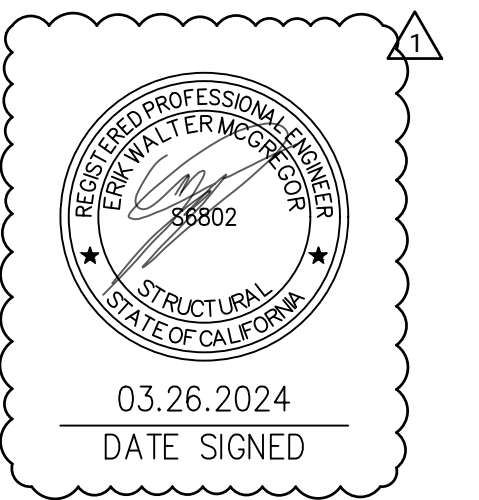
- A. ALL CONSTRUCTION SHALL COMPLY WITH STANDARDS OF QUALITY REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, SECTION 2303.
- B. ALL 2" TO 4" THICK [TRUE] BEAMS, POSTS, AND STAIR STRINGERS SHALL BE DOUGLAS FIR-LARCH TYPE "No. 1" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 1,000$  PSI  
 $F_t = 675$  PSI  
 $F_c = 180$  PSI  
 $F_c = 625$  PSI (PERPENDICULAR TO GRAIN)  
 $E = 1,500$  PSI (PARALLEL TO GRAIN)  
 $E = 1,700,000$  PSI  
 $G = 0.50$
- C. ALL 5"x5" [TRUE] AND LARGER BEAMS AND POSTS SHALL BE DOUGLAS FIR-LARCH TYPE "No. 1" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 1,350$  PSI (BEAMS & STRINGERS) / 1,200 PSI (POSTS & TIMBERS)  
 $F_t = 675$  PSI (BEAMS & STRINGERS) / 825 PSI (POSTS & TIMBERS)  
 $F_c = 170$  PSI  
 $F_c = 625$  PSI (PERPENDICULAR TO GRAIN)  
 $E = 925$  PSI (PARALLEL TO GRAIN, BEAMS & STRINGERS) / 1,000 PSI (PARALLEL TO GRAIN, POSTS & TIMBERS)  
 $E = 1,600,000$  PSI  
 $G = 0.50$
- D. ALL FLOOR JOISTS, ROOF JOISTS/RAFTERS, AND CEILING JOISTS SHALL BE DOUGLAS FIR-LARCH TYPE "No. 2" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 900$  PSI  
 $F_t = 575$  PSI  
 $F_c = 180$  PSI  
 $F_c = 625$  PSI (PERPENDICULAR TO GRAIN)  
 $E = 1,350$  PSI (PARALLEL TO GRAIN)  
 $E = 1,600,000$  PSI  
 $G = 0.50$
- E. ALL WALL STUDS, SILL PLATES, SOLE PLATES, WALL STUD BLOCKING, ETC. SHALL BE DOUGLAS FIR-LARCH TYPE "No. 2" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 900$  PSI  
 $F_t = 575$  PSI  
 $F_c = 180$  PSI  
 $F_c = 625$  PSI (PERPENDICULAR TO GRAIN)  
 $E = 1,350$  PSI (PARALLEL TO GRAIN)  
 $E = 1,600,000$  PSI  
 $G = 0.50$
- F. ALL 4x4 GUARDRAIL POSTS SHALL BE @ 4'-0" MAXIMUM SPACING AND SHALL BE DOUGLAS FIR-LARCH TYPE "SELECT STRUCTURAL" WITH THE FOLLOWING MINIMUM PROPERTIES:
- $F_b = 1,500$  PSI  
 $F_t = 1,000$  PSI  
 $F_c = 180$  PSI  
 $F_c = 625$  PSI (PERPENDICULAR TO GRAIN)  
 $E = 1,700$  PSI (PARALLEL TO GRAIN)  
 $E = 1,900,000$  PSI  
 $G = 0.50$
- G. ALL FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE-TREATED DOUGLAS FIR-LARCH UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.
- H. ALL TIMBER PLACED AGAINST BRICK, MASONRY, OR CONCRETE CONSTRUCTION SHALL BE PRESSURE-TREATED.
- I. ALL EXTERIOR DECKING SHALL BE REDWOOD SELECT, PRESSURE-TREATED, OR MANUFACTURED DECKING; REFER TO ARCHITECTURAL DRAWINGS.
- J. ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16 WITH MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION AND FABRICATION

**ENGINEERED LUMBER**

- A. ENGINEERED LUMBER, INCLUDING TJI PREFABRICATED WOOD JOISTS (ICC-ESR-1153), TJI RIM BOARD (ICC-ESR-1387), MICROLLAM LVL (ICC-ESR-1387), AND PARALLAM PSL (ICC-ESR-1387), SHALL BE BY WEYERHAEUSER OR APPROVED EQUAL. PT LVL (APA PR-L329) SHALL BE BY PACIFIC WOODTECH CORPORATION. INSTALLATION SHALL BE IN FULL ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- B. LAMINATED VENEER LUMBER (LVL) SHALL BE 2.0E MICROLLAM LVL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
- $E = 2,000,000$  PSI  
 $F_b = 2,600$  PSI  
 $F_t = 285$  PSI  
 $F_c = 2,510$  PSI (PARALLEL)  
 $F_c = 750$  PSI (PERPENDICULAR)  
 $F_t = 1,555$  PSI
- C. PARALLEL STRAND LUMBER (PSL) BEAMS SHALL BE 2.2E PARALLAM PSL AND COLUMNS SHALL BE 1.8E PARALLAM PSL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
- |                         | BEAMS (2.2E)  | COLUMNS (1.8E) |
|-------------------------|---------------|----------------|
| E =                     | 2,200,000 PSI | 1,800,000 PSI  |
| $F_b =$                 | 2,900 PSI     | 2,400 PSI      |
| $F_t =$                 | 290 PSI       | 190 PSI        |
| $F_c$ (PARALLEL) =      | 2,900 PSI     | 2,500 PSI      |
| $F_c$ (PERPENDICULAR) = | 750 PSI       | 545 PSI        |
| $F_t =$                 | 2,025 PSI     | 1,995 PSI      |
- D. PRESERVATIVE PRESSURE-TREATED LAMINATED VENEER LUMBER (PT LVL) SHALL BE 2.0E PACIFIC WOOD TECH PT LVL AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
- |                         |                     |                     |
|-------------------------|---------------------|---------------------|
| E =                     | 2,000,000 PSI (DRY) | 1,400,000 PSI (WET) |
| $F_b =$                 | 2,800 PSI (DRY)     | 1,380 PSI (WET)     |
| $F_t =$                 | 285 PSI (DRY)       | 160 PSI (WET)       |
| $F_c$ (PARALLEL) =      | 2,500 PSI (DRY)     | 875 PSI (WET)       |
| $F_c$ (PERPENDICULAR) = | 850 PSI (DRY)       | 850 PSI (WET)       |
| $F_t =$                 | 2,100 PSI (DRY)     | 1,780 PSI (WET)     |

**ROUGH CARPENTRY**

- A. ALL CONSTRUCTION SHALL COMPLY WITH STANDARDS OF QUALITY REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, SECTION 2303.
- B. CONVENTIONAL CONSTRUCTION PROVISIONS NOT SPECIFICALLY DETAILED ON THE PLANS SHALL BE IN COMPLIANCE WITH THE CALIFORNIA BUILDING CODE, SECTION 2308.
- C. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.10.1, CALIFORNIA BUILDING CODE. 16 PENNY VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
- D. SILLS ON CONCRETE SHALL BE 3X PRESSURE-TREATED DOUGLAS FIR. SILLS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS FURTHER THAN 9 INCHES FROM END OF PIECE OR CLOSER THAN 4 $\frac{1}{2}$ ". SPACING SHOULD NOT EXCEED 4'-0" O.C..
- E. PLACE SAWN LUMBER MEMBERS WITH THE CROWN UP.
- F. RETIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
- G. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED AND FIRE RETARTANT TREATED LUMBER, OR PERMANENTLY EXPOSED TO WEATHER SHALL BE OF HOT-DIPPED, ZINC-COTED, GALVANIZED OR STAINLESS STEEL IN ACCORDANCE WITH THE CBC SECTION 2304.9.5
- H. DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE.
- I. BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2X SOLID BLOCKING. BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND FLOOR JOISTS AT 8 FEET UNLESS OTHERWISE NOTED. FOR MANUFACTURED JOISTS, PROVIDE BLOCKING AT AND BETWEEN SUPPORTS PER THE MANUFACTURERS SPECIFICATIONS
- J. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STRONG TIE, INC. STANDARD FASTENERS OR APPROVED EQUAL.
- K. PROVIDE 3"x3"x0.229" MINIMUM PLATE WASHERS FOR ALL BOLTS IN BEARING CONTACT WITH SILL PLATES. EDGE OF THE SILL PLATE WASHERS SHALL BE LOCATED  $\frac{1}{2}$ " MAXIMUM FROM THE FACE OF THE WALL SHEATHING.
- L. BOLT HOLES SHALL BE BORED NO MORE THAN 1/32 OF AN INCH LARGER THAN THE DIAMETER OF THE BOLT.
- M. DOUBLE TOP PLATES ON ALL EXTERIOR, INTERIOR BEARING, AND INTERIOR SHEAR WALLS SHALL LAP 4'-0" MINIMUM, WITH 12-16D NAILS AT SPLICE U.O.N.
- ROD & REBAR EPOXY INSTALLATION**
- A. DRILL ALL HOLES WITH ROTARY DRILL (NO IMPACT TOOLS ALLOWED) TO DEPTHS CALLED ON PLANS. HOLE DIAMETER SHALL BE 1/8 INCH LARGER THAN THE ROD OR BAR DIAMETER, UNLESS OTHERWISE NOTED ON PLANS.
- B. DO NOT DRILL THROUGH EXISTING REBARS. DRILL NEW HOLES WHERE REBAR IS ENCOUNTERED AND DRYPACK THE ABANDONED HOLE. FOR HOLES DRILLED INTO COLUMNS AND BEAMS, REMOVE THE REBAR COVER IN ORDER TO POSITIVELY IDENTIFY THE REBAR LOCATION SUCH THAT THE HOLES AVOID THE REBARS.
- C. BRUSH ALL HOLES WITH CIRCULAR WIRE BRUSH ATTACHED TO A ROTARY DRILL AND BLOW OUT WITH OIL-FREE COMPRESSED AIR.
- D. POUR A MEASURED AMOUNT OF EPOXY INTO THE HOLE, INSERT THE BAR, DISPLACING THE EPOXY, THEN SECURE THE BAR IN THE CENTER OF THE HOLE. REMOVE EXCESS EPOXY FROM AROUND THE HOLE BEFORE IT HARDENS. EPOXY SHALL FILL HOLE TO THE RIM.
- E. EPOXY FOR ANCHORING BOLTS, RODS AND REINFORCING BARS SHALL BE SIMPSON SET-XP (ICC ESR 2508) OR EQUAL AND SIMPSON SET (ICC ESR 1772) OR EQUAL FOR CMU/BRICK ADHESIVE ANCHOR.
- F. USE NON-SAG, NORMAL SET EPOXY (U.O.N.) FOR HORIZONTAL OR OVERHEAD APPLICATION. USE A CAULKING GUN FOR THE INJECTION OF NON-SAG EPOXY.
- G. ALL EPOXY ANCHOR INSTALLATION SHALL HAVE SPECIAL INSPECTION AND SHALL BE PROOF LOAD TESTED IN ACCORDANCE WITH THE 'TEST & INSPECTIONS' SECTION OF THESE NOTES

**SEOR STAMP****AHJ STAMP****OWNERS**

CITY OF SAUSALITO

**PROJECT ADDRESS**

429.5 JOHNSON STREET  
 SAUSALITO, CA 94965

429.5 JOHNSON STREET -  
 ADU CONVERSION

**SUBMITTAL**

PERMIT 08.31.2023

PLAN CHECK 1 RESPONSE 11.27.2023

23-505

wmstructural JOB NUMBER

AA

DRAWN BY

NO SCALE

SCALE

GENERAL NOTES

SHEET TITLE

**S0.1**

CITY OF SAUSALITO

SPECIAL INSPECTION AGENCY RECOGNITION LIST

Key: RC = Reinforced Concrete PC = Prestressed/Post-tensioned Concrete
SM = Structural Masonry SS = Structural Steel Welding/Bolting
FP = Spray-Applied Fireproofing

Table with 8 columns: Agency Name, Address, Phone/FAX, RC, PC, SM, SS\*, FP. Lists various inspection agencies and their contact information.

\*Agencies have not been evaluated for nondestructive testing. Agencies may have offices in more than one location. Other agencies may also be qualified; the building official has the ultimate responsibility for approval. (Updated 3/10/22)

1

SPECIAL INSPECTION AND TESTING AGREEMENT

Applicable to projects requiring special inspection and/or testing per Section 1704 of the California Building Code

Project Address/Description: 429.5 Johnson Street, Sausalito, CA Building Permit No. B2023-0926

BEFORE A PERMIT CAN BE ISSUED: The owner, or the engineer or architect of record acting as the owner's agent, shall complete two (2) copies of this agreement and the attached structural tests and inspections schedule including the required acknowledgements.

APPROVAL OF SPECIAL INSPECTORS: Each special inspector shall be approved by the building department prior to performing any duties. Each special inspector shall submit his/her qualifications to the building department and is subject to a personal interview for prequalification.

Special inspection and testing shall meet the minimum requirements of CBC section 1704. The following conditions are also applicable:

A. Duties and Responsibilities of the Special Inspector

1. Observe work

The special inspector shall observe the work for conformance with the building department approved (stamped) design drawings and specifications and applicable workmanship provisions of the CBC.

Special inspections are to be performed on a continuous basis, meaning that the special inspector is on site in the general area at all times observing the work requiring special inspection.

2. Report nonconforming items

The special inspector shall bring nonconforming items to the immediate attention of the contractor and note all such items in the daily report. If any item is not resolved in a timely manner or is about to be incorporated in the work, the special inspector shall immediately notify the building department by telephone or in person.

3. Furnish daily reports

On request, each special inspector shall complete and sign both the special inspection record and the daily report form for each day's inspections to remain at the jobsite with the contractor for review by the building department's inspector.

4. Furnish weekly reports

2

The special inspector or inspection agency shall furnish weekly reports of tests and inspections directly to the building department, project engineer or architect, and others as designated.

- a. Description of daily inspections and tests made with applicable locations;
b. Listing of all nonconforming items;
c. Report on how nonconforming items were resolved or unresolved as applicable; and
d. Itemized changes authorized by the architect, engineer and building department if not included in nonconformance items.

5. Furnish final report

The special inspector or inspection agency shall submit a final signed report to the building department stating that all items requiring special inspection and testing were fulfilled and reported and, to the best of his/her knowledge, in conformance with the approved design drawings, specifications, approved change orders and the applicable workmanship provisions of the C.B.C.

B. Contractor Responsibilities

1. Notify the special inspector

The contractor is responsible for notifying the special inspector or agency regarding individual inspections of items listed on the attached schedule and as noted on the building department approval plan.

2. Provide access to approved plans

The contractor is responsible for providing the special inspector access to approved plans at the jobsite.

3. Retain special inspection records

The contractor is also responsible for retaining at the jobsite all special inspection records submitted by the special inspector and providing these records for review by the building department's inspector upon request.

C. Building Department Responsibilities

1. Approve special inspection

The building department shall approve all special inspectors and special inspection requirements.

2. Monitor special inspections

Work requiring special inspection and the performance of special inspectors shall be monitored by the building department's inspector. His/her approval must be obtained prior to placement of concrete or other similar activities in addition to that of the special inspector.

3. Issue Certificate of Occupancy

The building department may issue a Certificate of Occupancy after all special inspection reports and the final report have been submitted and accepted. FINAL SIGN-OFF WILL NOT BE GIVEN UNTIL ALL FINAL INSPECTION LETTERS ARE RECEIVED.

3

ACKNOWLEDGEMENTS

I have read and agree to comply with the terms and conditions of this agreement.

Signature lines for Owner (City of Sausalito), Contractor, and Special Inspector or Inspection Agency (wmstructural (Erik McGregor, SE)).

ACCEPTED FOR THE BUILDING DEPARTMENT

By: \_\_\_\_\_ Date: \_\_\_\_\_

4

City of Sausalito - BUILDING DIVISION
420 Litho Street, Sausalito CA 94965 TEL. (415) 289-4136

SPECIAL INSPECTION AND TESTING SCHEDULE

\*\*\* THIS FORM SHOULD BE IMPRINTED ON THE APPROVED PLANS \*\*\*

ADU Conversion B2023-0926
PROJECT DESCRIPTION BUILDING PERMIT NO.
429.5 Johnson Street, Sausalito, CA 94965 wmstructural (Erik McGregor, SE)
PROJECT ADDRESS TESTING/INSPECTION AGENCY or SPECIAL INSPECTOR

REINFORCED CONCRETE, GUNITE, GROUT AND MORTAR:

Table with 4 columns: Concrete, Gunite, Grout, Mortar. Lists inspection items like Aggregate Tests, Reinforcing Tests, Mix Designs, etc.

- STRUCTURAL STEEL/WELDING: Sample and Test (list specific members below), Shop Material Identification, Welding Inspection, etc.

PRECAST/PRESTRESSED CONCRETE:

Table with 4 columns: Piles, Post-Tens, Pre-tens, Cladding. Lists inspection items like Aggregate Tests, Reinforcing Tests, Tendon Tests, etc.

- FIREPROOFING: Placement Inspection, Density Tests, Thickness Tests, etc.

- INSULATING CONCRETE: Sample and Test, Placement Inspection, Unit Weights

MASONRY:

- Special Inspection Stresses Used
Preliminary Acceptance Tests (Masonry Units, Wall Prisms)
Subsequent Tests (Mortar, Grout, Field Wall Prisms)
Placement Inspection of Units

- FILL MATERIAL: Acceptance Tests, Placement Inspection, Field Density

STRUCTURAL WOOD:

- Shear Wall Nailing Inspection
Inspection of Glu-lam Fab
Inspection of Truss Joist Fab
Sample and Test Components
EPOXY ANCHORS

ADDNL. INSTRUCTIONS OR OTHER TESTS AND INSPECTIONS: Continuous inspection of epoxied rebar.

5

4096 PIEDMONT AVE, STE 279
OAKLAND, CA 94611
INFO@WMSTRUCTURAL.COM
(510) 995-6428

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET
SAUSALITO, CA 94965

429.5 JOHNSON STREET -
ADU CONVERSION

SUBMITTAL

Table with 2 columns: PERMIT, RESPONSE. Shows permit dates: 08.31.2023, 11.27.2023, 04.19.2024.

23-505
wmstructural JOB NUMBER

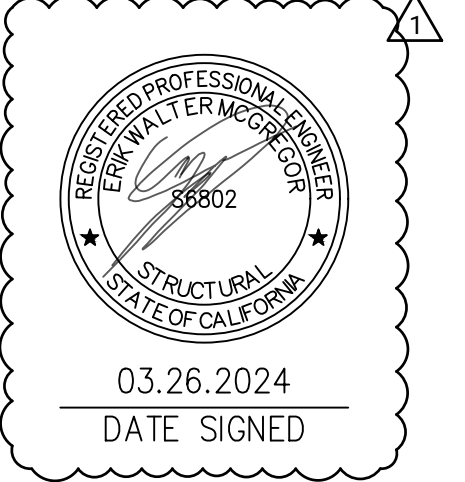
AA
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NO SCALE
SCALE

STATEMENT OF SPECIAL
INSPECTIONS
SHEET TITLE

S0.2

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET  
SAUSALITO, CA 94965

429.5 JOHNSON STREET -  
ADU CONVERSION

SUBMITTAL

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023

23-505  
wmstructural JOB NUMBER

AA  
DRAWN BY

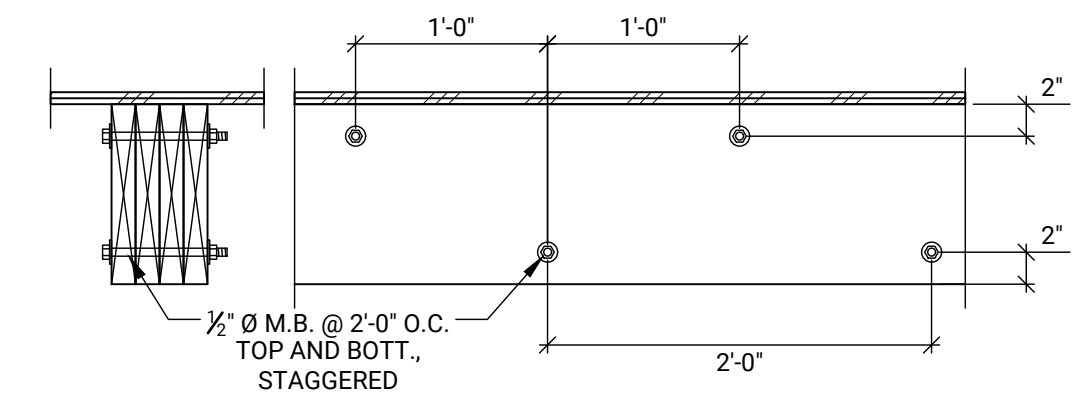
NTS  
SCALE

TYPICAL WOOD DETAILS  
SHEET TITLE

S1.0



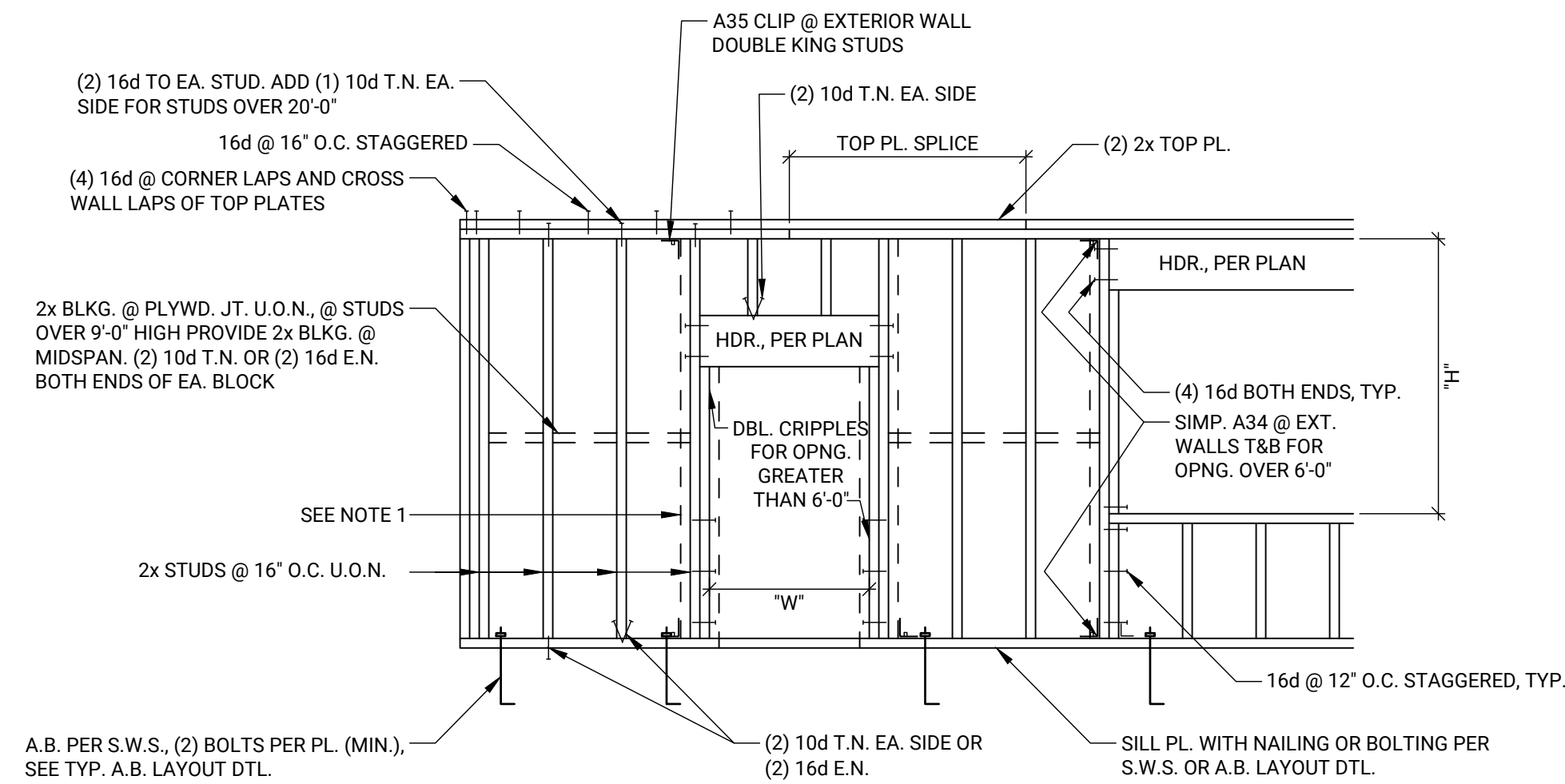
A 2-2x CONNECTION NTS B 3-2x CONNECTION NTS



C (4) 2x CONNECTION (2) 4x SIMILAR NTS

NOTES:

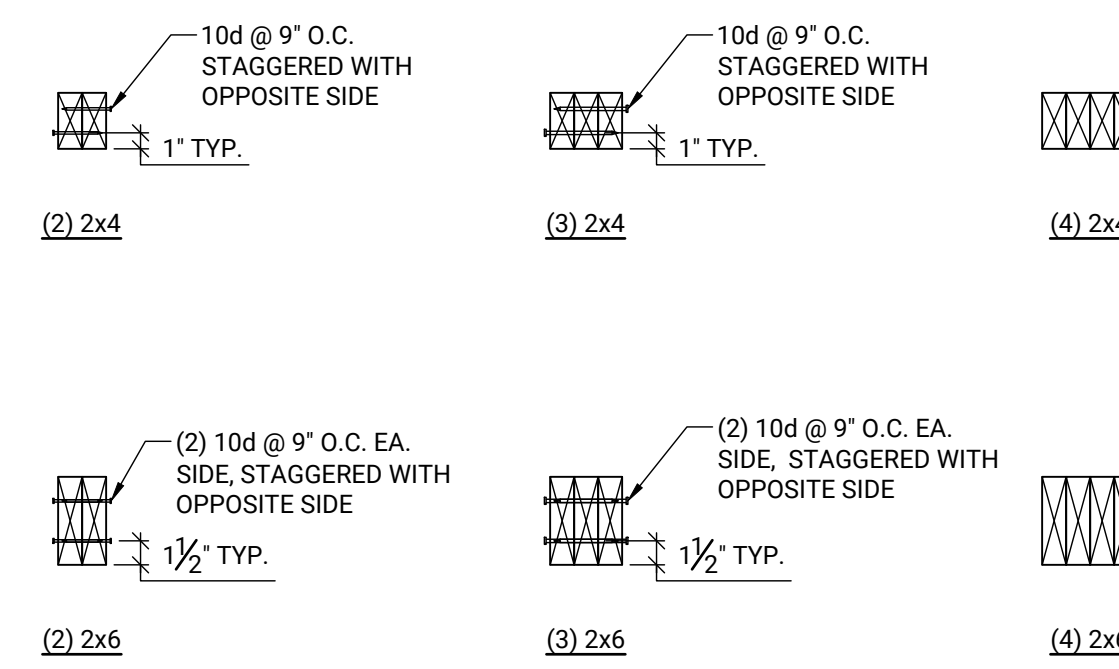
- SEE MFR OF FABRICATED MEMBERS FOR CONNECTIONS IN JOISTS AND BEAMS.
- (4) 2x COLUMNS MAY BE CONNECTED W/ ROWS OF SIMP. SDS 0.25x6 @ 12" O.C. E/S.



- NOTES:
- USE DBL. KING STUDS FOR WALLS WHERE 'H' EXCEEDS 10'-0". PROVIDE ONE ADDED KING STUD WHERE EXT. OPNG. WIDTH 'W' EXCEEDS 6'-0" & TWO ADDED KING STUDS FOR EXT. OPNG. WHERE 'W' EXCEEDS 9'-0".

1 WALL FRAMING WITH OPENING

NTS

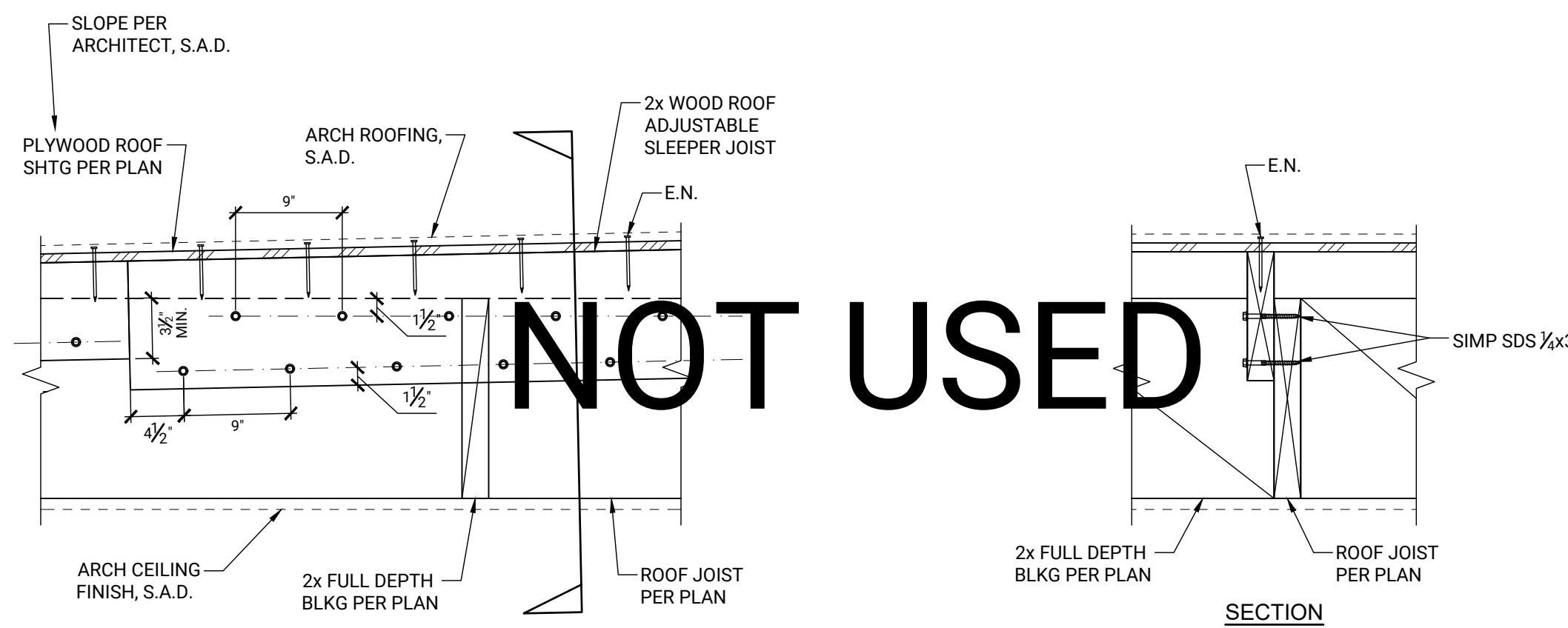


2 TYPICAL BUILT-UP POST DETAIL

NTS

3 BUILT-UP BEAM CONNECTIONS

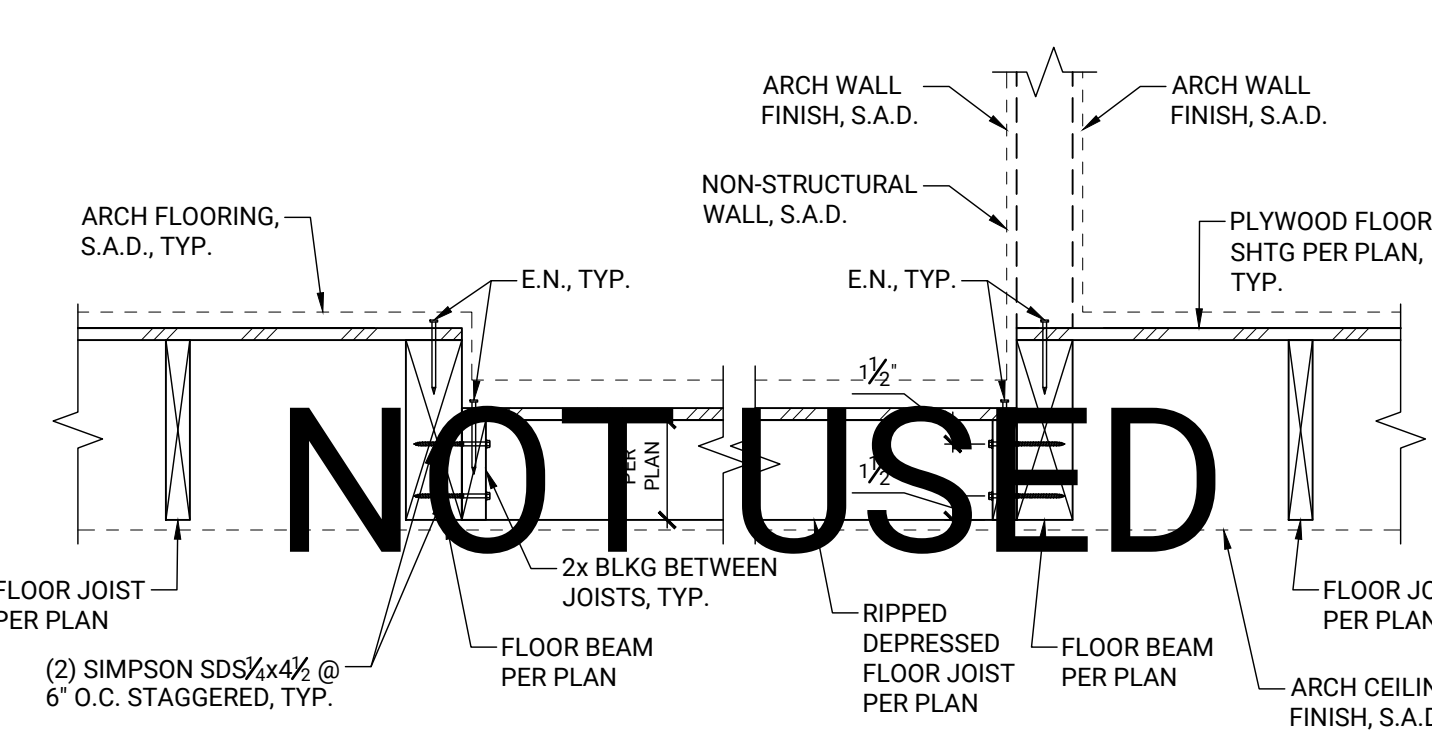
NTS



NOT USED

5 ADJUSTABLE SLEEPER JOIST

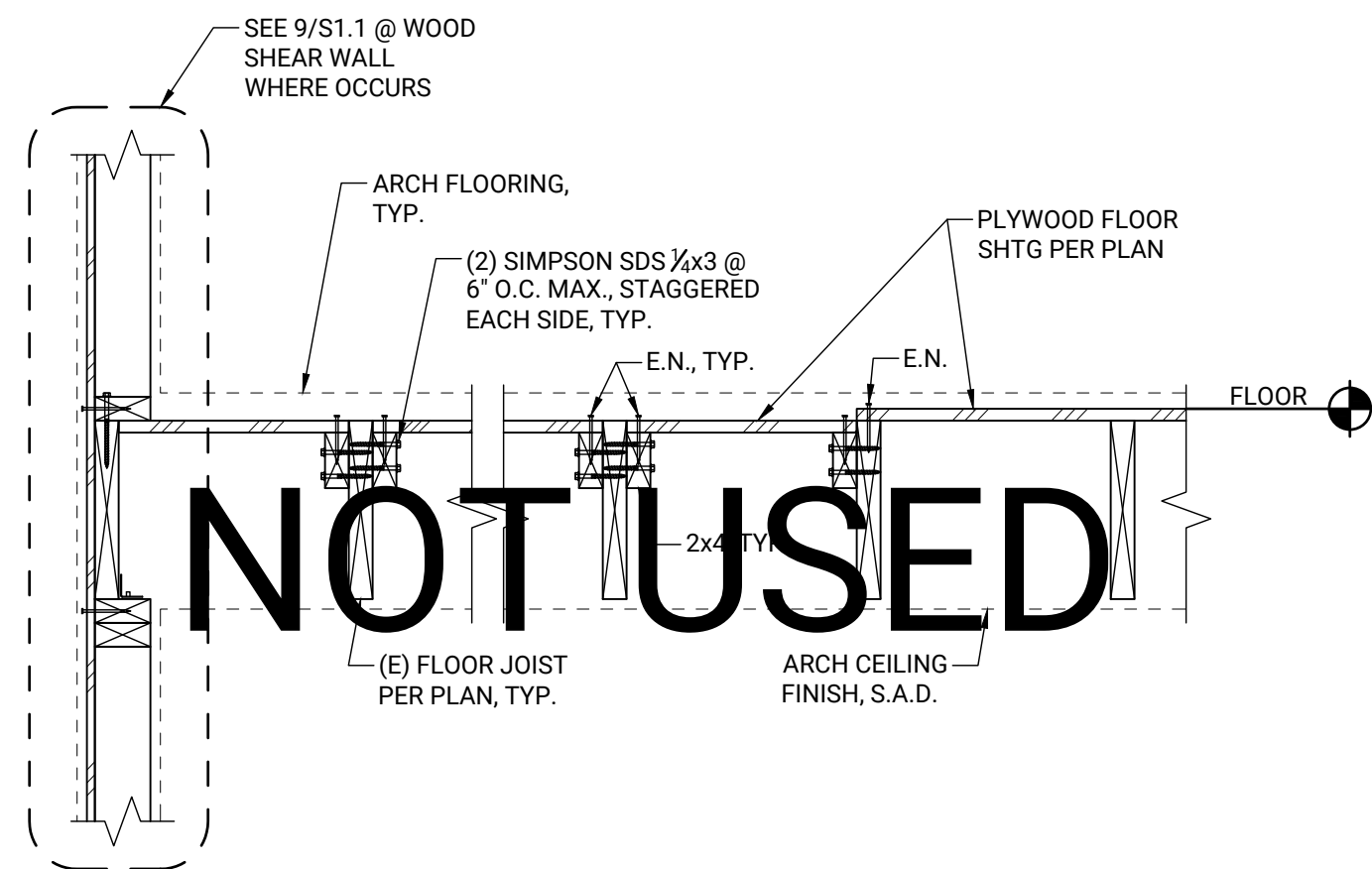
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NOT USED

7 TYPICAL DEPRESSED FLOOR DETAIL

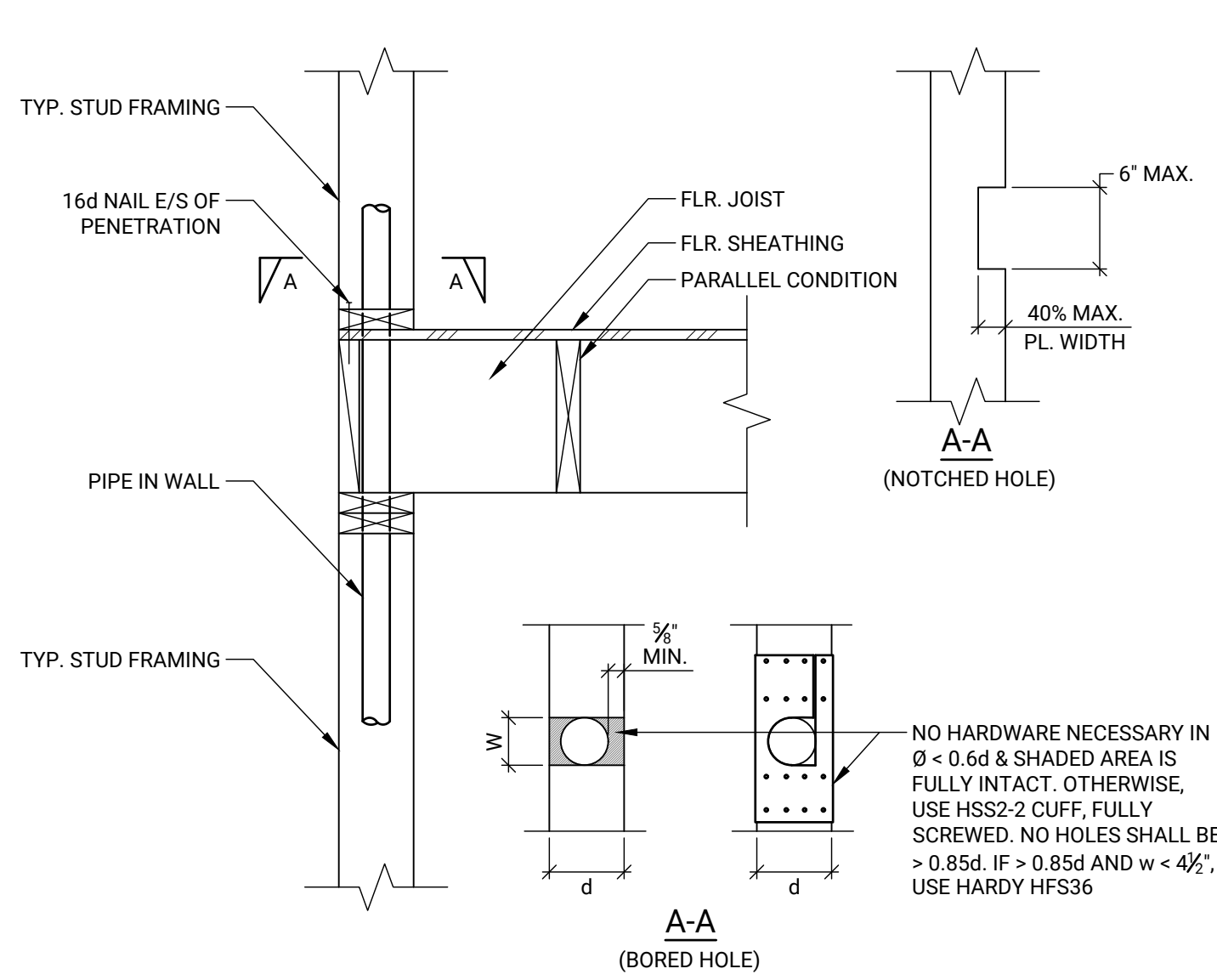
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NOT USED

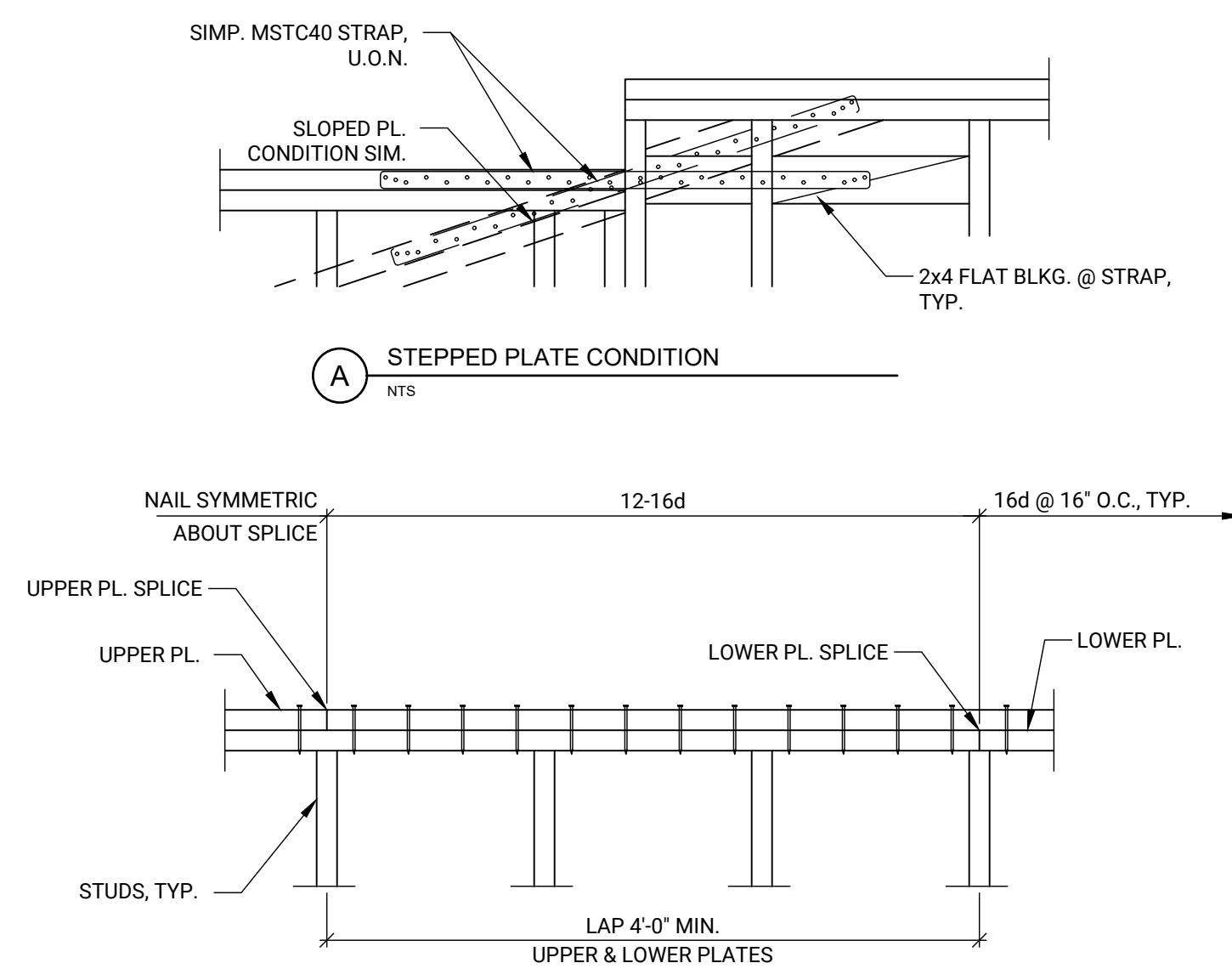
8 TYPICAL INSET PLYWOOD FLOOR DETAIL

NTS



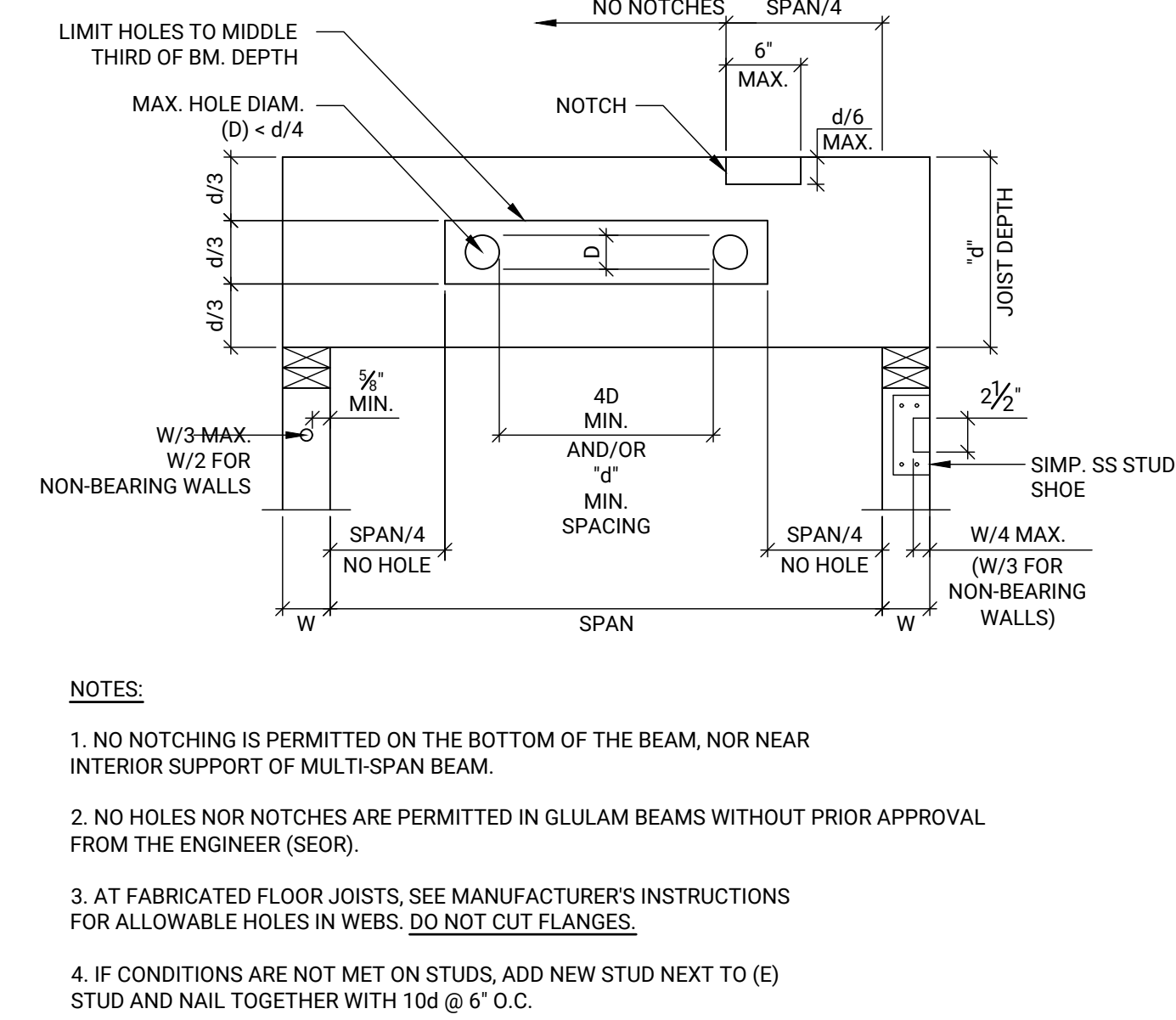
9 LIMIT ON NOTCH AND BORING IN TOP PLATE

NTS



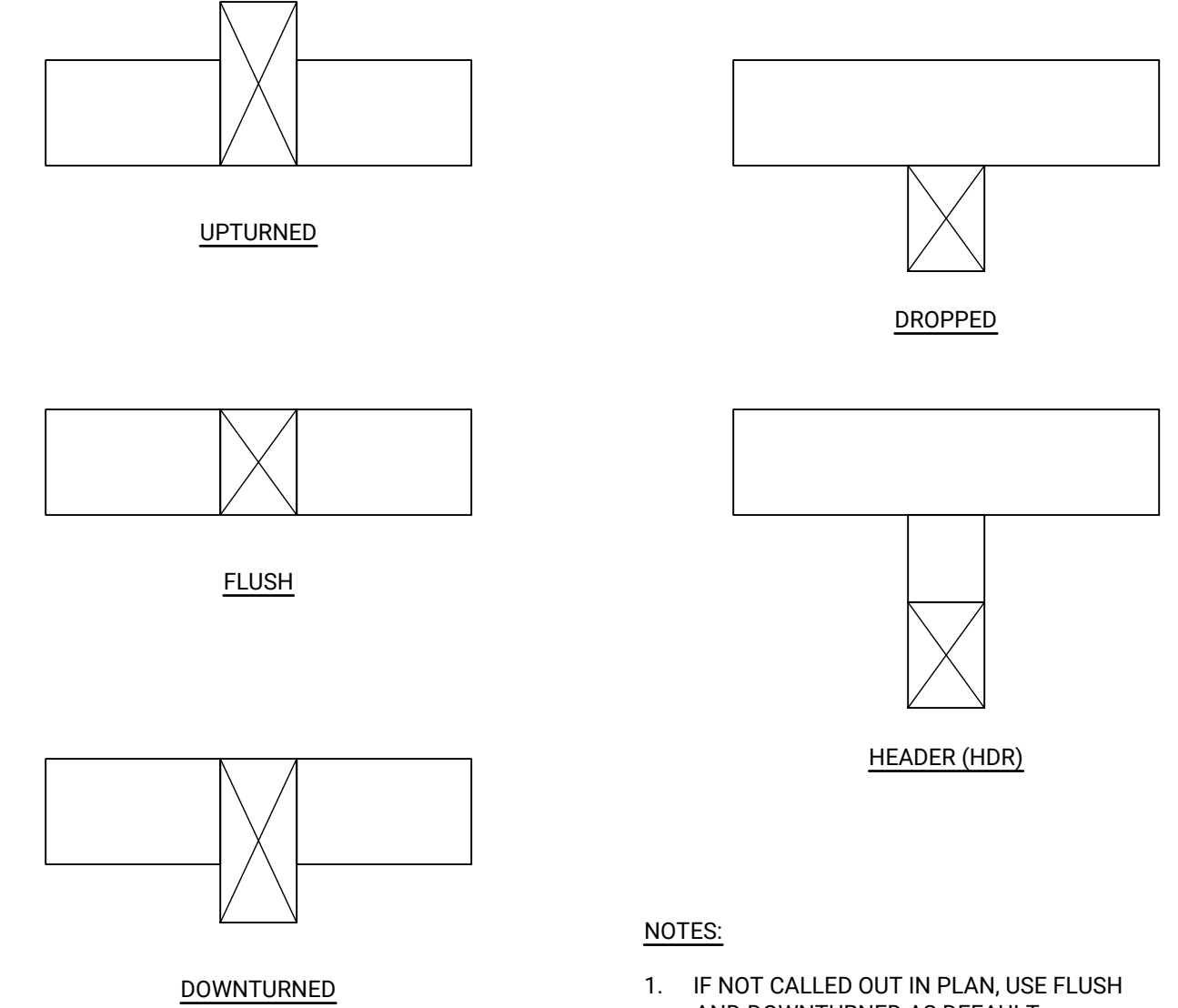
10 TOP PLATE SPLICE

NTS @ ALL EXTERIOR, BEARING, AND SHEAR WALLS



11 ALLOWABLE PENETRATIONS

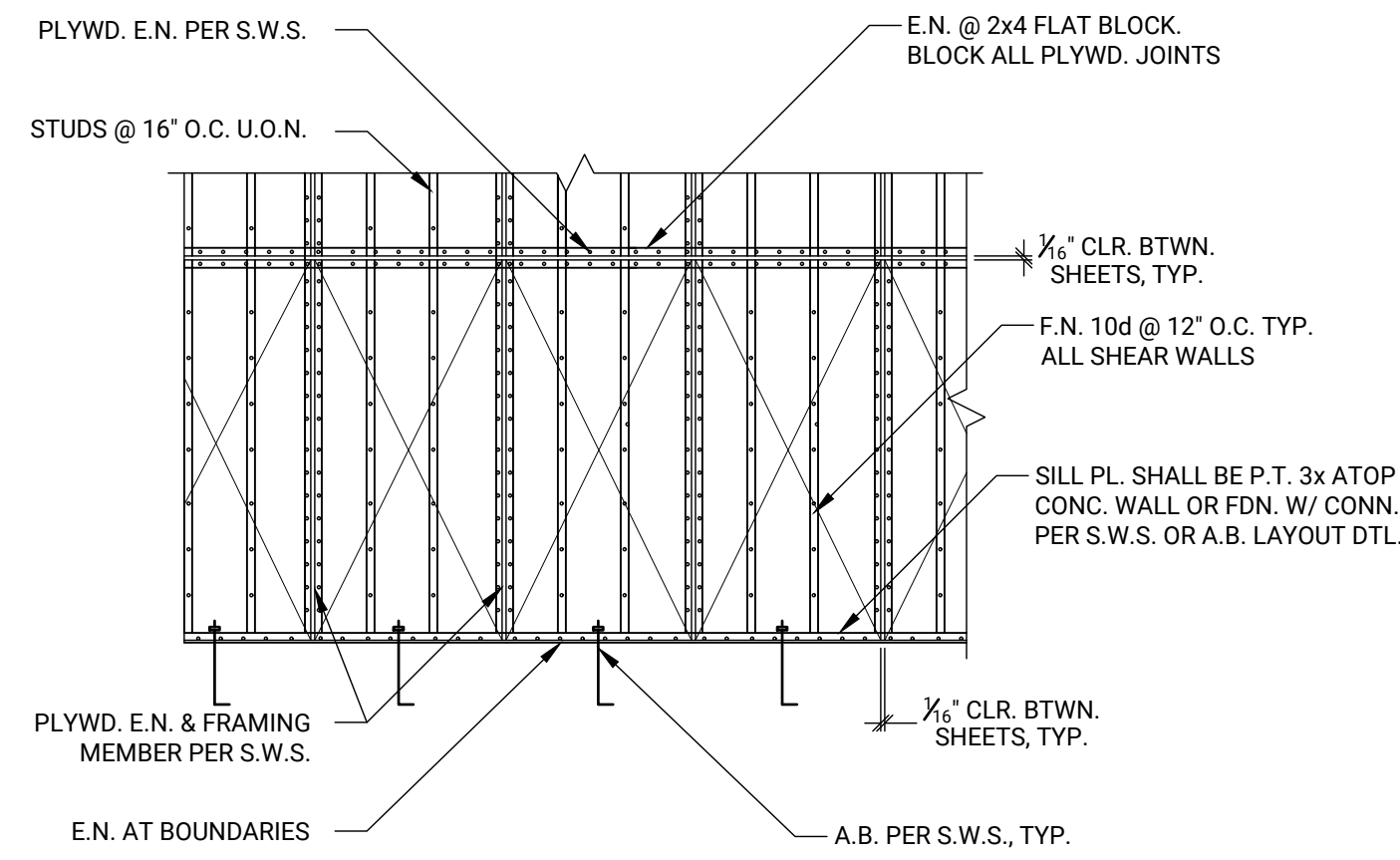
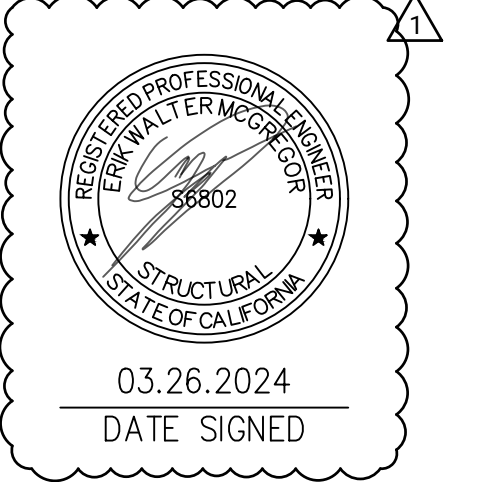
NTS FOR JOISTS AND STUDS



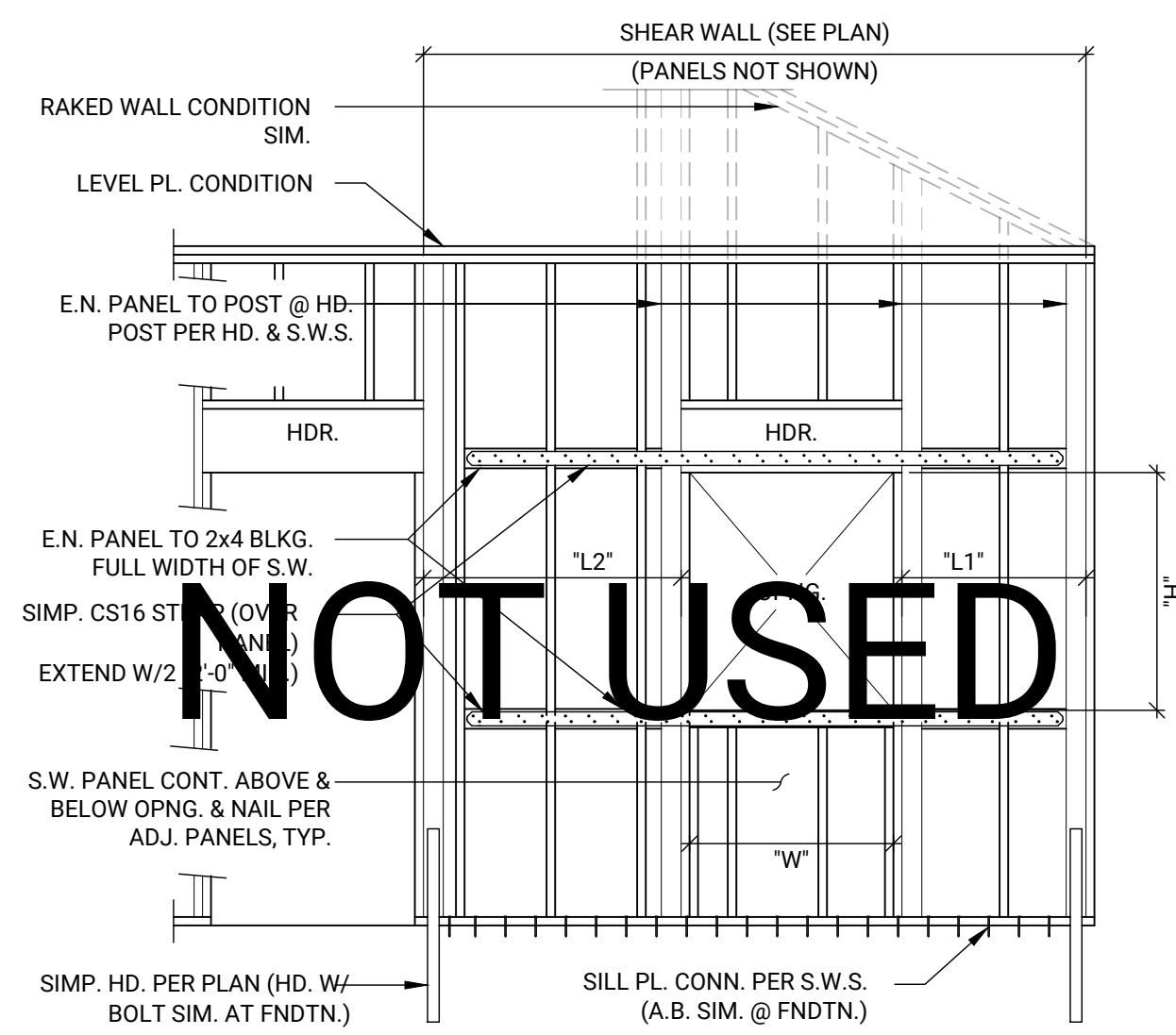
12 BEAM PLAN LEGEND

1" = 1'-0"

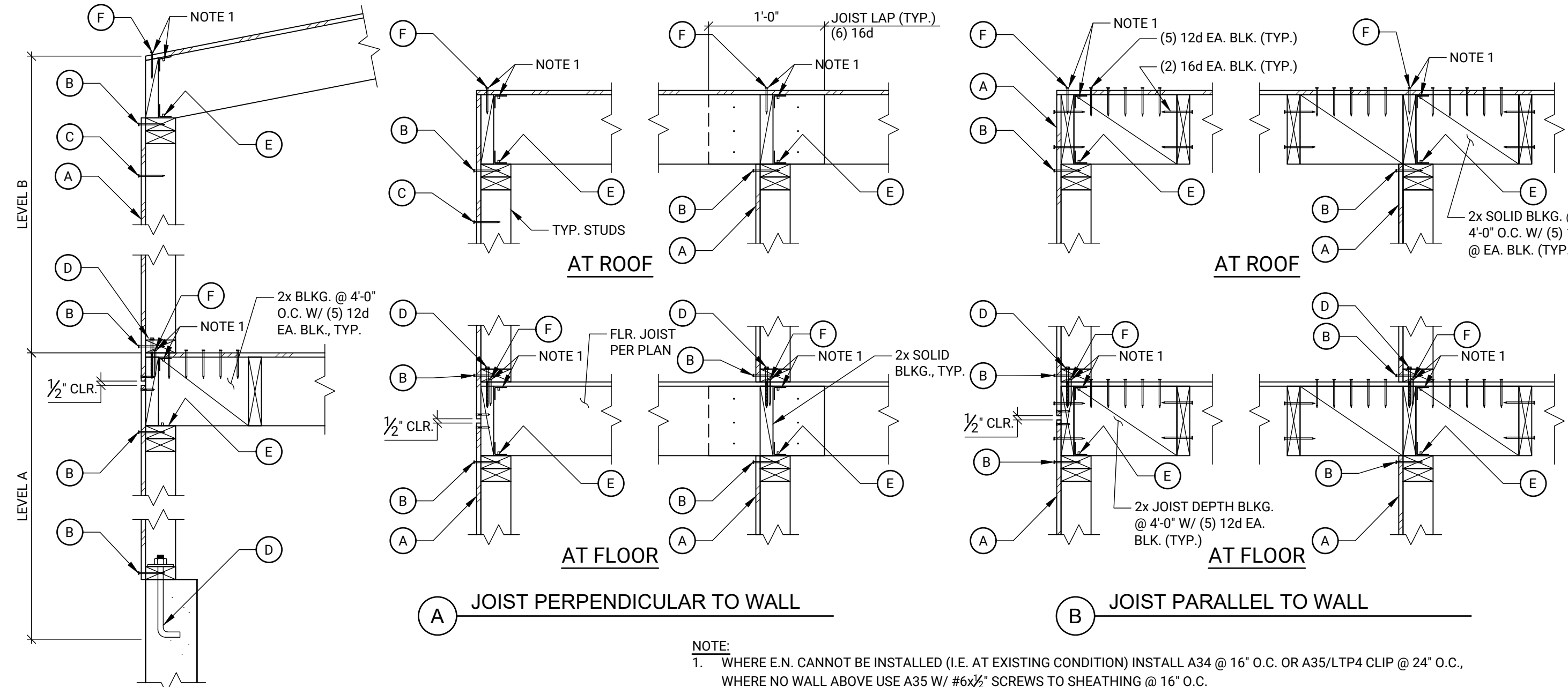
- NOTES:
- IF NOT CALLED OUT IN PLAN, USE FLUSH AND DOWNTURNED AS DEFAULT.



1 TYPICAL SHEARWALL PLYWOOD FRAMING  
NTS



2 FORCE TRANSFER SHEAR WALL ELEVATION  
NTS

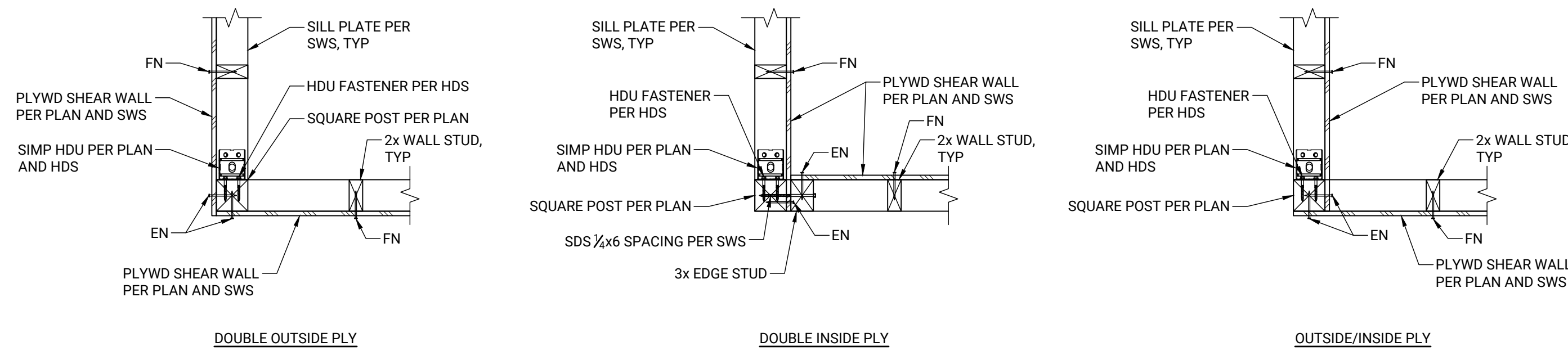


3 TYPICAL WOOD FRAMING DETAILS  
NTS

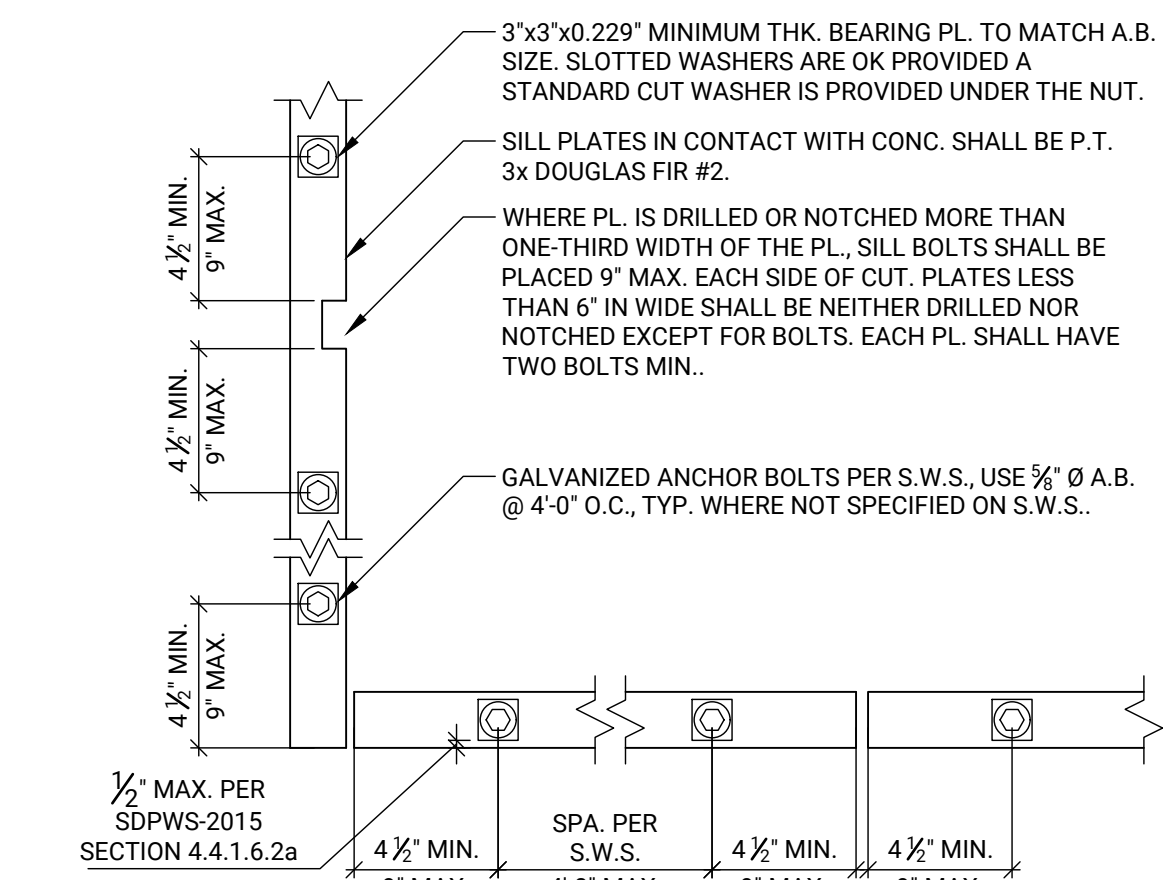
SHEAR WALL SCHEDULE (1/2" C-D WOOD STRUCTURAL PANEL)									
MARK	PLYWOOD (A)	EDGE NAILING (B)	FIELD NAILING (C)	FRAMING AT (2) PLYWD EDGES	SILL PLATE CONN. (D)		BLKG/RIM TO TOP OF WALL		
					TO CONC. (5)	TO WOOD (5)	A34	A35 (E)	LTP4 (E)
6	1/2" (310 plf)	10d @ 6" o.c.	10d @ 12" o.c.	2x NOMINAL	3/4" Ø A.B. @ 4'-0" o.c.	SDS SCREWS @ 16" o.c.	16" o.c.	24" o.c.	24" o.c.
4	1/2" (460 plf)	10d @ 4" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 3'-2" o.c.	SDS SCREWS @ 12" o.c.	10" o.c.	16" o.c.	16" o.c.
3	1/2" (600 plf)	10d @ 3" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 2'-9" o.c.	SDS SCREWS @ 9" o.c.	8" o.c.	12" o.c.	12" o.c.
2	1/2" (770 plf)	10d @ 2" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 2'-0" o.c.	SDS SCREWS @ 8" o.c.	6" o.c.	10" o.c.	10" o.c.
4/4	1/2" (920 plf)	10d @ 4" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 1'-9" o.c.	SDS SCREWS @ 6" o.c.	4" o.c.	8" o.c.	8" o.c.
3/3	3/8" (1200 plf)	10d @ 3" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 1'-3" o.c.	SDS SCREWS @ 4" o.c.	4" o.c.	6" o.c.	6" o.c.
2/2	3/8" (1540 plf)	10d @ 2" o.c.	10d @ 12" o.c.	3x NOMINAL	3/4" Ø A.B. @ 1'-0" o.c.	SDS SCREWS @ 4" o.c.	3" o.c.	4" o.c.	4" o.c.

- LEGEND:
- (A) STRUCTURAL PANEL SHEAR WALL, SEE PLAN FOR LOCATION AND TYPE.
  - (B) STRUCTURAL PANEL EDGE NAILING AT PERIMETER OF EACH PLYWOOD SHEET.
  - (C) STRUCTURAL PANEL FIELD NAILING IS TYPICAL ON ALL STUDS, EXCEPT FOR PLYWOOD EDGES.
  - (D) SOLE (OR SILL AT FOUNDATION) PLATE ATTACHMENT.
  - (E) SIMPSON FRAMING CLIP AT SHEAR WALLS, SEE SHEAR WALL SCHEDULE, WHERE CLIPS SPACING ARE LESS THAN 5' O.C., CLIPS ARE TO BE STAGGERED IN ALL BOTH SIDES OF THE WALL.
  - (F) ROOF AND FLOOR STRUCTURAL PANELS TO BE NAILED WITH 10d NAILS @ 6" O.C. AT PANEL EDGES.
- SHEAR WALL NOTES:
1. ALL EXTERIOR WALL TO BE 1/2" 24/0 CDX STRUCTURAL PANEL SHEAR WALL TYPE (6), U.O.N.
  2. PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES FOR SHEAR WALLS TYPE (2) THRU (3). 2x SOLE PLATE IS OK AT UPPER FLOOR FOR ALL TYPES (4) THRU (6). PANEL APPLIED TO BOTH SIDES OF THE WALL SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
  3. PROVIDE 1/8" HORIZONTAL GAP BETWEEN ADJOINING PANEL EDGES.
  4. SIMP. SDS SHALL BE 4 1/2" LONG AT 2x PLATES AND 6" LONG AT 3x PLATES. SCREWS SHALL HAVE 1/2" MIN. EDGE DISTANCE. MULTIPLE ROWS SHALL BE SPACED 1" APART, AND ROWS SHALL BE STAGGERED. BLOCKING/RIM BELOW TYPES (2) THRU (6) SHALL BE 2x OR 1 1/2" LSL MIN.
  5. SHEAR WALLS FALLING OVER EXISTING FOUNDATION SHALL USE ALL THREAD RODS MATCHING THE SPECIFIED A.B. U.O.N. SEE EPOXY BOLT SECTION OF THE GENERAL NOTES.
  6. STAGGER DBL. TOP PLATE NAILING TO ENGAGE EACH PLATE, TYPICAL.
  7. ALL NAILS SPECIFIED SHALL BE COMMON NAILS. NAIL GUNS USING 'CLIPPED HEAD' OR 'SINKER NAILS' ARE NOT ACCEPTABLE.
  8. FOUNDATION ANCHOR BOLTS IN ALL x4 SHEAR WALLS SHALL HAVE 3"x3"x0.229 BEARING PLATES UNDER EACH NUT. IN x6 SHEAR WALLS, 5"x4"x0.229 PLATES SHALL BE USED. IN ALL CASES, ANCHOR BOLTS SHALL BE CENTERED IN THE SILL PLATE AND BEARING PLATES SHALL NOT BE MORE THAN 1/2" AWAY FROM PLYWOOD SHEARWALL SHEATHING. NUTS SHALL BE TIGHTENED JUST PRIOR TO CLOSING WALL FRAMING.
  9. A.B. HOLES DRILLED IN SOLE PLATE SHALL BE NO LARGER THAN 1/8" DIAMETER OF THE BOLT.
  10. SILL PLATES IN CONTACT WITH CONCRETE SHALL BE 3x PRESSURE TREATED DOUGLAS FIR #2. USE GALVANIZED A.B. AND NAILS INTO ALL P.T. WOOD AT WALL TYPE (4). A 2x PLATE MAY BE USED PROVIDED THE PLATE IS ANCHORED BY 2 TIMES THE NUMBER OF BOLTS LISTED IN THE TABLE ABOVE.
  11. MINIMUM ANCHOR BOLT EMBEDMENT INTO CONCRETE SHALL BE 7". EPOXIED ALL-THREAD RODS SHALL BE EMBEDDED A MINIMUM OF 7" U.O.N.
  12. ALL WOOD SHEATHING PANEL EDGES SHALL BE BLOCKED WITH MINIMUM 2x BLOCKING, U.O.N.
  13. PROVIDE 3/8" MIN EDGE DISTANCES FOR ALL SHEATHING AND FRAMING MEMBER EDGE NAILING.
  14. STUCCO AND/OR EXTERIOR VENEER OVER A WOOD SHEATHING SHEARWALL SHALL BE WATERPROOFED WITH A MINIMUM OF 2 LAYERS OF FELT PAPER.
  15. THE SHEAR WALL LENGTH NOTED ON THE FLOOR PLANS INDICATES THE MINIMUM REQUIRED LENGTH REQUIRED BY ENGINEERING DESIGN. THE ACTUAL WALL LENGTH MAY EXCEED THIS LENGTH. PLEASE NOTIFY ENGINEER IF WALL LENGTH IS SHORTER THAN NOTED.
  16. NAILS ARE TO BE DRIVEN FLUSH TO THE SHEATHING. ADD 1 NEW NAIL FOR EVERY 2 OVERDRIVEN NAILS IF MORE THAN 20% OF NAILS ARE 1/16" OVERDRIVEN OR IF ANY NAILS ARE 1/8" OVERDRIVEN. IF SPLITTING CONDITION OCCURS, USE STAPLES. IF ADDING NAILS WILL DECREASE SPACING TO 3" O.C. OR LESS, ADD ANOTHER STUD TO RECEIVE END NAILING FOR EACH PLYWOOD EDGE AND CONNECT STUDS WITH 10d @ 6" O.C..
  17. WALL TYPES (2) AND (3) REQUIRE PERIODIC SPECIAL INSPECTION OF SHEATHING AND FASTENER INSTALLATION.

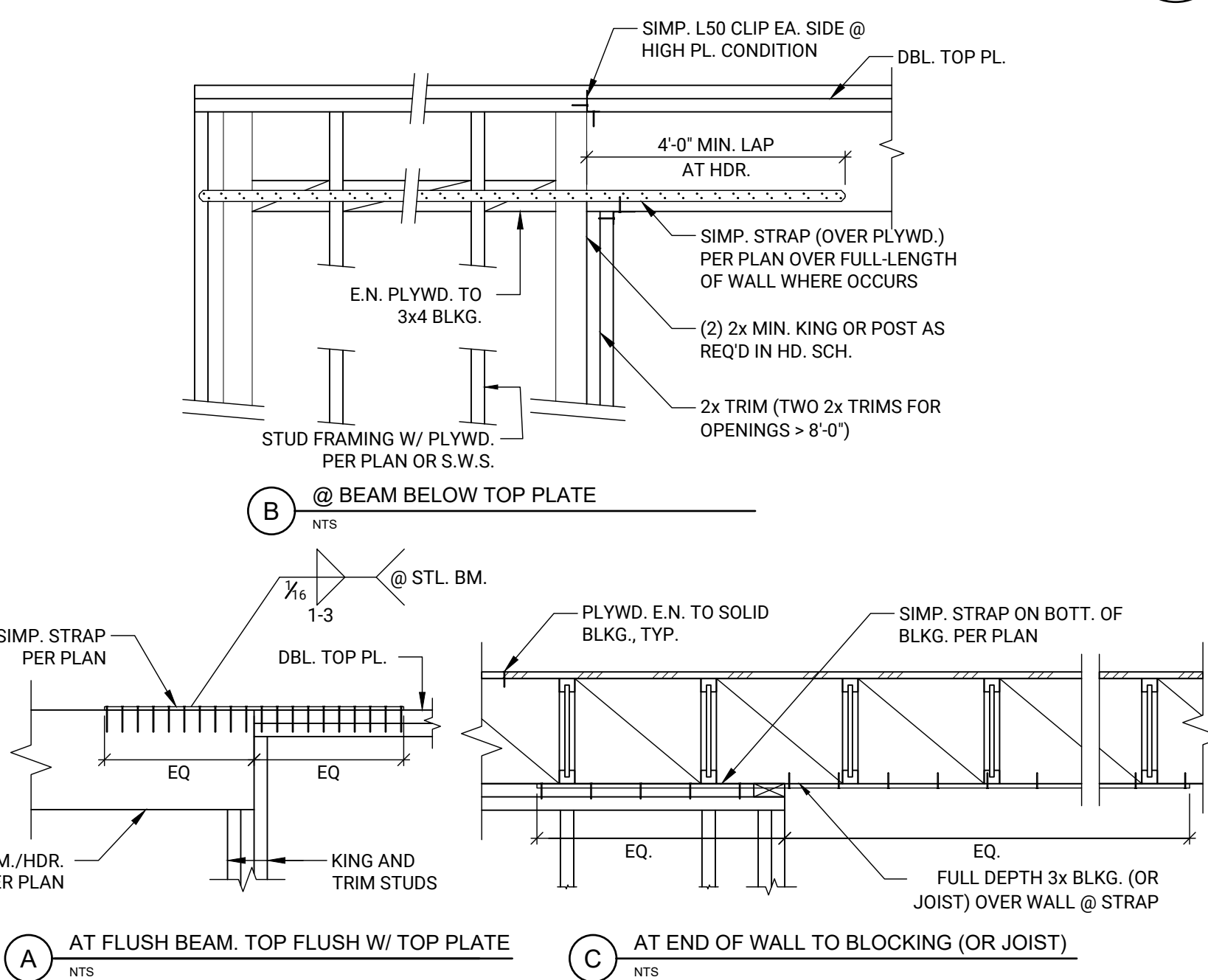
9 SHEAR WALL (SW) SCHEDULE (SWS)  
NTS



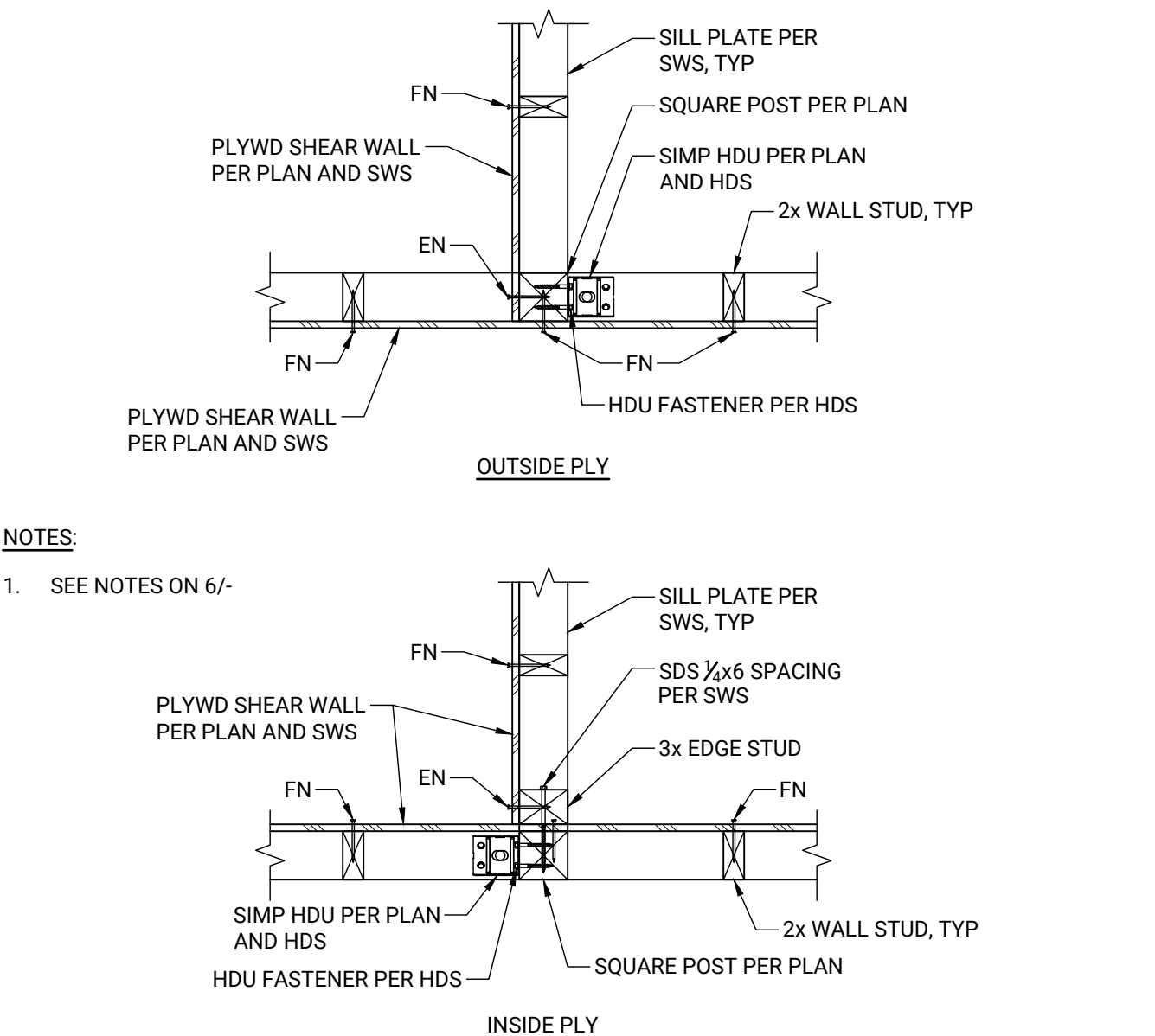
6 TYPICAL DOUBLE SHEAR WALL CORNER DETAIL  
NTS



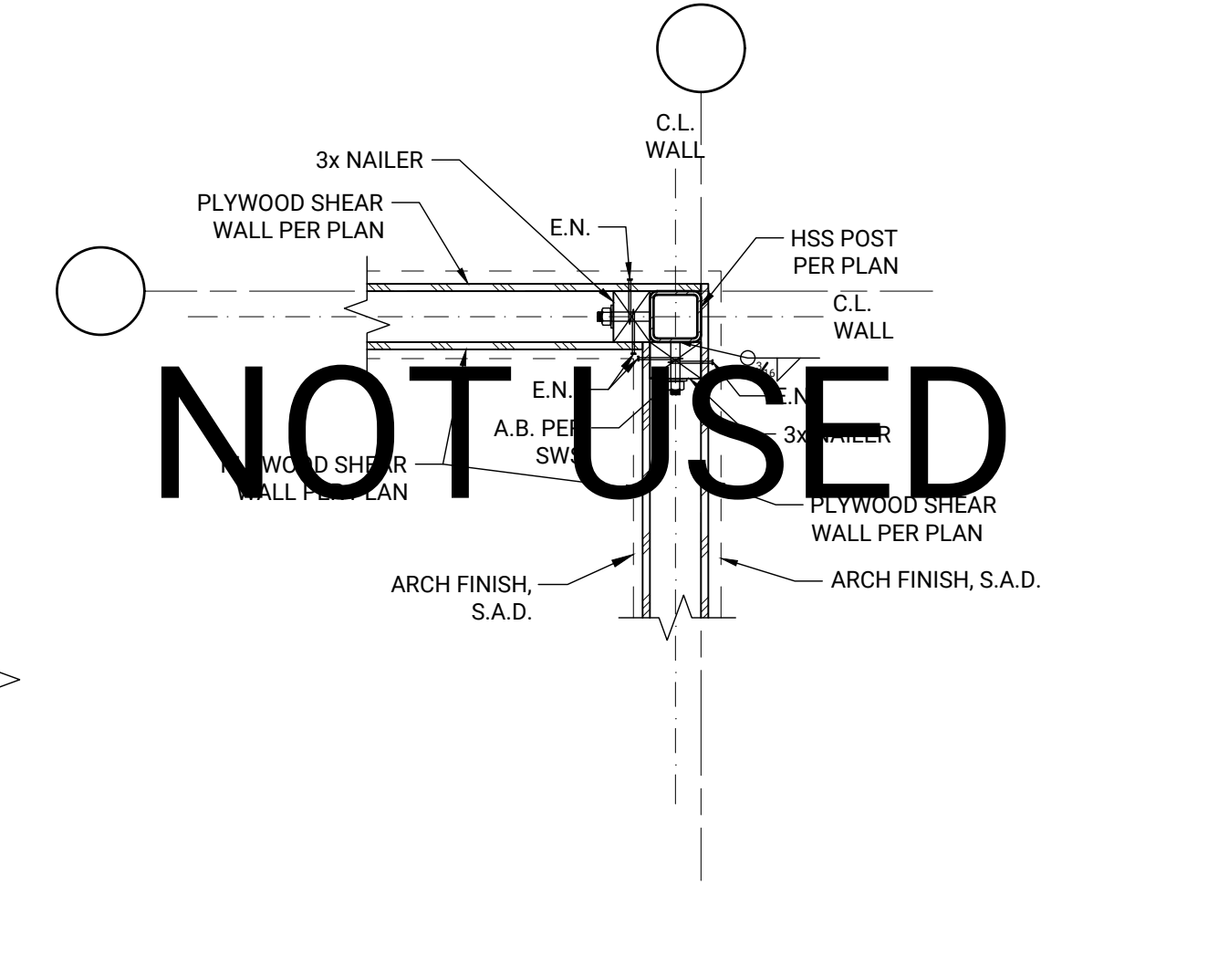
10 TYPICAL ANCHOR BOLT LAYOUT  
NTS



11 TOP PLATE STRAP TIE TO BEAM  
NTS

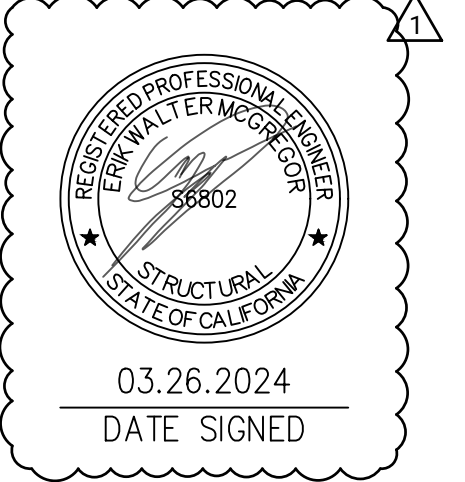


8 TYPICAL DOUBLE SHEAR WALL "T" DETAIL  
NTS



12 NAILER TO STEEL POST  
NTS

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET  
SAUSALITO, CA 94965

429.5 JOHNSON STREET -  
ADU CONVERSION

SUBMITTAL

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023

23-505

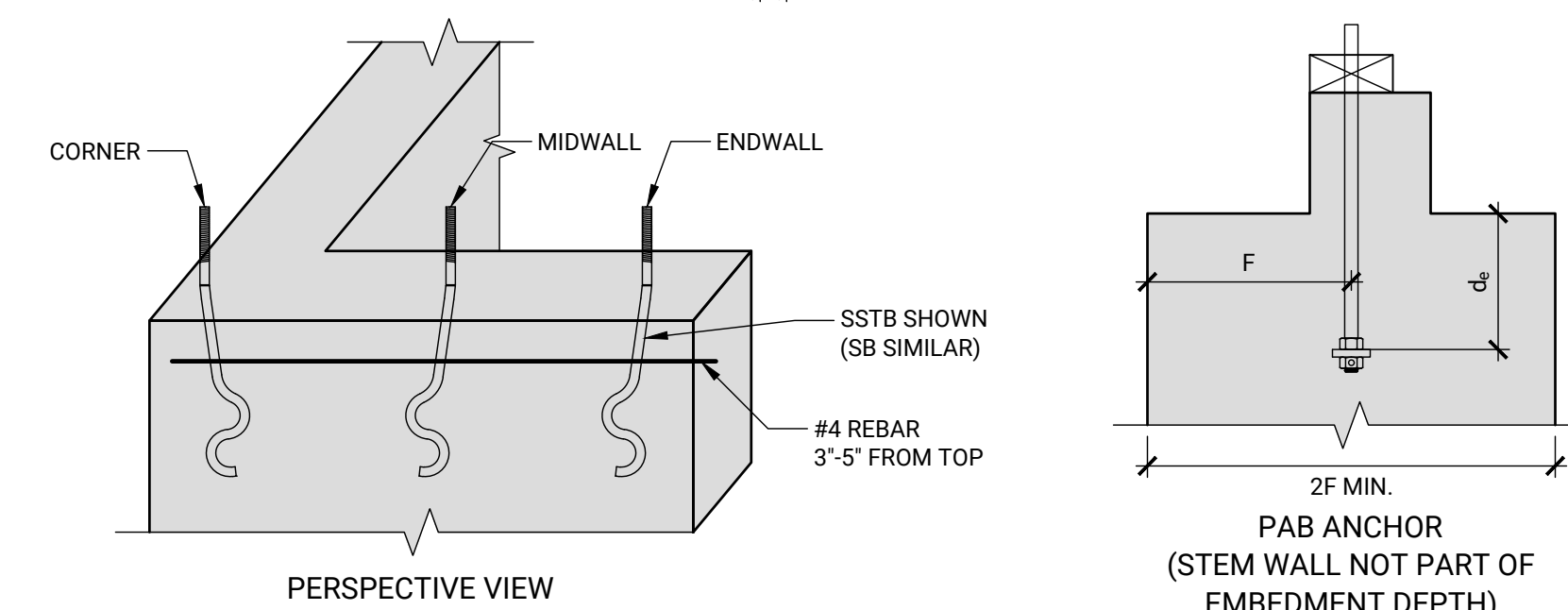
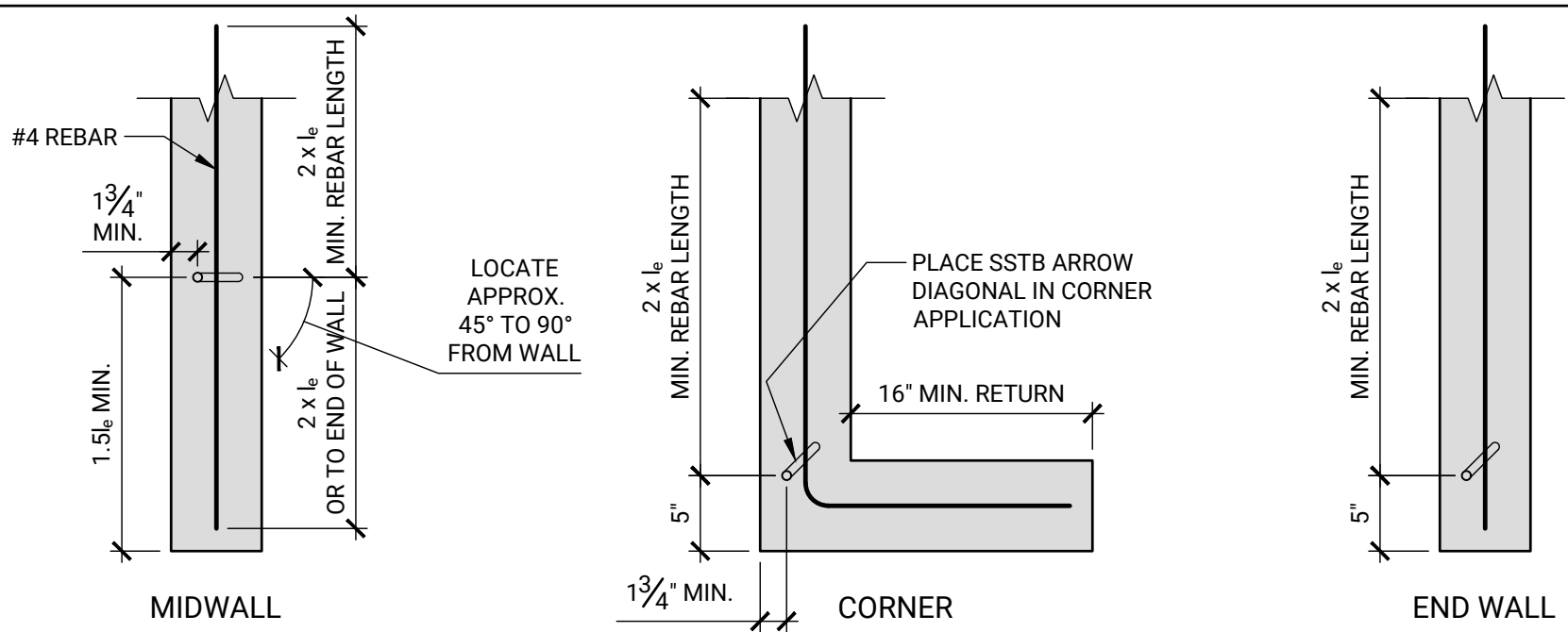
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AA  
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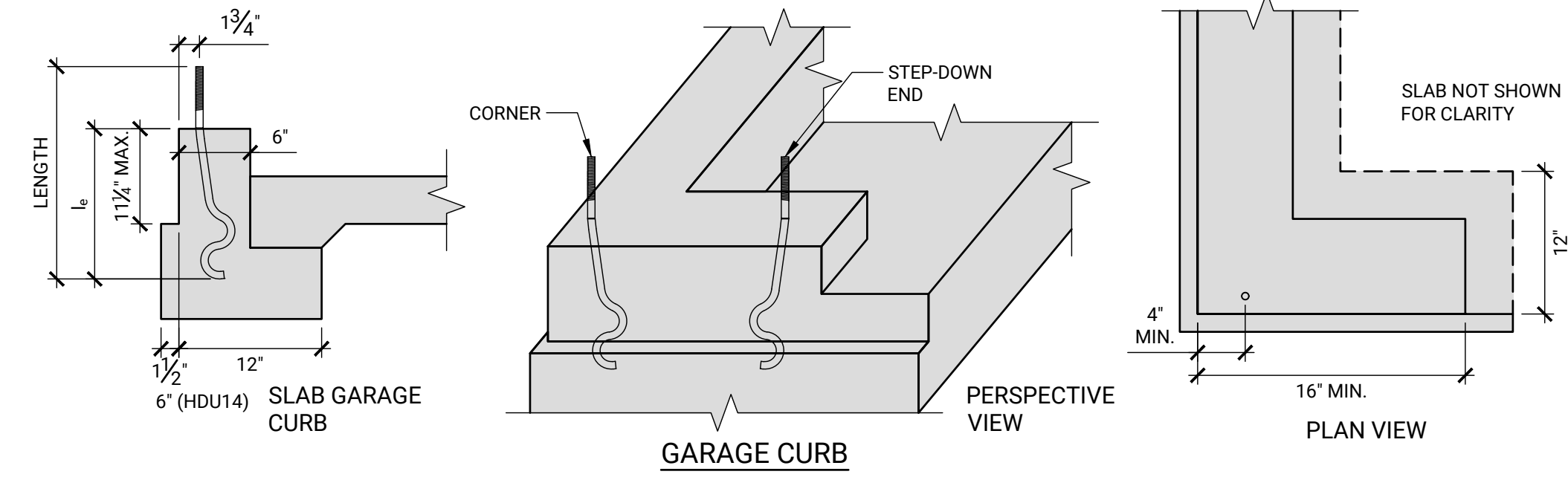
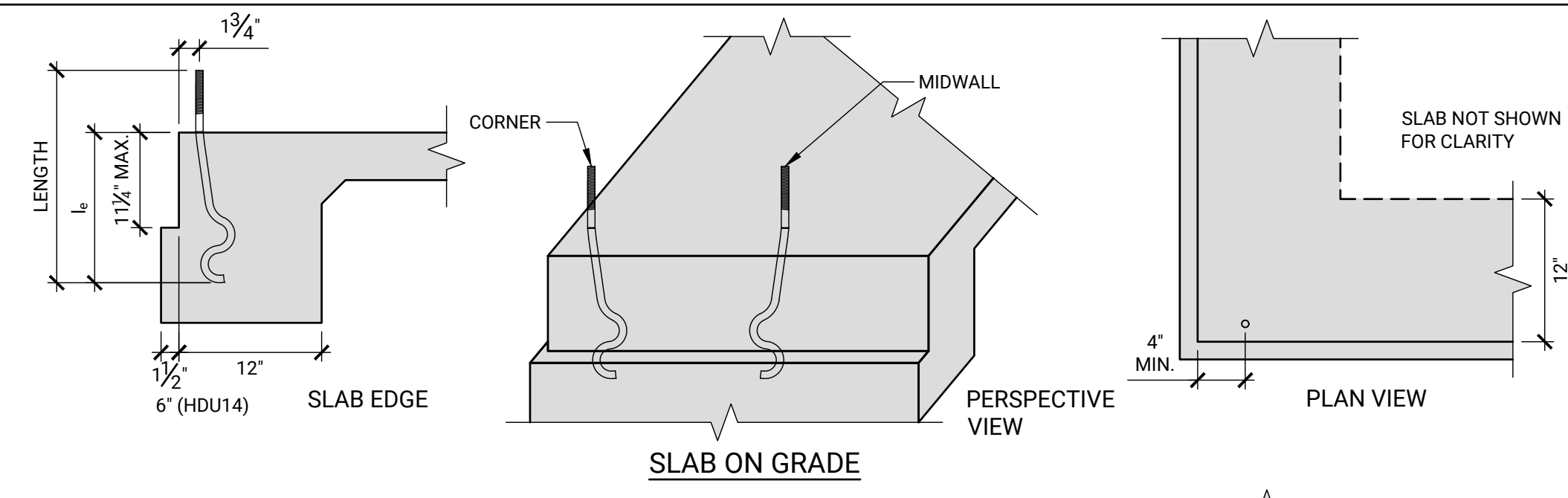
NTS  
SCALE

TYPICAL HOLDOWN & DIAPHRAGM  
DETAILS  
SHEET TITLE

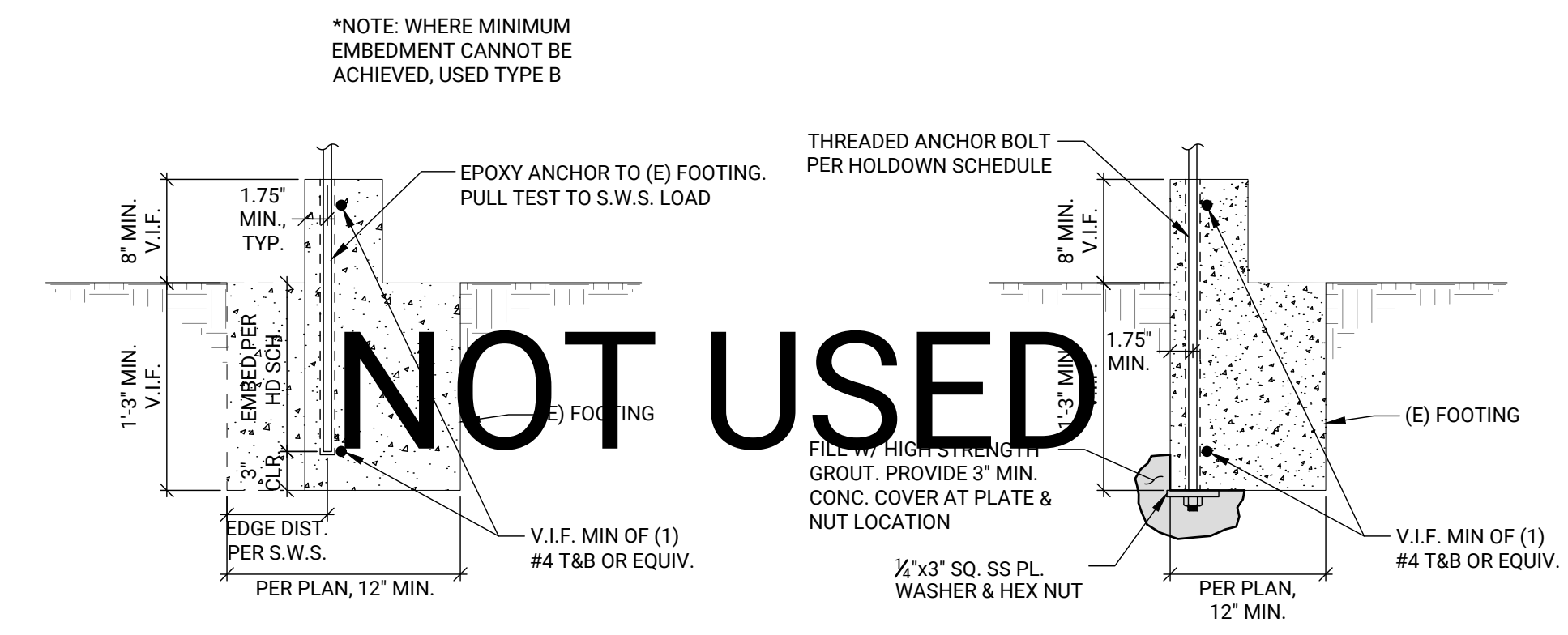
S1.2



1 HOLDOWN ANCHOR AT STEMWALL  
NTS



2 HOLDOWN ANCHOR AT SLAB ON GRADE  
NTS

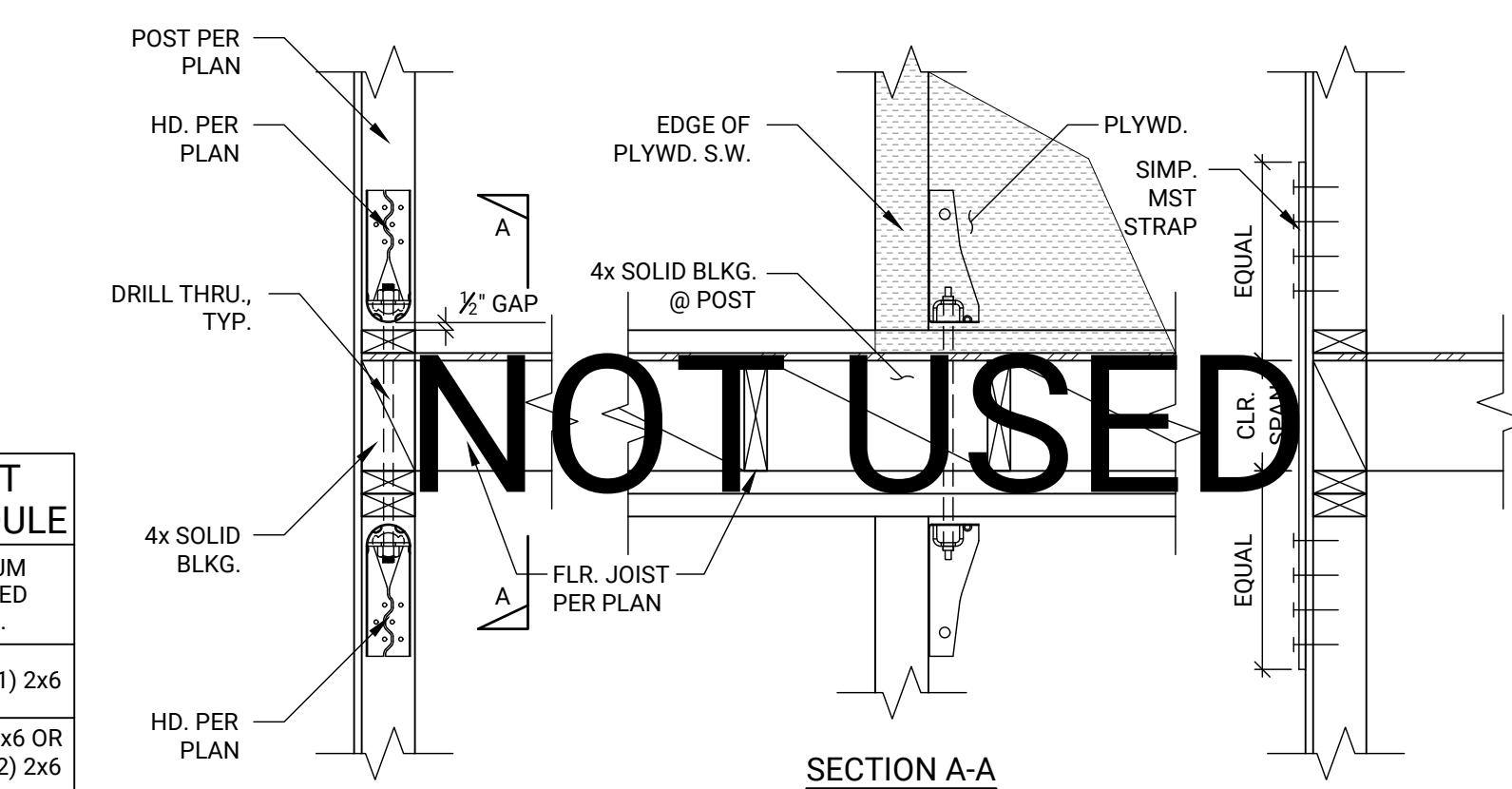


3 HOLDOWN ANCHOR AT EXISTING FOUNDATION  
NTS

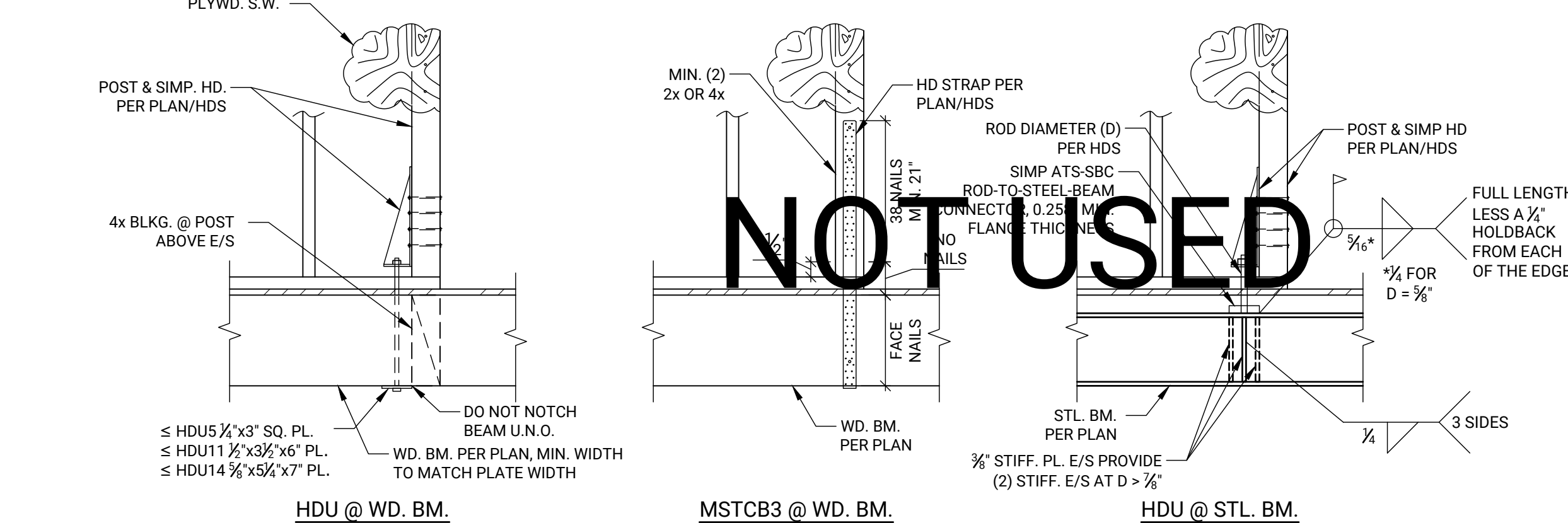
NOTES:  
1. @ INTERIOR WALL, NOTCH FLR. PLYWD./SHEATHING AS REQ'D

FLOOR HOLDOWN OPTION			
TYPE	HOLDOWN	EQUIVALENT SIMP. STRAP	
HDU2	HDU2	MST48	--
HDU4	HDU4	MST60	2 - MST37
HDU5	HDU5	MST72	2 - MST48
HDU8	HDU8	--	2 - MST60

TYPE	MIN BEAM DIM.	UPLIFT CAPACITY (LBS)	EQUIVALENT HDU
MSTC48B3	3"x9 1/4"	3378	HDU2
MSTC66B3	3 1/2"x11 1/2"	3816	HDU2
2-MSTC48B3	3"x9 1/4"	6250	HDU5
2-MSTC66B3	3 1/2"x11 1/2"	7060	HDU8



6 TYPICAL HOLDOWN BETWEEN FLOORS  
NTS

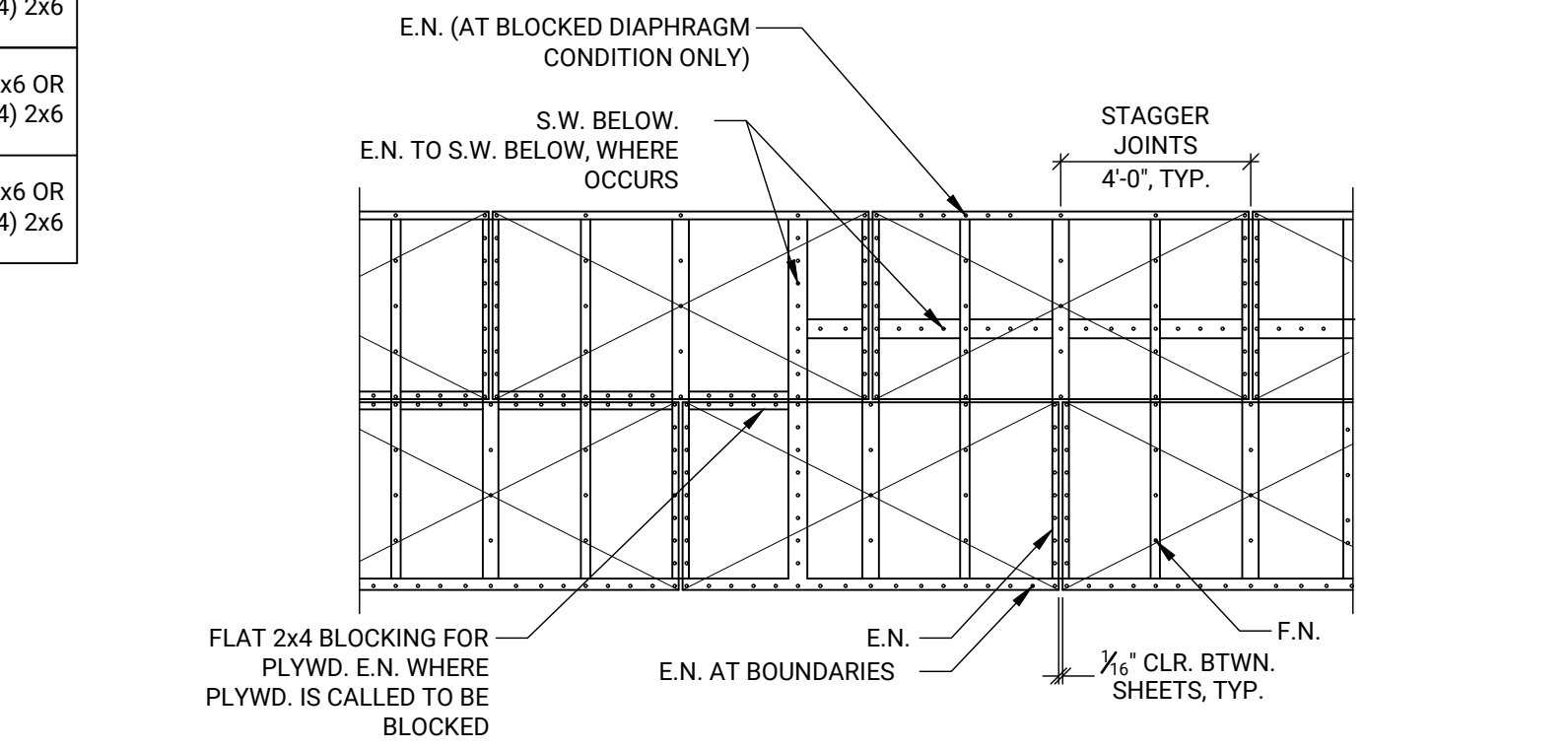


7 HOLDOWN AT BEAM  
NTS

TYPE	HOLDOWN HARDWARE	ANCHOR DIAMETER	UPLIFT CAPACITY (LBS)	TEST LOAD (LBS)	STEMWALL				SLAB ON GRADE		(E) CONC. W/ 2" EDGE DIST.	(E) CONC. W/ 6" EDGE DIST.	POST SCHEDULE		
					STEMWALL WIDTH (IN)	MIDWALL / CORNER	END WALL	MIDWALL / CORNER	GARAGE CURB	MINIMUM REQUIRED U.O.N.					
DTT1Z	DTT1Z	3/8"	910	2275	6	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	TITEN HD 3/8"x6"	(1) 2x4	(1) 2x6		
HDU2	HDU2	3/8"	3075	7690	6	SSTB24	SSTB24	SSTB16	SSTB20	SSTB20	TYPE A EMBED 8" MIN.	TYPE A EMBED 5" MIN.	4x4 OR (2) 2x4	4x6 OR (2) 2x6	
HDU4	HDU4	3/8"	4565	9940	6	SB5/8X24	SB5/8X24	SSTB20	SB5/8X24	SSTB20	TYPE A EMBED 16" MIN.	TYPE A EMBED 13" MIN.	4x4 OR (2) 2x4	4x6 OR (2) 2x6	
HDU5	HDU5	3/8"	5645	9940	6	SB5/8X24	SB5/8X24	SSTB24	SB5/8X24	SSTB24	TYPE B	TYPE A EMBED 21" MIN.	4x4 OR (2) 2x4	4x6 OR (2) 2x6	
HDU8	HDU8	7/8"	6765 (2) 2x4 6970 (4x) 7870 (3) 2x4	16915 17425 19485	8	SB7/8X24	PAB7 d <sub>e</sub> = 9" F = 13 1/2"	SSTB28	SSTB28	SSTB28	TYPE B	TYPE B	4x4 OR (2) 2x4	4x6 OR (2) 2x6	
HDU11	HDU11	1"	9535 (6x) 11175 (8x)	23840 25445	-	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	SB1X30	SB1X30	SB1X30	N/A	N/A	4x6 OR (4) 2x4	6x6 OR (4) 2x6	
HDU14	HDU14	1"	14390 (4x8) 14445 (6x6)	25445	-	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	SB1X30 F = 9"	SB1X30 F = 9"	SB1X30 F = 9"	N/A	N/A	4x8 OR (5) 2x4	6x6 OR (4) 2x6	
HD19	HD19	1 1/2"	16735 (4x8) 16775 (6x6)	32205	-	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	PAB9 d <sub>e</sub> = 12 1/2" F = 19"	PAB9 d <sub>e</sub> = 12 1/2" F = 19"	PAB9 d <sub>e</sub> = 12 1/2" F = 19"	N/A	N/A	4x8 OR (5) 2x4	6x6 OR (4) 2x6	
		1 1/2"	19360 (4x8) 19070 (6x6)	39760	-	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	PAB8 d <sub>e</sub> = 11" F = 16 1/2"	PAB10 d <sub>e</sub> = 14 1/2" F = 22"	PAB10 d <sub>e</sub> = 14 1/2" F = 22"	PAB10 d <sub>e</sub> = 14 1/2" F = 22"	N/A	N/A	4x8 OR (5) 2x4	6x6 OR (4) 2x6	

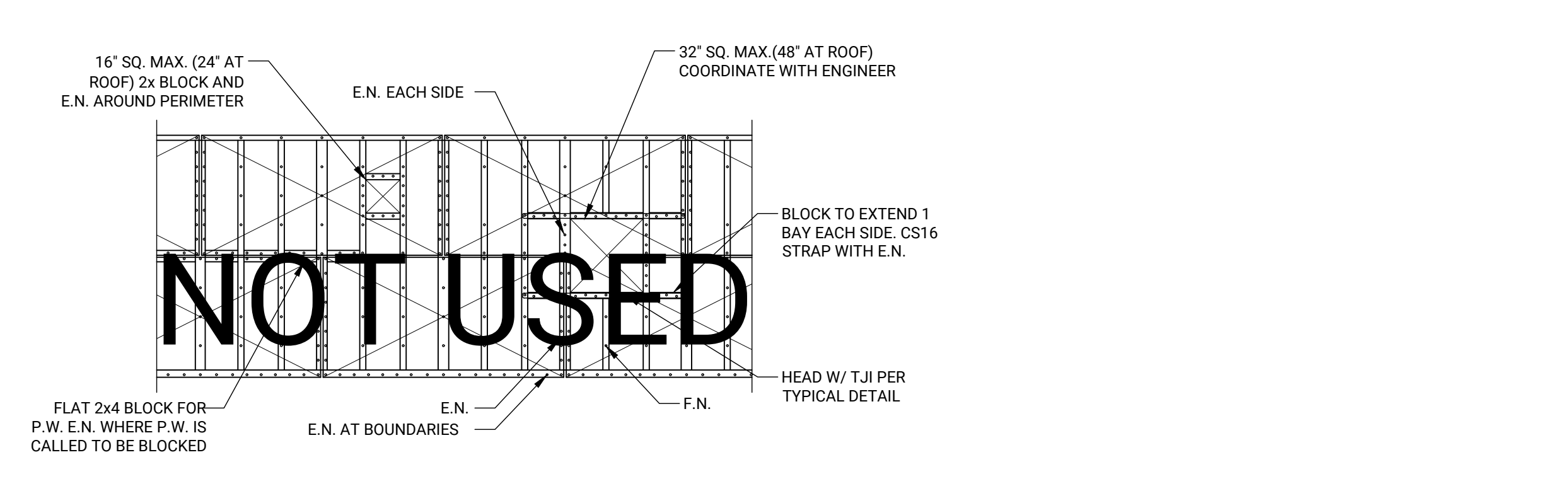
- HOLDOWN NOTES:
- INSTALL ALL HOLDOWN HARDWARE PER MANUFACTURER'S INSTRUCTIONS.
  - ONLY FULL-HEIGHT (TOP TO BOTTOM PLATE) POSTS SHALL BE USED FOR HOLDOWN CONNECTIONS.
  - PROVIDE SHEAR WALL END NAILING (AS NOTED IN THE S.W.S.) TO ALL POSTS WITH HOLDOWNS AT THE TOP OR BOTTOM OF POST.
  - HOLDOWNS SHALL BE INSTALLED DIRECTLY ON TOP OF SILL PLATES U.O.N.
  - USE SIMPSON SDS SCREWS ON ALL HOLDOWN CONNECTIONS.
  - POSTS SHOWN ARE MINIMUM REQUIREMENTS FOR HOLDOWNS. SHEAR WALL TYPE MAY REQUIRE LARGER FRAMING MEMBERS AT PANEL EDGES. SEE PLAN.
  - WHERE HOLDOWNS ARE CALLED OUT ON UPPER FLOORS, THEY SHALL BE CARRIED DOWN TO FOUNDATION WITH MATCHING HOLDOWN (OR ONE WITH GREATER CAPACITY) UNLESS A DIFFERENT HOLDOWN IS SPECIFIED ON PLAN.
  - HOLDOWN ANCHORS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING. BOLT NUT SHOULD BE FINGER-TIGHT PLUS 1/3 TO 1/2 TURN WITH A HAND WRENCH. DO NOT OVER-TORQUE THE NUT.

9 HOLDOWN (HD) SCHEDULE (HDS)  
NTS



- NOTES:
- GLUE & NAIL FLR. PLYWD. & NAIL COMPLETELY, IMMEDIATELY AFTER GLUING.
  - ORIENT PLYWD. W/ FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS.
  - FLR. PLYWD. TO BE BLOCKED DIAPHRAGMS (BLKG. @ ALL PANEL EDGES), WHERE SHOWN ON PLANS.
  - SEE PLANS FOR PLYWD. NAILING.

10 DIAPHRAGM PLYWOOD  
NTS (ROOF OR FLOOR)



11 DIAPHRAGM OPENINGS  
NTS

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET  
SAUSALITO, CA 94965

429.5 JOHNSON STREET -  
ADU CONVERSION

SUBMITTAL

PERMIT 08.31.2023

PLAN CHECK 1 RESPONSE 11.27.2023

PERMIT REV. 3 04.19.2024

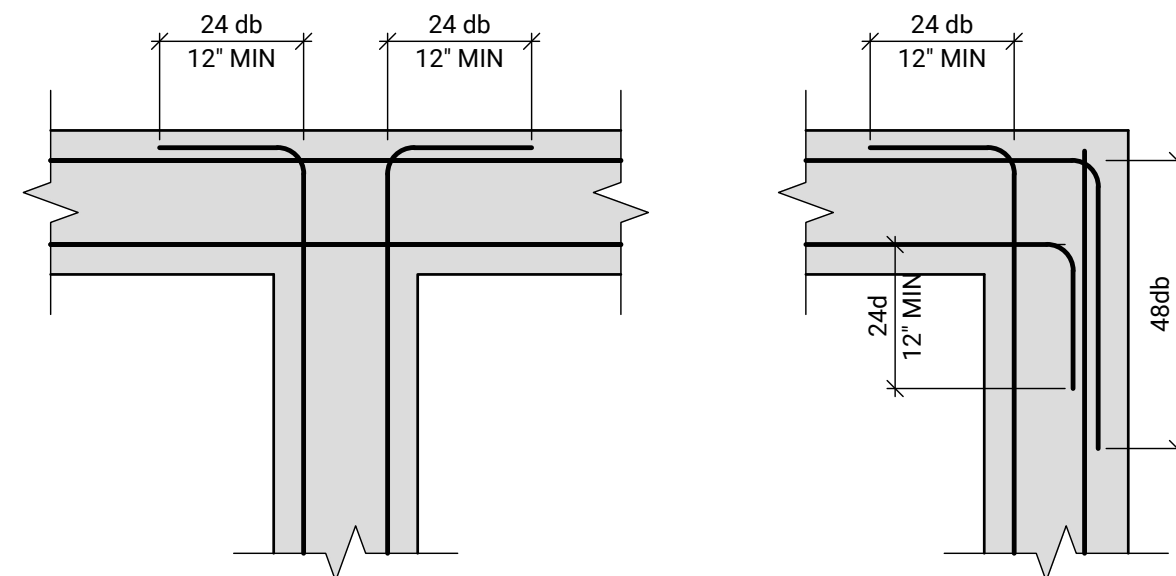
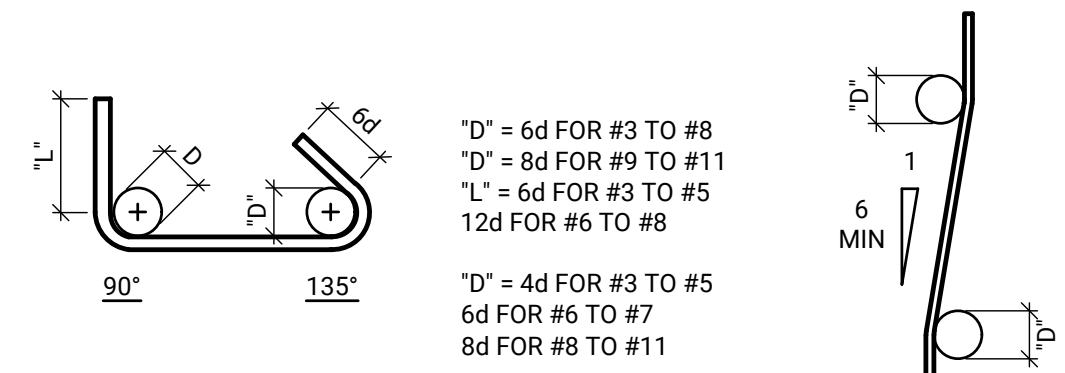
23-505  
wmstructural JOB NUMBER

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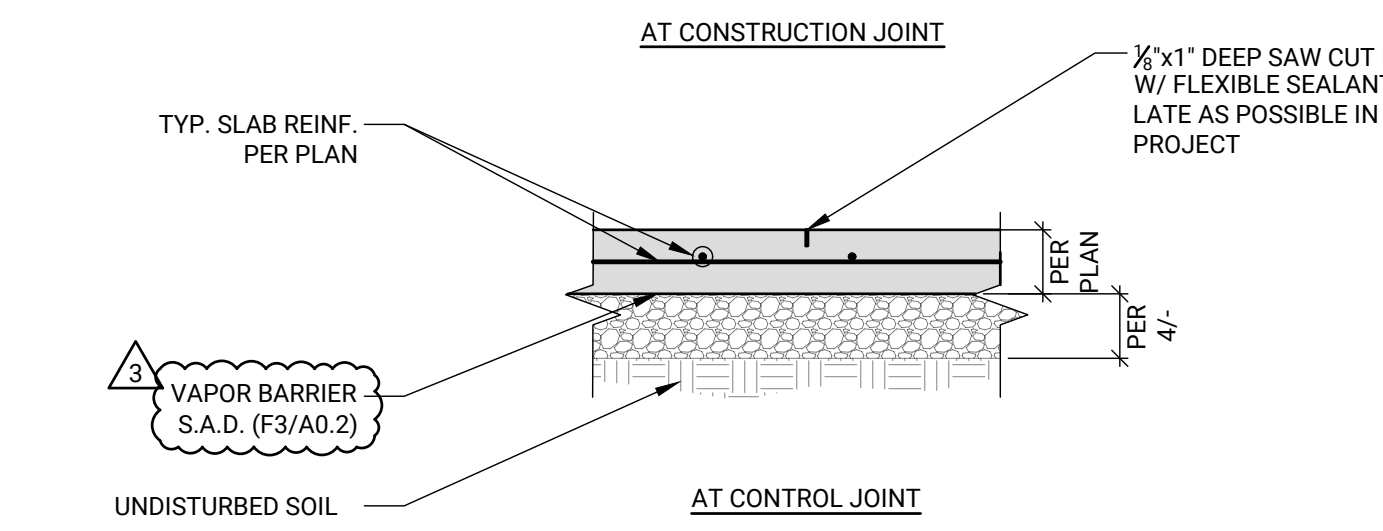
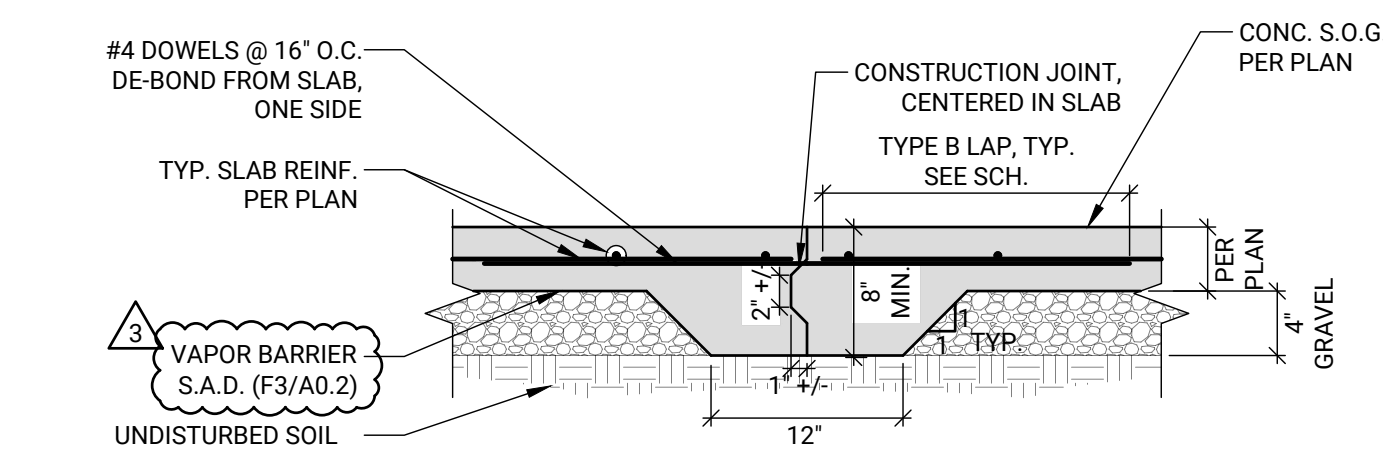
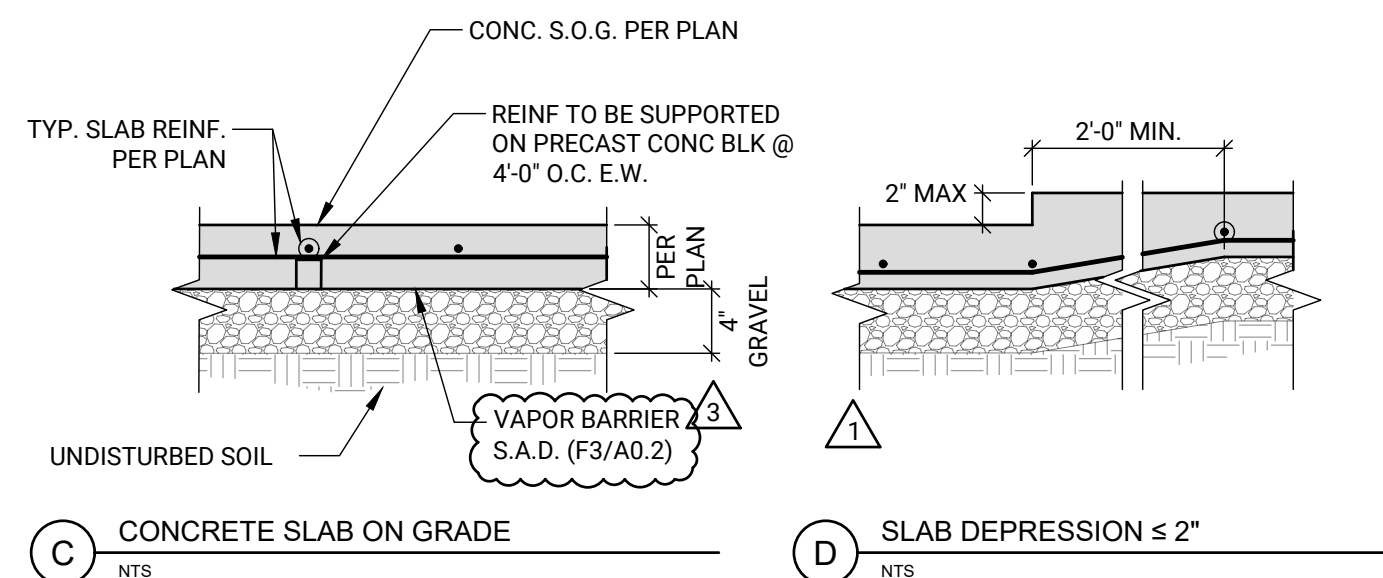
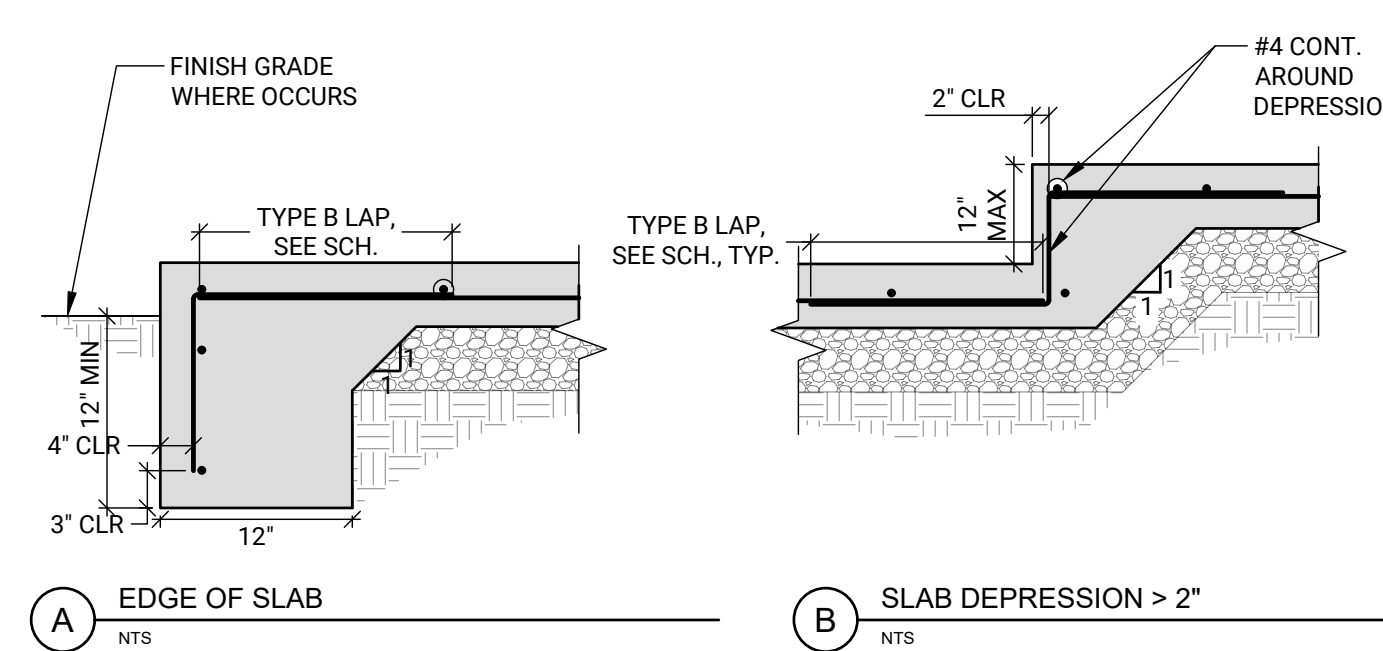
NTS  
SCALE

TYPICAL CONCRETE DETAILS  
SHEET TITLE

S1.3



- NOTES:
1. db - BAR DIAMETER
  2. PLACE ALL BENDS HORIZONTALLY.
  3. FOR SINGLE CURTAIN STEEL PROVIDE SIMILAR BENDS AT 3' CLEAR FROM FAR FACE OF FOOTING, U.O.N..



- NOTES:
1. CONTROL JOINTS NOT TO EXCEED 2'-0" FOR EACH 1" SLAB THICKNESS. COORDINATE ALL CONTROL AND CONSTRUCTION JOINTS WITH ARCHITECT.

**4 TYP. SLAB ON GRADE CONSTRUCTION JOINT**  
NTS

**1 STANDARD REINFORCEMENT BENDS**  
NTS

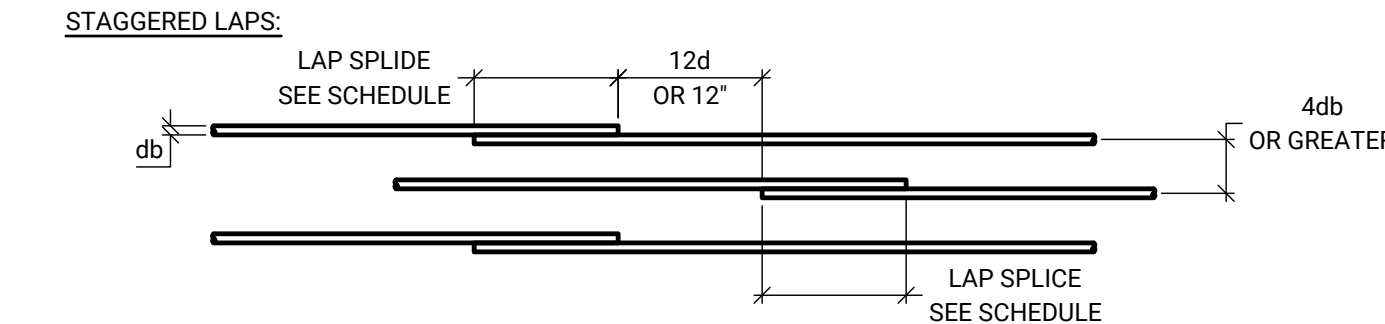
- NOTES:
1. ALL BENDS SHALL BE MADE COLD.
  2. #14 AND #18 BARS SHALL BE BEND TESTED AND LAB APPROVED PRIOR TO BENDING.
  3. DO NOT BEND BARS ALREADY CAST IN CONCRETE.

**2 STANDARD REINFORCING HOOKS**  
NTS

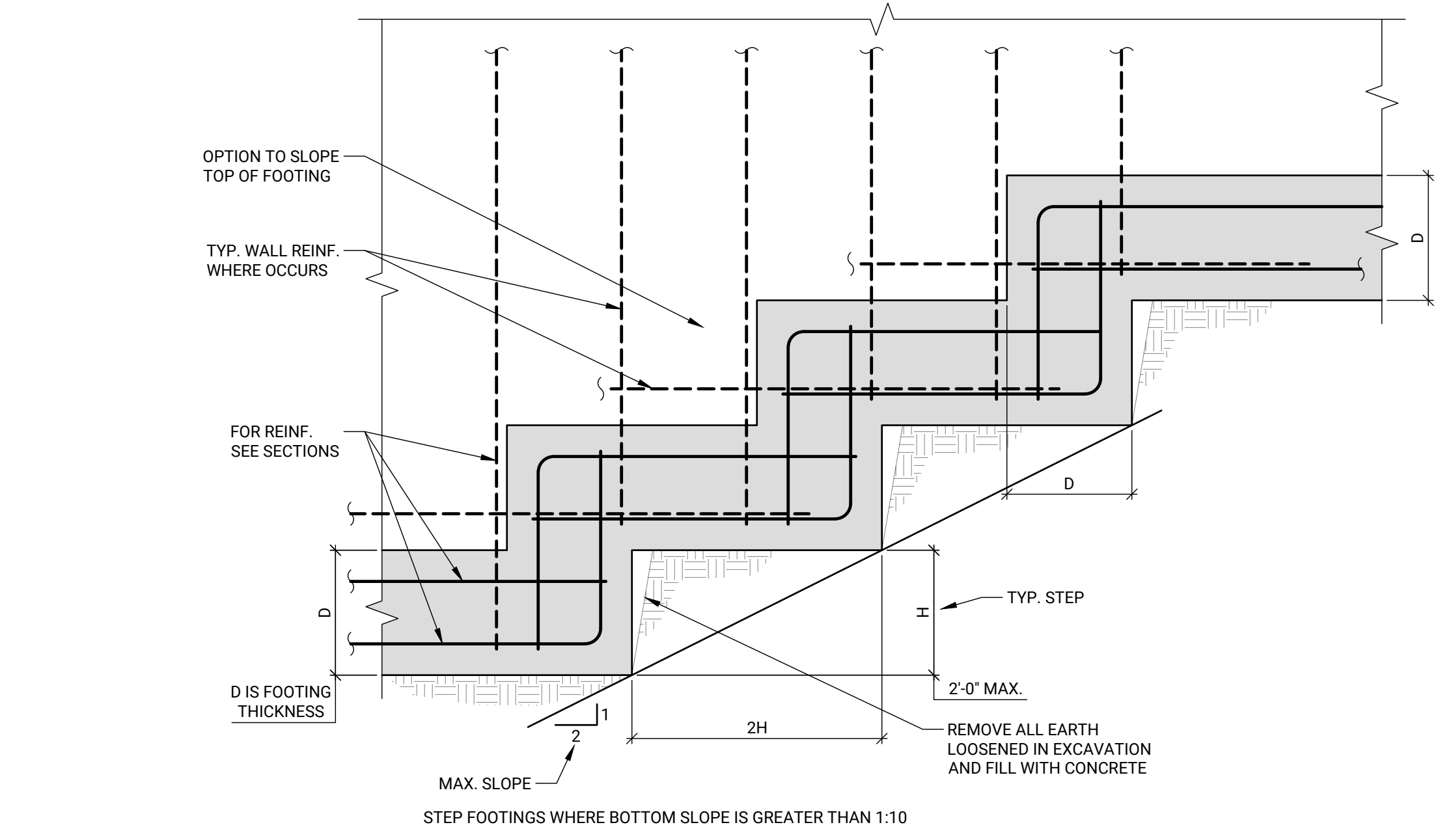
2 1/2" MIN.  
ALL AROUND  
STD. HOOK

BAR SIZE	l <sub>dh</sub> (HOOK DEVELOPMENT LENGTH)		
	f <sub>c</sub> =3000psi	f <sub>c</sub> =4000psi	f <sub>c</sub> =5000psi
#3	6"	6"	6"
#4	8"	7"	6"
#5	10"	9"	8"
#6	12"	10"	9"
#7	14"	12"	11"
#8	16"	14"	12"
#9	18"	15"	14"
#10	20"	17"	16"
#11	22"	19"	17"
#14	38"	33"	29"
#18	50"	43"	39"

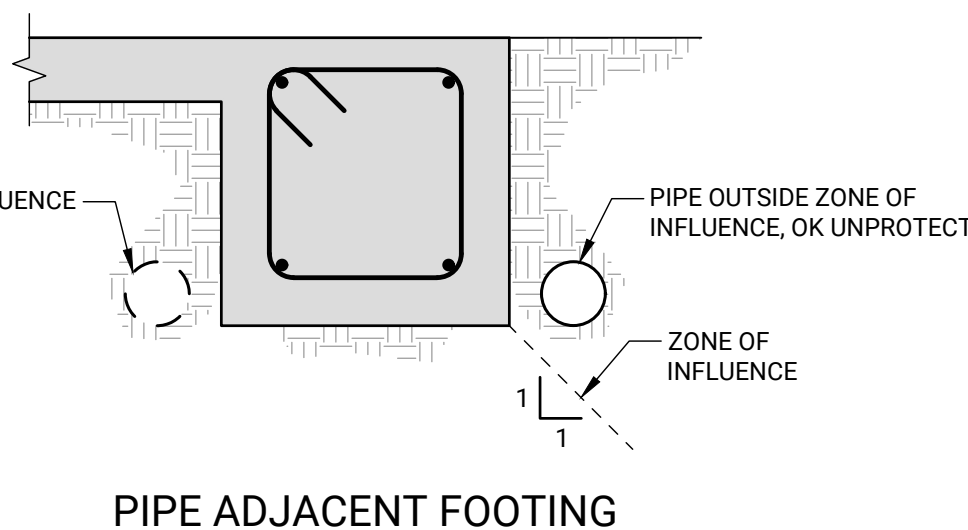
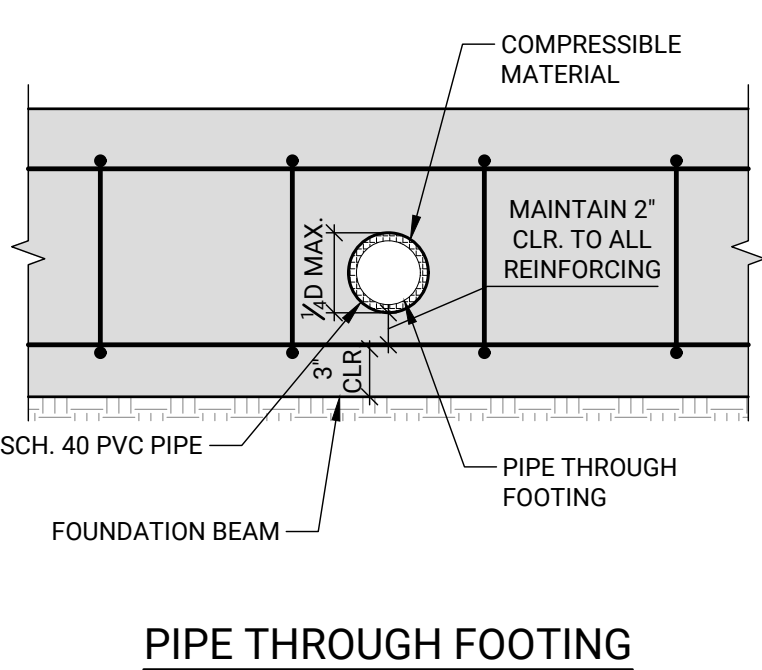
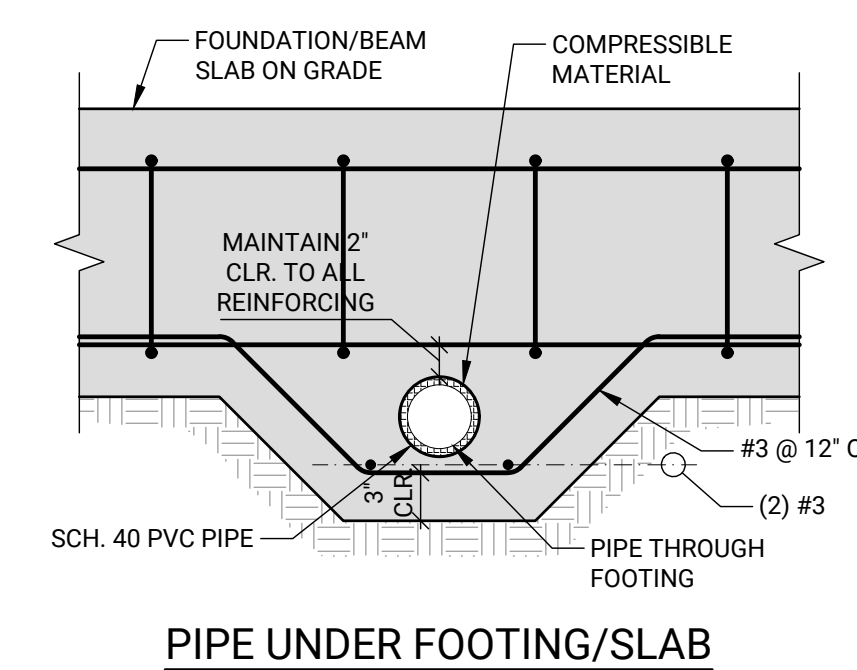
CONCRETE STRENGTH f <sub>c</sub>	LOCATION	REBAR SIZE										
		#3	#4	#5	#6	#7	#8	#9	#10	#11		
≥ 2500	l <sub>s</sub> = LAP SPLICE LENGTH, INCHES (CLASS B = 1.3x <sub>l<sub>d</sub></sub> )											
	TOP*	24	32	39	47	55	63	80	101	124		
	BOTTOM	19	25	30	37	42	49	62	77	95		
	l <sub>t</sub> = TENSION DEVELOPMENT LENGTH, INCHES											
≥ 3000	l <sub>s</sub> = LAP SPLICE LENGTH, INCHES (CLASS B = 1.3x <sub>l<sub>d</sub></sub> )											
	TOP*	24	29	37	43	50	58	73	91	112		
	BOTTOM	17	23	28	33	39	45	56	71	88		
	l <sub>t</sub> = TENSION DEVELOPMENT LENGTH, INCHES											
≥ 4000	l <sub>s</sub> = LAP SPLICE LENGTH, INCHES (CLASS B = 1.3x <sub>l<sub>d</sub></sub> )											
	TOP*	24	25	32	38	43	50	63	80	98		
	BOTTOM	16	20	24	29	34	38	49	62	76		
	l <sub>t</sub> = TENSION DEVELOPMENT LENGTH, INCHES											
* MORE THAN 12" OF FRESH CONCRETE CAST BELOW BAR, USE TOP IF UNKNOWN												



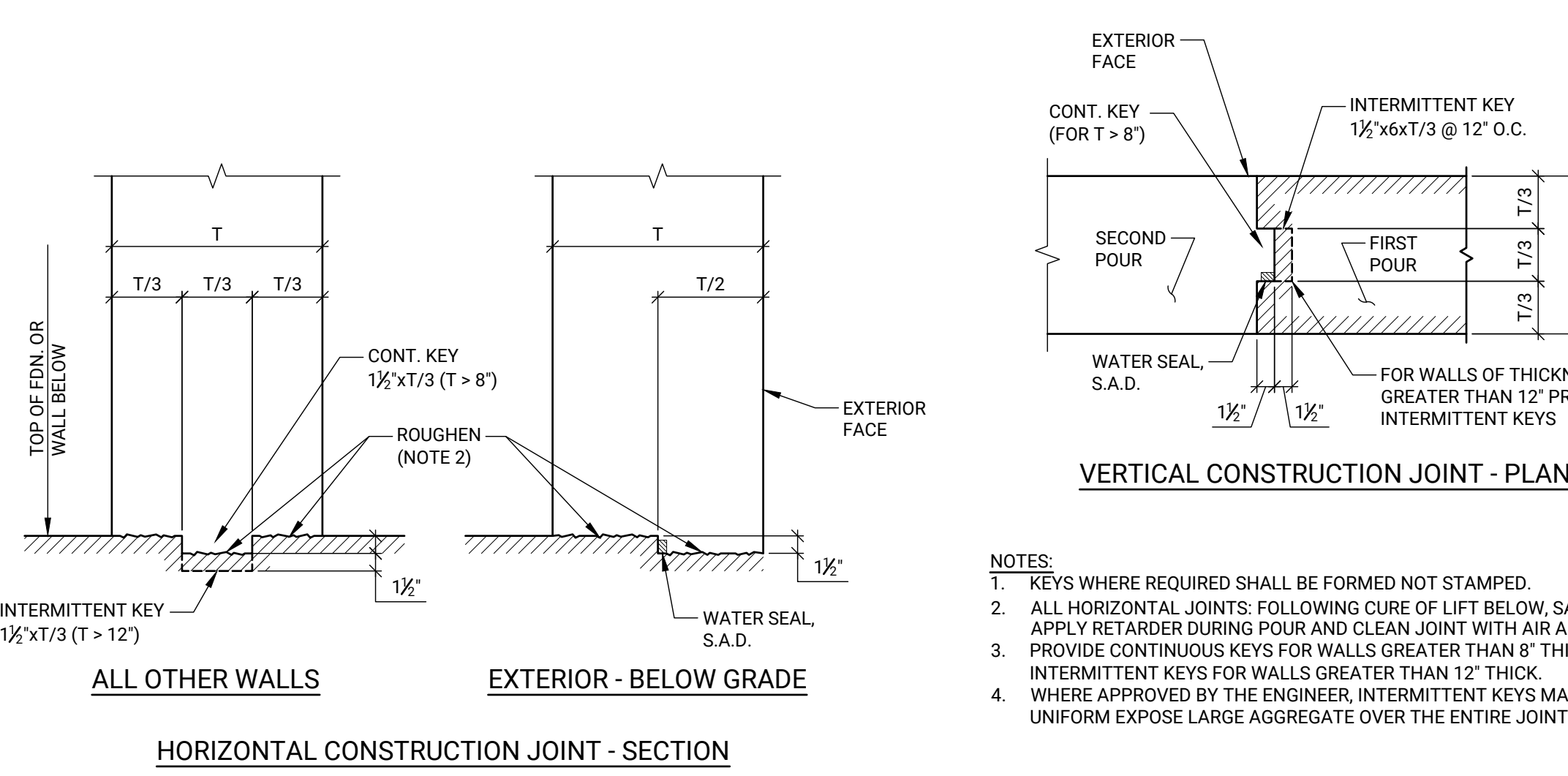
**6 REINFORCEMENT LAP SPLICE**  
NTS



**7 TYPICAL STEPPED FOOTING**  
NTS



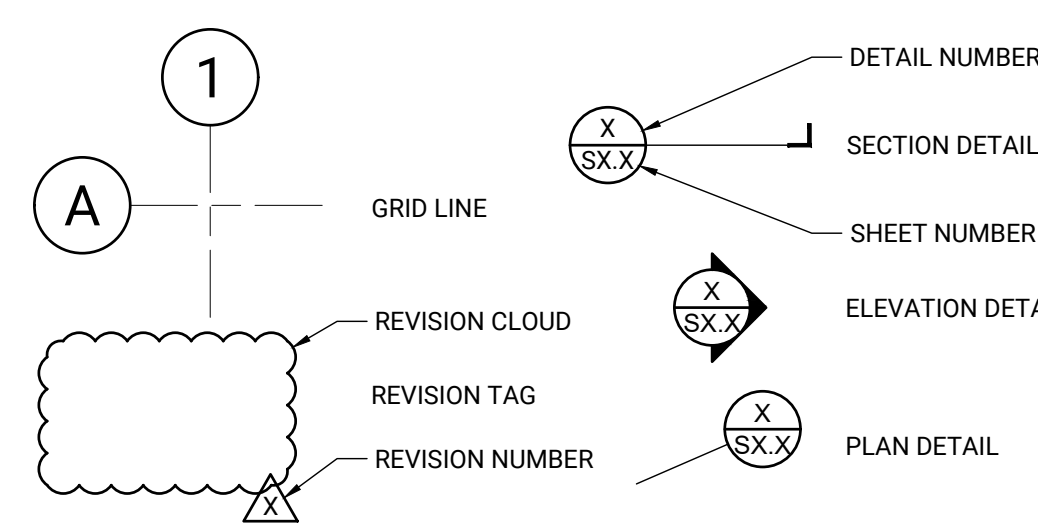
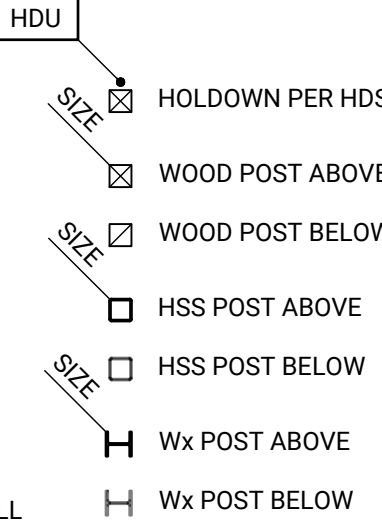
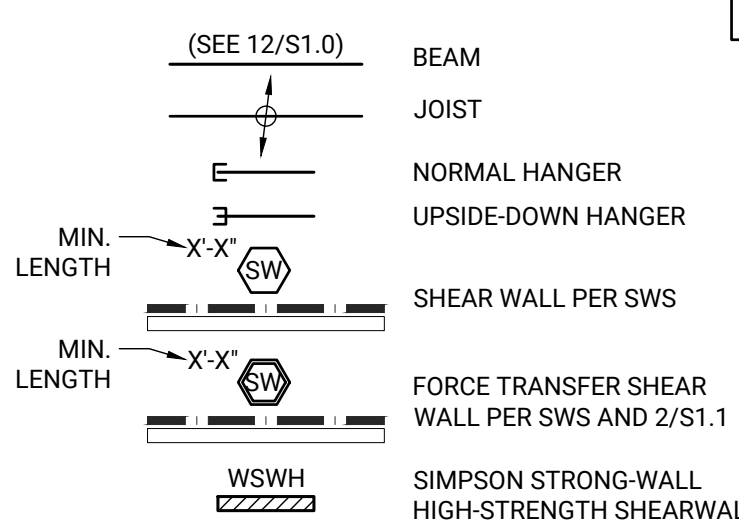
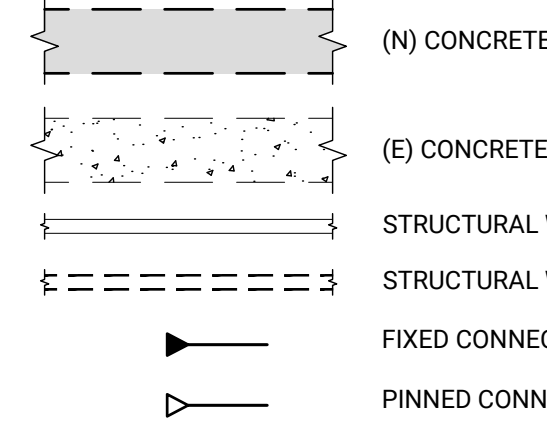
**9 PIPES THROUGH/UNDER/ADJACENT FOOTING SLAB**  
NTS



- NOTES:
1. KEYS WHERE REQUIRED SHALL BE FORMED NOT STAMPED.
  2. ALL HORIZONTAL JOINTS: FOLLOWING CURE OF LIFT BELOW, SAND BLAST TO 1/2" AMPLITUDE, OR APPLY RETARDER DURING POUR AND CLEAN JOINT WITH AIR AND WATER.
  3. PROVIDE CONTINUOUS KEYS FOR WALLS GREATER THAN 8" THICK. PROVIDE CONTINUOUS & INTERMITTENT KEYS FOR WALLS GREATER THAN 12" THICK.
  4. WHERE APPROVED BY THE ENGINEER, INTERMITTENT KEYS MAY BE REPLACED BY ROUGHENING TO UNIFORM EXPOSE LARGE AGGREGATE OVER THE ENTIRE JOINT SURFACE.

**11 TYPICAL CONSTRUCTION JOINTS AT CONCRETE WALLS**  
NTS

**PLAN SYMBOLS LEGEND:**

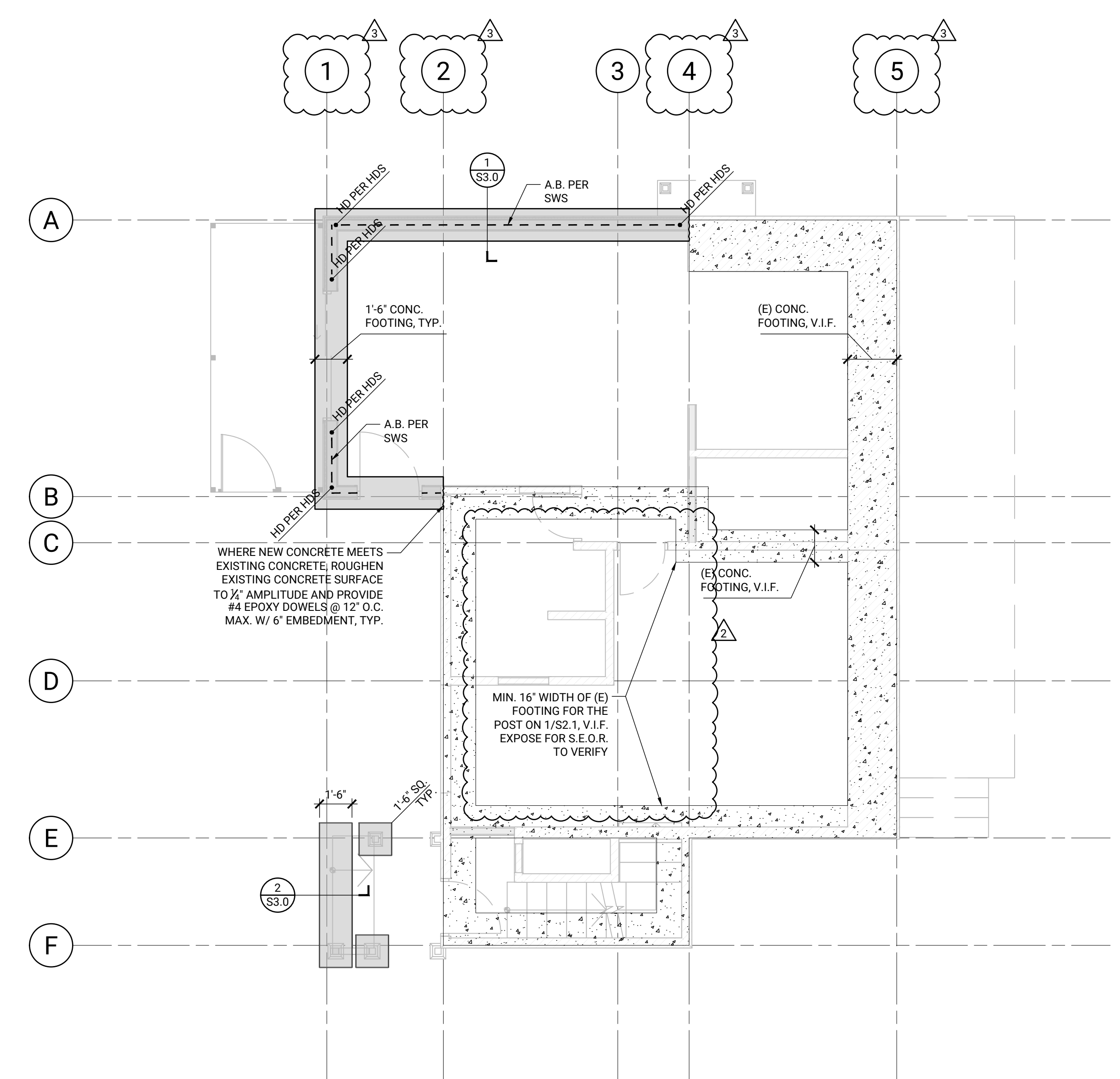


**SHEET NOTES:**

- FOR GENERAL NOTES SEE SHEET S0 SERIES.
- FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
- FOR CUSTOM DETAILS SEE SHEET S3 SERIES.
- IF (E) CONDITIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
- WATERPROOFING, DRAINAGE, AND VENTILATION BY OTHERS.
- ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX, SEE 10/S1.1.
- FOR HOLDDOWN INSTALLATION AT (E)/(N) FOOTING SEE 1/S1.2.
- ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
- ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
- FOR SHEAR WALLS TYPE 2 & 3, PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES PER SWS, SEE 3/S1.1.
- 4x, 6x AND 8x MAY BE MADE UP OF (2)-2x, (3)-2x AND (4)-2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 2/S1.1 HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N.
- HANGERS FOR 4x OR 6x BEAMS TO BE HU U.O.N.
- NEW HEADERS TO BE 4x6 U.O.N.
- PROVIDE SIMP. EPCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
- SHORING OF EXISTING STRUCTURE BY CONTRACTOR.
- PLAN DIMENSIONS SHOWN ARE APPROXIMATE.
- UNLESS OTHERWISE NOTED, ANY SIMPSON PRODUCT USED SHALL FILL ALL NAIL/SCREW BOLT HOLES TO ACHIEVE MAXIMUM RATED CAPACITY.

**KEY NOTES:**

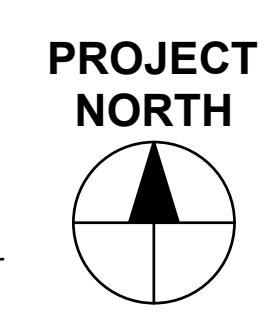
- 5" MIN. S.O.G. W/ #4 @ 12" O.C. EA. WAY PER 3/S1.3. SUBMIT CONSTRUCTION & CONTROL JOINT LOCATIONS TO SEOR PRIOR TO CONSTRUCTION PER 4/S1.3 & GENERAL NOTES
- (E) S.O.G.
- 3/4" PLYWOOD FLOOR W/ 10d E.N. @ 6" O.C. & F.N. @ 12" O.C. PER 10/S1.2, UNBLOCKED
- (E) ROOF/FLOOR SHEATHING
- (E) DECKING
- 1x6 [3/4"x5/8" TRUE] FLAT TREX DECKING, W/ 1/2" GAPS BETWEEN ADJACENT PLANKS & (2) 20d NAILS IN EACH PLANK @ EACH JOIST



WHERE NEW CONCRETE MEETS EXISTING CONCRETE, ROUGHEN EXISTING CONCRETE SURFACE TO 1/2" AMPLITUDE AND PROVIDE #4 EPOXY DOWELS @ 12" O.C. MAX. W/ 6" EMBEDMENT, TYP.

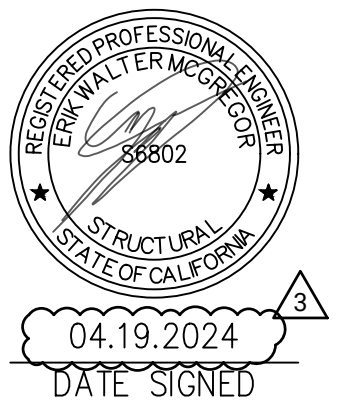
MIN. 16" WIDTH OF (E) FOOTING FOR THE POST ON 1/S2.1, V.I.F. EXPOSE FOR S.E.O.R. TO VERIFY

**1** FOUNDATION PLAN  
1/4" = 1'-0"



THE CONTRACTOR MUST NOTIFY WMSTRUCTURAL ON OR BEFORE COMMENCEMENT OF CONSTRUCTION. SEND AN EMAIL TO INFO@WMSTRUCTURAL.COM STATING DATE OF CONSTRUCTION KICK-OFF.

**SEOR STAMP**



**AHJ STAMP**

**OWNERS**

CITY OF SAUSALITO

**PROJECT ADDRESS**

429.5 JOHNSON STREET  
SAUSALITO, CA 94965

**429.5 JOHNSON STREET -  
ADU CONVERSION**

**SUBMITTAL**

PERMIT	08.31.2023
△ PLAN CHECK 1 RESPONSE	11.27.2023
△ PERMIT REV. 2	03.26.2024
△ PERMIT REV. 3	04.19.2024

23-505  
wmstructural JOB NUMBER

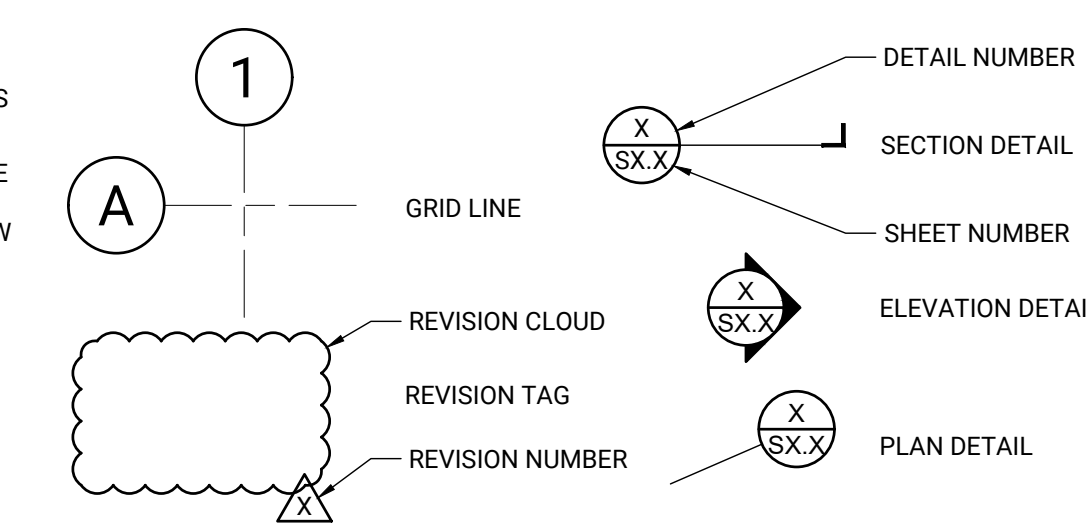
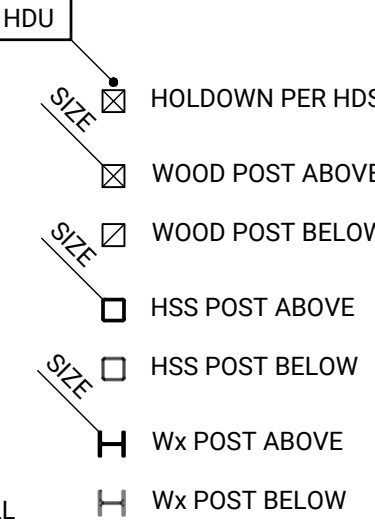
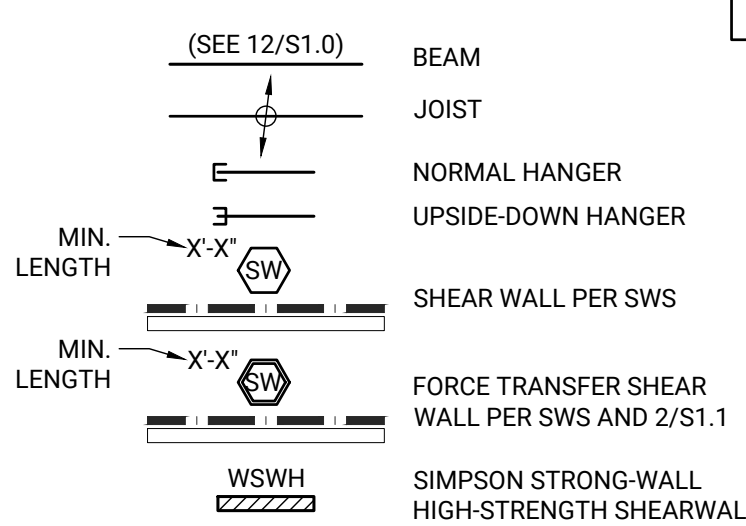
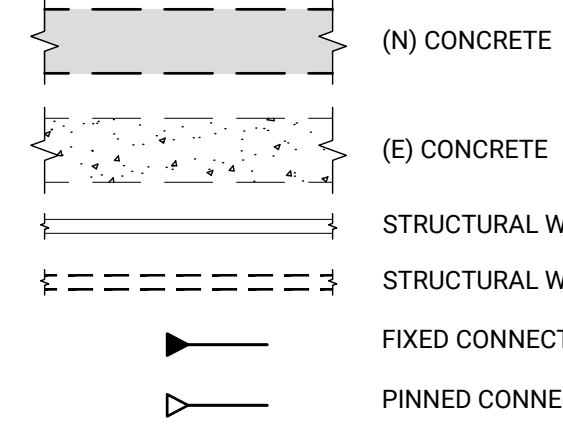
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DRAWN BY

1/4" = 1'-0"  
SCALE

FOUNDATION PLAN  
SHEET TITLE

**S2.0**

PLAN SYMBOLS LEGEND:



SHEET NOTES:

- 1. FOR GENERAL NOTES SEE SHEET S0 SERIES.
2. FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
3. FOR CUSTOM DETAILS SEE SHEET S3 SERIES.
4. IF (E) CONDITIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
5. WATERPROOFING, DRAINAGE, AND VENTILATION BY OTHERS. ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX, SEE 10/S1.1.
6. ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
7. FOR HOLDOWN INSTALLATION AT (E)/(N) FOOTING SEE 1/S1.2.
8. ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
9. ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
10. FOR SHEAR WALLS TYPE 2 & 3, PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES PER SWS, SEE 3/S1.1.
11. 4x, 6x AND 8x MAY BE MADE UP OF (2)-2x, (3)-2x AND (4)-2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 2/S1.1. HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N. HANGERS FOR 4x OR 6x BEAMS TO BE HU U.O.N.
12. NEW HEADERS TO BE 4x6 U.O.N.
13. PROVIDE SIMP. EPCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
14. SHORING OF EXISTING STRUCTURE BY CONTRACTOR.
15. UNLESS OTHERWISE NOTED, ANY SIMPSON PRODUCT USED SHALL FILL ALL NAIL/SCREW BOLT HOLES TO ACHIEVE MAXIMUM RATED CAPACITY.

KEY NOTES:

- 1 5" MIN. S.O.G. W/ #4 @ 12" O.C. EA. WAY PER 3/S1.3. SUBMIT CONSTRUCTION & CONTROL JOINT LOCATIONS TO SEOR PRIOR TO CONSTRUCTION PER 4/S1.3 & GENERAL NOTES
2 (E) S.O.G.
3 3/4" PLYWOOD FLOOR W/ 10d E.N. @ 6" O.C. & F.N. @ 12" O.C. PER 10/S1.2, UNBLOCKED
4 (E) ROOF/FLOOR SHEATHING
5 (E) DECKING
6 1x6 [3/4"x5 1/2" TRUE] FLAT TREX DECKING, W/ 1/2" GAPS BETWEEN ADJACENT PLANKS & (2) 20d NAILS IN EACH PLANK @ EACH JOIST

SEOR STAMP



AHJ STAMP

OWNERS

CITY OF SAUSALITO

PROJECT ADDRESS

429.5 JOHNSON STREET SAUSALITO, CA 94965

429.5 JOHNSON STREET - ADU CONVERSION

SUBMITTAL

Table with 2 columns: Permit/Response, Date. Includes entries for PERMIT (08.31.2023), PLAN CHECK 1 RESPONSE (11.27.2023), PERMIT REV. 2 (03.26.2024), PERMIT REV. 3 (04.19.2024).

23-505 wmstructural JOB NUMBER

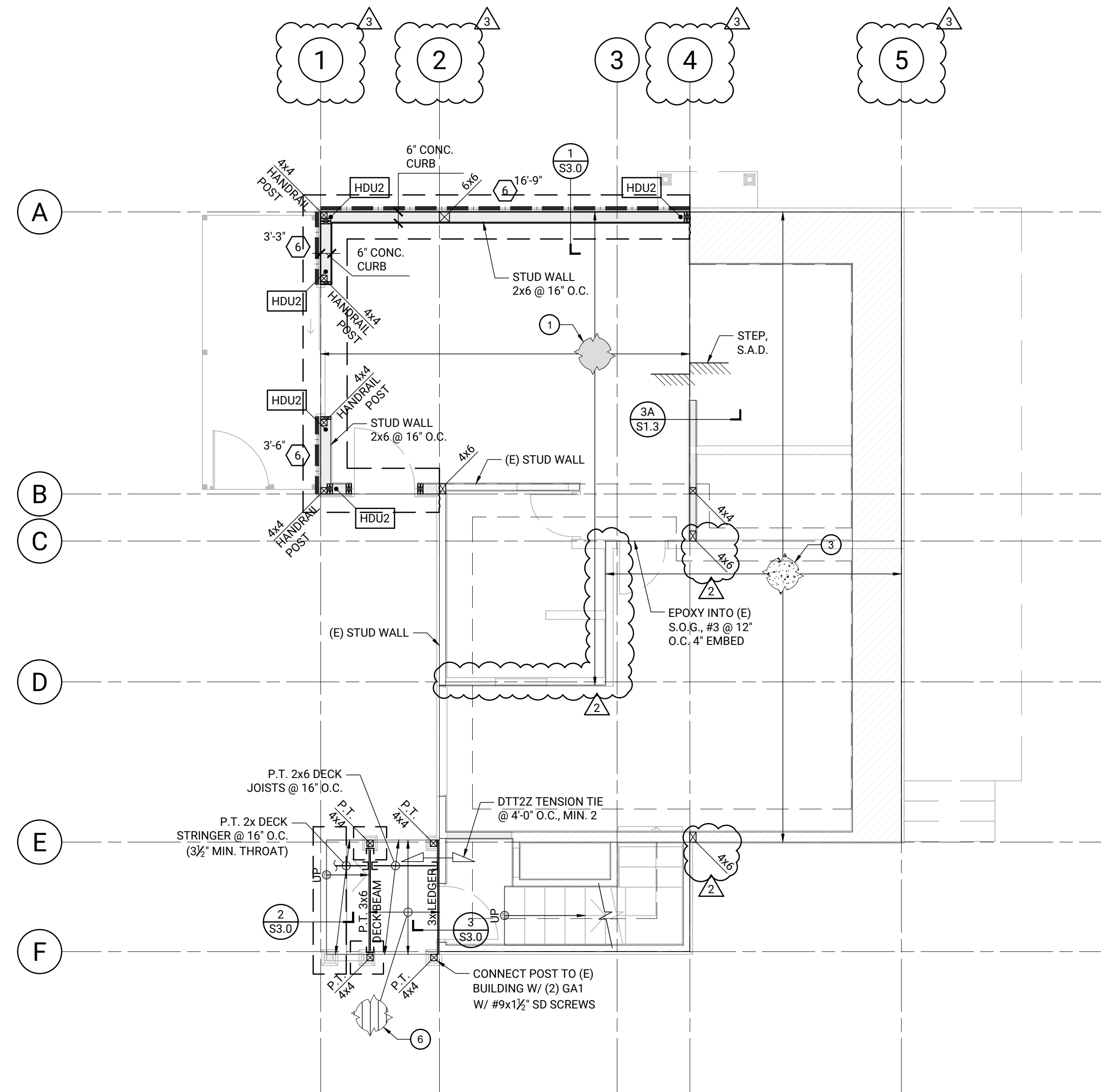
AA DRAWN BY

1/4" = 1'-0" SCALE

LEVEL 1 FRAMING PLAN SHEET TITLE

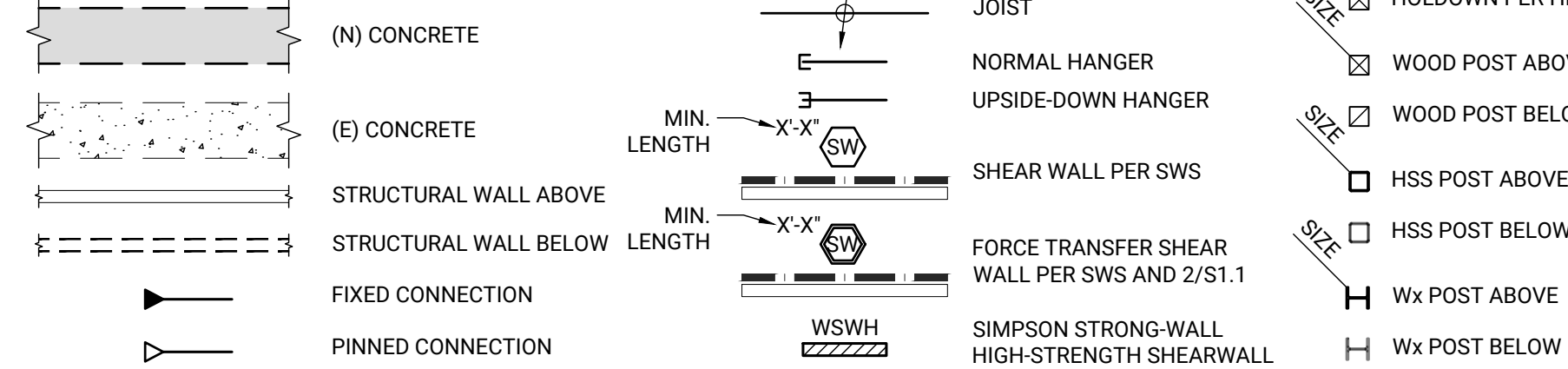
S2.1

1 FIRST FLOOR FRAMING PLAN 1/4" = 1'-0"





**PLAN SYMBOLS LEGEND:**



**SHEET NOTES:**

- FOR GENERAL NOTES SEE SHEET S0 SERIES.
- FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
- FOR CUSTOM DETAILS SEE SHEET S3 SERIES.
- IF (E) CONDITIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
- WATERPROOFING, DRAINAGE, AND VENTILATION BY OTHERS.
- ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX, SEE 10/S1.1.
- FOR HOLDOWN INSTALLATION AT (E)/(N) FOOTING SEE 1/S1.2.
- ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
- ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
- FOR SHEAR WALLS TYPE 2 & 3, PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES PER SWS, SEE 3/S1.1.
- 4x, 6x AND 8x MAY BE MADE UP OF (2)-2x, (3)-2x AND (4)-2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 2/S1.1.
- HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N. HANGERS FOR 4x OR 6x BEAMS TO BE HU U.O.N.
- NEW HEADERS TO BE 4x6 U.O.N.
- PROVIDE SIMP. EPCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
- SHORING OF EXISTING STRUCTURE BY CONTRACTOR.
- PLAN DIMENSIONS SHOWN ARE APPROXIMATE.
- UNLESS OTHERWISE NOTED, ANY SIMPSON PRODUCT USED SHALL FILL ALL NAIL/SCREW BOLT HOLES TO ACHIEVE MAXIMUM RATED CAPACITY.

**KEY NOTES:**

- 5' MIN. S.O.G. W/ #4 @ 12" O.C. EA. WAY PER 3/S1.3. SUBMIT CONSTRUCTION & CONTROL JOINT LOCATIONS TO SEOR PRIOR TO CONSTRUCTION PER 4/S1.3 & GENERAL NOTES
- (E) S.O.G.
- 3/4" PLYWOOD FLOOR W/ 10d E.N. @ 6" O.C. & F.N. @ 12" O.C. PER 10/S1.2, UNBLOCKED
- (E) ROOF/FLOOR SHEATHING
- (E) DECKING
- 1x6 [3/4"x5/8" TRUE] FLAT TREX DECKING, W/ 1/2" GAPS BETWEEN ADJACENT PLANKS & (2) 20d NAILS IN EACH PLANK @ EACH JOIST

**SEOR STAMP**



**AHJ STAMP**

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429.5 JOHNSON STREET  
SAUSALITO, CA 94965

**429.5 JOHNSON STREET -  
ADU CONVERSION**

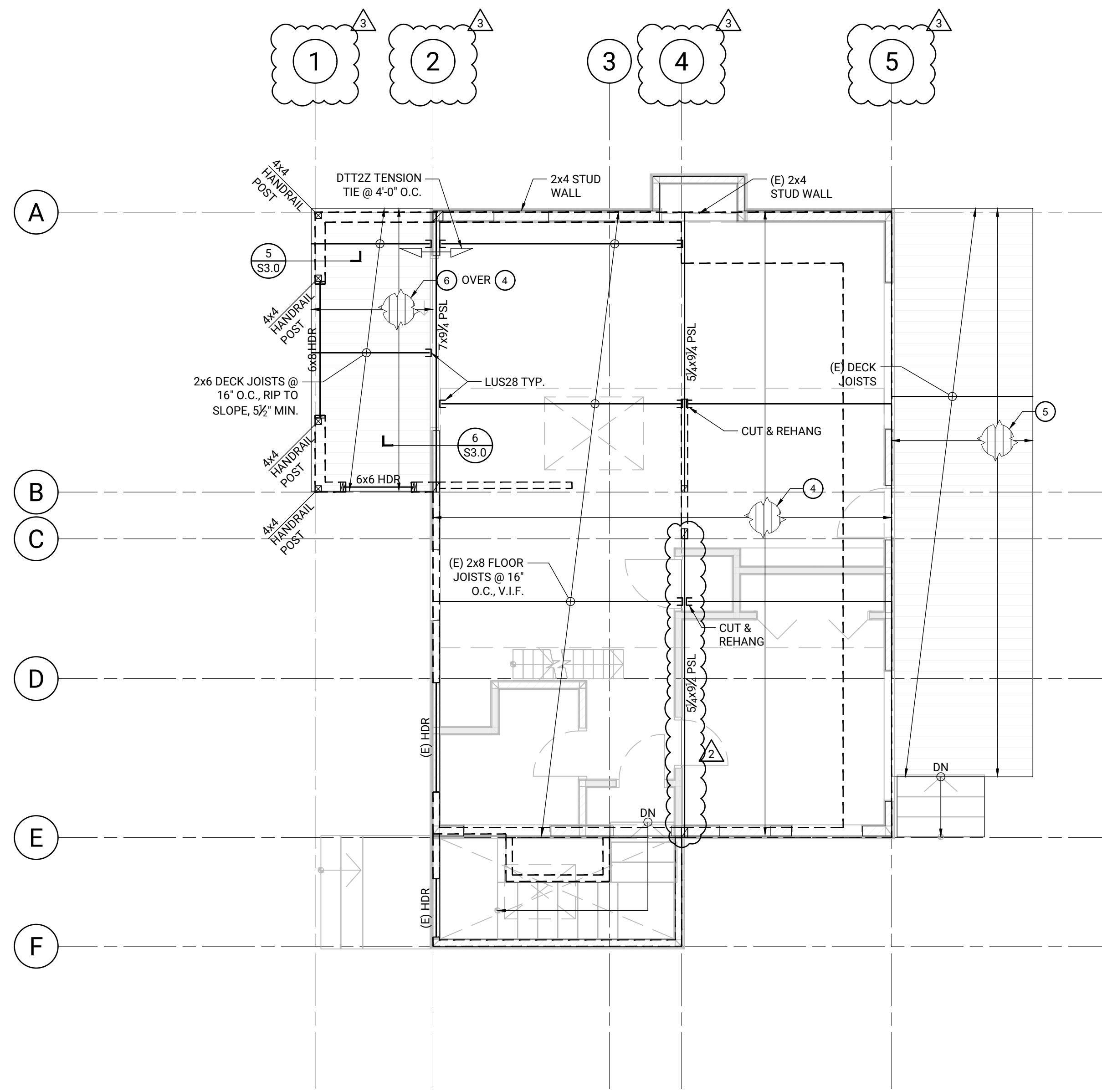
**SUBMITTAL**

PERMIT	08.31.2023
△ PLAN CHECK 1 RESPONSE	11.27.2023
△ PERMIT REV. 2	03.26.2024
△ PERMIT REV. 3	04.19.2024

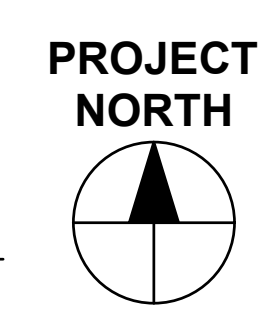
23-505  
wmstructural JOB NUMBER  
  
AA  
DRAWN BY  
  
1/4" = 1'-0"  
SCALE

LEVEL 2 FRAMING PLAN  
SHEET TITLE

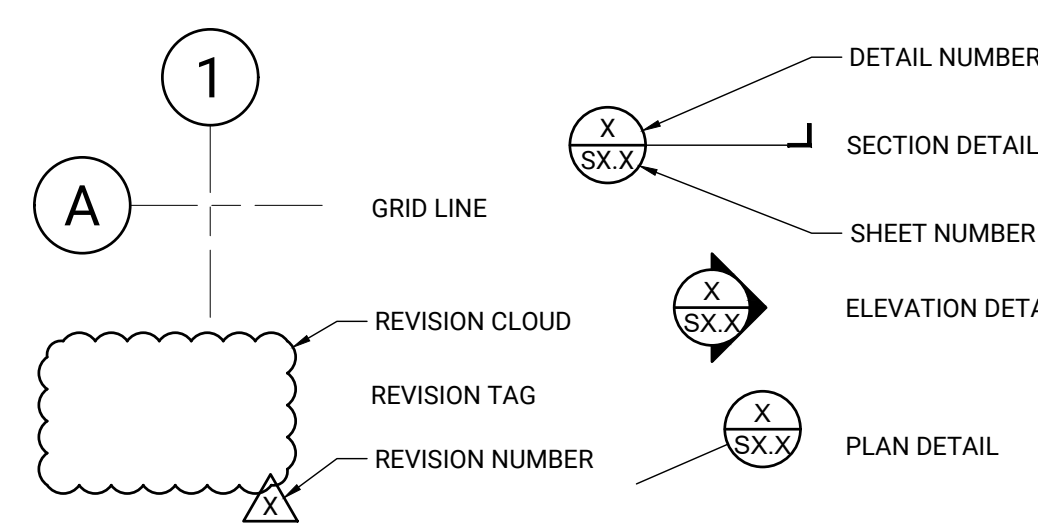
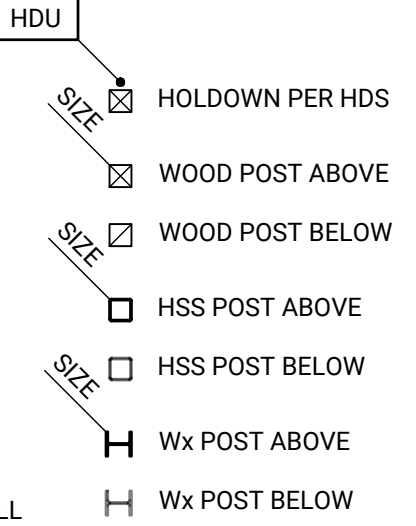
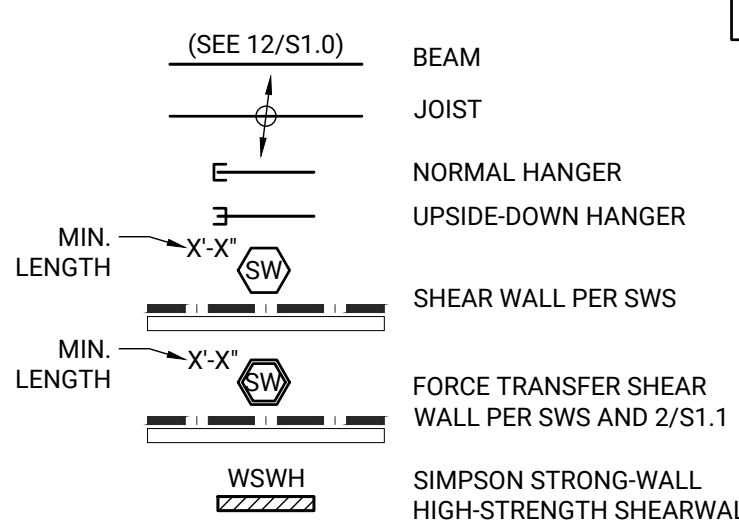
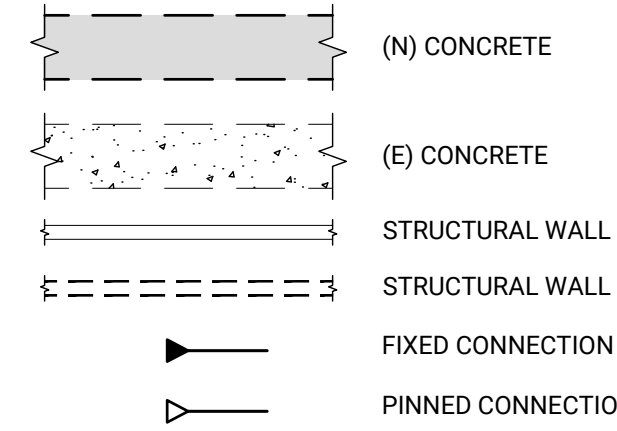
**S2.2**



**1 SECOND FLOOR FRAMING PLAN**  
1/4" = 1'-0"



**PLAN SYMBOLS LEGEND:**



**SHEET NOTES:**

- FOR GENERAL NOTES SEE SHEET S0 SERIES.
- FOR TYPICAL DETAILS SEE SHEET S1 SERIES.
- FOR CUSTOM DETAILS SEE SHEET S3 SERIES.
- IF (E) CONDITIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER BEFORE PROCEEDING.
- WATERPROOFING, DRAINAGE, AND VENTILATION BY OTHERS.
- ALL SILL PLATES TO BE ANCHOR BOLTED AT 48" O.C. MAX, SEE 10/S1.1.
- FOR HOLDOWN INSTALLATION AT (E)/(N) FOOTING SEE 1/S1.2.
- ALL (N) EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C.
- ALL (N) EXTERIOR WALLS SHALL BE BUILT PER TYPE 6 SHEAR WALL U.O.N.
- FOR SHEAR WALLS TYPE 2 & 3, PROVIDE 3x STUDS, PLATES AND BLOCKING AT ADJOINING PANEL EDGES PER SWS, SEE 3/S1.1.
- 4x, 6x AND 8x MAY BE MADE UP OF (2)-2x, (3)-2x AND (4)-2x, RESPECTIVELY, CONNECTED TOGETHER PER DET. 2/S1.1. HANGERS FOR 2x JOISTS TO BE TYPE U, LU, OR JB U.O.N.
- HANGERS FOR 4x OR 6x BEAMS TO BE HU U.O.N.
- NEW HEADERS TO BE 4x6 U.O.N.
- PROVIDE SIMP. EPCZ POST CAPS OR SIM. AT ALL POST TO BEAM CONNECTIONS.
- SHORING OF EXISTING STRUCTURE BY CONTRACTOR.
- PLAN DIMENSIONS SHOWN ARE APPROXIMATE.
- UNLESS OTHERWISE NOTED, ANY SIMPSON PRODUCT USED SHALL FILL ALL NAIL/SCREW BOLT HOLES TO ACHIEVE MAXIMUM RATED CAPACITY.

**KEY NOTES:**

- 5" MIN. S.O.G. W/ #4 @ 12" O.C. EA. WAY PER 3/S1.3. SUBMIT CONSTRUCTION & CONTROL JOINT LOCATIONS TO SEOR PRIOR TO CONSTRUCTION PER 4/S1.3 & GENERAL NOTES
- (E) S.O.G.
- 3/4" PLYWOOD FLOOR W/ 10d E.N. @ 6" O.C. & F.N. @ 12" O.C. PER 10/S1.2, UNBLOCKED
- (E) ROOF/FLOOR SHEATHING
- (E) DECKING
- 1x6 [3/4"x5/8" TRUE] FLAT TREX DECKING, W/ 1/2" GAPS BETWEEN ADJACENT PLANKS & (2) 20d NAILS IN EACH PLANK @ EACH JOIST

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429.5 JOHNSON STREET  
SAUSALITO, CA 94965

**429.5 JOHNSON STREET -  
ADU CONVERSION**

**SUBMITTAL**

PERMIT	08.31.2023
PLAN CHECK 1 RESPONSE	11.27.2023
PERMIT REV. 3	04.19.2024

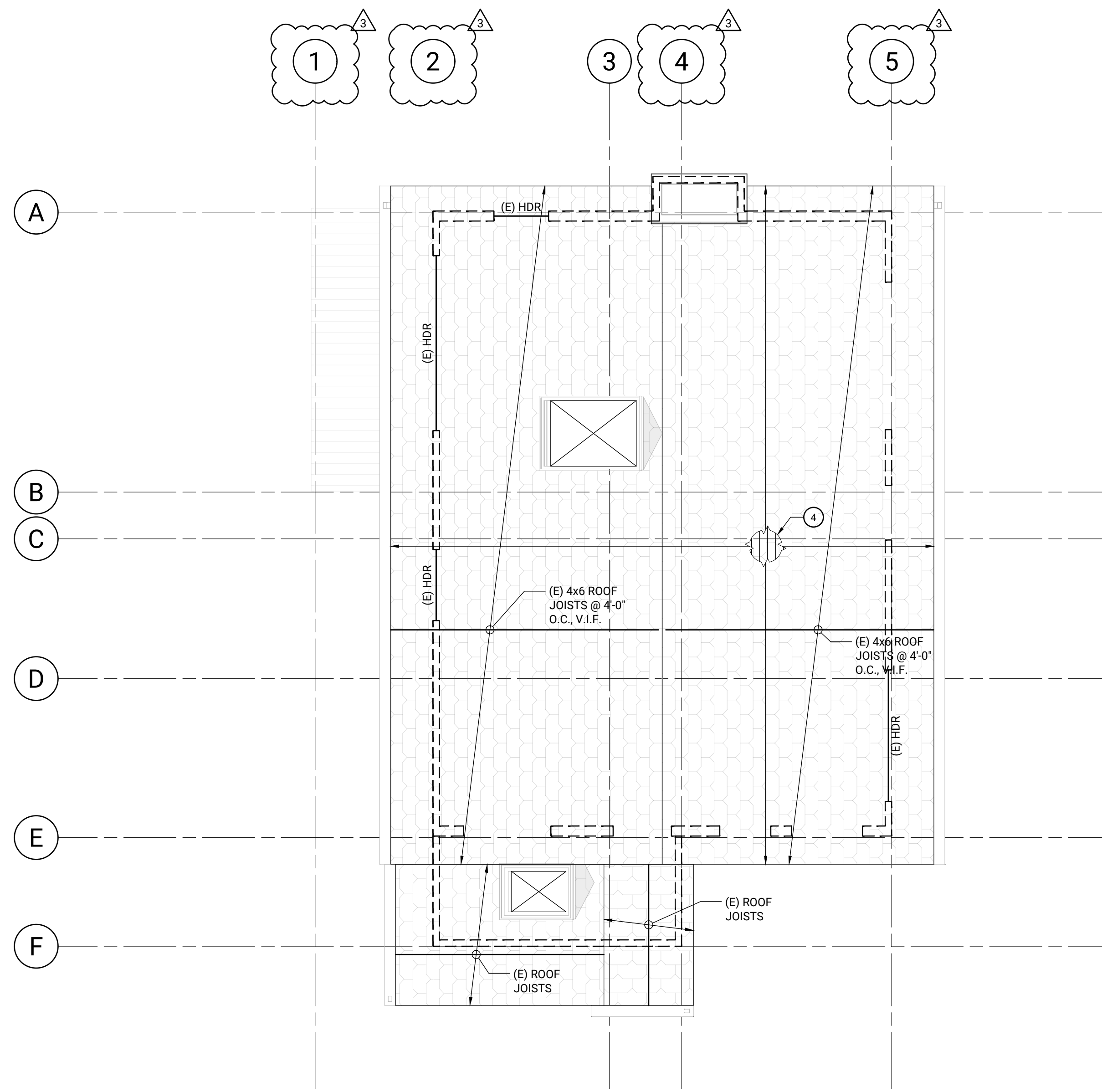
23-505  
wmstructural JOB NUMBER

AA  
DRAWN BY

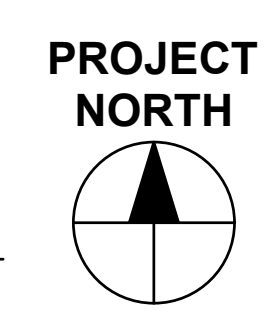
1/4" = 1'-0"  
SCALE

ROOF FRAMING PLAN  
SHEET TITLE

**S2.3**



**1** ROOF FRAMING PLAN  
1/4" = 1'-0"



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429.5 JOHNSON STREET -  
ADU CONVERSION

SUBMITTAL

PERMIT	08.31.2023
△ PLAN CHECK 1 RESPONSE	11.27.2023

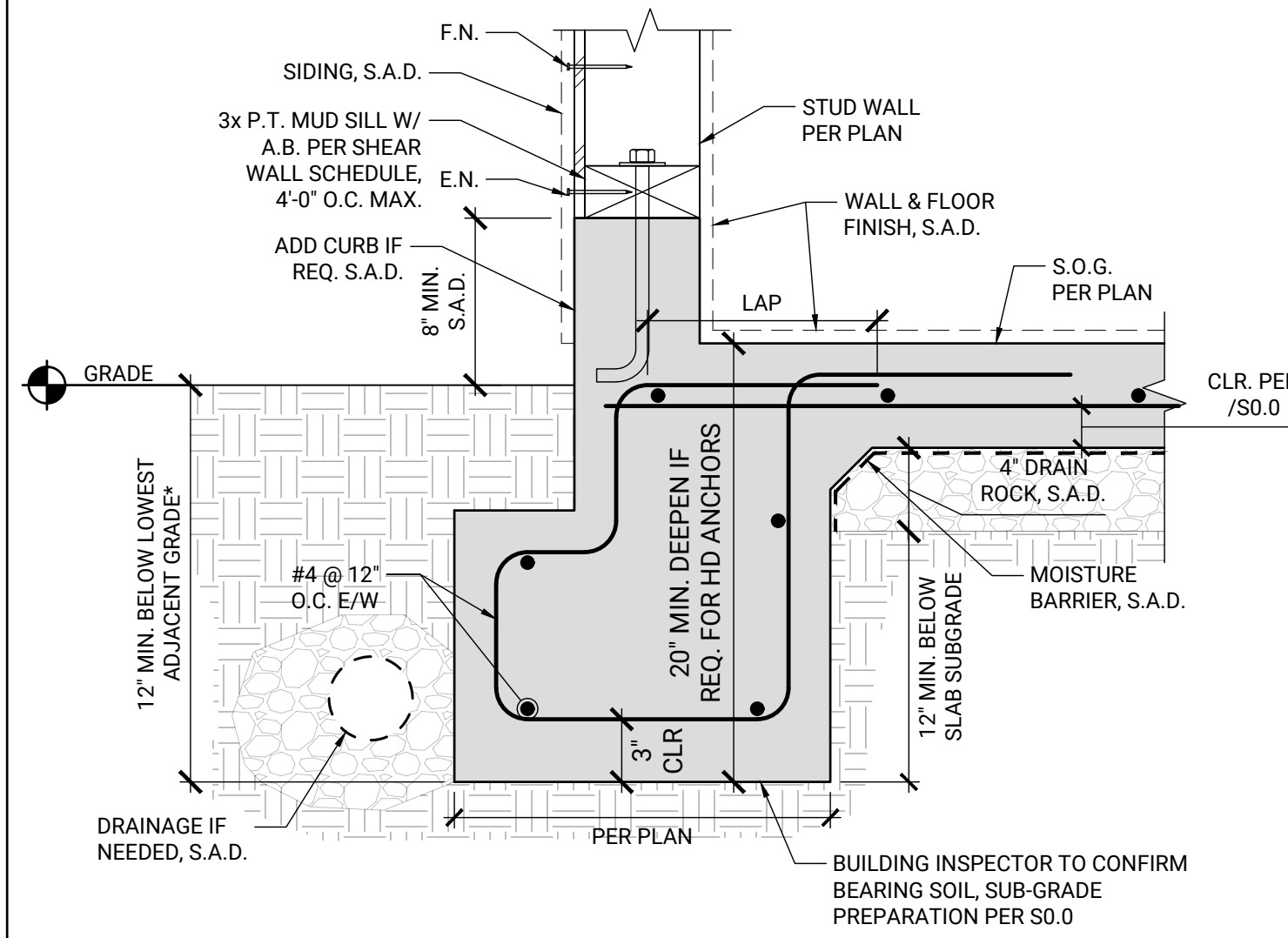
23-505  
wmstructural JOB NUMBER

AA  
DRAWN BY

1 1/2" = 1'-0"  
SCALE

CUSTOM DETAILS  
SHEET TITLE

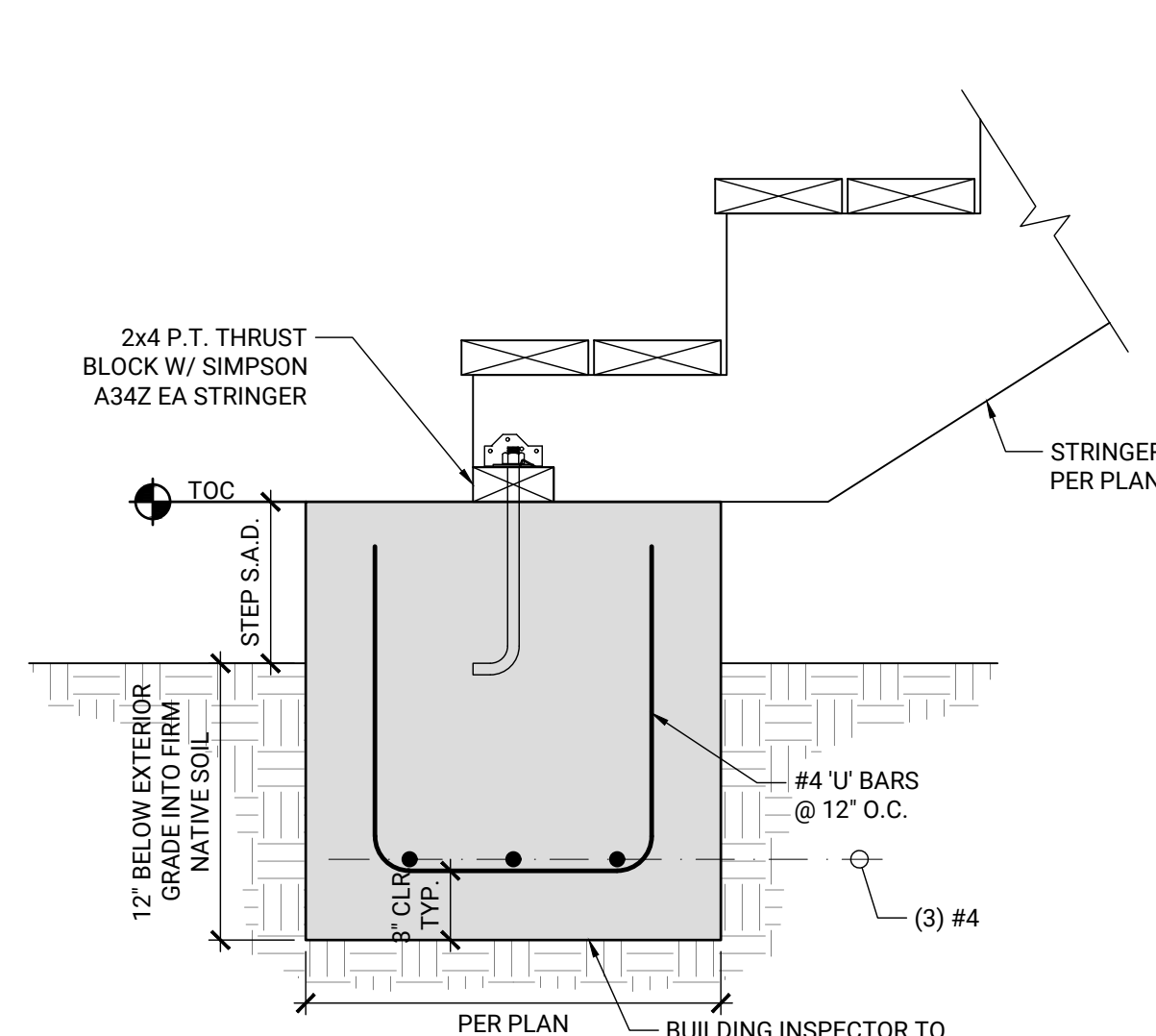
S3.0



\*LOWEST ADJACENT EXTERIOR FINISHED GRADE SHOULD BE CONSIDERED TO BE THE LOWEST GRADE WITHIN 5 FEET OF THE EDGE OF THE FOUNDATION

1 TYPICAL FOUNDATION

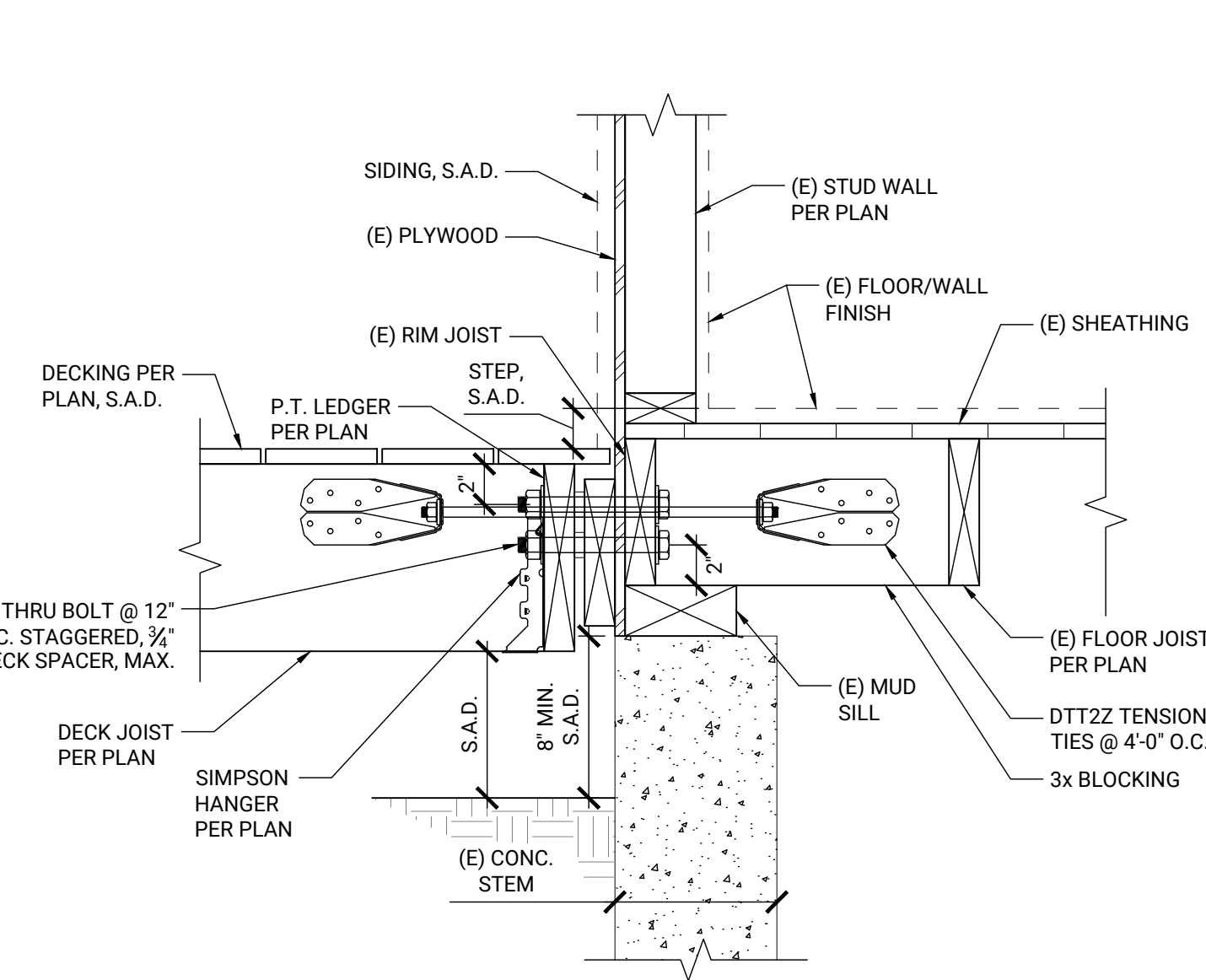
1-1/2" = 1'-0"



\*LOWEST ADJACENT EXTERIOR FINISHED GRADE SHOULD BE CONSIDERED TO BE THE LOWEST GRADE WITHIN 5 FEET OF THE EDGE OF THE FOUNDATION

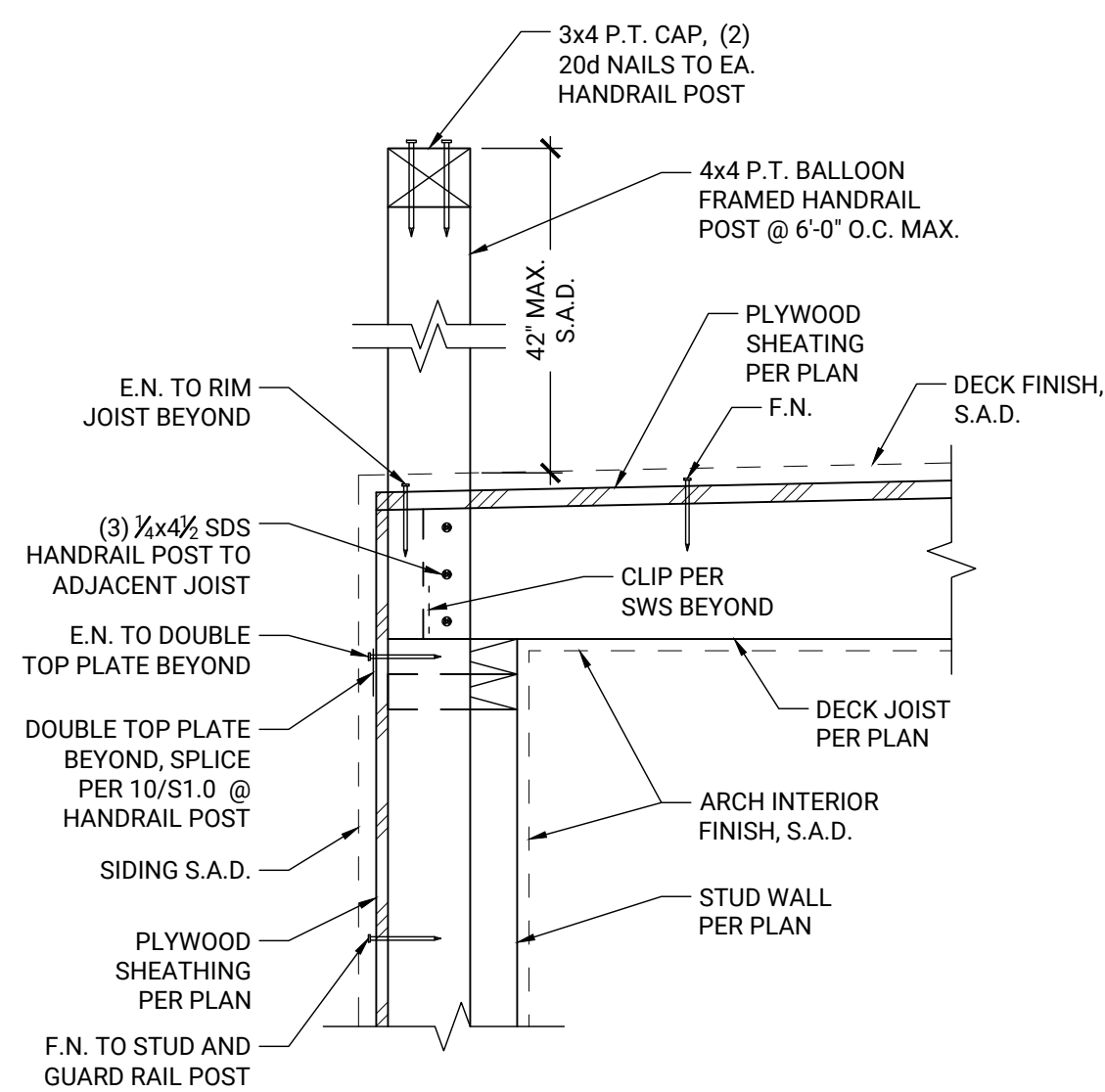
2 STAIR FOOTING

1-1/2" = 1'-0"



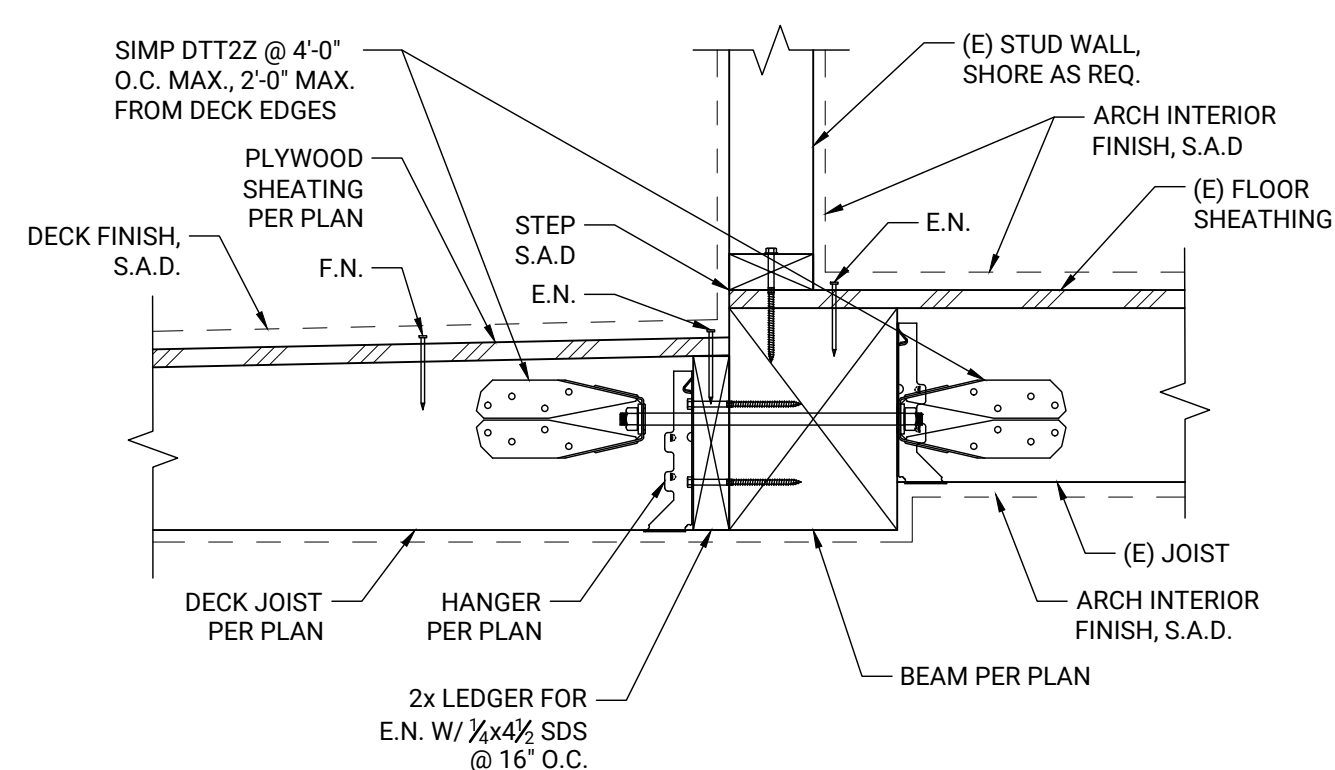
3 LEDGER TO DECKING

1-1/2" = 1'-0"



5 DECK EDGE @ HANDRAIL

1-1/2" = 1'-0"



6 DECK TO BEAM

1-1/2" = 1'-0"