

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2024-11**

**APPROVAL OF A DESIGN REVIEW PERMIT WITH HEIGHTENED REVIEW AND A
RECOMMENDATION OF APPROVAL FOR AN ENCROACHMENT AGREEMENT FOR THE
IN-KIND REPLACEMENT OF A PARKING DECK, THREE EXTERIOR DECKS, AND AN
ENTRY STAIRCASE AT 412-414 SAUSALITO BOULEVARD**

APN: 065-252-44

PROJECT ID: 2023-00144

WHEREAS, an application has been filed by the Applicant Don David, on behalf of Owners, Winston Ashmeade and David Johnson, requesting a Design Review Permit with Heightened Review and an Encroachment Agreement to replace-in-kind a 610 square-foot elevated parking deck and to repair and replace-in-kind three exterior decks and an exterior entry staircase, which were damaged or destroyed by a mudslide on February 14, 2019, at 412-414 Sausalito Boulevard (APN: 065-252-44) (“the Project”); and

WHEREAS, the project site is located within the General Plan Medium High Density Residential land use designation and the Two-Family (R-2-2.5) Zoning District; and

WHEREAS, the Planning Commission has reviewed a Design Review Permit with Heightened Review and an Encroachment Agreement for the proposed Project and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed Project; and

WHEREAS, the Planning Commission has reviewed and considered the Project plans titled “Earth Slide Repair and Parking Deck Replacement”, received April 30, 2024; and

WHEREAS, the Planning Commission finds that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

WHEREAS, the Planning Commission finds that the requisite findings for approval set forth in SMC Section 10.54.050 D; Section 10.54.050 E; and Section 10.56.060 can be made; and;

WHEREAS, on February 26, 2019, the Sausalito City Council voted to waive permit and plan check fees associated with the in-kind replacement of structures damaged or destroyed by the mudslide on February 14, 2019; and

WHEREAS, approval of the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction) under the California Environmental Quality Act (CEQA) Guidelines;

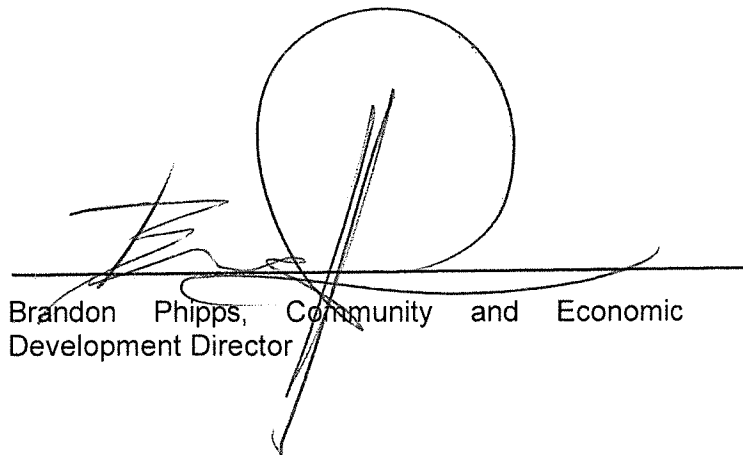
NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction) under the California Environmental Quality Act (CEQA) Guidelines.

2. The Design Review Permit with Heightened Review to replace a 610 square-foot elevated parking deck in-kind, and to repair and replace three exterior decks and an exterior entry staircase in-kind, all of which were damaged or destroyed by a mudslide on February 14, 2019, at 412-414 Sausalito Boulevard (APN: 065-252-44) is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Earth Slide Repair and Parking Deck Replacement", received April 30, 2024 (Attachment 3).
3. The Encroachment Agreement to allow the in-kind replacement of a 610 square-foot parking deck that was destroyed by a mudslide on February 14, 2019, at 412-414 Sausalito Boulevard (APN: 065-252-44) is recommended for City Council approval based upon the findings (Attachment 1) subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "Earth Slide Repair and Parking Deck Replacement", received April 30, 2024 (Attachment 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 12th day of June 2024, by the following vote:

AYES: Commissioner: Luxenberg, Saad, Junius, Feller, Marlatt
NOES: Commissioner:
ABSENT: Commissioner:
ABSTAIN: Commissioner:



Brandon Phipps, Community and Economic
Development Director

ATTACHMENTS

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2024-11
June 12, 2024
APN: 065-252-44
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ATTACHMENT 1: FINDINGS

Design Review Permit

To approve or conditionally approve the Design Review Permit, the Planning Commission must determine whether the proposed project is in conformance with the required Design Review Findings in SMC Section 10.54.050 D. Staff has concluded that the required findings can be made as follows:

- 1. The proposed project is consistent with the general plan, any applicable specific plans, any applicable design guidelines, and this chapter.***

The proposed project is consistent with the General Plan, which allows for Medium High Density Residential uses in the R-2-2.5 Zoning District. While the property has pre-existing legal nonconformities, none of the nonconforming features are being altered, and the height and area of the proposed car deck, as well as the proposed replacement recreational decks and staircase that were destroyed in the 2019 mudslide, all match their original dimensions. The property is not subject to any specific plans.

- 2. The proposed architecture and site design complements the surrounding neighborhood and/or district by either:***

- a. Maintaining the prevailing design character of the neighborhood and/or district; or***

- b. Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.***

The proposed architecture and site design complement the surrounding neighborhood by maintaining the prevailing design character of the neighborhood. The style and character of the existing duplex are not being updated, and the replacement car deck will match the original car deck which follows a similar design to several other car decks on the eastern downslope of Sausalito Boulevard.

- 3. The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.***

The proposed replacement car deck is consistent with the scale of several other car decks on the eastern downslope of Sausalito Boulevard but is slightly larger as it allows

for the four off-street parking spaces required for the duplex in the Sausalito Municipal Code.

4. The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The proposed car deck is in the same location as the original car deck and is located behind the house in a bend in the road, is suspended over a steep gully, and is next to a vacant lot. It has been designed to minimize obstruction of public views and primary views from neighboring private properties.

5. The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

Not applicable. The proposed project will not result in a building profile above a ridgeline.

6. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

Not applicable. No new landscaping is proposed as part of this project.

7. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The proposed car deck is in the same location as the original car deck and is located behind the house at a bend in the road. It is suspended over a steep gully, is next to a vacant lot, and is in front of an undeveloped parcel owned by the federal government. As such, adequate light and air will be provided for the project site, adjacent properties, and the general public.

8. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.

Exterior lighting, mechanical equipment, and chimneys remain the same on the duplex structure. All mechanical equipment is housed internally. The chimney is not moving from its central location in the existing duplex. Any new lighting on the car deck will be downward facing and designed to minimize impacts to adjacent properties and the public.

9. The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck and patio configurations.

The proposed project replaces pre-existing features in-kind and is located inside a bend on Sausalito Boulevard that provides privacy from neighbors. The lot to the south remains vacant after the mudslide in 2019 destroyed the home that was once there, while the lot to the west is undeveloped and owned by the federal government. No additional landscaping, fencing, or windows are proposed.

10. Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

The proposed replacement car deck uses the original concrete bulkhead, and the proposed apron is configured the same as the previous build to provide an appropriate level of traffic safety and ease of movement. The depth of the proposed car deck will enable residents of the subject property adequate room to view oncoming traffic and maneuver their vehicles thereby increasing public safety.

11. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

No protected trees will be impacted by the proposed project and the construction of the parking deck will have a minimal impact on the bedrock below as it will be suspended on steel beams.

12. The project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings).

As the proposed project exceeds 80 percent of the maximum building coverage allowed it is subject to heightened review and the findings for this level of review are made below.

13. The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include, but are not limited to: stepping upper levels back from the first level, incorporating facade articulations and divisions (such as building wall offsets), and using varying rooflines.

The proposed car deck occupies the same footprint as the previous car deck being replaced. The proposed decks and staircase also match the previous locations and are being replaced in-kind. The project site is located inside a bend on Sausalito Boulevard that provides privacy from neighbors. The lot to the south remains vacant after the mudslide in 2019 destroyed the home that was once there and the lot to the west is undeveloped and owned by the federal government. As such, the proposed replacement structures will not crowd or overwhelm neighboring properties.

Heightened Review Findings

For residential projects that require a discretionary Design Review and exceed 80 percent of the permitted floor area ratio (FAR) and/or building coverage limitations, the Planning Commission must determine whether the site can support maximum build-out, consistent with SMC 10.54.050 E. Staff has concluded that the required findings can be made as follows:

1. Proposed development of the site maximizes preservation of protected trees.

No protected trees will be affected by the proposed project.

- 2. The site is configured with adequate width and depth to provide yard spaces and setbacks, proportional to the size of the structure.***

The site is located on an 80% downslope composed of bedrock and does not have any usable yard spaces. The setbacks are legal nonconforming and are proportional to the size of the existing and proposed structures.

- 3. The site will be developed in a manner that minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views.***

The proposed car deck is in the same location as the original car deck and is located behind the house at a bend in the road. It is suspended over a steep gully and is adjacent to two vacant lots. As such it will not impact any public or private views in a material way.

- 4. The proposed development of the site presents no potential hazard to public safety in terms of vehicle traffic, pedestrian circulation, slope and tree stability, runoff, and public utilities.***

Although the site is located on a steep slope, the parking deck has been designed to be large enough to provide safe pedestrian access to the duplex and allow for adequate vehicle circulation with tandem parking. The depth of the proposed car deck will enable residents of the subject property adequate room to view oncoming traffic and maneuver their vehicles thereby increasing public safety. Runoff will be controlled by sloped surfaces and downspouts.

- 5. The slope and topography of the site allow for limited excavation and minimal alteration to the site topography outside the footprint of structures.***

As the proposed project is on a site with an 80% slope the only excavation occurring will be boring holes for the placement of steel beams to support the replacement car deck.

- 6. The site will provide adequate guest parking either on site or within the immediate street frontage.***

The project will provide the required four off-street parking spaces for the duplex. These spots can also be used for guest parking if available.

- 7. The proposed plan provides adequate landscaping to maximize privacy and minimize the appearance of bulk.***

No landscaping is proposed as part of this project.

Encroachment Agreement

To recommend City Council approval of the Encroachment Agreement, the Planning Commission must determine that the proposed Project is in conformance with the Encroachment Agreement findings listed in SMC Section 10.56.060 A-E. Staff has concluded that the necessary findings can

be made to support the recommendation to City Council for approval of the requested entitlement as follows:

- A. The proposed encroachment is compatible with the surrounding area and will either improve or not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.***

The proposed encroachment, which is a raised car deck, is compatible with the surrounding area as the eastern downslope of Sausalito Boulevard features numerous raised car decks to provide for the parking needs of residents in the neighborhood. As the replacement car deck is located at a bend in the road and suspended over a steep, inaccessible gully it will not diminish visual or physical public enjoyment of the streetscape.

- B. The encroachment will not adversely affect the usability or enjoyment of adjoining parcels nor create or extend an undesirable land use precedent.***

The proposed encroachment will not adversely affect the usability or enjoyment of adjoining parcels as it will provide off-street parking access to the existing duplex, removing the parking load on an already parking-restricted roadway. Due to the nature of the neighboring sites with similar parking decks and encroachments, the requested encroachment will not create or extend an undesirable land use precedent.

- C. The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable.***

The proposed encroachment provides the only means of ingress/egress to the duplex and provides the required four off-street parking spots. As such, it is necessary for the reasonable use and enjoyment of the property.

- D. The proposed encroachment will not adversely affect the public circulation nor create or constitute a hazard to public safety.***

The encroachment will provide necessary access and parking area for the existing duplex, thereby removing parked cars from the roadway and easing the effects of residents' vehicles on the flow of public circulation. The depth of the proposed car deck will enable residents of the subject property adequate room to view oncoming traffic and maneuver their vehicles thereby increasing public safety.

- E. The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvement of streets or pedestrian ways. [Ord. 1167 § 2, 2003.]***

The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvements of streets or pedestrian way as the car deck is suspended over an 80% slope composed of bedrock. Any expansion to the-right of-way would be extremely difficult to accomplish, and if such a project were completed it would only enhance the stability of the proposed car deck.

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ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions apply to the project at 412-414 Sausalito Boulevard depicted on plans prepared by Don David titled "Earth Slide Repair and Parking Deck Replacement", received April 30, 2024 (Attachment 3).

COMMUNITY DEVELOPMENT DEPARTMENT:

General Items:

1. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the Applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit(s). This shall include establishing the approved use/implementing the permit(s) within the time limits set forth by the applicable code.
2. The project shall be designed and constructed as shown in the set of plans "Earth Slide Repair and Parking Deck Replacement", received April 30, 2024 (Attachment 3).
3. The Applicant/Property Owner(s) shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City), and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project, or construction thereof.
4. In the event that any condition imposing a fee, exaction, dedication, or mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be subject to review by the City and substitute conditions may be imposed.
5. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code Section 12.16.130 - Machinery, equipment, fans and air conditioning.

6. At the time of building permit application, the applicant shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in Sausalito Municipal Code Section 10.54.100. The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the project. Such documentation may include without limitation an executed construction contract. The time for completion of the construction shall also be indicated on the construction permit.

DEPARTMENT OF PUBLIC WORKS:

General Items:

1. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
2. Applicant shall indemnify the City for all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

Drainage

3. Three drainage outlet pipes are missing on Sheet A2.2 at location Gridline D and C on the Project Plans, please show these outlet pipes on the drainage plan submitted for the Building Permit.
4. CPC §1101.6.5(2) indicates that the point of discharge shall not be less than 10 feet from the property line. Show location of drainage outlets and, if applicable, show how excessive outlet velocities would be limited and controlled with energy-dissipating facilities.

Right of Way Items:

5. Applicant shall repair or replace, at no expense to the City, damage to public facilities that results from applicant's construction activities. Applicant is advised that applicant's contractor shall save and protect all existing facilities not designated for removal or modification within the public right of way.
6. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.
7. An encroachment permit shall be obtained from the DPW prior to using the public right of way for non-public purposes (e.g., material storage, construction, staging or demolition) including any and all construction and demolition activities. Encroachment submittal information can be found here: <https://www.sausalito.gov/departments/public-works/engineering-division/encroachment-permits>

8. Applicant is advised that construction materials, equipment, vehicles, and properly-permitted debris boxes (Bay Cities Refuse Service is the sole authorized solid waste hauler permitted to provide debris box service in the City of Sausalito) may not be placed in a manner that poses a traffic hazard, shall be placed to minimize obstruction of roads and gutters, shall be equipped with reflectors or lighting to ensure visibility at night and in inclement weather (if placed in the public right of way), shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris boxes shall be emptied on a regular basis, or as directed by the City. Material stockpiles & debris boxes shall be covered when not being accessed or filled to prevent dust or liquid from being released to the environment. Construction materials, equipment, vehicles, and debris boxes shall be placed in the public right of way only after securing an encroachment permit.
9. Ensure best management practices (BMPs) are used during construction activity. This includes erosion and sediment controls and pollution prevention practices. Erosion control BMPs may include, but are not limited to, scheduling and timing of grading activities, timely re-vegetation of graded areas, the use of hydroseed and hydraulic mulches, and installation of erosion control blankets. Sediment control may include properly sized detention basins, dams, or filters to reduce entry of suspended sediment into the storm drain system and watercourses, and installation of construction entrances to prevent tracking of sediment onto adjacent streets. Pollution prevention practices may include: designated washout areas or facilities, control of trash and recycled materials, covering of materials stored on-site, and proper location of and maintenance of temporary sanitary facilities. The combination of BMPs used, and their execution in the field, must be customized to the site using up-to-date standards and practices. You may refer to the Marin County Stormwater Pollution Prevention Program's website:
<https://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-2015.pdf?la=en>

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
2. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any Building Permits, unless the requirement is waived pursuant to Section 8.54.050
3. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.

4. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500-foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.

Saturdays – Between 9:00 a.m. and 5:00 p.m.

Sundays – Prohibited

City holidays – Prohibited

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

5. Pursuant to City of Sausalito Resolution 5116, roadway and subdivision improvements shall comply with the Uniform Construction Standards All Cities and County of Marin and as may be modified by the City Engineer.
6. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards," available online at: <http://www.marincounty.org/depts/pw/divisions/land-use/ucs>.
7. All applicable City fees as established by City Council resolutions and ordinances shall be paid.

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ATTACHMENT 3: PROJECT PLANS

GENERAL NOTES

- THE GENERAL NOTES ARE SUPPLEMENTARY TO THE GENERAL CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS, PATCH AND MATCH THE EXISTING SURFACE OF STRUCTURE/SURFACE FINISHES CAUSED BY DEMOLITION OR DAMAGES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE CONTRACTOR.
- ANY OF THE WORK THAT EXTENDS BEYOND THE EXTERIOR WALLS OF THE BUILDING SHALL BE FRAMED, ENCLOSED AND WEATHER PROTECTED, AND MATCH THE EXISTING SURFACE MATERIALS OR APPROVED NEW SURFACE MATERIALS AND FINISHES TO MATCH EXISTING COLORS AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE EXISTING GARAGE DOOR AND SYSTEM SHALL BE REUSED. THE CONTRACTOR SHALL STAY IN A PROTECTED AREA AND REINSTALL THE GARAGE DOOR.
- THE CONTRACTOR IS RESPONSIBLE TO SECURE THE PREMISES FROM INTRUDERS AT ALL TIMES.
- ANY CONSTRUCTION THAT ASSOCIATES WITH EXISTING ASSETS ON THE PROPERTY SHALL BE REMOVED BY THE CONTRACTOR.

PROJECT DATA

ADDRESS 412-414 SAUSALITO BLVD, SAUSALITO, CA
 OWNER DAVID JOHNSON
 APN 66-928-44
 ZONE R-2.6
 STORES 3
 DWELLING UNITS 2
 CONST. TYPE V-B

PROJECT SCOPE

EARTH SLIDE REPAIR AND PARKING DECK REPLACEMENT

CODE COMPLIANCE
 2022 CALIFORNIA BUILDING STANDARDS CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA EXISTING BUILDINGS CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA RESIDENTIAL BUILDING CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

DRAWING INDEX

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- CIVIL
 C1 COVER SHEET
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 V1 TOPOGRAPHICAL SURVEY

STRUCTURAL OBSERVATIONS

- STEEL FRAMING
- THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS REQUIRED FOR VARIOUS TRADES OR SPECIFICALLY REQUESTED IN THE WORKING DRAWINGS TO THE ENGINEER FOR HIS APPROVAL.
 - DIMENSIONS NOTED "CLEAR OR O.C." ARE MINIMUM REQUIRED DIMENSIONS AND MUST BE MAINTAINED.
 - ALL WORK AND MATERIAL SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN AND WORKMANSHIP FOR AT LEAST ONE YEAR FROM FINAL PAYMENT, UNLESS OTHERWISE NOTED.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST PRACTICES OF THE VARIOUS TRADES INVOLVED. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE IN PROPER ALIGNMENT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
 - PROTECTION SHALL BE LEFT COMPLETELY CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER AND THE ENGINEER.
 - MANUFACTURED MATERIALS, EQUIPMENT, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATERPROOFING, DRAINAGE, FLEEPROOFING, ETC. WHERE REQUIRED.
 - SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR ENGINEER.
 - THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATES OF INSURANCE WITH RESPECT TO WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
 - THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPORTING AND MAINTAINING ITS CONTINUOUS OPERATION ANY EXISTING PLUMBING, ELECTRICAL, MECHANICAL LINES AND COMMUNICATION/INDUSTRIAL CABLES THAT ARE INTERFERING WITH THE WORK AT NO ADDITIONAL COST TO THE CONTRACTOR.

EARTH SLIDE REPAIR AND PARKING DECK REPLACEMENT

412-414 SAUSALITO BLVD SAUSALITO, CA

DPW NOTES

- 1) PRIOR TO FINAL INSPECTION, THE PROJECT GEOTECHNICAL ENGINEER SHALL PREPARE A LETTER ON HIS LETTERHEAD, STAMPED AND SIGNED, STATING THAT CONSTRUCTION WAS IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT.
- 2) NO GRADING OR EXCAVATION OPERATIONS SHALL OCCUR BETWEEN OCTOBER 16 AND APRIL 1 WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER. THE PROJECT EDUCATION AND CONSTRUCTION SHALL COMMENCE NO LATER THAN AUGUST 7 OF THE CITY YEAR. THE PROJECT EDUCATION AND CONSTRUCTION SHALL COMMENCE AND CONCLUDE WITHIN A SINGLE CITY YEAR.
- 3) PRIOR TO ISSUANCE OF THE FINAL INSPECTION SIGNOFF, THE APPLICANT SHALL COMPLETE ALL NECESSARY PUBLIC IMPROVEMENTS SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- 4) PRIOR TO FINAL APPROVAL, APPLICANT SHALL REPAIR OR FACILITATE TO THE CITY DAMAGE TO PUBLIC FACILITIES THAT RESULT FROM APPLICANTS CONSTRUCTION ACTIVITIES. APPLICANTS IS ADVISED THAT APPLICANTS CONSTRUCTION SHALL TAKE CARE TO PROTECT ALL EXISTING FACILITIES NOT DESIGNATED FOR REMOVAL OR DEMOLITION WITHIN THE PUBLIC RIGHT OF WAY.
- 5) ALL WORK SHALL BE PERFORMED ONLY ON ABOVE-MENTIONED PROPERTY. APPLICANT SHALL ENGINEER IMPROVEMENTS (INCLUDING CONSTRUCTION OF DRAINAGE AND STORM DRAIN) DO NOT CROSS THE PROPERTY LINE THRESHOLD OR PROPERTY LINES. ANY WORKS ANTICIPATED TO CROSS PROPERTY LINE THRESHOLD, APPLICANT SHALL OBTAIN AND SUBMIT TO DPW A LEGAL WRITTEN AUTHORIZATION FROM ALL IMPACTED OWNERS.
- 6) APPLICANT SHALL ENFORCE BEST MANAGEMENT PRACTICES (BMPs) ARE USED DURING CONSTRUCTION ACTIVITY. THIS INCLUDES EROSION AND SEDIMENT CONTROL AND POLLUTION PREVENTION PRACTICES. EROSION CONTROL BMPs MAY INCLUDE, BUT ARE NOT LIMITED TO, SCHEDULING AND TIMING OF GRADING ACTIVITIES, THE USE OF PREPARED AND HYDRAULIC MULCHES, AND INSTALLATION OF EROSION CONTROL BARRELS. EROSION CONTROL BMPs MAY INCLUDE, BUT ARE NOT LIMITED TO, SCHEDULING AND TIMING OF GRADING ACTIVITIES, THE USE OF PREPARED AND HYDRAULIC MULCHES, AND INSTALLATION OF EROSION CONTROL BARRELS. EROSION CONTROL BMPs MAY INCLUDE, BUT ARE NOT LIMITED TO, SCHEDULING AND TIMING OF GRADING ACTIVITIES, THE USE OF PREPARED AND HYDRAULIC MULCHES, AND INSTALLATION OF EROSION CONTROL BARRELS. EROSION CONTROL BMPs MAY INCLUDE, BUT ARE NOT LIMITED TO, SCHEDULING AND TIMING OF GRADING ACTIVITIES, THE USE OF PREPARED AND HYDRAULIC MULCHES, AND INSTALLATION OF EROSION CONTROL BARRELS.
- 7) PRIOR TO ISSUANCE OF A BUILDING PERMIT, A UTILITY PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. ALL UTILITIES SHALL BE SHOWN ON THE UTILITY PLAN UTILITIES OF IMPORTANCE SHALL INCLUDE, BUT NOT LIMITED TO, SANITARY SEWER GAS, WATER AND ELECTRICAL LINES. THIS HELPS ENSURE THEY ARE PROTECTED AND AWAY FROM THE CONSTRUCTION SITE.
- 8) PRESENT TO MUNICIPAL CODE CHAPTER 11.17, DIVISION 6, RESIDUES FROM WAREHOUSES OF CONTAINERS, TRUCKS, AND TRAILERS, EXCEPT FOR LITTER, OR ANY OTHER MATERIALS DISCHARGED INTO THE CITY DRAINAGE SYSTEM THAT IS NOT COMPOSED ENTIRELY OF LIQUID WATER IS PROHIBITED. LIABILITY FOR ANY SUCH DISCHARGE SHALL BE THE RESPONSIBILITY OF PERSON(S) CAUSING OR RESPONSIBLE FOR THE DISCHARGE. VIOLATIONS CONTRAVENE A MISDEMEANOR IN ACCORDANCE WITH SECTION 11.17.06(B).
- 9) PRESENT TO MUNICIPAL CODE SECTION 11.6.4.5, THE OPERATIONAL CONSTRUCTION, DEMOLITION, EXCAVATION, OR TRENCH OR REPAIRS/REPAIRS AND EQUIPMENT WITHIN ALL RESIDENTIAL, ZONED AND AREAS WITHIN A 500-FOOT RADIUS OF RESIDENTIAL ZONES SHALL ONLY TAKE PLACE DURING THE FOLLOWING HOURS:
 WEEKDAYS - BETWEEN 9:00 A.M. AND 5:00 P.M. SUNDAYS - PROHIBITED
 HOLIDAYS - BETWEEN 9:00 A.M. AND 6:00 P.M.
- 10) EQUIPMENT OPERATING IN THE ROADWAY AND SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH THE TEMPORARY CONSTRUCTION STANDARDS ALL CITIES AND COUNTY OF MARIN AND AS MAY BE MODIFIED BY THE CITY ENGINEER.

PERMITS AND APPROVALS

RECEIVED
 770 SOUTH GATE AVENUE, SUITE 200
 ANAHEIM, CALIFORNIA 92805
 TEL: 714.952.9600 FAX: 714.952.9601
 WWW.DAVENET.COM

TO: Wilson Advanced and David Johnson
 RE: Geotechnical Review of Foundation Plans
 412-414 Sausalito Blvd., Sausalito, CA
 DATE: March 20, 2024

Dear Mr. Johnson and Mr. Johnson:

As Geotechnical Engineers of Record, we have reviewed the revised foundation details for replacement of the existing concrete bridge and support structure associated with your existing residential building located at 412-414 Sausalito Blvd., Sausalito, CA. We have reviewed the plans prepared by Dwayne D. Engineering, bearing a revision date of 12/23/23. The plans were submitted to us for review on 3/15/24. We have reviewed the plans and comments received on 3/15/24. We have reviewed the plans and comments received on 3/15/24. We have reviewed the plans and comments received on 3/15/24.

The foundation plans call for the replacement structure to bear on 18-inch diameter drilled piers covered with a 12-inch diameter concrete. The foundation plans call for the replacement structure to bear on 18-inch diameter drilled piers covered with a 12-inch diameter concrete. The foundation plans call for the replacement structure to bear on 18-inch diameter drilled piers covered with a 12-inch diameter concrete. The foundation plans call for the replacement structure to bear on 18-inch diameter drilled piers covered with a 12-inch diameter concrete.

Drainage of the bridge structure and the existing house is to be dispersed over multiple level spreaders. Alternatively, these may be consolidated to discharge over a single rubble filter placed within the seat of the existing structure.

If you have any questions regarding this matter, or if you want us to schedule a joint inspection, please contact us at the above address.

Sincerely,
 Dwayne D. Engineering
 Dwayne D. Engineering, CE, PE

REVISIONS

NO.	DESCRIPTION
01	AS NOTED
02	AS NOTED
03	AS NOTED
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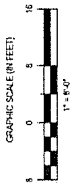
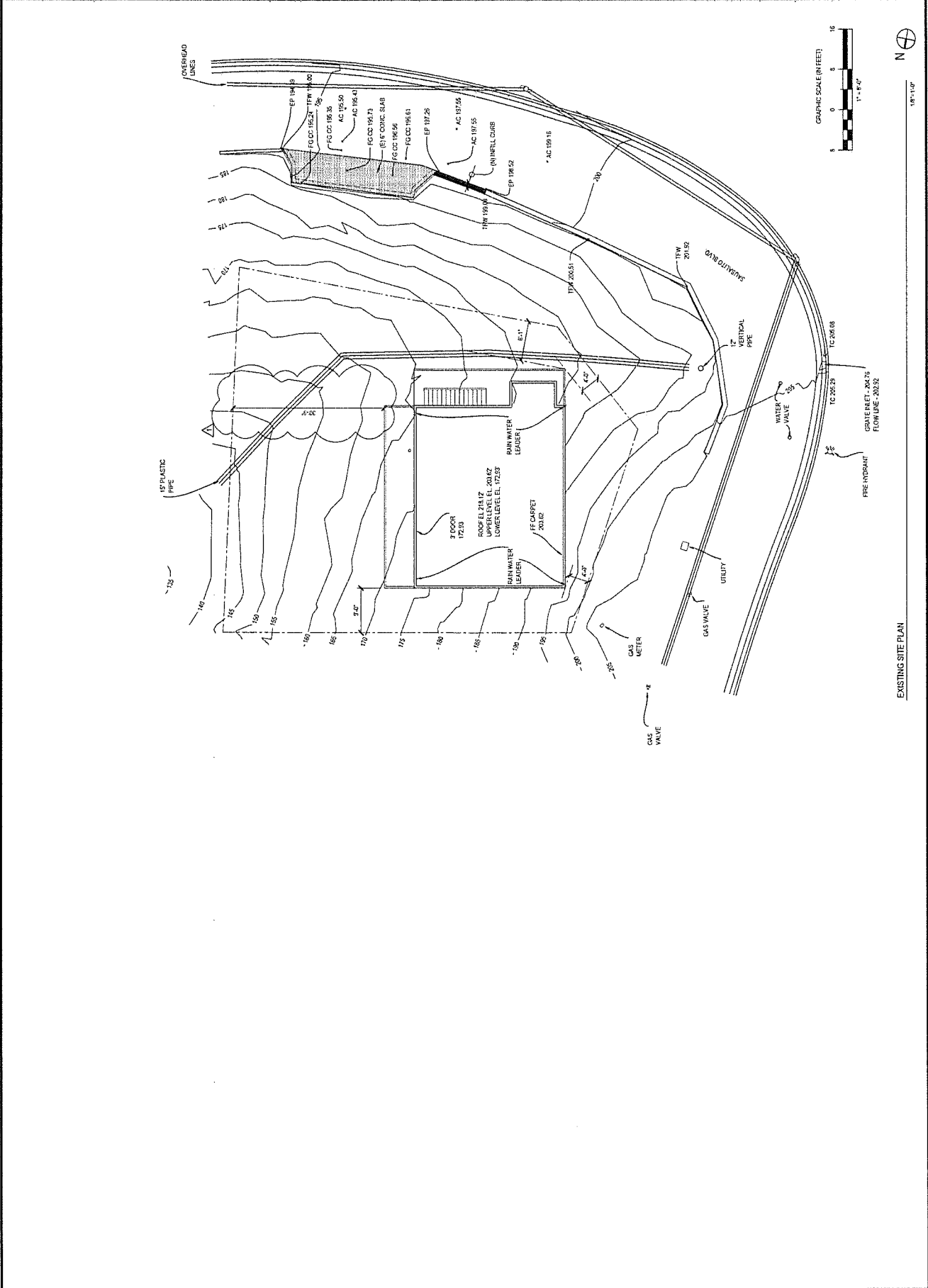
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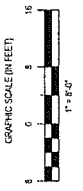
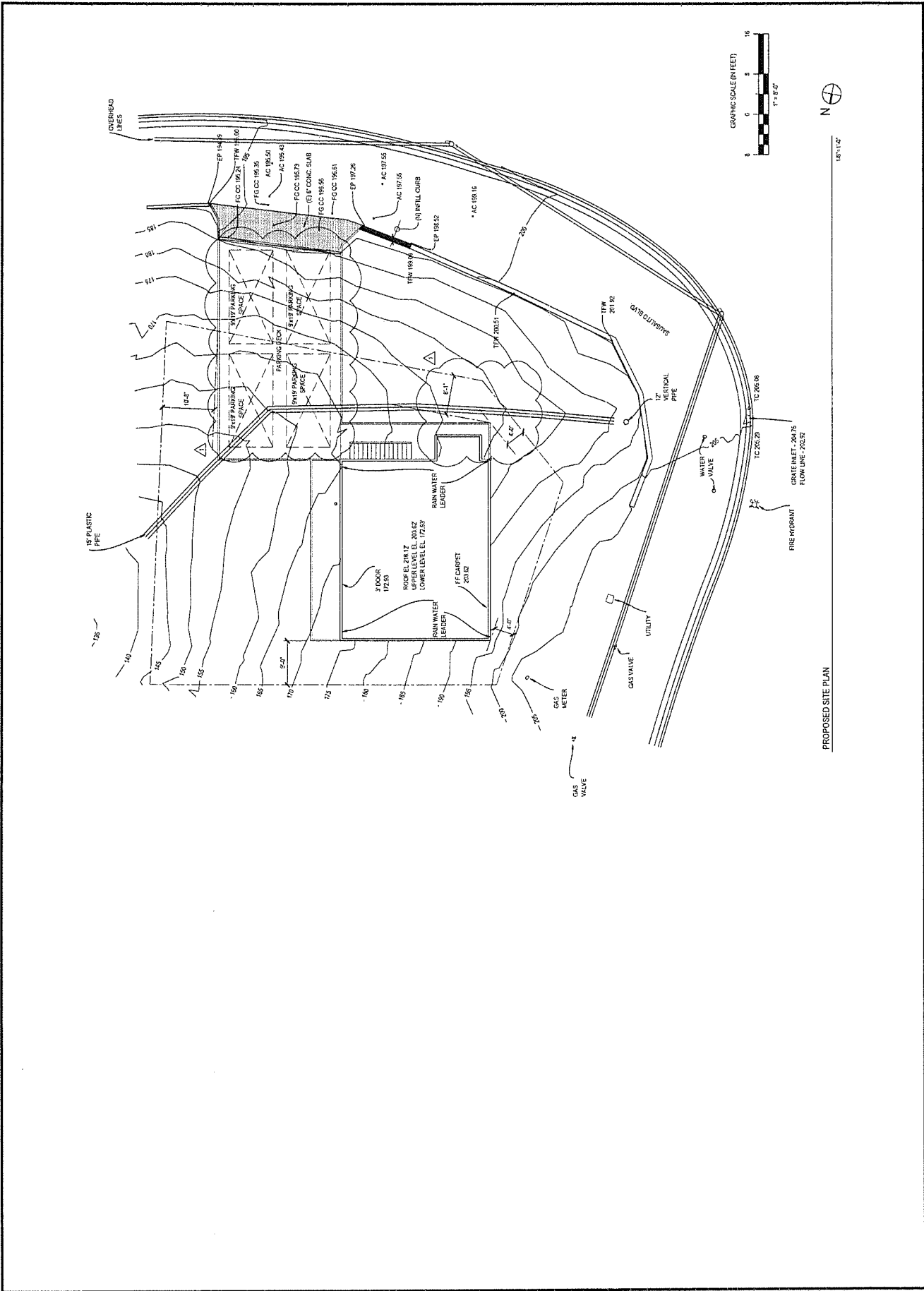
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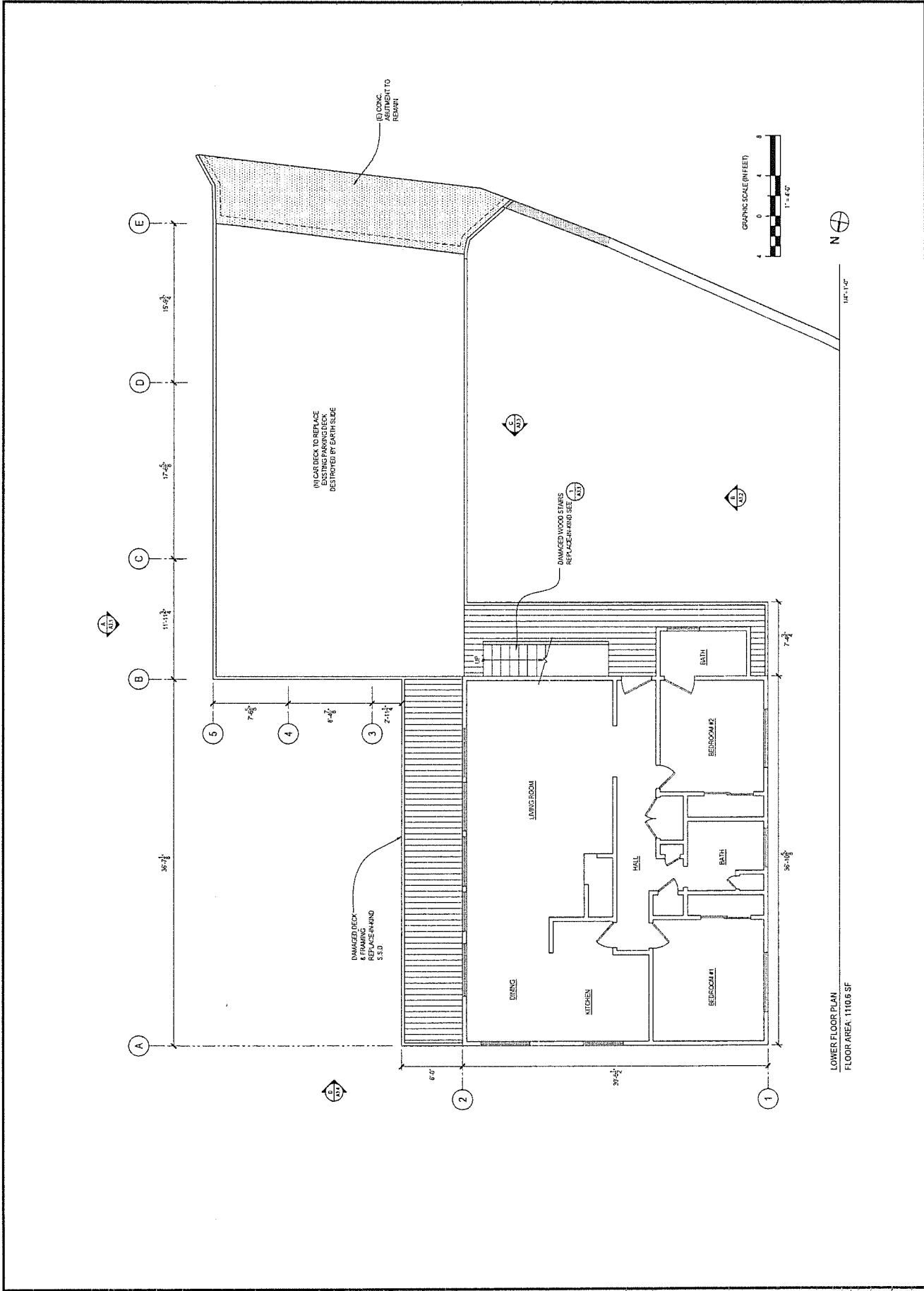


EXISTING SITE PLAN



1/8"=1'-0"

PROPOSED SITE PLAN

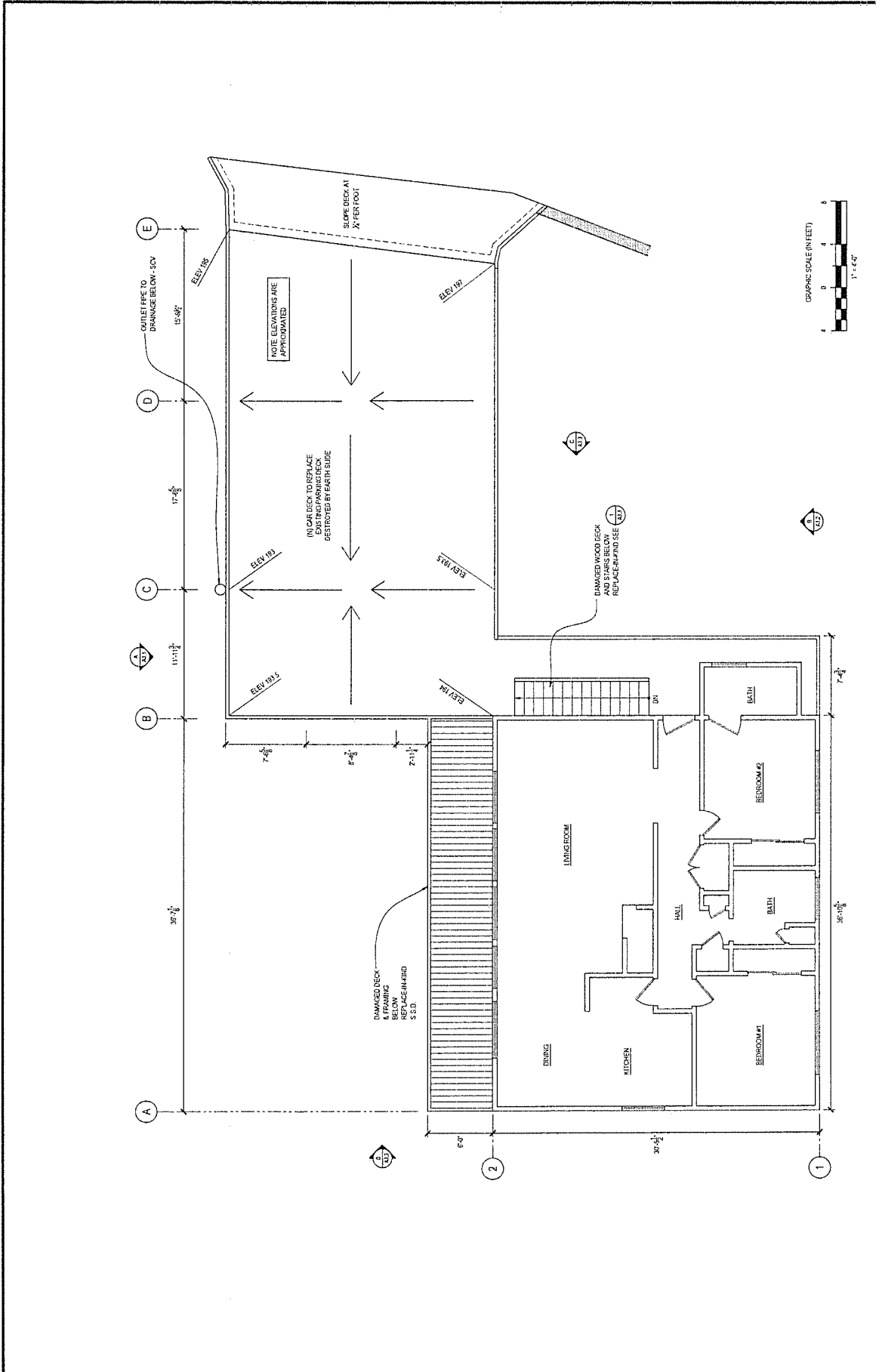


LOWER FLOOR PLAN
FLOOR AREA: 1110.6 SF

UPPER FLOOR PLAN

PARKING DECK AND REMODEL
 412-414 SAUSALITO BLVD.
 SAUSALITO, CA

Date	03/24/21
Scale	AS NOTED
Drawn By	DD
Check	ESD
Sheet	A2.2
Of	RC Sheets



UPPER FLOOR PLAN
FLOOR AREA: 1110.6 SF

DATE: 03/18/24
 SCALE: AS NOTED
 DRAWN BY: DD
 JOB NO: 5900
 SHEET: A2.3
 OF 20 SHEETS

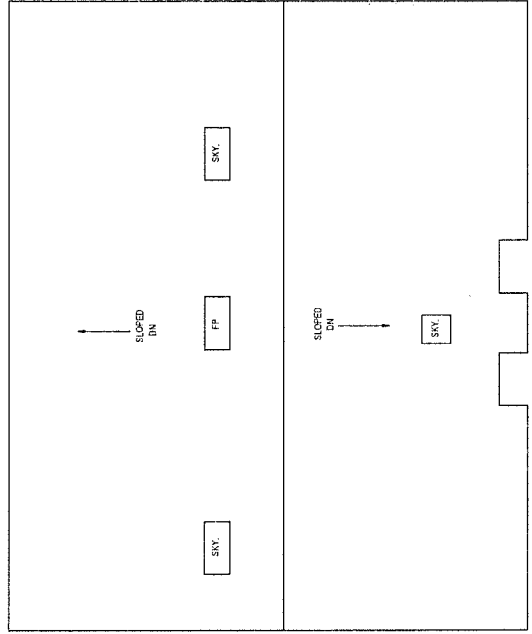
PARKING DECK AND REMODEL
 412-414 SAUSALITO BLVD.
 SAUSALITO, CA

ROOF PLAN



72 Oils Street
 San Francisco, CA 94103
 P: 415.551.9151
 W: douglas@engineering.com

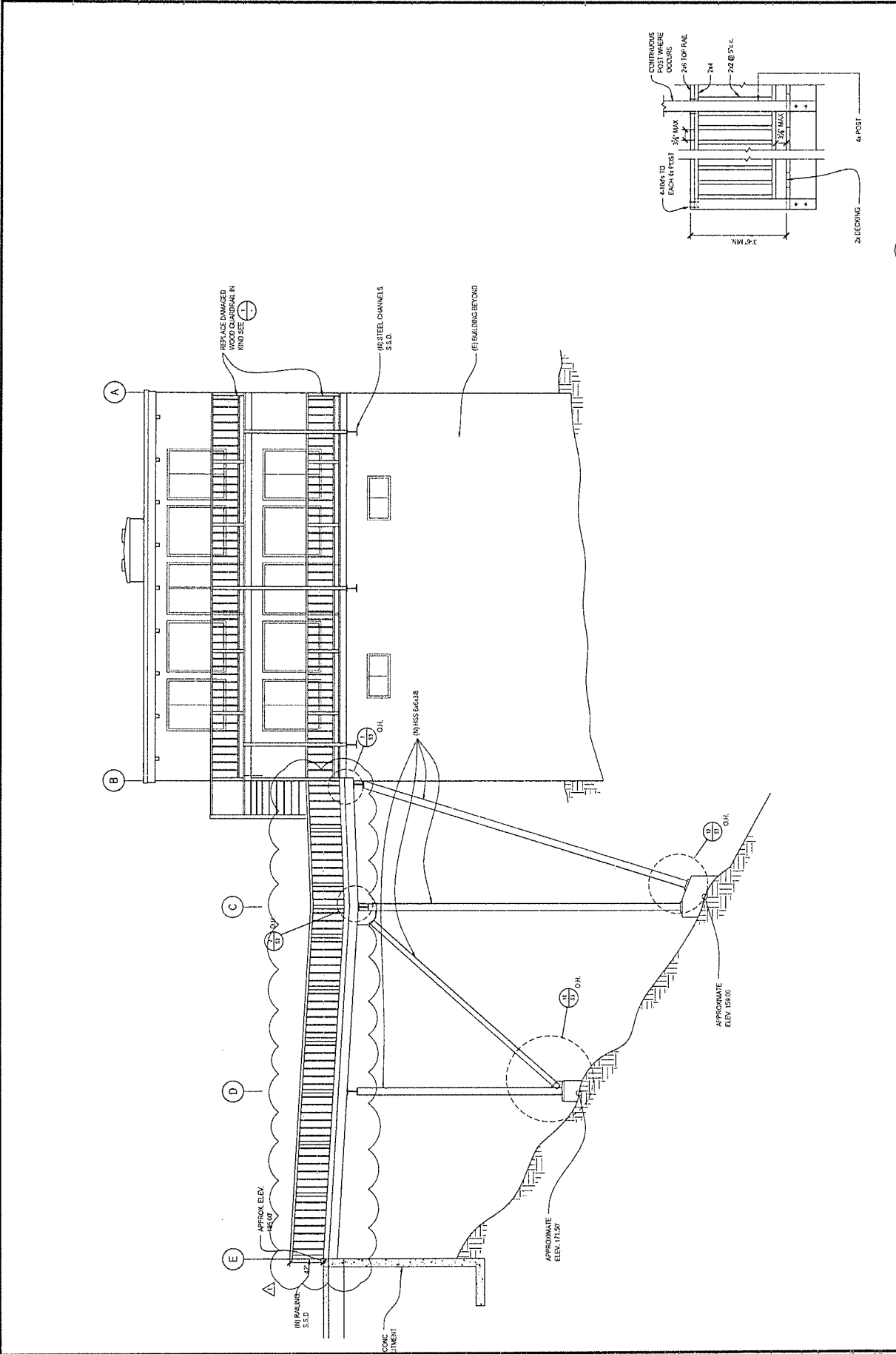
PT/MS/KKS



1/4" = 1'-0"

ROOF PLAN (NO WORK)





1 TYPICAL GUARDRAIL
 18" x 12"
 A EAST SIDE ELEVATION
 36" x 12"

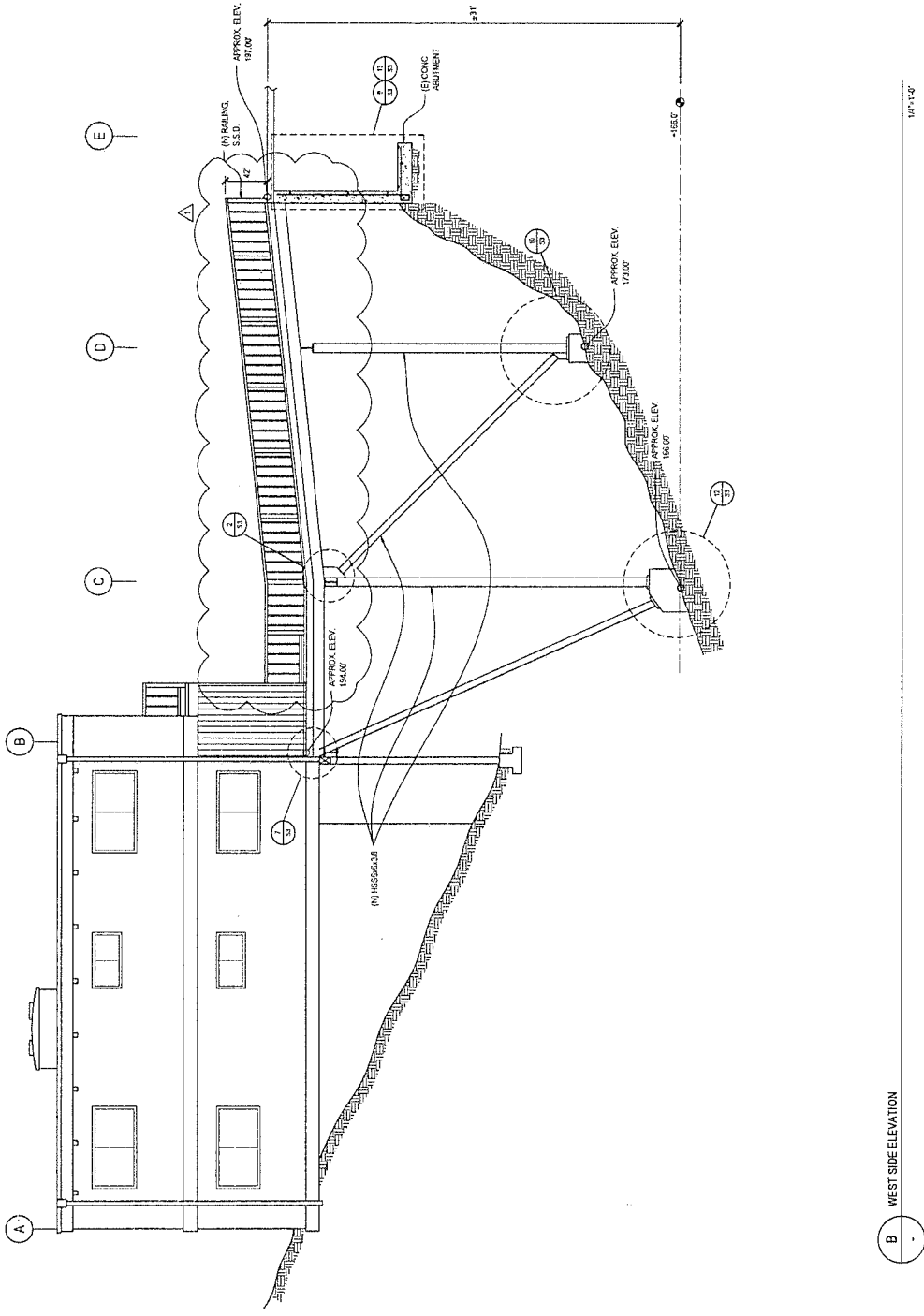
PARKING DECK AND REMODEL
 412414 SAUSALITO BLVD.
 SAUSALITO, CA

WEST SIDE ELEVATION

72 Old Street
 San Francisco, CA 94103
 P 415.531.5155
 F 415.531.5151
 W goldmossdesign.com



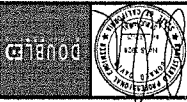
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Scale	AS NOTED
Drawn By	CO
Job No.	50892
Sheet	A3.2



B WEST SIDE ELEVATION
 1/4" = 1'-0"

PERMITS
72 OBS Street
San Francisco, CA 94103
P 415-551-5151
W www.designertrng.com

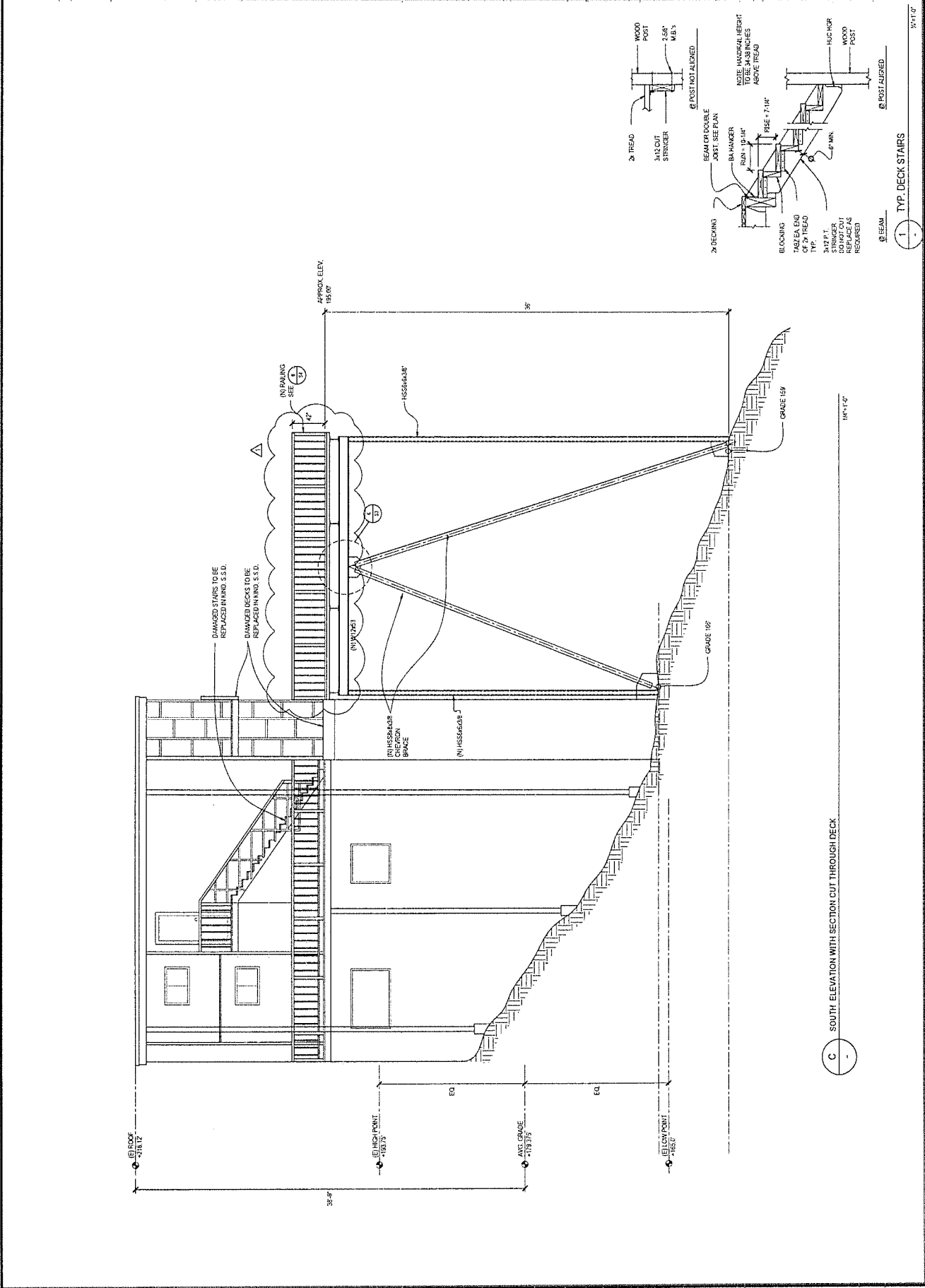
72 OBS Street
San Francisco, CA 94103
P 415-551-5151
W www.designertrng.com



NORTH SIDE ELEVATION

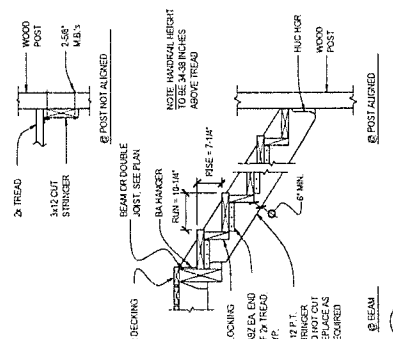
PARKING DECK AND REMODEL
412-414 SAUSALITO BLVD.
SAUSALITO, CA

TITLE: GUT/REN
SCALE: AS NOTED
DRAWN BY: ED
JOB NO: 9800
SHEET: A3.3
CY 20



C SOUTH ELEVATION WITH SECTION CUT THROUGH DECK

1 TYP. DECK STAIRS



REVISIONS
 4754 DESIGNER'S SHEDDULE

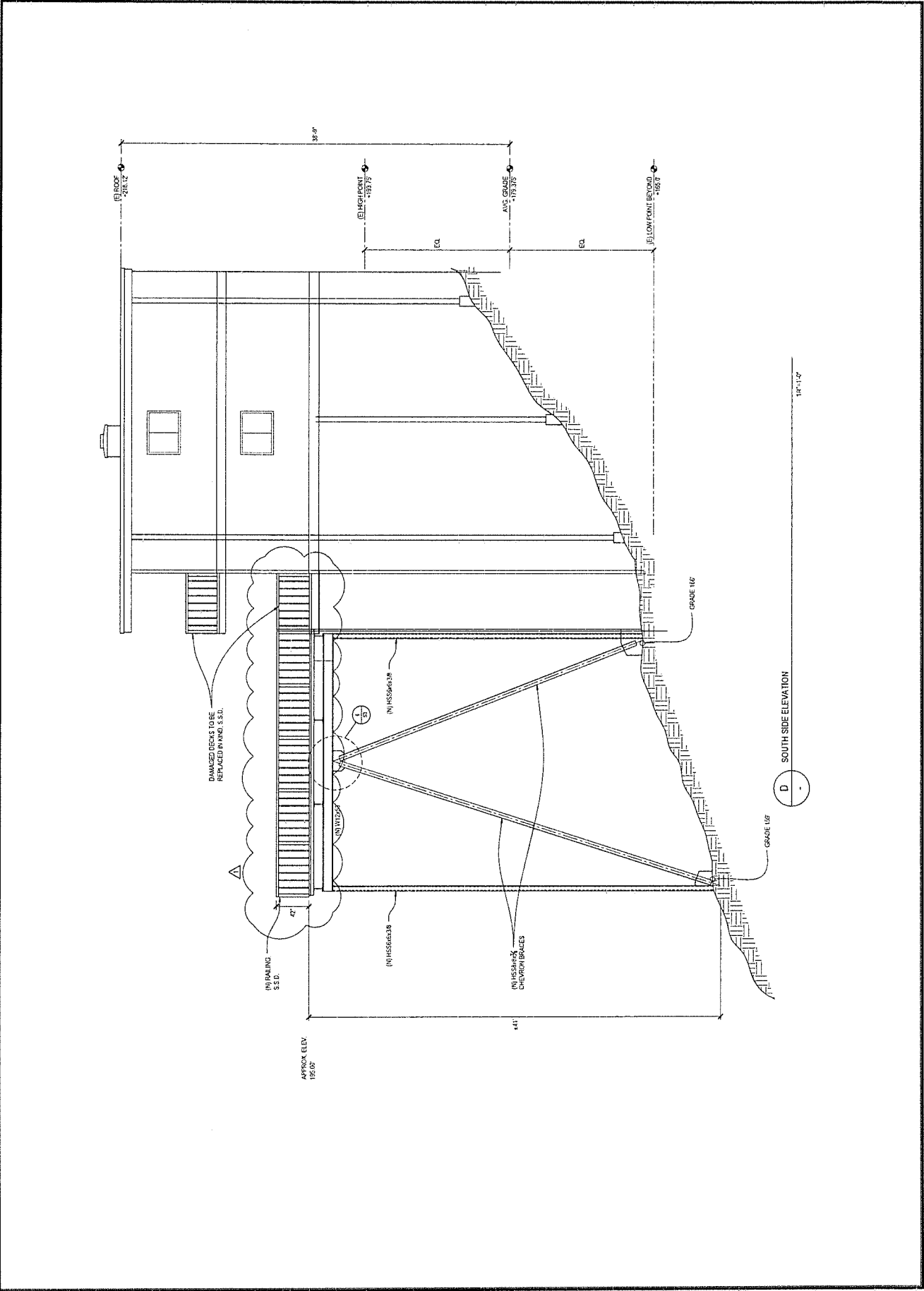
72 CHS Street
 San Francisco, CA 94103
 P 415-551-5150
 F 415-551-5151
 W 415-551-5151@doyleb.com



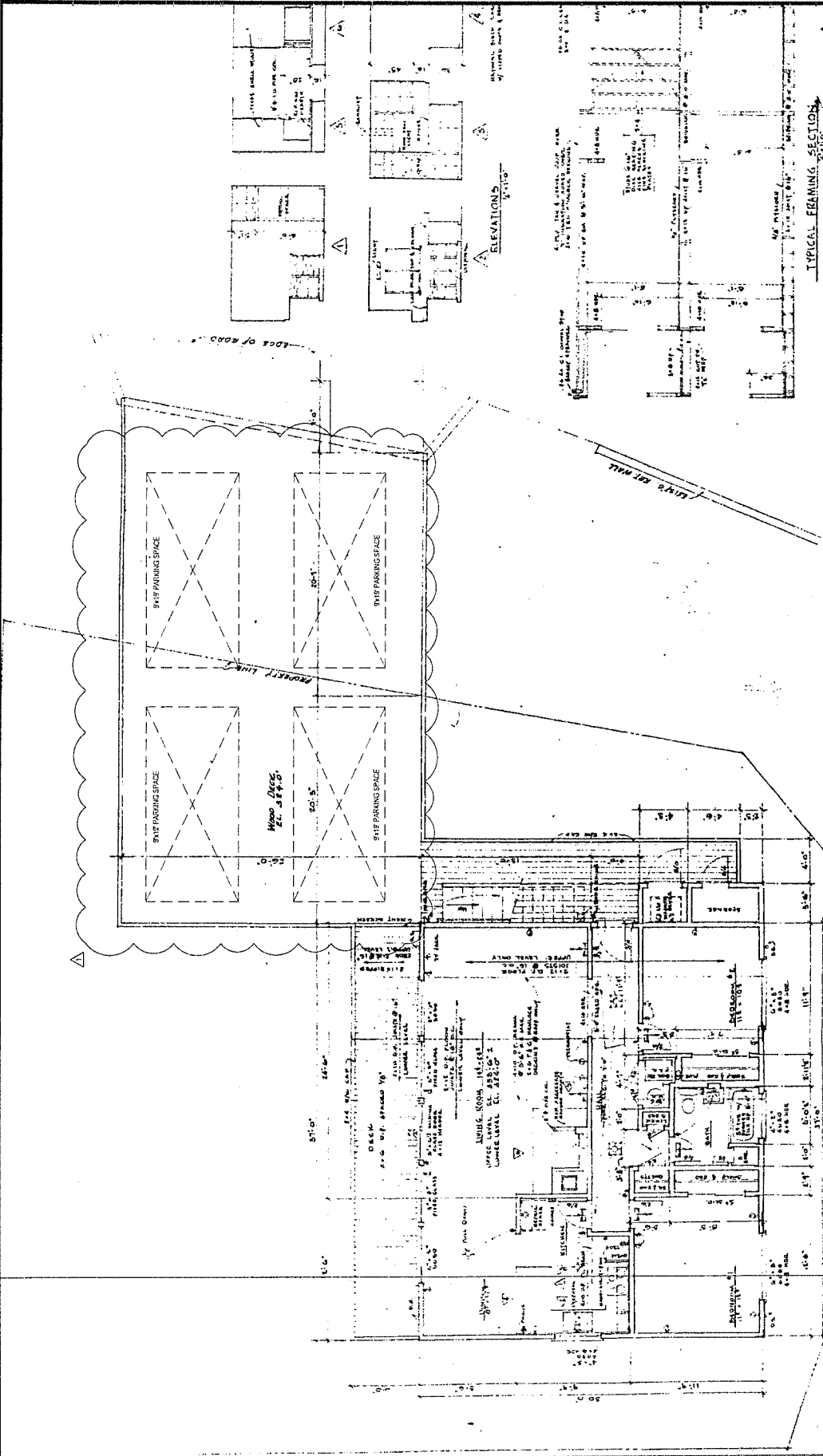
SOUTH SIDE ELEVATION

PARKING DECK AND REMODEL
 412-414 SAUSALITO BLVD.
 SAUSALITO, CA

Date:	01/16/20
Scale:	AS NOTED
Drawn BY:	JD
Check'd BY:	SB
Sheet	A3.4
Of	20 Sheets

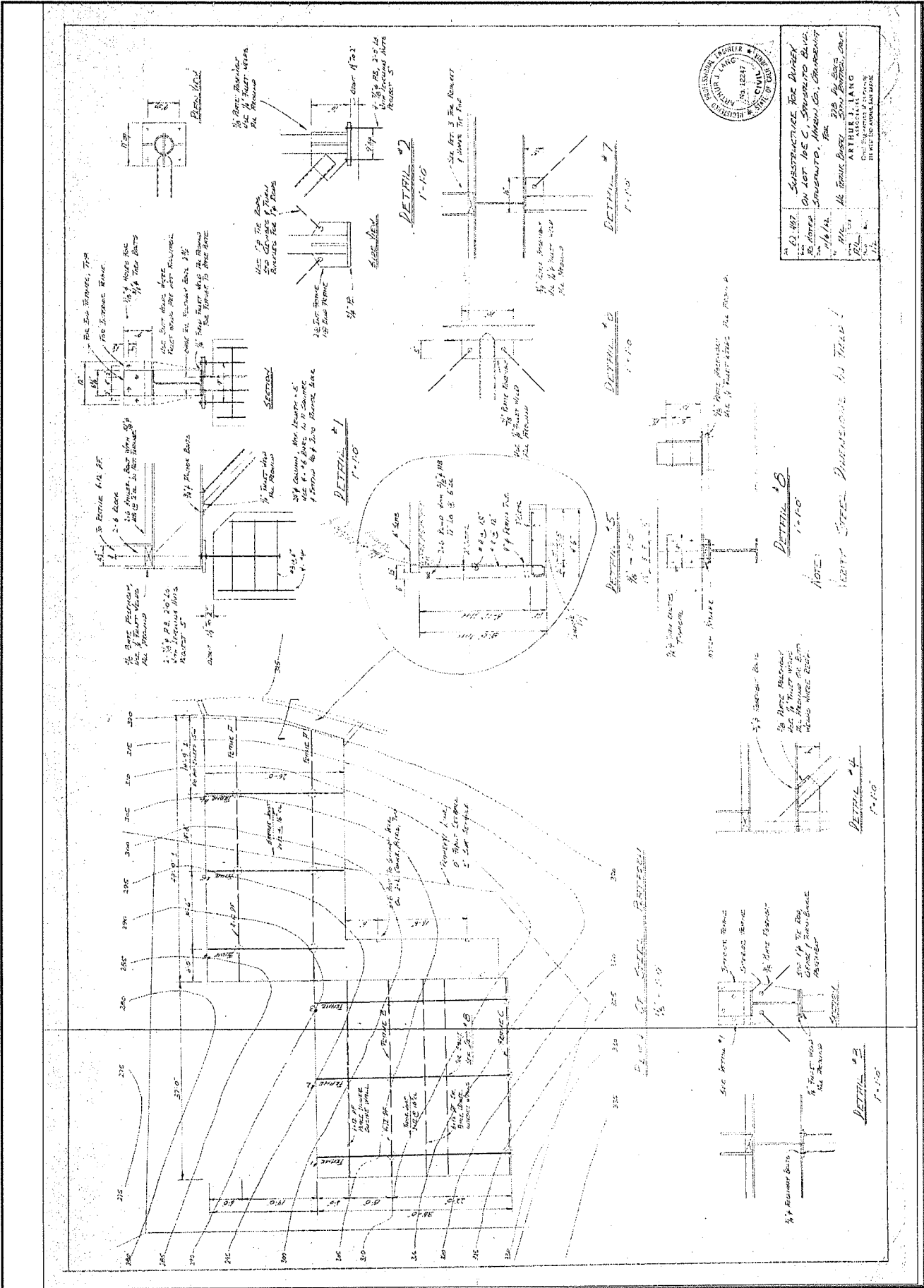


D SOUTH SIDE ELEVATION
 1/4" = 1'-0"



16091
 09
 CLIENT: D. LEEK ON SAUSALITO BLVD
 ARCHITECT: MR. FERNALD
 DATE: 02/10/09
 SHEET NO: 00
 TOTAL SHEETS: 02

LOWER FLOOR PLAN - DECK, W.L. 389.0
 Deck Frame, Floor Structure Except As Noted



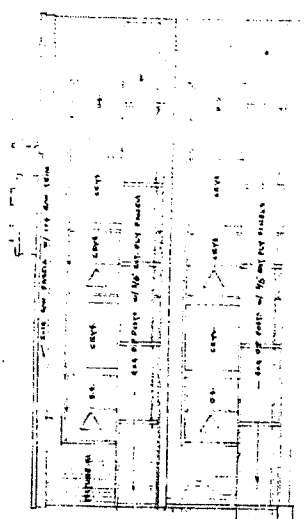
NO. 447
 SUBSTRUCTURE FOR PARKING
 ON LOT 105 C, SAUSALITO BLVD.
 SAUSALITO, SAN MATEO COUNTY, CALIFORNIA
 1/16/14
 P.L.
 ARTHUR J. LIANG
 CIVIL ENGINEER
 225 FAY ST.
 SAN FRANCISCO, CA 94102
 CALIFORNIA ASSOCIATION
 OF PROFESSIONAL ENGINEERS
 11101 WOODLAND AVENUE

NOTE:
 VERIFY OTHER DIMENSIONS AS TYPED!

401
401

5

EAST SIDE

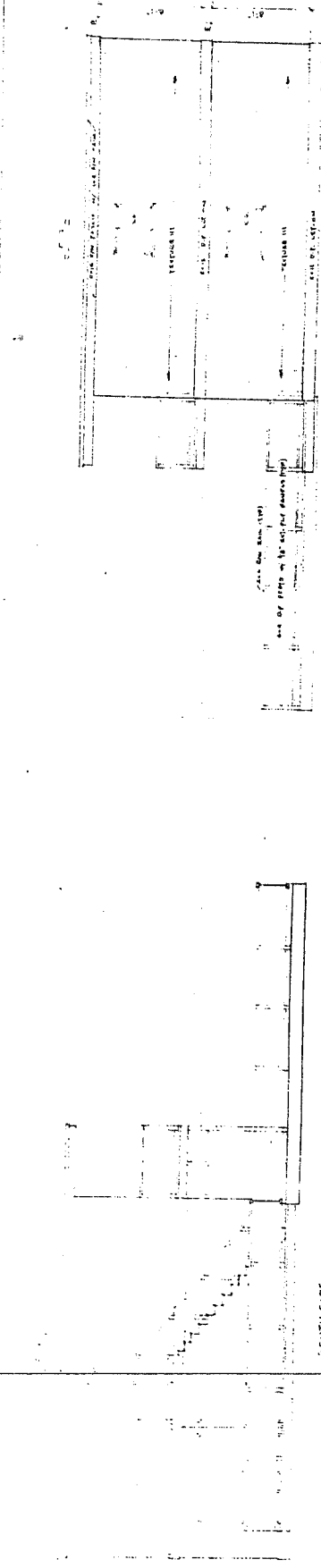


PROP. LINE

WEST SIDE

SOUTH SIDE

NORTH SIDE



PARKING DECK AND REMODEL
412-414 SAUSALITO BLVD.
SAUSALITO, CA

ORIGINAL ELEVATION
SHEET FOR REFERENCE

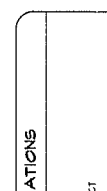


DOUGLAS M. ...
22 O'NEILL STREET
SAN FRANCISCO, CA 94103
P 415-551-1100
W 415-551-1100

DATE: 02/27/04
SCALE: AS NOTED
DRAWN BY: JG
JOB NO.: 997
SHEET: AA.2
OF 20 SHEETS

LTD Engineering, Inc.
1400 N. Central Expressway, Suite 100
San Rafael, CA 94903
Tel. (415) 454-4100 Fax (415) 454-4101
www.ltdeng.com

OTHER:
DAVE JOHNSON
ANSTON ASHMEADE



ISSUED FOR PERMIT

DATE: JAN 28, 2024

PROJECT: UTILITY PLAN

ADDRESS: 4124 Sausalito Blvd
Sausalito, California

DATE: APR 17, 2024

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
2		REVISION

COVER SHEET

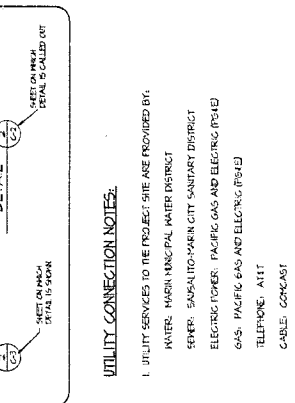
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SHEET NO: 1 of 6

SPACING: C-1

INDEX OF DRAWINGS

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	SITE PLAN
C-3	SHAPE DETAILS
C-4	EROSION CONTROL PLAN
C-5	EROSION CONTROL PLAN
C-6	INSTALLATION NOTES



UTILITY CONNECTION NOTES:

- UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:
WATER: MARIENSHOLM WATER DISTRICT
SEWER: SAUSALITO-MARIEN CITY SANITARY DISTRICT
ELECTRIC: PACIFIC GAS AND ELECTRIC (PG&E)
GAS: PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE: ATT
CABLE: COMCAST

GENERAL NOTES:

- SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY SUNDAY & ASSOCIATES, INC., LAND SURVEYORS, 50 LAKEVILLE ROAD, Sausalito, CA 94965. THESE BOUNDARIES ARE BASED ON 2015 AND 2019 SURVEYS THEREBY. THE 2015 BOUNDARY LINE SHOWN ON THE SURVEY IS THE RECORD BOUNDARY LINE. THE BOUNDARY LINE SHOWN ON THIS PLAN IS THE BOUNDARY LINE AS SHOWN ON THE 2015 SURVEY.
- THE DESIGN OF THIS PROJECT AND ALL UTILITY LINES AND INFRASTRUCTURE SHOWN HEREIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

LEGEND

EX	EX	EX	EX
PROPERTY LINE	CONCRETE PAVING (PERVIOUS)	EROSION CONTROL BLANKET	TRAFFIC RESTRICTING MAT
EASEMENT LINE	ASPHALT PAVING (PERVIOUS)	EROSION CONTROL BLANKET	STRAW WHITEL
EX. WOODEN RET. WALL	NEW FLAGSTONE PAVING (PERVIOUS)	EROSION CONTROL BLANKET	RUNOFF FLOW DIRECTION
DRAINAGE DIG/UP BIO-SHALE	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SHALE FLOW DIRECTION
UNDISTURBED SOIL	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	POUP/UP DRAINAGE EMITTER
COMPACTED FILL MATERIAL	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	LEVEL SPREADER
GEOTECHILE	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
EROSION CONTROL BLANKET	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
TRAFFIC RESTRICTING MAT	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
STRAW WHITEL	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
RUNOFF FLOW DIRECTION	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
SHALE FLOW DIRECTION	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
POUP/UP DRAINAGE EMITTER	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
LEVEL SPREADER	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
SUBSINK OR STOP-WATER CLEANOUT	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
SUBSINK OR STOP-WATER CLEANOUT	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
SUBSINK OR STOP-WATER CLEANOUT	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT
SUBSINK OR STOP-WATER CLEANOUT	NEW CONCRETE PAVING (SEMI-PERVIOUS)	EROSION CONTROL BLANKET	SUBSINK OR STOP-WATER CLEANOUT

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EROSION CONTROL MEASURES. THE EROSION CONTROL PLAN SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR'S ENGINEER AND APPROVED PRIOR TO STARTING WORK. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND BEFORE PLACING BACKFILL MATERIAL. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STOP-WATER CLEANOUT PIPING AT LEAST 7 DAYS BEFORE PLACING BACKFILL MATERIAL.

ASPHALT PAVING (PERVIOUS)	EROSION CONTROL BLANKET
CONCRETE PAVING (PERVIOUS)	TRAFFIC RESTRICTING MAT
NEW FLAGSTONE PAVING (PERVIOUS)	STRAW WHITEL
NEW CONCRETE PAVING (SEMI-PERVIOUS)	RUNOFF FLOW DIRECTION
NEW CONCRETE PAVING (SEMI-PERVIOUS)	SHALE FLOW DIRECTION
NEW CONCRETE PAVING (SEMI-PERVIOUS)	POUP/UP DRAINAGE EMITTER
NEW CONCRETE PAVING (SEMI-PERVIOUS)	LEVEL SPREADER
NEW CONCRETE PAVING (SEMI-PERVIOUS)	SUBSINK OR STOP-WATER CLEANOUT
NEW CONCRETE PAVING (SEMI-PERVIOUS)	SUBSINK OR STOP-WATER CLEANOUT
NEW CONCRETE PAVING (SEMI-PERVIOUS)	SUBSINK OR STOP-WATER CLEANOUT
NEW CONCRETE PAVING (SEMI-PERVIOUS)	SUBSINK OR STOP-WATER CLEANOUT
NEW CONCRETE PAVING (SEMI-PERVIOUS)	SUBSINK OR STOP-WATER CLEANOUT

EROSION CONTROL PLAN

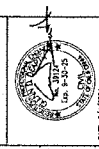
AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EROSION CONTROL MEASURES. THE EROSION CONTROL PLAN SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR'S ENGINEER AND APPROVED PRIOR TO STARTING WORK. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND BEFORE PLACING BACKFILL MATERIAL. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

UTILITY PLAN

4124 SAUSALITO BLVD
Sausalito, California

APR 17, 2024

LTD Engineering, Inc.
 1055 Northridge Drive, Suite 4100
 San Ramon, CA 94583
 Tel: (925) 391-1111
 Fax: (925) 391-1112
 www.ltd-engineering.com



**ISSUED FOR REVIEW
 NOT FOR CONSTRUCTION**

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**413-914 SAUSALITO BLVD
 UTILITY PLAN**

**413-914 SAUSALITO BLVD
 APR 17-2024
 413-914 SAUSALITO BLVD
 SAUSALITO, CALIFORNIA**

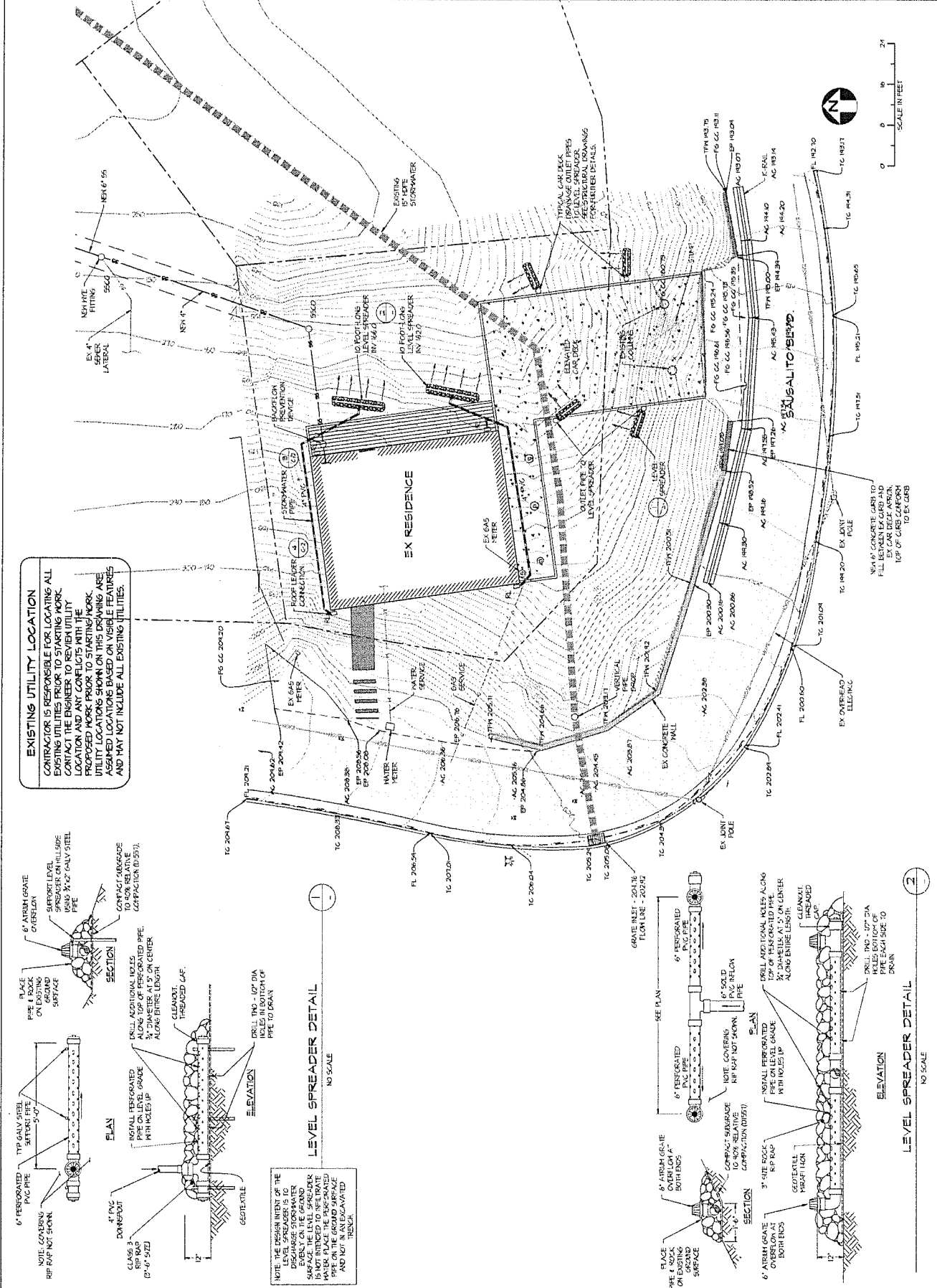
NO.	DATE	DESCRIPTION
1	04/17/24	ISSUED FOR REVIEW

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:
S. BRAWLEY	L. WATSON	L. WATSON	4/17/24

PROJECT NO.	SHEET NO.	TOTAL SHEETS
171024	0	6

SITE PLAN

REVISION: 0
 SHEET NO: 2 of 6
 DRAWING: C-2



NOTE THE DESIGN INTENT OF THE DISCHARGE STORMWATER EVENT ON THE GROUND SURFACE IS NOT INTENDED TO REINSTATE MAIN PLACE THE PERFORATED PIPE ON THE GROUND SURFACE AND NOT DISCHARGED THROUGH.

LTD Engineering, Inc.
 1000 Westgate Drive, Suite 455
 San Rafael, CA 94903
 Tel: 415-456-1111
 Fax: 415-456-1112
 www.ltd-engineering.com

DATE: 10/27/17
 SHEET NO: 3 OF 6
 PROJECT NO: 171004

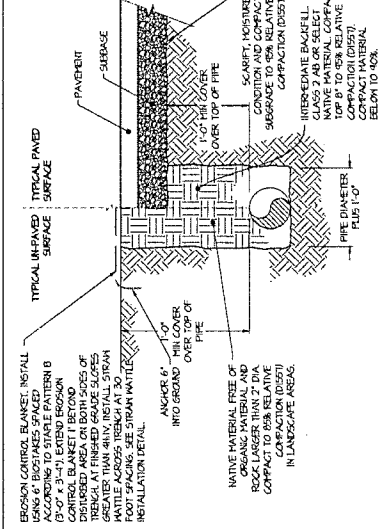
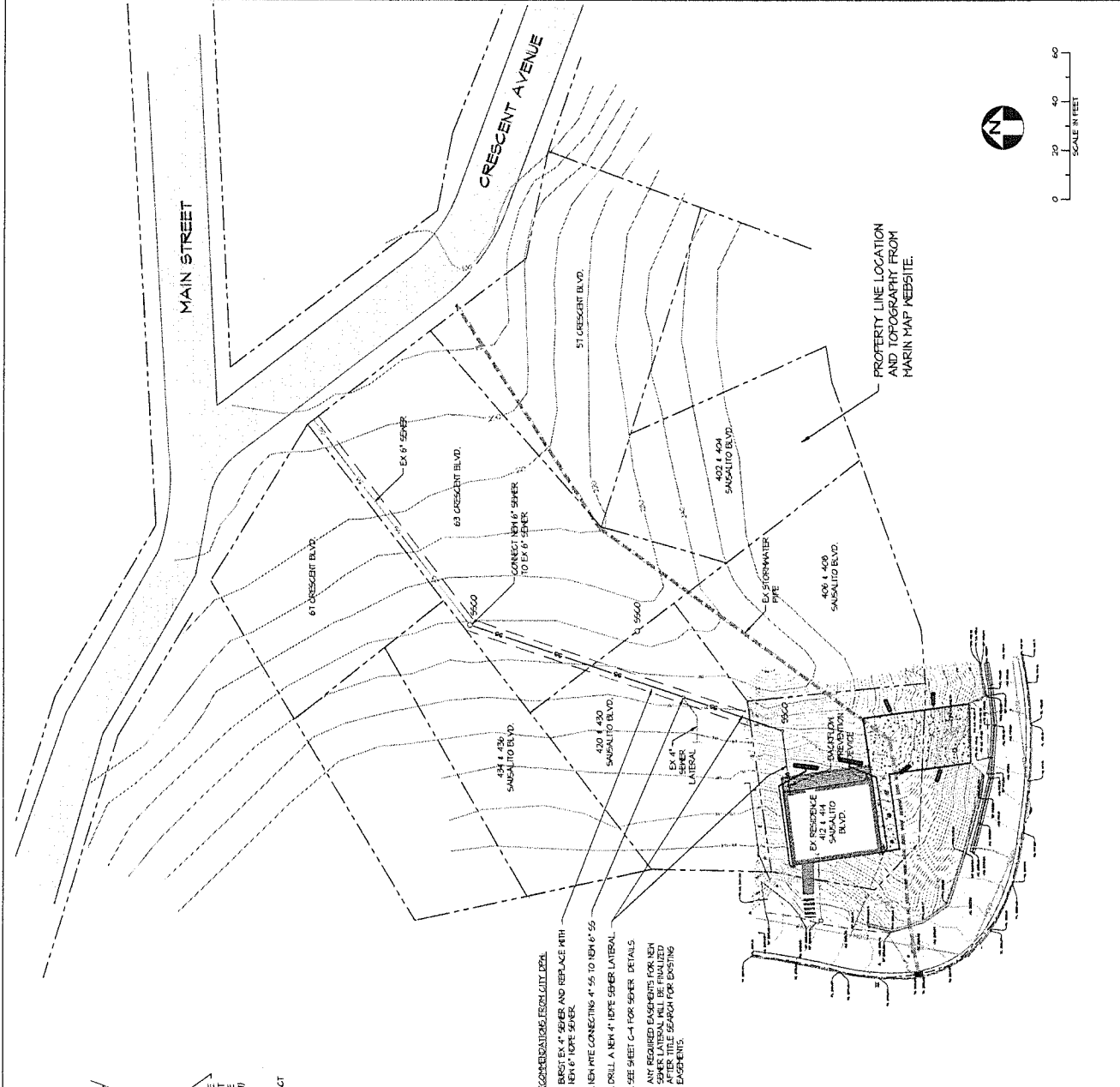
ISSUED FOR PERMIT

APR 17-17-17
 412414 SAUSALITO BLVD
 SAUSALITO, CALIFORNIA

UTILITY PLAN
 412414 SAUSALITO BLVD

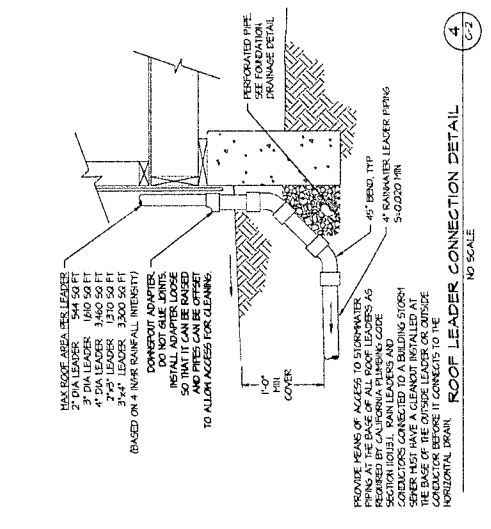
DESIGNED BY: G. BLANCH
 DRAWN BY: E. WATERS
 APPROVED BY: F. 207-07
 SCALE: 1" = 20'-0"

SEWER PLAN
 REVISION: 0
 SHEET NO: 3 OF 6
 DRAWING: C-3



TYPICAL DRAINAGE PIPE TRENCH DETAIL
 3", 4" AND 6" DIAMETER PIPE
 NO SCALE

- RECOMMENDATIONS FOR INSTALLATION:
1. REUSE EX 4" SEWER AND REPLACE WITH 1" DIA. 4" 10' DIA. SEWER.
 2. NEW PIPE CONNECTING 4" 55 TO 10' DIA. 4" 55.
 3. DRILL A NEW 4" DEPTH SEWER LATERAL.
 4. SEE SHEET C-4 FOR SEWER DETAILS.
 5. ANY REQUIRED EASEMENTS FOR NEW SEWER LATERAL WILL BE FINALIZED AFTER THE SEARCH FOR EASING EASEMENTS.



ROOF LEADER CONNECTION DETAIL
 NO SCALE

ECOSON CONTROL BLANKET. INSTALL USING 6" BOSTONS SPACED 2'-0" ON CENTER. INSTALL 6" CONTROL BLANKET (BETWEEN CONTROL BLANKET) BETWEEN DISBURSED AREA ON BOTH SIDES OF TRENCH. TRENCH SHALL BE GREATER THAN 4" INK. INSTALL 3" DIA. MANHOLE WITH 4" DIA. TRENCH AT 30" DEPTH. SEE DRAWING FOR INSTALLATION DETAIL.

ANCHOR 6" 1" DIA. BAR OVER TOP OF PIPE.

NATIVE MATERIAL FREE OF ORGANIC MATERIAL AND ROCKS. BACKFILL TO 1" DIA. CONTACT TO 10% RELATIVE COMPACTION (D95%) IN LANDSCAPE AREAS.

SCARIFY, MOISTURE CONDITION AND COMPACT SUBGRADE TO 95% RELATIVE COMPACTION (D95%).

INTERMEDIATE BACKFILL CURBS SHALL BE SELECTED. NATIVE MATERIAL CONTACT TOP 8" TO 10" RELATIVE COMPACTION (D95%). CONTACT MATERIAL BELOW TO 40%.

PERFORATED PIPE SEE FOUNDATION PROTECTION DETAIL.

1" DIA. PERFORATED PIPE WITH 1" DIA. COVER.

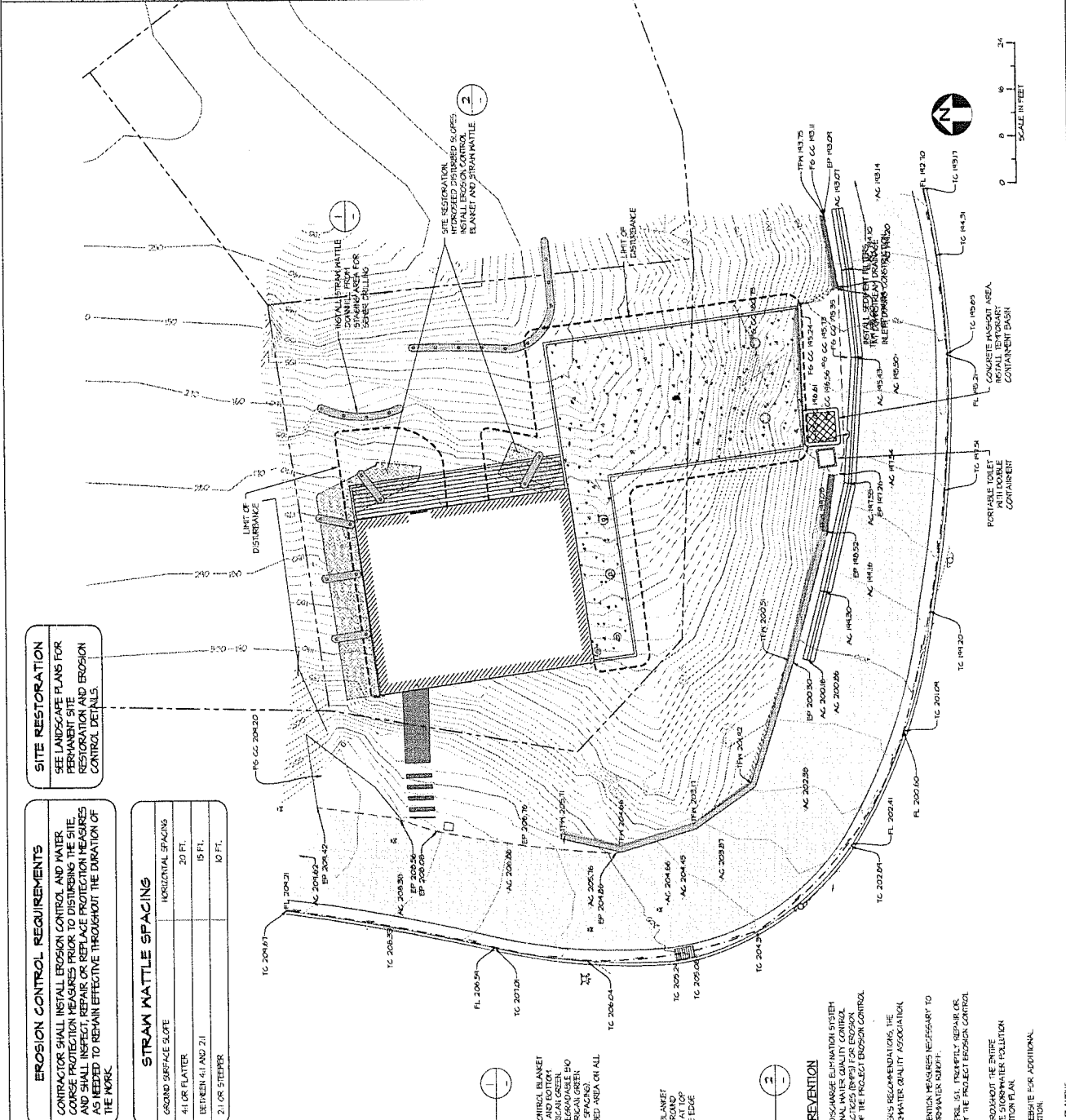
45° BEND, 1" DIA. RAINWATER LEADER PIPING 3'-0" DIA. PER FOR.

PROMOTE MEANS OF ACCESS TO STORMWATER COLLECTION SYSTEMS AS REQUIRED BY CALIFORNIA TRANSPORTATION CODE SECTION 101011. RAIN LEADERS AND CONNECTIONS CONNECTED TO A BUILDING STORMWATER COLLECTION SYSTEM SHALL BE CONNECTED TO THE BASE OF THE OUTSIDE LEADER ON OUTSIDE CONDUIT BEFORE IT CONNECTS TO THE HORIZONTAL DRAIN.

DO NOT ALLOW JOINTS TO BE RAISED SO THAT THEY CAN BE OFFSET AND PIPES CAN BE OFFSET TO ALLOW ACCESS FOR CLEANING.

BASED ON 4" INCH RAINFALL INTENSITY.

DOWNSPOUT ADAPTER. DO NOT ALLOW JOINTS TO BE RAISED SO THAT THEY CAN BE OFFSET AND PIPES CAN BE OFFSET TO ALLOW ACCESS FOR CLEANING.



PREDICTED RAINFALL PREPARATION

STOCKPILE STRAM MATTLE TARPS AND OTHER EROSION AND SEDIMENT CONTROL MATERIALS ON-SITE YEAR ROUND AND READY FOR INSTALLATION.

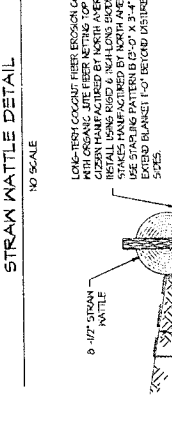
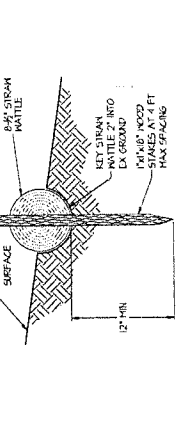
1. INSTALL, INSPECT AND REPAIR EROSION CONTROL AND STORMWATER POLLUTION PREVENTION MEASURES PRIOR TO PREDICTED RAINFALL.
2. INSTALL TEMPORARY DRAINAGE PIPING.
3. INSPECT AND REPAIR ALL TEMPORARY EROSION CONTROL MEASURES.
4. INSTALL STOCKPILE COVERS AND STRAM MATTLE.
5. PLACE ALL HAZARDOUS MATERIALS IN STORAGE AND PROTECT FROM RAINFALL.
6. DISPOSE OF ALL DEBRIS AND WASTE MATERIALS IN DISPOSAL BINS.
7. COVER WASTE DISPOSAL BINS WITH WATERPROOF TARPS.

SEE EROSION CONTROL MONITORING AND MAINTENANCE TABLE FOR FURTHER REQUIREMENTS

EROSION CONTROL REQUIREMENTS

CONTRACTOR SHALL INSTALL EROSION CONTROL AND WATER COURSE PROTECTION MEASURES PRIOR TO DISTURBING THE SITE AND SHALL INSPECT, REPAIR OR REPLACE PROTECTION MEASURES AS NEEDED TO REMAIN EFFECTIVE THROUGHOUT THE DURATION OF THE WORK.

GROUND SURFACE SLOPE	HORIZONTAL SPACING
4:1 OR FLATTER	20 FT.
BETWEEN 4:1 AND 2:1	15 FT.
2:1 OR STEEPER	10 FT.



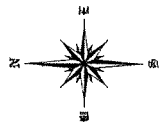
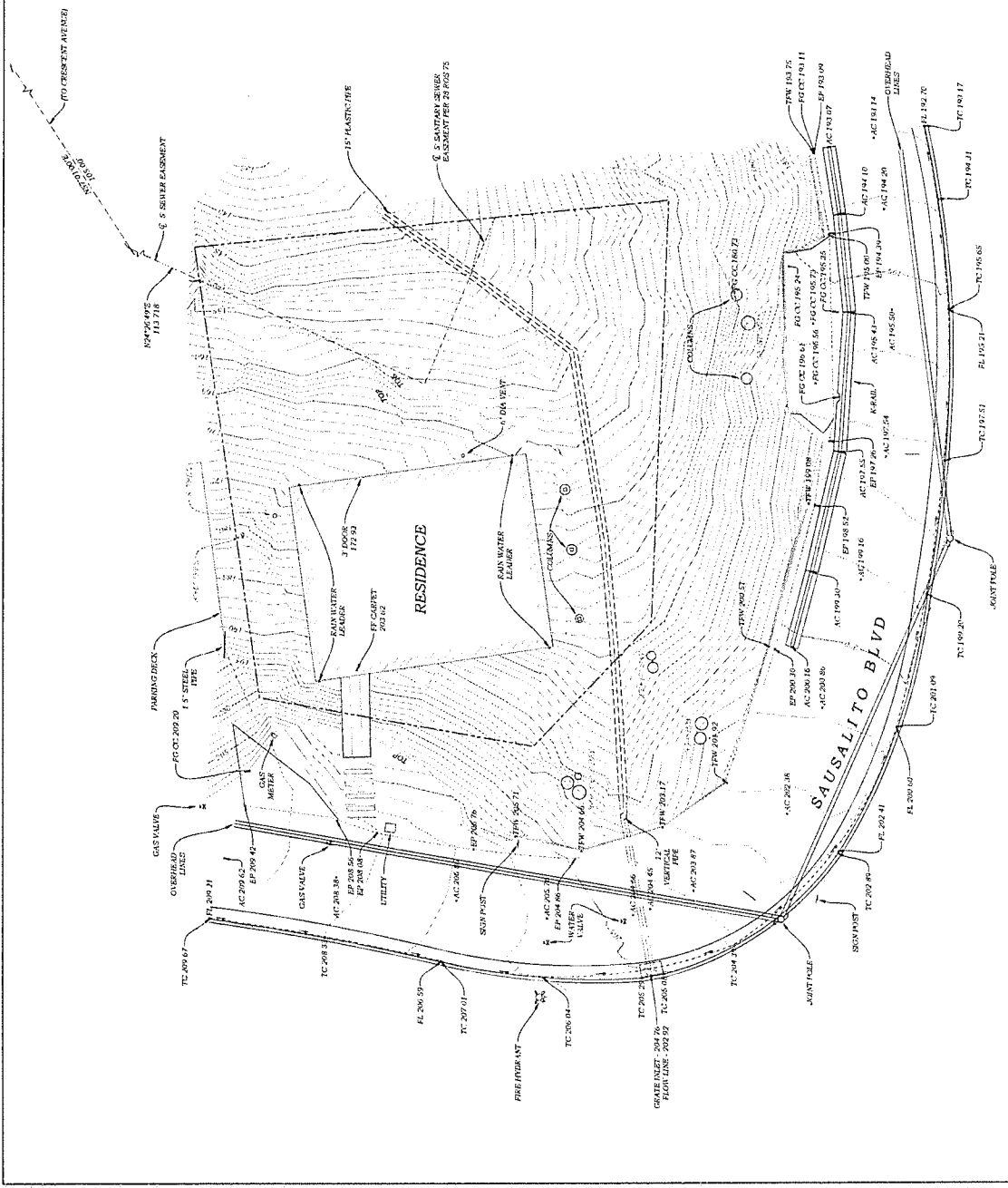
EROSION CONTROL & STORMWATER POLLUTION PREVENTION

1. COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION ACTIVITIES AS REQUIRED BY THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE CITY OF SAUSALITO. IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR EROSION CONTROL AND STORMWATER POLLUTION PREVENTION CORRECTLY INITIAL REQUIREMENTS OF THE PROJECT EROSION CONTROL PLAN AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
2. INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE PROJECT MANUFACTURERS RECOMMENDATIONS, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK (CALIFORNIA STORMWATER QUALITY ASSOCIATION (CSWA) www.csqa.com) AND THE PROJECT EROSION CONTROL PLAN.
3. PRIOR TO OCTOBER 31, INITIAL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION MEASURES NECESSARY TO MINIMIZE EROSION, CONTROL EROSION SEDIMENT ON-SITE AND PREVENT POLLUTION OF STORMWATER ADJACENT.
4. REGULARLY MONITOR EROSION CONTROL MEASURES BETWEEN OCTOBER 31 AND APRIL 15. IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE PROJECT EROSION CONTROL PLAN.
5. REGULARLY MONITOR STORMWATER POLLUTION PREVENTION MEASURES YEAR ROUND THROUGHOUT THE PROJECT CONSTRUCTION PERIOD. IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE STORMWATER POLLUTION PREVENTION MEASURES AS REQUIRED BY THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.
6. VISIT THE MAIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM WEBSITE (WWW.FR.AGRI.CALIFORNIA.GOV) FOR ADDITIONAL INFORMATION ON EROSION CONTROL AND STORMWATER POLLUTION PREVENTION.
7. SEE LANDSCAPE DRAWINGS FOR TEMPORARY EROSION CONTROL AND SITE RESTORATION PLANTING.

SITE RESTORATION

SEE LANDSCAPE PLANS FOR PERMANENT SITE RESTORATION AND EROSION CONTROL DETAILS.

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ABBREVIATIONS
 AC - ASPHALT CONCRETE
 CC - CONCRETE
 EP - EDGE OF PAVEMENT
 FF - FINISH FLOOR
 FG - FINISH GRADE
 FL - FLOW LINE
 TFW - TOP FACE WALL
 TC - TOP OF CURB

LINE TYPES
 - - - - - EDGE OF PAVEMENT
 - - - - - FLOW LINE
 ===== PIPE (ABOVE)
 ===== PIPE (BELOW)
 - - - - - PROPERTY LINE
 - - - - - SANITARY SEWER EASEMENT
 - - - - - TOE
 - - - - - TOP

NOTES:
 1) Boundary Lines based on 28 ROS 75 and Found Evidence Thereof.
 2) The Basis of Bearing for this map is N87°02'51"-W between the found monuments on Sausalito Blvd. as shown on 28 ROS 75
 3) Underground Improvements and Installations have not been located unless otherwise shown.
 4) Any Discrepancy between the Electronic File and the Signed Sealed Paper Copy or PDF File, the Signed Sealed Paper Copy or Stamped PDF will prevail.
 5) Lot may be subject to easements not shown.
 6) Vertical Datum: Assumed.

Project Name: The
 Street: **V-1**
 SCALE: 1" = 8'
 DATE: 12/15/23
 PROJECT NUMBER: 17-0099

412-414 SAUSALITO BLVD
TOPOGRAPHICAL EXHIBIT

R. W. DAVIS & ASSOCIATES, INC.
 LAND SURVEYORS
 501 Laverne Street
 Petaluma, CA 94952
 Tel: (415) 883-9999
 Email: info@rwdavis-survey.com
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REV	DATE	BY	DESCRIPTION	CHECKED