

**SAUSALITO PLANNING COMMISSION  
RESOLUTION NO. 2024-14**

**APPROVAL OF CHANGES TO AN APPROVED PROJECT REQUEST TO ALLOW  
MINOR MODIFICATIONS TO THE ORIGINAL DESIGN REVIEW PERMIT FOR PROJECT  
2022-00184 AND TO RECOMMEND CITY COUNCIL APPROVAL OF AN ENCROACHMENT  
AGREEMENT PERMIT A NEW 19-SEAT PARKLET, AND NEW SIGNAGE, WALL LIGHTS,  
AND AWNINGS THAT WOULD PROJECT INTO THE PUBLIC RIGHT-OF-WAY  
LOCATED AT 813, 815, 817 BRIDGEWAY BOULEVARD  
(DR/EA 2024-00082)**

**WHEREAS**, on July 28, 2023, the Planning Commission approved Project 2022-00184 to; 1) amend a previously approved Design Review Permit and update the building façade; 2) amend the previously approved Minor Use Permit to increase seats and tables from 9 seats to 23 seats and from 3 tables to 6 table; 3) approve a Conditional Use Permit to allow a reduction and waiver of parking requirements, per SMC Section 10.40.110 G.1; 4) recommend approval of an Encroachment Agreement to construct a ramp and elevated entry with 4 seats on the sidewalk and new 19-seat parklet; and 5) approve a new sign permit for additional signage; and

**WHEREAS**, an application has been filed by applicant Michael Rex, architect, on behalf of the property owner, Michael Lappert, requesting Planning Commission approval to amend the previously approved Design Review Permit (2022-00184) and recommend approval of an Encroachment Agreement for parklet, signage, wall lights, and awnings to be located within the public right-of-way at 813-817 Bridgeway Boulevard (APN 065-063-25) (“the Project”); and

**WHEREAS**, the Planning Commission has considered the information contained in the staff report as well as any and all oral and written testimony on the proposed Project; and

**WHEREAS**, the project site is located within the General Plan Commercial land use designation and the Central Commercial zoning district; and

**WHEREAS**, the Planning Commission conducted a duly-noticed public hearings on July 10, 2024, at which time all interested persons were given an opportunity to be heard; and

**WHEREAS**, the Planning Commission has reviewed and considered the Project plans titled “Fish and Chips”, dated June 20, 2024; and

**WHEREAS**, the Planning Commission finds that the proposed Project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report and findings for approval set forth in Exhibit 1.

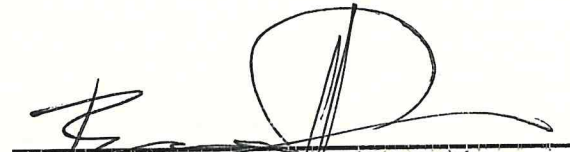
**NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:**

1. The approval of this Project and this action is categorically exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301 (Existing Facilities).
2. The changes to an approved project request to allow changes to the originally approved Design Review Permit 2022-00184 to modify a commercial building façade and a recommendation to City Council to approve an Encroachment Agreement for a 19-seat parklet, and new signage, wall lights, and awnings that would project into the public right-of-way construct a new 19-seat parklet and a sign permit for additional signs, are approved

based upon the attached findings (Exhibit 1), subject to the attached conditions of approval (Exhibit 2), and as shown in the project plans titled "Fish and Chips", date-stamped June 20, 2024 (Exhibit 3); and

**RESOLUTION PASSED AND ADOPTED**, at the regular meeting of the Sausalito Planning Commission on the 10th day of July, 2024, by the following vote:

AYES:	Commissioner:	Luxenberg, Saad, Marlatt, Junius, Feller
NOES:	Commissioner:	None
ABSENT:	Commissioner:	None
ABSTAIN:	Commissioner:	None



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Brandon Phipps  
Secretary to the Planning Commission

Exhibits

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans



**SAUSALITO PLANNING COMMISSION  
JULY 10, 2024  
813-817 BRIDGEWAY BOULEVARD  
DR-EA 2024-00082**

**EXHIBIT 1:  
Findings for Approval of a Design Review Permit and Encroachment Agreement.**

**Design Review Permit Findings**

In order to approve or conditionally approve the Changes to the Approved Project request for changes to the Design Review Permit, the Planning Commission must determine whether the project is in conformance with the required Design Review Findings in Section 10.54.050 of the Sausalito Municipal Code (SMC). The required finding is provided in *italics* below, with staff analysis following the required finding.

- A. *The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.*

The project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance as analyzed in the staff report.

- B. *The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.*

The principal change in the project will lower the first floor level to meet the sidewalk at grade, providing for a more functional entry into the establishment and consistent with other storefronts in the area. The changes would reduce the "clutter" of having a front entry ramp, stairway, and terrace obstructing a portion of the sidewalk. Further, the amendments retain the streetlight and street trees and provide a broader passageway for pedestrians. The property owner will retain use of the existing sidewalk dining permitted under EA-DR-MUP 06-032. The design adequately complements the neighborhood, while providing a more "activated" building and more outdoor seating, therefore contributing to the City of Sausalito's goal to take advantage of unique characteristics of sites and contribute to design diversity.

- C. *The proposed project's use is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.*

The project does not change the footprint of the and/or scale of the proposed building. The proposed changes will allow for a more functional ingress/egress and will be more complementary to the streetscape. The proposed changes a minor in scope and consistent with the general scale of structures and buildings in the surrounding neighborhood.

- D. *The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.*

The proposed changes will not hinder nor impede public views, nor will it impede primary views from private property. The proposed change is located and designed to allow the public enjoyment of the views by providing a more enjoyable and safer place to dine.

- E. *The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.*

The project was previously determined to meet this requirement. The project will maintain the location and building coverage of the previously approved design. Furthermore, the project site is not located along a ridgeline as such the Project will not result in a prominent building profile above a ridgeline.

- F. *The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.*

The project was previously determined to meet this requirement. The modified project provides for a more functional entry, retain the existing lamppost and street trees, and would provide more space for pedestrian passers-by. The project will maintain decorative landscaping and will enhance the streetscape.

- G. *The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.*

The project was previously determined to meet this requirement. The project does not propose to change the location nor coverage of the existing building. The proposed changes to the design will not impact light and air for the project site, adjacent properties nor the general public.

- H. *Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.*

The project was previously determined to meet this requirement and the proposed changes will retain the existing streetlight and will not affect any changes to chimneys or exterior mechanical equipment. The project is subject to the noise regulations of Chapter 12.16 of the Municipal Code and does not propose any changes to mechanical equipment, or chimneys.

- I. *The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck, and patio configurations.*

The proposed changes will not impact the level of privacy of the site and adjacent properties. No roof deck is proposed for customer use and the applicant is proposing only service access to the roof for equipment/mechanical maintenance.

- J. *Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.*

The proposed changes to the previously approved project will positively affect customers and the general public. The project will remove the steps located at the entrance which are an



obstacle to patrons with disabilities and provide an entrance at sidewalk level. The improvements will also retain the existing streetlamp and street trees and will provide more room for pedestrian passage and customer movement.

- K. *The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.*

The project as revised would retain two existing street trees, one of which is severely damaged. There are no significant natural features on the area of the proposed change.

- L. *The project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings)*

The Project's proposed change does not require heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage.

- M. *The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include but are not limited to stepping upper levels back from the first level, incorporating façade articulations and divisions (such as building wall off-set), and using varying rooflines.*

The proposed change will maintain the envelope of the approved building and will not affect the previously approved structures. In eliminating a need for a ramp and/or stairway access in the sidewalk, the project will provide greater room for pedestrian passage and will not crowd or overwhelm structures on neighboring properties.

### **Encroachment Agreement Findings**

In order to recommend approval or conditional approval the Encroachment Agreement a street parklet and wall lights, signs, and awnings in the public right-of-way, the Planning Commission has determined the project is in conformance with the required Findings in Section 10.56.060 of the Sausalito Municipal Code (SMC):

- A. *The proposed encroachment is compatible with the surrounding area and will either improve or not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.*

Subject to the conditions of approval outlined below, the proposed encroachments will improve physical public enjoyment of the streetscape because the proposed outdoor dining will enhance the appearance of the eating & drinking establishment. The outdoor dining will enhance the public's enjoying of the streetscape when they enter the Downtown Historic District. Furthermore, the wall lamps, signage, and awnings are decorative features that will contribute to the public enjoyment of the streetscape.

- B. *The encroachment will not adversely affect the usability or enjoyment of adjoining parcels nor create or extend an undesirable land use precedent.*

Subject to the conditions of approval outlined below, the adjoining parcels will not be adversely affected by the proposed accessible entry ramp, outdoor dining, and parklet, because the outdoor dining area is well designed and will provide easier pedestrian flow, and it does not take away sidewalk space from the adjoining properties. The approval of the encroachment permit will not set an undesirable land use precedent because there is currently a precedent for approving sidewalk dining and street parklets along Bridgeway Boulevard.

- C. *The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable.*

A safe, well-designed area where patrons can enjoy dining at this establishment thus giving the opportunity to the restaurant the opportunity to benefit from a possible boost in its economic health. Projecting light standards, signs, and awnings are common in the Downtown. The project, as revised, will also allow the establishment to provide greater contributions to the City's sale tax, economic vitality, and economic health.

- D. *The proposed encroachment will not adversely affect the public circulation nor create or constitute a hazard to public safety.*

The proposed revisions have been reviewed by the Department of Public Works (regulates the use of public rights-of-way) as well as the Southern Marin Fire District, and both agencies have issued Conditions of Approval to ensure public circulation will not be negatively impacted. The revised plan will retain the existing lamppost and trees and will provide more room for pedestrian circulation on the sidewalk. Subject to the conditions of approval outlined below, the revised plan will provide for effective pedestrian circulation and flow.

- E. *The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvement of streets or pedestrian ways.*

The costs associated with the addition of the parklet and related improvements are not significant enough to prejudice the revocation of the Encroachment Agreement.



**SAUSALITO PLANNING COMMISSION  
JULY 10, 2024  
813-817 BRIDGEWAY BOULEVARD  
DR-MUP-UP-EA-SIGN 2022-00184 and DR-EA 2024-00082**

**EXHIBIT 2: Conditions of Approval**

These conditions apply to the project plans prepared by Michael Rex Architects, entitled "Fish and Chips", date-stamped June 20, 2024 (Exhibit 3).

**COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION CONDITIONS OF APPROVAL:**

**General Items:**

1. It shall be the applicant's/property owner's responsibility to diligently proceed to carry out the conditions of approval and implement any approved permit/entitlement. This shall include establishing the approved use within the time limits set forth by the applicable chapter (reference Sausalito Municipal Code 10.50.120).
2. As part of the building permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of building permit application and any other subsequent submittals.
3. The project shall be designed and constructed as shown in the set of plans dated stamped June 20, 2024 (see Exhibit 3).
4. Operational Restrictions: 1) Outdoor eating & drinking activities are prohibited between the hours of 10:30 PM and 6:00 AM; 2) All windows and doors must be kept closed between the hours of 10:30 PM and 6:00 AM; and 3) All indoor eating & drinking areas must be closed between the hours of 12:00 AM and 6:00 AM.
5. The Community Development Director is authorized to permit minor changes to the project as outlined under SMC 10.50.180.B. Any other substantive changes shall require submittal of a revised project application subject to review and approval of the Planning Commission.
6. The location of new streetlights in the parklet as shown on the plans is not approved. The applicant / owner shall work with the Engineering Division of the Department of Public Works on an alternative solution for street lighting in such a way as to provide for adequate and accessible public passage along the sidewalk, including mounting new streetlights on the building façade (See edited Department of Public Works Conditions of Approval, Condition #4, below).
7. Conditions applicable to protection of trees on the project site:

- a) Before the start of any clearing, excavation, construction or other work on the site, every protected tree deemed to be endangered by the work shall be securely fenced off at the "protected perimeter," which shall be either the outer limits of the branches of such protected tree (the drip line) or such greater limits as may be established by the reviewing agency. Such fences shall remain in place for the duration of all such work. All protected trees to be removed shall be clearly marked. A plan shall be established for the removal and disposal of logs, brush, earth, and other debris which will avoid injury to any protected tree.
  - b) Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filling, or compaction of the existing ground surface within the protected perimeter shall be minimized. No asphalt or other paving materials shall be added. No change in existing ground levels shall occur within four feet of the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter.
  - c) No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the protected perimeter of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within the protected perimeter. Wires shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.
  - d) Periodically during construction, the leaves of the protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit transpiration.
  - e) If any damage to a protected tree should occur during or as a result of work on the site, the contractor, builder, or owner shall promptly notify the City of such damage. If such a protected tree cannot be preserved in a healthy state, the reviewing agency shall require replacement of any protected tree removed with another tree or trees on the same site deemed adequate to compensate for the loss of the tree that is removed.
8. Exterior lighting shall be shielded and downward facing.
  9. The Applicant/Property Owners shall defend, indemnify (including reimbursement of all attorneys' fees and costs incurred by the City), and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, claim, damage, or expense (including without limitation attorney's fees), which may arise out of or concern any City permit decision or approval related to the project, including without limitation, challenges to project approvals or permits under the California Environmental Quality Act.



10. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
11. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit. This shall include establishing the approved use/implementing the permit within the time limits set forth by the applicable chapter.
12. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code Section 12.16.130 – Machinery, equipment, fans, and air conditioning.
13. At the time of building permit application, the applicant shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in Sausalito Municipal Code Section 10.54.100. The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the project. Such documentation may include without limitation an executed construction contract. The time for completion of the construction shall also be indicated on the construction permit. For projects exceeding \$500,000 in project valuation, a detailed GANTT chart (or other graphic display acceptable to the Community Development Director) depicting the sequence of steps necessary for completion of the project, including detailed information on the critical path of the project, duration of critical tasks, and predicted inspection dates, shall be submitted prior to the issuance of any construction permit. Once approved, the property owner shall provide the City with written quarterly job progress reports consistent with the approved chart.
14. Encroachment Conditions per 10.44.220 (C)(3)
  - a. Safe Passage. The Community Development Director shall make a determination regarding the adequacy of the passageway. The sidewalk immediately adjacent to the restaurant shall have adequate space to accommodate tables and chairs and shall provide adequate safe passage along the sidewalk for pedestrian and wheelchair users of the sidewalk. Safe and adequate passage of 48 inches' width shall be provided both along the sidewalk and from the curb to the sidewalk (to provide for two pedestrians walking side by side or by a single wheelchair). No tables or chairs shall be placed or allowed to remain on any sidewalk that inhibit passage.
  - b. Location. Permits shall only be issued to allow the use of sidewalk immediately adjacent to the restaurant seeking the permit. The Community Development Department shall determine the most appropriate location along the sidewalk for the applicant's tables and chairs. The permit shall include a map of the portion of the sidewalk where tables and chairs may be located.
  - c. Cleanliness. Debris, litter or food matter shall be removed from the sidewalk, streets or surrounding property at least once each day during operating hours and at the time the tables and chairs are removed from the sidewalk.



d. Food Service. The establishment obtaining the permit shall be engaged in food service and shall provide such service at the tables subject to the permit.

e. Insurance. The applicant shall obtain liability insurance with policy limits of at least \$500,000 per incident. The City shall be named an additional insured and the policy shall remain in force at all times that the permit is in effect.

f. Hold Harmless. The applicant shall enter into a sidewalk dining encroachment permit agreement prepared by and satisfactory to the City Attorney. The applicant shall agree to conform to these conditions and all applicable City ordinances. The applicant shall also agree to indemnify the City and hold the City harmless from and against all liability arising out of the applicant's activities under the permit or otherwise arising out of the applicant's placement of tables and chairs in the City sidewalk and/or from permitting the use of such tables and chairs by patrons or otherwise.

g. Orderliness. All tables and chairs shall be removed from the sidewalk whenever the restaurant is closed or when the restaurant is not serving patrons on the sidewalk. The permit shall provide for the placement of tables and chairs for the use of diners only. The restaurant shall not be permitted to place any other structures or objects of any sort along or in the sidewalk. No entertainment shall be permitted along the sidewalk by the restaurant. No food preparation shall take place along the sidewalk, and no serving trays or bus stations shall be located along the sidewalk.

h. Preeminence. The applicant shall acknowledge that its use of the sidewalk under the permit is subordinate to the public's right to use the sidewalk for passage and travel. The permit shall be revocable from time to time by order of the City to allow for a public event or other public use of the sidewalk subject to the permit or if the use of the sidewalk for dining purposes conflicts with any public use of the sidewalk. The applicant shall also acknowledge that the use of the sidewalk is subject to temporary suspension any time the City or any utility company or easement holder requires access to the sidewalk or any utility under the sidewalk or requires use of the sidewalk in conjunction with any construction project.

i. Fee. The applicant shall be required to pay the City an annual permit fee, based on square footage of the permit area, as established by resolution of the City Council.

j. Compliance with All Regulations. The applicant shall comply with all regulations of State Alcoholic Beverage Control and the County of Marin Department of Public Health, and any other agency that controls the operations of the restaurant.

k. Revocable. All sidewalk dining minor use permits and sidewalk dining encroachment permits shall be subject to permanent revocation by the City at any time.

**DEPARTMENT OF PUBLIC WORKS CONDITIONS OF APPROVAL (NOTE: CDD edits in ~~strikeout~~ and underline):**

**Drainage**



- 1) Applicant shall ensure best management practices (BMPs) are used during construction activity. This includes erosion and sediment controls and pollution prevention practices. Pollution prevention practices may include designated washout areas or facilities, control of trash and recycled materials, covering of materials stored on-site, and proper location of and maintenance of temporary sanitary facilities. The combination of BMPs used, and their execution in the field, must be customized to the site using up-to-date standards and practices. You may refer to the Marin County Stormwater Pollution Prevention Program's website, <https://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-2015.pdf?la=en>
- 2) Metal drainage grate to be lined up directly over gutter. Metal drainage grate to be ADA-approved and easily removable for applicant to clear and maintain.
- 3) Provide preliminary grading plans and a table specifying cut and fill amount. Explain where cut and fill areas are located on site plan and depth/height at each location.
- 4) Grading permits shall be obtained from DPW for earthwork of 50 cubic yards or more. If this applies, Please apply for a grading permit by reaching out to Megan Lockett at [mlockett@sausalito.gov](mailto:mlockett@sausalito.gov)

### **Right of Way**

- 5) Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards," available online at: <http://www.marincounty.org/depts/pw/divisions/land-use/ucs>.
- 6) Pursuant to City of Sausalito Resolution 5116, roadway and subdivision improvements shall comply with the Uniform Construction Standards All Cities and County of Marin and as may be modified by the City Engineer.
- 7) An encroachment agreement with the City's Community Development Department will outline the necessary procedures of how City property will be restored should the applicant abandon parklet or violate City requirements.
- 8) All work shall be performed only on above-referenced property. The applicant shall ensure improvements do not cross the property line threshold. If any work is done in the City right-of-way, an encroachment permit will be required. Please note that the approved MUP for Sidewalk dining required an Encroachment Permit and Sidewalk Dining Agreement. Information regarding encroachment permit submittal can be found here: <https://www.sausalito.gov/departments/public-works/engineering-division/encroachment-permits>

### **Accessibility**

- 9) Ensure signs, lamps, umbrellas or any other protruding elements be at least 80 inches minimum clear height.
- 10) Show proposed parklet with 2% max cross slope towards the sidewalk and into metal drainage grate.

### **Misc.:**

- 11) Please note the sanitary sewer line wye should be shown in the direction of the flow, which is towards the south. Additionally, show any sanitary sewer line cleanouts in the area. None are currently shown.
- 12) Show detail of vehicle barrier bollards.

### **Advisory Notes**

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
2. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
3. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500-foot radius of residential zones shall only take place during the following hours:  
  
Weekdays – Between 8:00 a.m. and 6:00 p.m.  
  
Saturdays – Between 9:00 a.m. and 5:00 p.m.                      Sundays – Prohibited  
  
Holidays officially recognized by the City of Sausalito not including Sundays – Prohibited  
  
Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.
4. Prior to final approval, applicant shall repair or replace, at no expense to the City, damage to public facilities that results from applicant's construction activities. Applicant is advised that applicant's contractor shall save and protect all existing facilities not designated for removal or modification within the public right of way.
5. Applicant shall ensure that construction materials, equipment, vehicles, and properly-permitted debris boxes (Bay Cities Refuse Service is the sole authorized solid waste hauler permitted to provide debris box service in the City of Sausalito) is not placed in a manner that poses a traffic hazard, and is placed to minimize obstruction of roads and gutters, and is equipped with reflectors or lighting to ensure visibility at night and in inclement weather (if placed in the public right of way), and is maintained in a clean and safe condition, and not maintained in a manner that becomes a nuisance to the neighborhood. Debris boxes shall be emptied on a regular basis, or as directed by the City. Material stockpiles & debris boxes shall be covered when not being accessed or filled to prevent dust or liquid from being



released to the environment. Construction materials, equipment, vehicles, and debris boxes shall be placed in the public right of way only after securing an encroachment permit.

6. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.

## **SOUTHERN MARIN FIRE PROTECTION DISTRICT CONDITIONS OF APPROVAL:**

### **APPLICABLE CODES:**

1. The design professional is responsible for verifying that the project complies with the regulations of CA Title 24 requirements, as well as local, state, and national standards and codes adopted by the AHJ at the time of the building permit submission.
2. The design professional is responsible for verifying all the exterior materials used in construction meet the requirements of Chapter 7A of the CA Building Code.

### **FIRE PROTECTION SYSTEMS:**

1. **Fire Sprinkler Installation Required-** A fire sprinkler system shall be provided for the following:
  - a. If the combination of the addition, alteration or remodeling exceeds 50% of the floor area of the existing structure, the project is considered a "substantial remodel" \*\* (*see end for definition*).
  - b. Existing Buildings. In any building with an existing automatic sprinkler system, protection shall be extended to any all of alteration, repair, remodel or addition, regardless of job size so that 100% coverage is maintained.
  - c. Commercial fire sprinklers and alarm systems shall be monitored 24/7 for fire and trouble by an approved U.L. Central Station per 2019 CFC Section 903.4

Fire sprinkler coverage shall be provided throughout the entire structure according to Chapter 9 of the California Fire Code. Fire sprinkler system shall be installed according to NFPA standard 13 and Southern Marin Fire Standard 401.

2. **Fire Alarm- Occupant Notification System Required:** The fire alarm system, in accordance with standards as established by the National Fire Protection Association, shall initiate occupant notification upon activation. Said system must be connected to the headquarters of the Southern Marin Fire Protection District through an approved U.L. central monitoring station.
3. **Keyed entry box required.** When access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or firefighting purposes, and in commercial structures that have an automatic fire sprinkler or fire alarm system installed, the Fire Code Official is authorized to require a key entry system to be installed in an approved location. The key entry system shall be

of an approved type listed in accordance with UL1037, and if it is a key entry box, shall contain keys necessary to gain access as required by the Fire Code Official.

### **ACCESS AND EGRESS:**

1. Fire access to the project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.
2. The structure shall require the ability to support ariel fire apparatus access requirements. The aerial apparatus access road shall be a minimum of 26 feet unobstructed, located not less than 15 feet and not more than 30 feet from the building, and shall be positioned at the curbside of Bridgeway.
3. This project is approved under CBC 3002.4a exception #4. A minimum of one stairway built to accommodate a flat gurney or stretcher is required to be provided with the approval of the project.
  - a. Any revisions to proposed stairway #2 may result in requiring a gurney accessible elevator.
4. Exits or exit access doorways shall comply with the California Fire Code Section 1007.1.1
5. Due to the occupancy use and exits provided, an occupant load shall be posted showing a maximum load of 49 persons on the 2<sup>nd</sup> floor. A readily visible durable sign shall be placed above or adjacent to the egress side of the main door on the ground floor and 2<sup>nd</sup> floor door reading THIS DOOR TO REMIAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
6. Means of egress illumination and exit signs shall comply with the California Fire Code Section 1008 and 1013, respectively.
7. Egress doors shall follow all operational guidelines specified in the California Fire Code Section 1010.1.9. The signage posted on or adjacent to egress doors shall follow the requirements specified in the California Fire Code Section 1010.1.9.3.

### **VEGETATION AND FUEL MANAGEMENT:**

The property owner shall comply with California Fire Code Section 304.1.2 and Local Ordinance Section 110.4.2 Abatement of Clearance of Flammable Brush or Flammable Vegetative Growth from Structures.

- a. A minimum clearance of 30 feet from the structure or to the property line, 10 feet from roads and property lines and any tree which extends within 10 feet of any chimney or stovepipe shall be kept clear of flammable brush, tree limbs and grasses.
  - b. Exception: Vegetation Management Plan for the property has been submitted and approved by the Fire Code Official.
2. The applicant shall comply with California Fire Code and Public Resource Code 4291 requirements relating to the clearance of flammable brush and weeds. A minimum



clearance of 30' from structures and 10' from roads and property lines shall be maintained.

3. Materials used for awnings shall comply with MVFD Standard 119 and shall have an affixed label showing flame resistant or retardant approval by the final inspection.

**PREMISE IDENTIFICATION:**

1. The address shall be posted in accordance with requirements of the California Fire Code and SMFD standard 205 (Premises Identification).
  - a. Properties located within the Wildland Urban Interface are required to have an approved address marker visible from across the street in contrasting colors per 2019 CA Fire Code.

**MISCELLANEOUS:**

1. Any revisions that include additional floor area, reduction of floor area, or modifications to existing or new walls, floors, ceilings, or roofs shall be submitted as revised drawings to the District for further review.
2. All on-site improvements, such as water main extensions, hydrants, and access roads must be serviceable prior to framing the structure.
3. Final occupancy approval shall not be granted/released until authorization to the Community Development Agency has been received from the Fire District.

**SAUSALITO PLANNING COMMISSION  
JULY 10, 2024  
813-817 BRIDGEWAY BOULEVARD  
DR-MUP-UP-EA-SIGN 2022-00184 and DR-EA 2024-00082**

**EXHIBIT 3: Approved Plans**

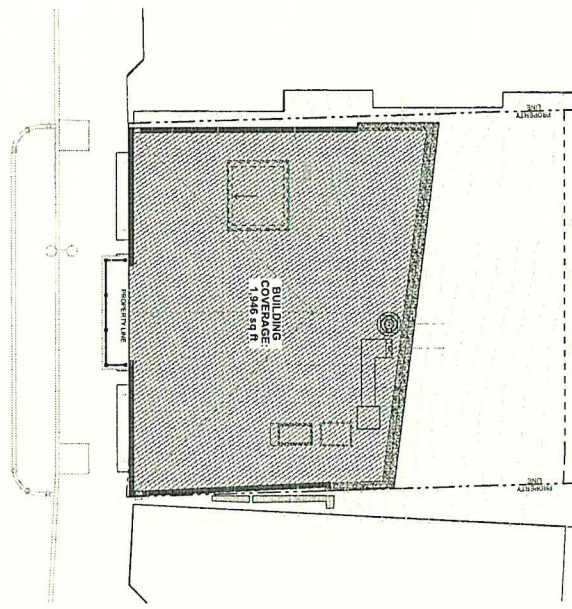




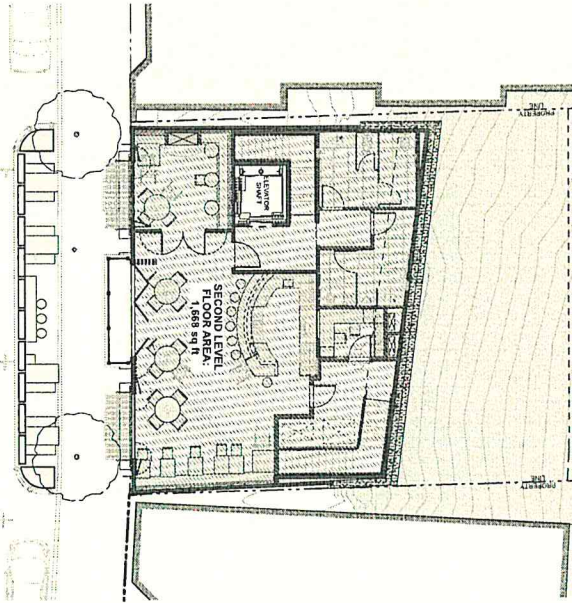




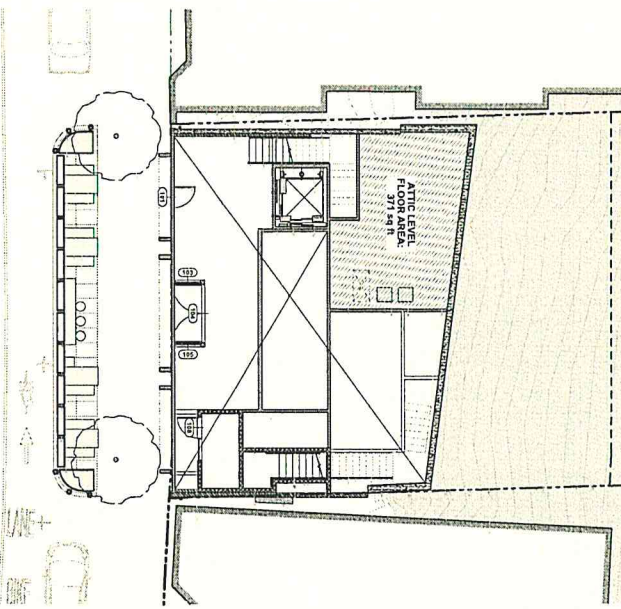




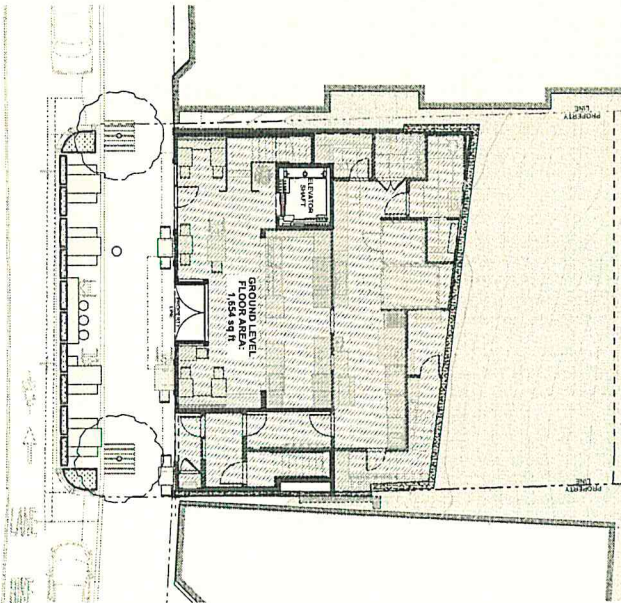
ROOF PLAN - PROPOSED LOT COVERAGE 3



SECOND FLOOR PLAN - PROPOSED FAR 2



ATTIC FLOOR PLAN - PROPOSED FAR 1



GROUND FLOOR PLAN - PROPOSED FAR 1

**MICHAEL REX ARCHITECTS**  
 1750 BROADWAY, SUITE 8201  
 SAUSALITO, CA 94965  
 TEL: (415) 251-1466  
 FAX: (415) 251-5468



**IMPROVEMENTS TO FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25

**A0.5**

FLOOR AREA AND BUILDING COVERAGE DIAGRAMS

DATE: 1/27/11

SCALE: 1/2" = 1'

PROJECT NO: 1004

DATE: 1/27/11

15%

15%



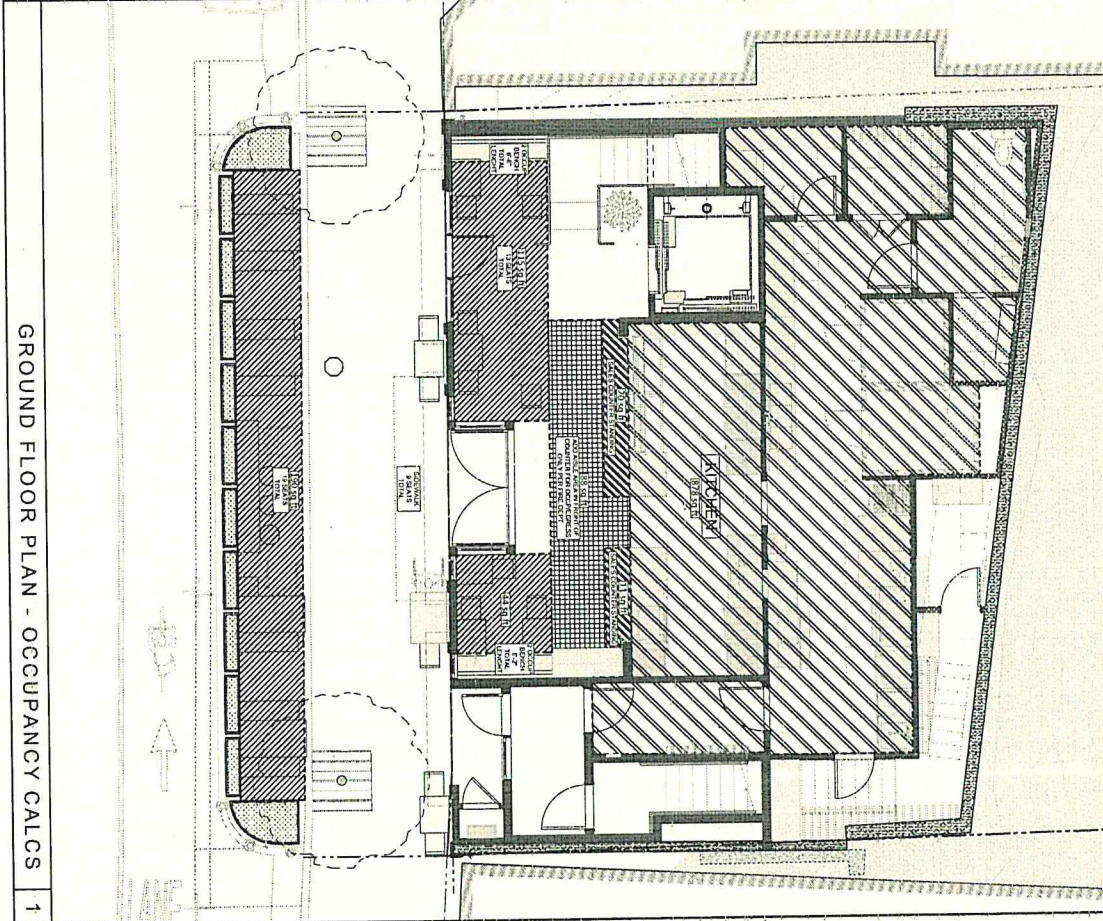
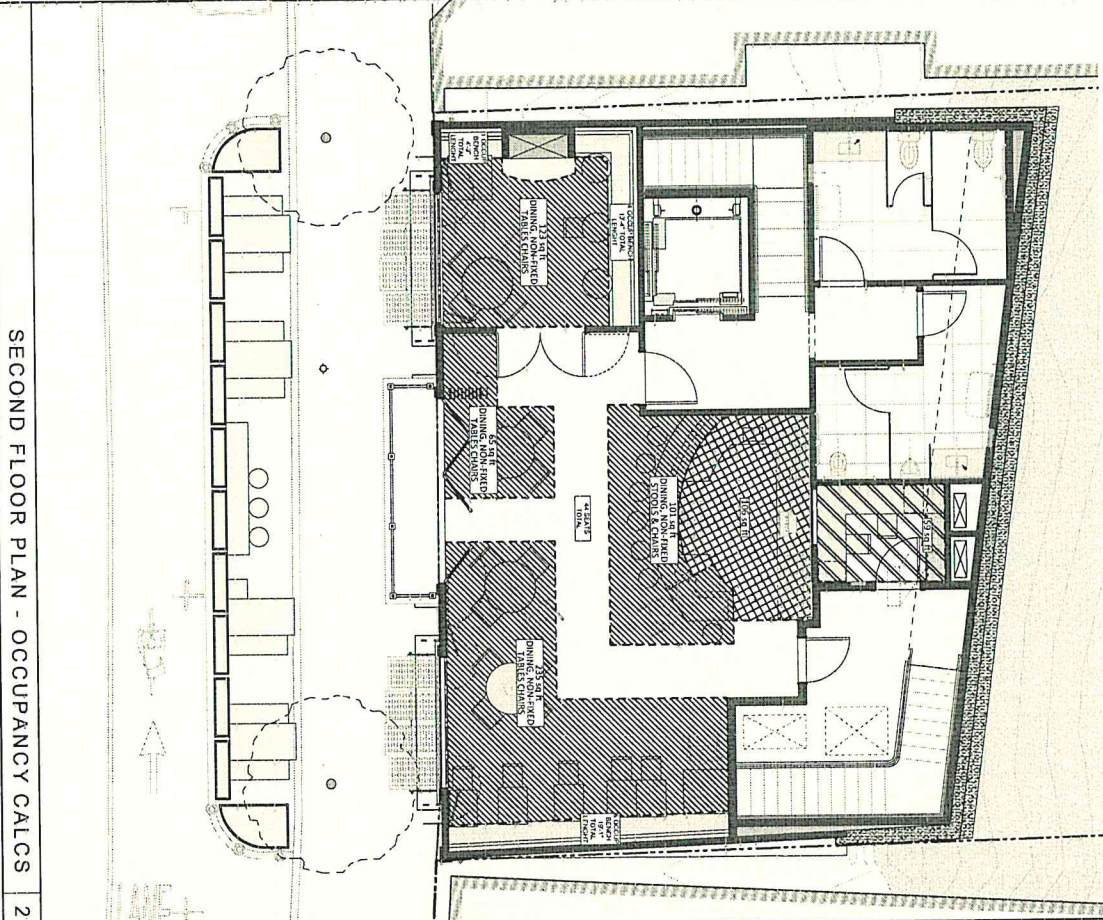
SECOND FLOOR DINING TABLES & CHAIRS  
 NON-FIXED TABLES & CHAIRS  
 MAIN DINING ROOM  
 DINING - 1 19'-1"  
 DINING - 2 19'-4"  
 DINING - 3 20'-7"  
 DINING - 4 20'-7"

NON-FIXED TABLES & CHAIRS  
 MAIN DINING ROOM  
 DINING - 1 19'-1"  
 DINING - 2 19'-4"  
 DINING - 3 20'-7"  
 DINING - 4 20'-7"

NO.	DESCRIPTION	AREA (SQ. FT.)	UNIT	AMOUNT	TOTAL
1	NON-FIXED TABLES & CHAIRS	19.1	1	19.1	19.1
2	NON-FIXED TABLES & CHAIRS	19.4	1	19.4	19.4
3	NON-FIXED TABLES & CHAIRS	20.7	1	20.7	20.7
4	NON-FIXED TABLES & CHAIRS	20.7	1	20.7	20.7
TOTAL					79.9

NO.	DESCRIPTION	AREA (SQ. FT.)	UNIT	AMOUNT	TOTAL
1	NON-FIXED TABLES & CHAIRS	19.1	1	19.1	19.1
2	NON-FIXED TABLES & CHAIRS	19.4	1	19.4	19.4
3	NON-FIXED TABLES & CHAIRS	20.7	1	20.7	20.7
4	NON-FIXED TABLES & CHAIRS	20.7	1	20.7	20.7
TOTAL					79.9

NO.	DESCRIPTION	AREA (SQ. FT.)	UNIT	AMOUNT	TOTAL
1	NON-FIXED TABLES & CHAIRS	19.1	1	19.1	19.1
2	NON-FIXED TABLES & CHAIRS	19.4	1	19.4	19.4
3	NON-FIXED TABLES & CHAIRS	20.7	1	20.7	20.7
4	NON-FIXED TABLES & CHAIRS	20.7	1	20.7	20.7
TOTAL					79.9



SECOND FLOOR PLAN - OCCUPANCY CALCS 2

GROUND FLOOR PLAN - OCCUPANCY CALCS 1

IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25



MICHAEL REX  
 ARCHITECTS  
 1190 BRIDGEWAY, SUITE 801  
 SAN FRANCISCO, CA 94133  
 TEL: (415) 231-1488  
 FAX: (415) 231-1489

A0.6

OCCUPANCY  
 DIAGRAMS  
 PLUMBING  
 EXHIBIT  
 C.A.C.

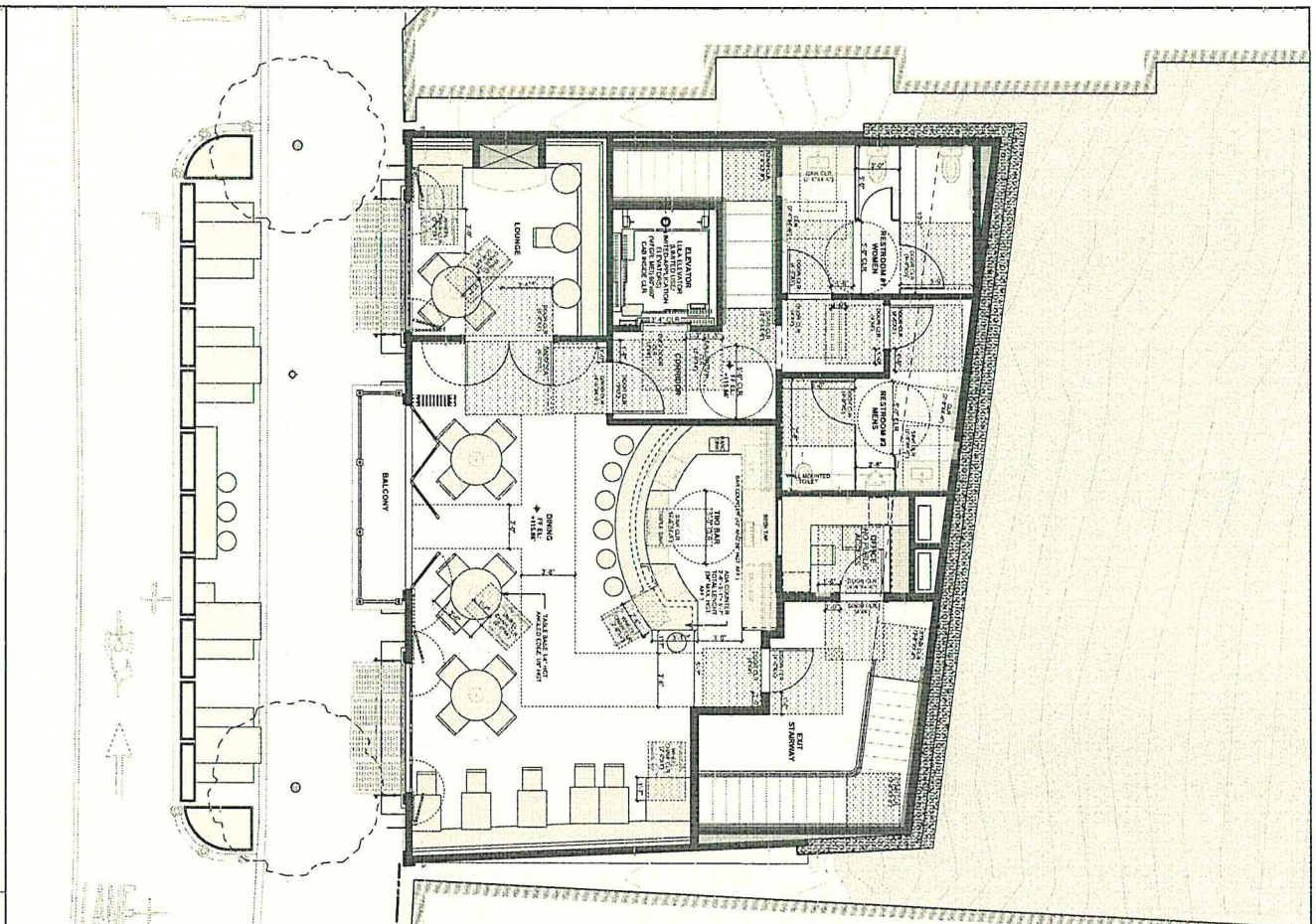
DATE: 1/27/11  
 DRAWN BY: MJB  
 CHECKED BY: MJB  
 PROJECT: 11/1111



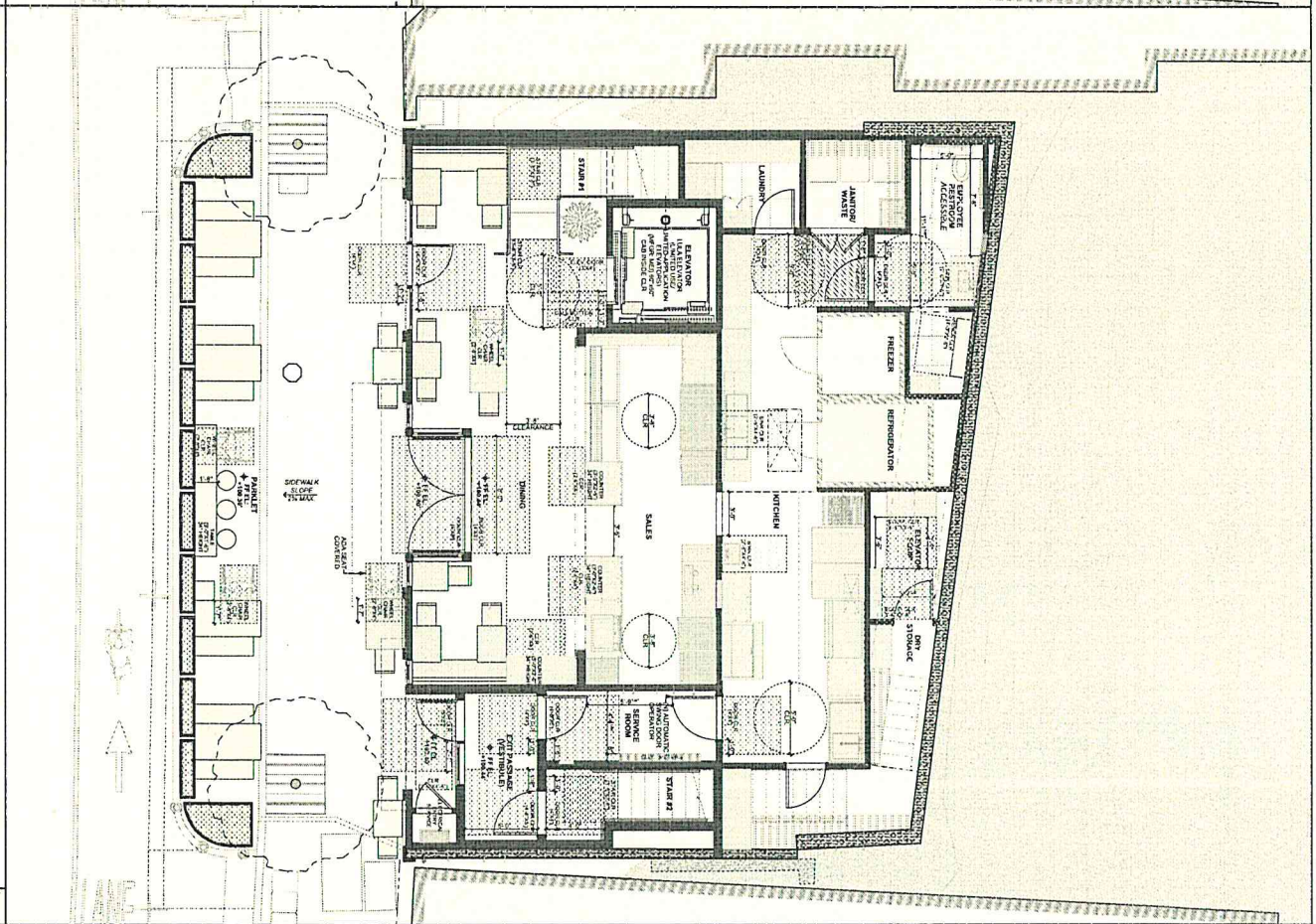




SECOND FLOOR PLAN - CLEARANCE DIAGRAM 2



GROUND FLOOR PLAN - CLEARANCE DIAGRAM 1



A0.8

CLEARANCE  
DIAGRAMS

DATE	DESCRIPTION
10/11/11	ISSUED FOR PERMITTING
08/11/11	ISSUED FOR PERMITTING
07/11/11	ISSUED FOR PERMITTING
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02/01/01	ISSUED FOR PERMITTING
01/01/01	ISSUED FOR PERMITTING

IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
813-817 BRIDGEWAY  
SAUSALITO, CA 94965  
APN 065-063-25



MICHAEL REX  
ARCHITECTS  
1150 BROADWAY, SUITE 801  
SAN FRANCISCO, CA 94103  
TEL: (415) 397-1400  
FAX: (415) 397-1405



MICHAEL REK  
 ARCHITECTS  
 1240 BRIDGEWAY, SUITE 811  
 SAUSALITO, CA 94965  
 TEL: (415) 231-4444  
 FAX: (415) 231-4445

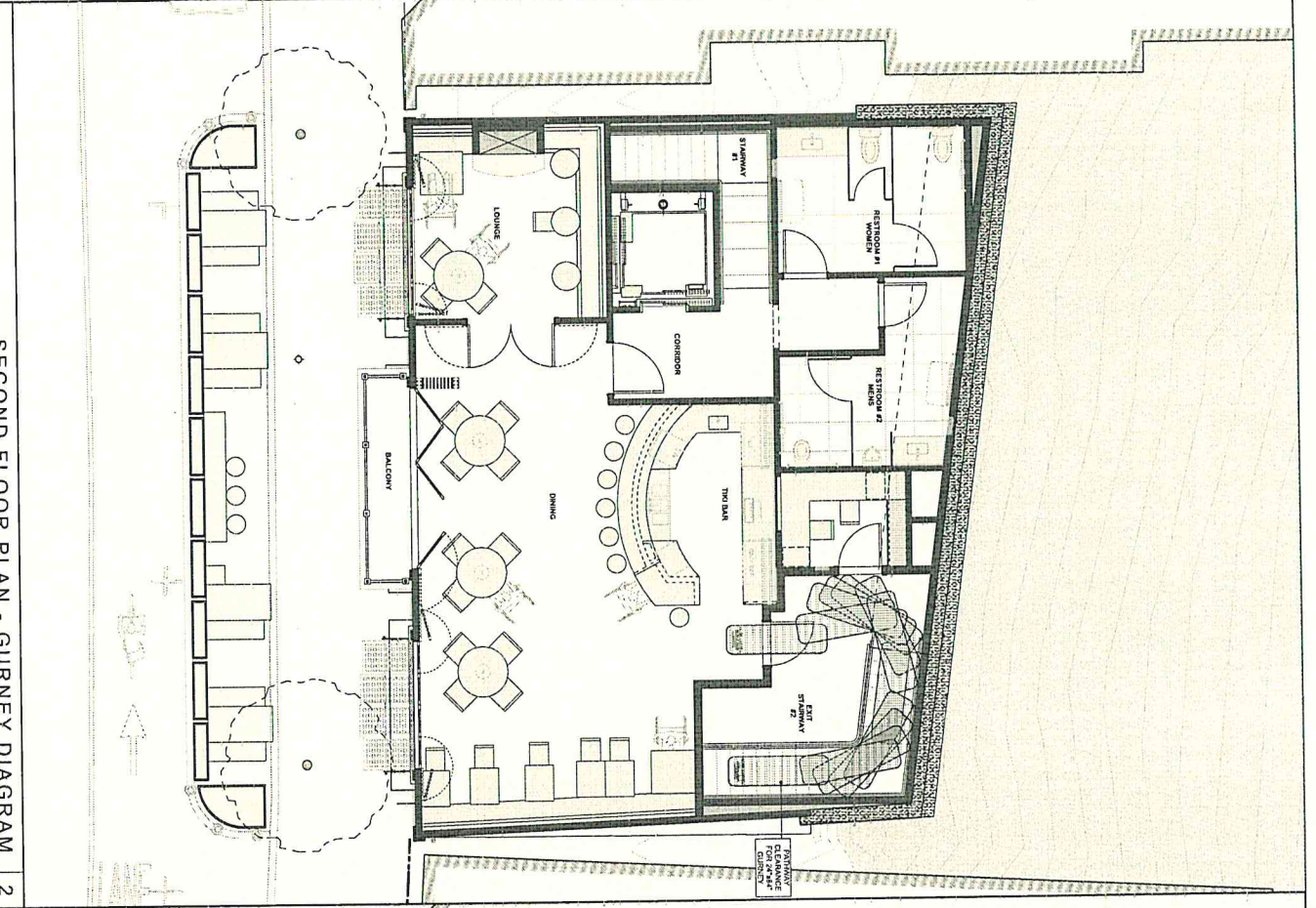


IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25

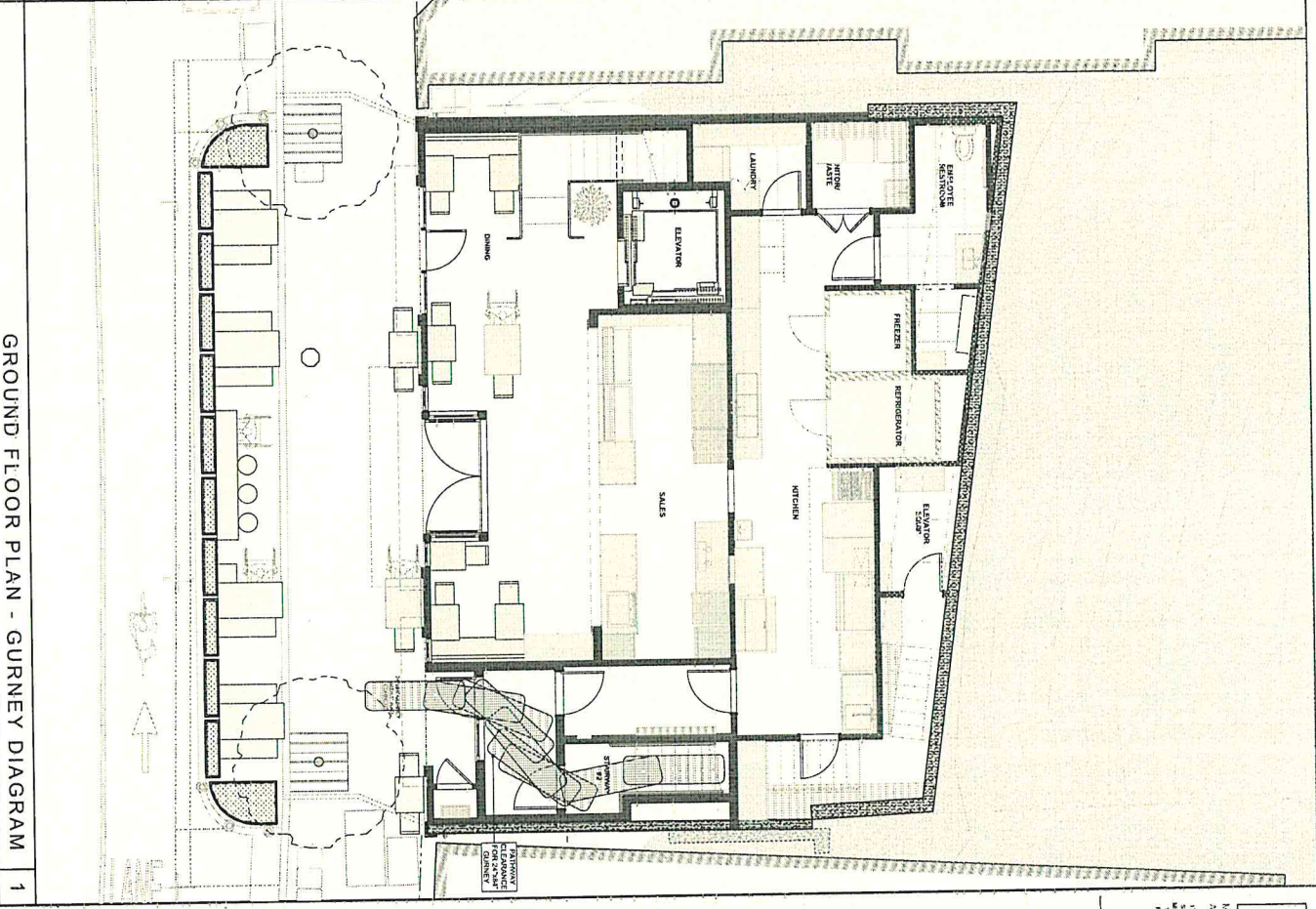
DATE: 08/14/2013  
 DRAWN BY: M. REK  
 CHECKED BY: M. REK  
 PROJECT NO.: 13-001  
 SHEET NO.: A0.9  
 SCALE: 1/8" = 1'-0"

**A0.9**

GURNEY EXIT PATH

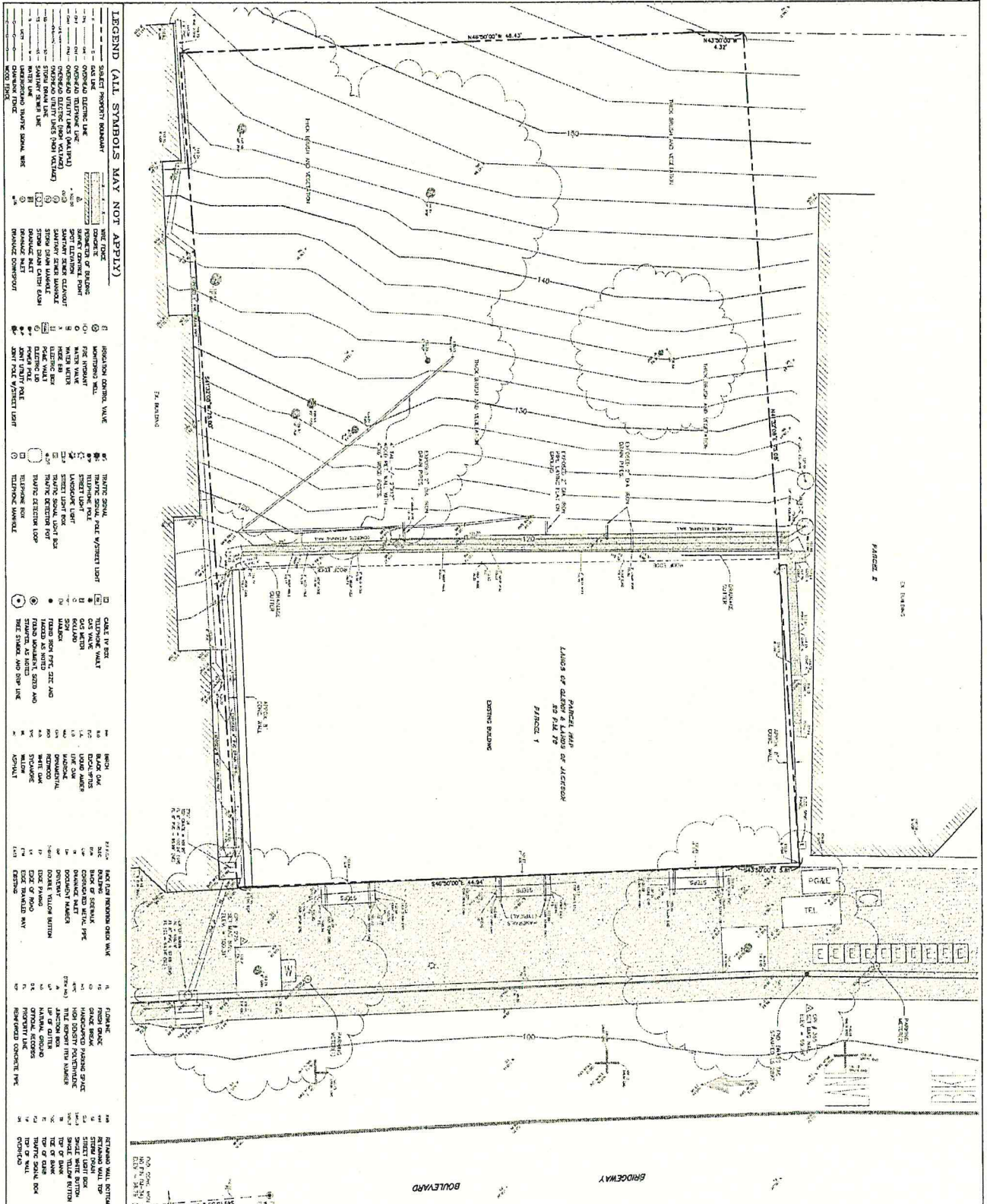


SECOND FLOOR PLAN - GURNEY DIAGRAM 2



GROUND FLOOR PLAN - GURNEY DIAGRAM 1



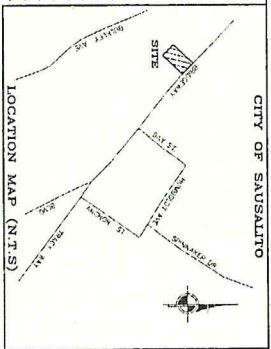


**LEGEND (ALL SYMBOLS MAY NOT APPLY)**

1	ADJACENT PROPERTY BOUNDARY	11	ISOLATION CONTROL VALVE
2	ADJACENT PROPERTY BOUNDARY	12	ISOLATION CONTROL VALVE
3	ADJACENT PROPERTY BOUNDARY	13	ISOLATION CONTROL VALVE
4	ADJACENT PROPERTY BOUNDARY	14	ISOLATION CONTROL VALVE
5	ADJACENT PROPERTY BOUNDARY	15	ISOLATION CONTROL VALVE
6	ADJACENT PROPERTY BOUNDARY	16	ISOLATION CONTROL VALVE
7	ADJACENT PROPERTY BOUNDARY	17	ISOLATION CONTROL VALVE
8	ADJACENT PROPERTY BOUNDARY	18	ISOLATION CONTROL VALVE
9	ADJACENT PROPERTY BOUNDARY	19	ISOLATION CONTROL VALVE
10	ADJACENT PROPERTY BOUNDARY	20	ISOLATION CONTROL VALVE

21	ADJACENT PROPERTY BOUNDARY	31	ADJACENT PROPERTY BOUNDARY
22	ADJACENT PROPERTY BOUNDARY	32	ADJACENT PROPERTY BOUNDARY
23	ADJACENT PROPERTY BOUNDARY	33	ADJACENT PROPERTY BOUNDARY
24	ADJACENT PROPERTY BOUNDARY	34	ADJACENT PROPERTY BOUNDARY
25	ADJACENT PROPERTY BOUNDARY	35	ADJACENT PROPERTY BOUNDARY
26	ADJACENT PROPERTY BOUNDARY	36	ADJACENT PROPERTY BOUNDARY
27	ADJACENT PROPERTY BOUNDARY	37	ADJACENT PROPERTY BOUNDARY
28	ADJACENT PROPERTY BOUNDARY	38	ADJACENT PROPERTY BOUNDARY
29	ADJACENT PROPERTY BOUNDARY	39	ADJACENT PROPERTY BOUNDARY
30	ADJACENT PROPERTY BOUNDARY	40	ADJACENT PROPERTY BOUNDARY

41	ADJACENT PROPERTY BOUNDARY	51	ADJACENT PROPERTY BOUNDARY
42	ADJACENT PROPERTY BOUNDARY	52	ADJACENT PROPERTY BOUNDARY
43	ADJACENT PROPERTY BOUNDARY	53	ADJACENT PROPERTY BOUNDARY
44	ADJACENT PROPERTY BOUNDARY	54	ADJACENT PROPERTY BOUNDARY
45	ADJACENT PROPERTY BOUNDARY	55	ADJACENT PROPERTY BOUNDARY
46	ADJACENT PROPERTY BOUNDARY	56	ADJACENT PROPERTY BOUNDARY
47	ADJACENT PROPERTY BOUNDARY	57	ADJACENT PROPERTY BOUNDARY
48	ADJACENT PROPERTY BOUNDARY	58	ADJACENT PROPERTY BOUNDARY
49	ADJACENT PROPERTY BOUNDARY	59	ADJACENT PROPERTY BOUNDARY
50	ADJACENT PROPERTY BOUNDARY	60	ADJACENT PROPERTY BOUNDARY



**BENCHMARK**  
 CHURCH & PASADENA CONTROL POINT NUMBER 2 BEING A SET OFF ELEVATION = 100.00 (AS BOUND) CONTROL POINT OF SHERMAN 843N

**BASIS OF BEARINGS**  
 NORTH 45°15'57" WEST BEING UNADJUSTED M-14 AND M-18 AS SHOWN ON THAT CERTAIN PORTAL MAPS IN BOOK 20 OF PARCEL BOOK AT PAGE 74, MARIN COUNTY RECORDS.

**BUILDING EASEMENT NOTE**  
 THE EASEMENT IS SHOWN UNDER PARCEL NUMBER 201-00714, OFFICIAL RECORDS OF MARIN COUNTY, IN FAVOR OF THE SUBJECT PARCEL. LESSEES AN EASEMENT TO, NEED AND REMAINS STANDING. THE EASEMENT APPLIES TO CHURCH ALL OF PARCEL 2 OF IN BOOK 20 OF PARCEL BOOK AT PAGE 74, MARIN COUNTY RECORDS.

**SURVEYOR'S STATEMENT**  
 THIS MAP REPRESENTS A FIELD SURVEY MADE ON THE 12th DAY OF APRIL 2014 BY ME AND MY ASSISTANTS AT THE SITE. THE SURVEY WAS MADE UNDER THE BEST PRACTICES AND CONDITIONS AS OF APPLICABLE DATE.

**APPROVED**

W. JAMES JONES, P.L.S. 6000

DATE: 4/12/14

REPLACE SURVEY SHEET WITH UPDATED DATE

817 BRINDENWAY

ENGINEER & PASADENA, INC.

LAND SURVEYING & CONSTRUCTION

1540 N. GARDEN AVE. PASADENA, CA 92368

WWW.ENGINERANDPASADENA.COM

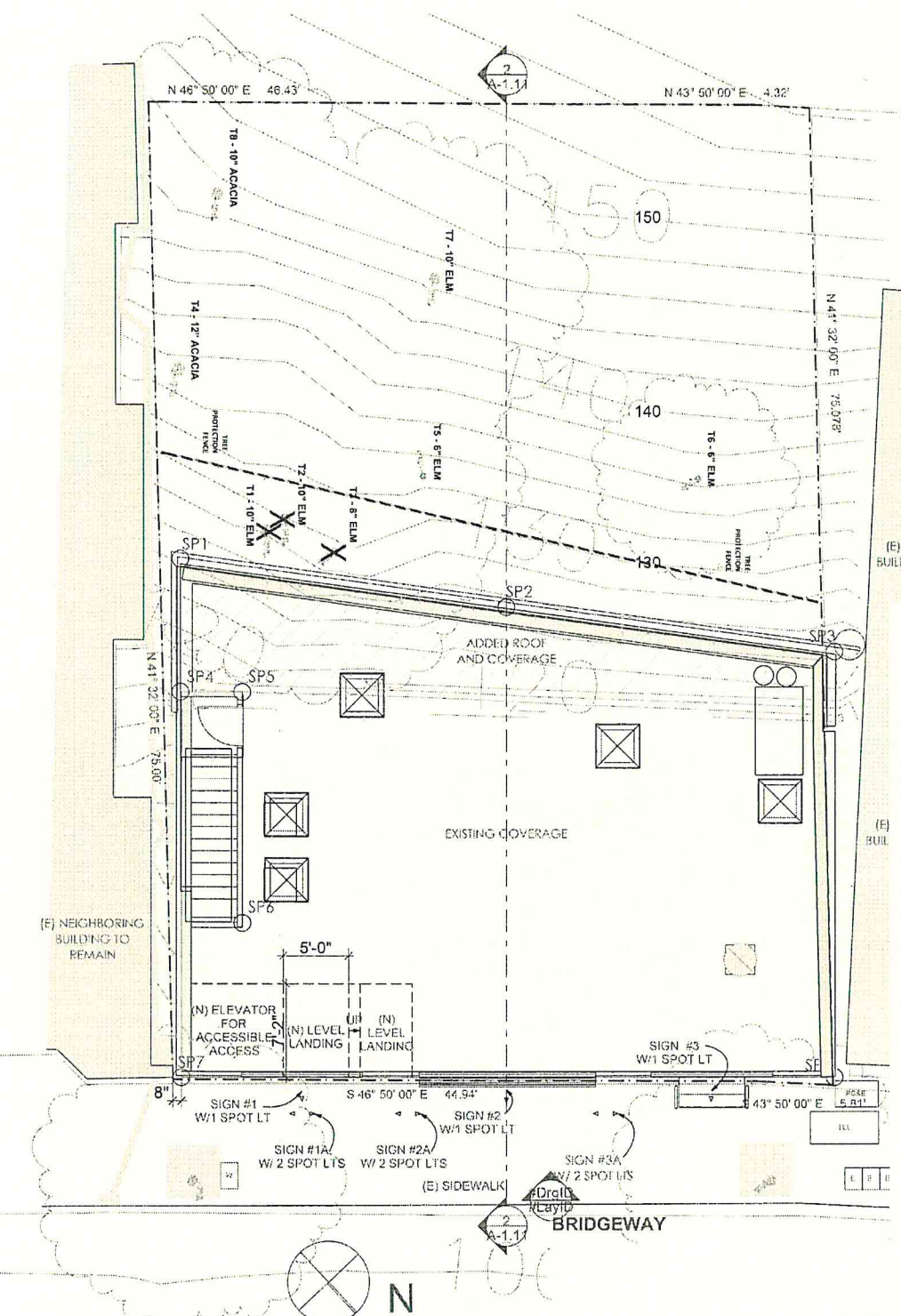
DATE	SCALE	DESIGNED BY	DATE
04/12/14	1" = 40'	JAB	04/12/14
04/12/14	1" = 40'	JAB	04/12/14
04/12/14	1" = 40'	JAB	04/12/14



TREE SPECIES	DBH @ 4.5'	STATUS	SUITABILITY	CANOPY RZ	CRZ RECOMMENDATION
11. AMERICAN ELM	31.4	10	HERITAGE TREE	18 E, 7.5 N, 4.2 E	PRESERVE
12. AMERICAN ELM	31.4	10	HERITAGE TREE	18 E, 7.5 N, 4.2 E	PRESERVE
13. AMERICAN ELM	33.7	12	UNDESIRABLE	20 C, 9 N, 3.5 E	REMOVE (UNDESIRABLE)
14. AMERICAN ELM	33.7	12	UNDESIRABLE	20 C, 9 N, 3.5 E	REMOVE (UNDESIRABLE)
15. AMERICAN ELM	18.8	6	UNPROTECTED	10 C, 4.5 N, 2.3 E	PRESERVE
17. AMERICAN ELM	31.4	10	HERITAGE TREE	9 C, 7.5 N, 4.2 E	PRESERVE
18. BLACK ACACIA	31.4	10	UNDESIRABLE	8 C, 7.5 N, 4.2 E	REMOVE (UNDESIRABLE)

**TREE PROTECTION MEASURES:**

- The Project Applicant shall meet with the General Contractor prior to any Tree Removal, Demolition or Construction activities and discuss construction management plan that will protect trees and other vegetation on the site. The contractor shall be responsible for the location of the any existing trees, and shall be responsible for the location of the any existing trees, and shall be responsible for the location of the any existing trees.
- The Project Applicant shall protect the trees and other vegetation on the site by installing tree protection zones (TPZ) around the trees. The TPZ shall be installed prior to any tree removal, demolition or construction.
- All tree removals shall be performed by hand using light stump pulling machinery when within the Root Protection Zone (RPZ) or retained trees and to a stem or no less than 11" dbh or branches as warranted.
- Following TPZ line installation, the Project Applicant shall inspect and confirm that the Protection fencing has been properly installed and that the Protection fencing has been properly installed and that the Protection fencing has been properly installed.
- The Protection zone fencing shall be constructed of no less than 4" x 4" wooden posts and 4" x 4" wooden rails. The Project Applicant shall be responsible for the location of the any existing trees, and shall be responsible for the location of the any existing trees.
- Retained trees near equipment access ways shall have their trunks wrapped with 2" x 4" wooden slats and bound securely to the trunk with 2" x 4" wooden slats and bound securely to the trunk with 2" x 4" wooden slats.
- All retained trees may be maintained pruned to include cleaning, thinning of branches, and structural pruning by a Licensed Arborist or qualified personnel. This can be performed before, during, or after construction.
- The Project Applicant shall remove any plant materials within the Protection Zone and shall be responsible for the location of the any existing trees, and shall be responsible for the location of the any existing trees.
- The Project Applicant shall inspect and supervise all construction activities within the Protection Zone and will review the site plan and provide any necessary recommendations to the City of San Diego.
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**TREE PROTECTION:**

- Remove two heritage trees (11, 12) and one unprotected tree (13) prior to excavation or grading to include stump removal.
- The Project Applicant shall inspect and supervise all construction activities within the Protection Zone and will review the site plan and provide any necessary recommendations to the City of San Diego.
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- The Project Applicant shall inspect and supervise all construction activities within the Protection Zone and will review the site plan and provide any necessary recommendations to the City of San Diego.

**LEGEND**

- 11-18 TREE NUMBERS
- X - TREE REMOVALS
- TREE PROTECTION FENCING

**APPROVED**

DATE: 11/7/2017  
DRAWN BY: [Name]  
SCALE: AS SHOWN  
REVIEWED: [Name]  
REVISIONS: [List]

**TREE PROTECTION PLAN**

DATE: 11/7/2017  
DRAWN BY: [Name]  
SCALE: AS SHOWN  
REVIEWED: [Name]  
REVISIONS: [List]

**FISH AND CHIPS**

813-817 BRIDGEWAY  
SAUSALITO, CALIFORNIA 94965  
A.P.N. 065-063-25

**ARBORLOGIC**  
CONSULTING ARBORISTS

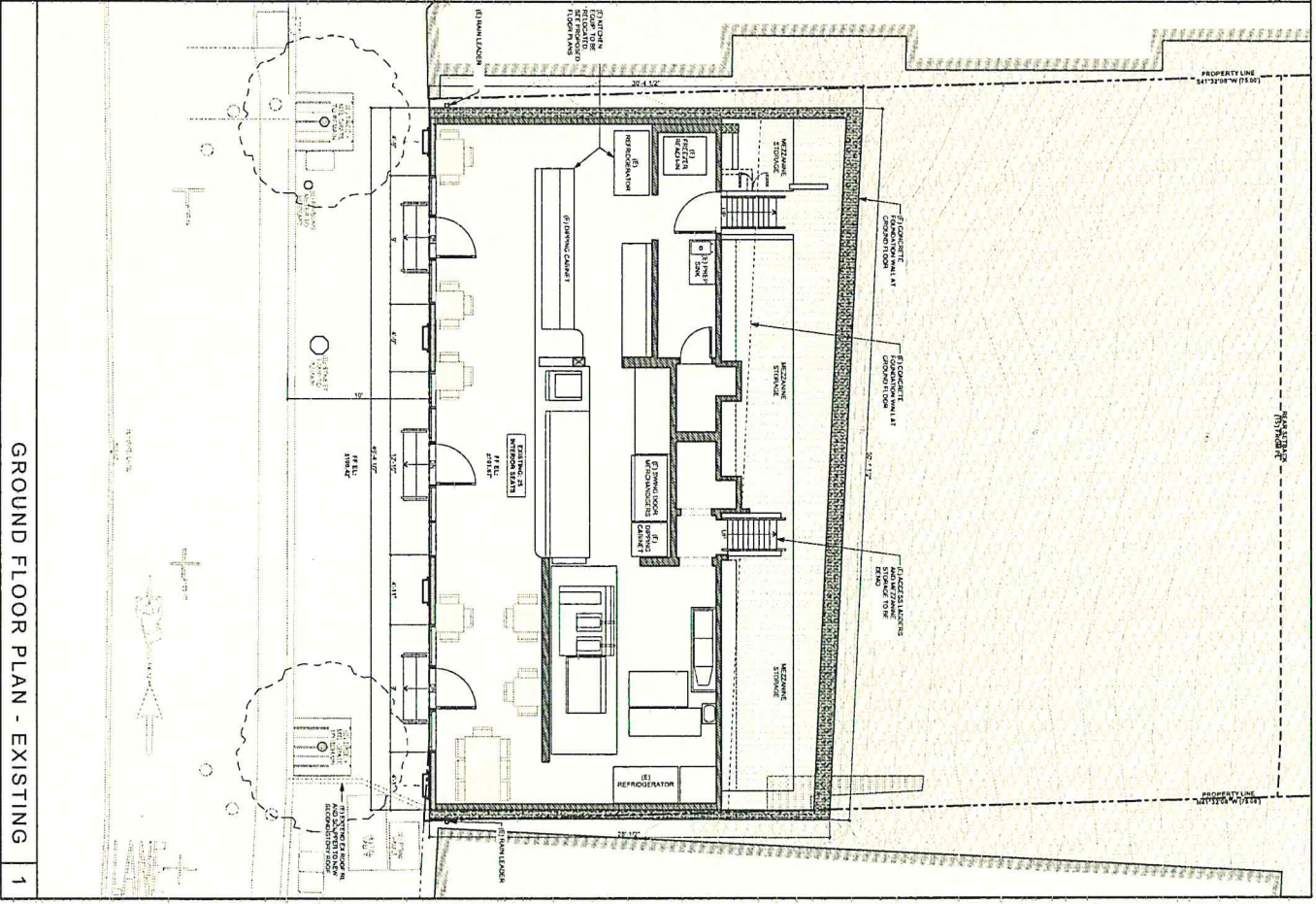
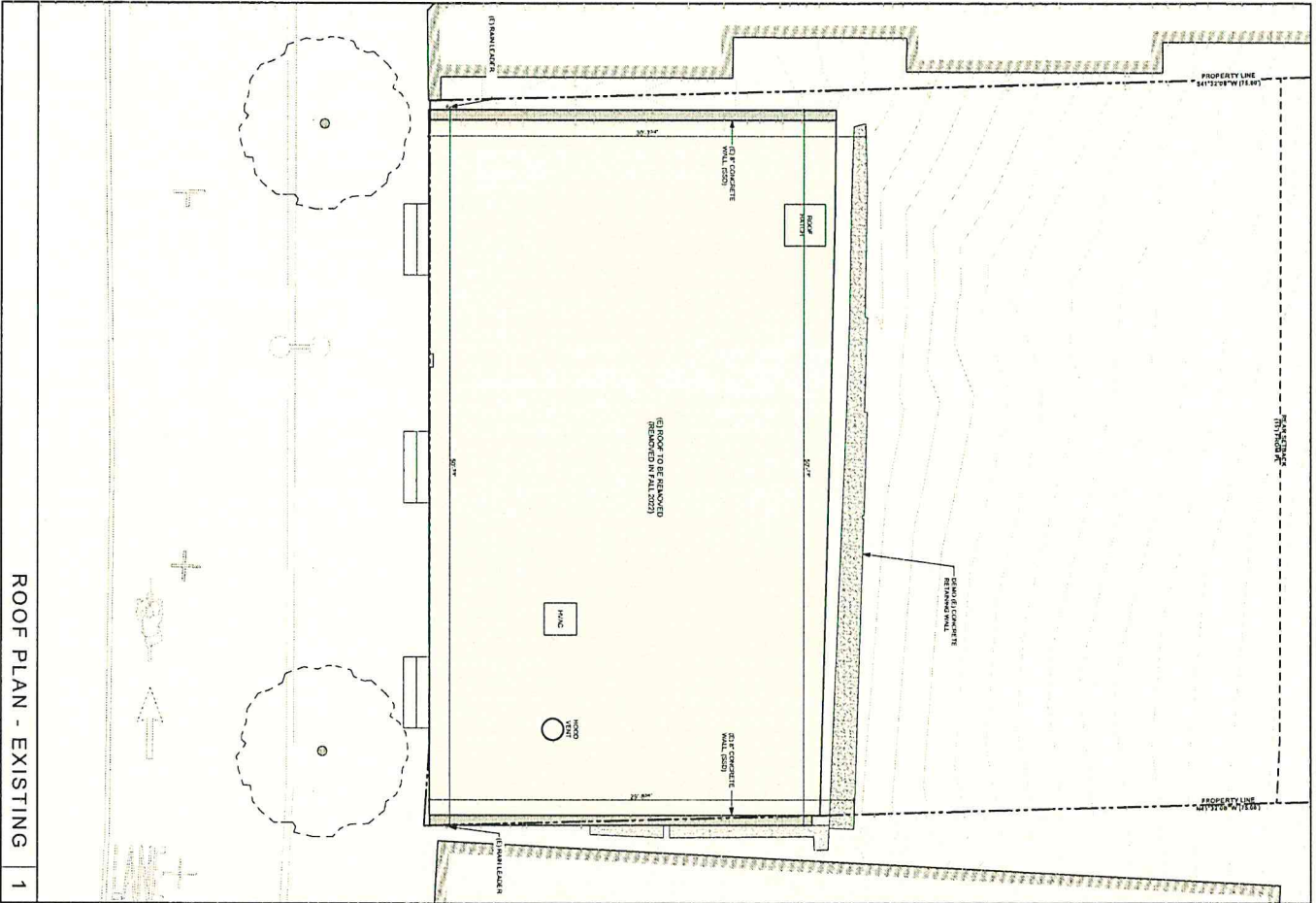
236 West Portal Ave., San Francisco, CA 94127  
415.751.5022 tel | www.arborlogic.com

**T-1**

SHEET







ROOF PLAN - EXISTING 1

GROUND FLOOR PLAN - EXISTING 1

IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25



MICHAEL REX  
 ARCHITECTS  
 1754 BROADWAY, SUITE 801  
 SAUSALITO, CA 94965  
 TEL: (415) 231-1488  
 FAX: (415) 231-5483

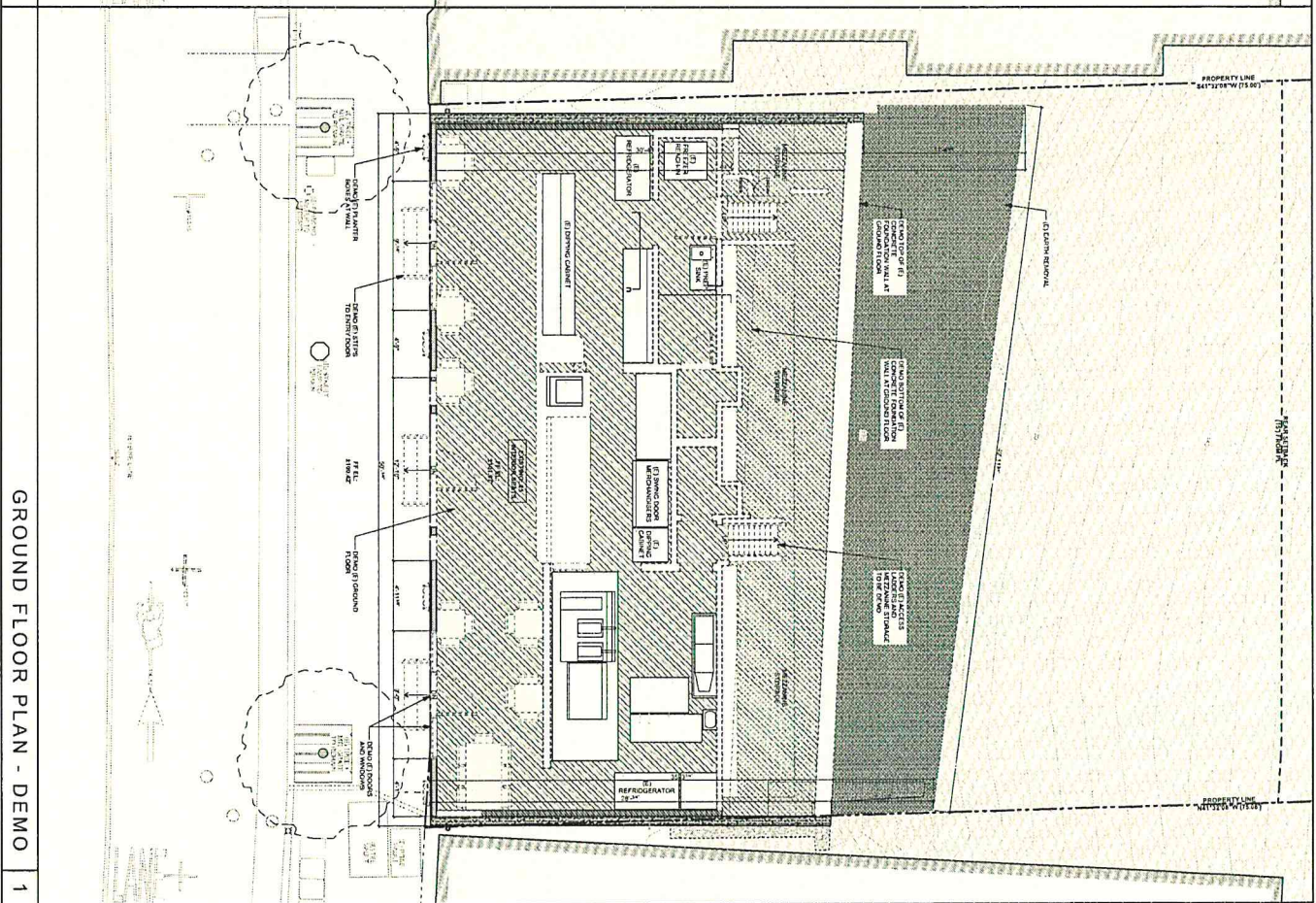
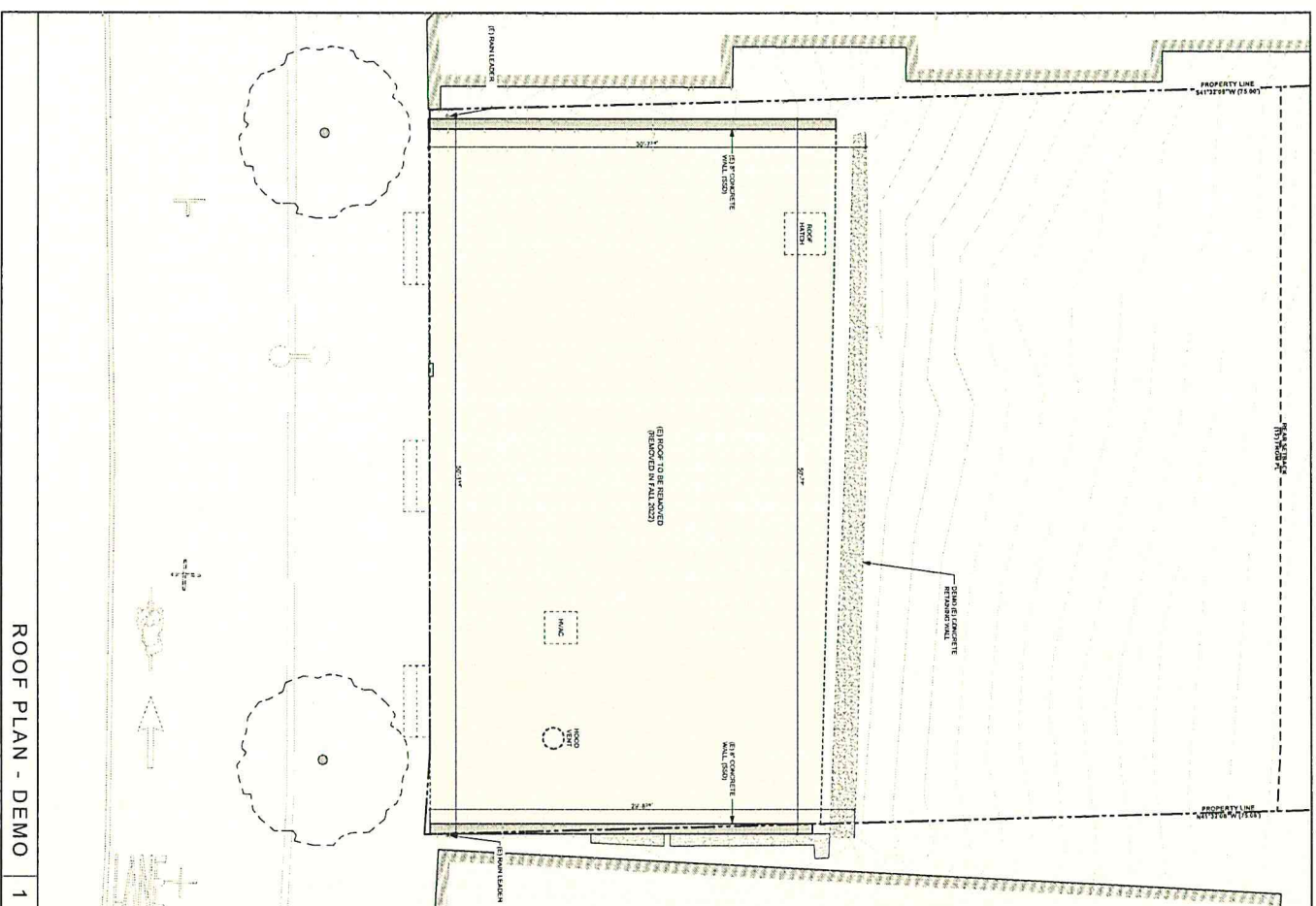
**EC2.1**

EXISTING FLOOR PLANS

DATE	DESCRIPTION
1/27/23	ISSUED FOR PERMIT

NOTED: SEE ALL DIMENSIONS ON ALL SHEETS.  
 ALL DIMENSIONS ARE IN FEET AND INCHES.  
 DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS NOTED OTHERWISE.  
 DIMENSIONS ARE GIVEN TO THE FACE UNLESS NOTED OTHERWISE.  
 DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS NOTED OTHERWISE.  
 DIMENSIONS ARE GIVEN TO THE FACE UNLESS NOTED OTHERWISE.





ROOF PLAN - DEMO 1

GROUND FLOOR PLAN - DEMO 1

DM1.1

DEMO FLOOR PLANS  
DATE: 11/13/23

PROJECT: IMPROVEMENTS TO FISH AND CHIPS SAUSALITO  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25

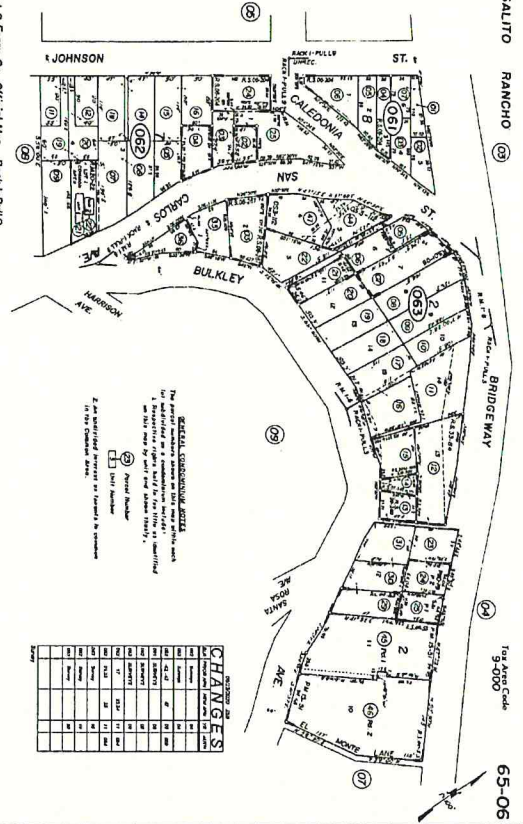
IMPROVEMENTS TO FISH AND CHIPS SAUSALITO

813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25



MICHAEL REX ARCHITECTS  
 1750 BROADWAY, SUITE 801  
 SAN FRANCISCO, CA 94133  
 TEL: (415) 231-1488  
 FAX: (415) 231-9883



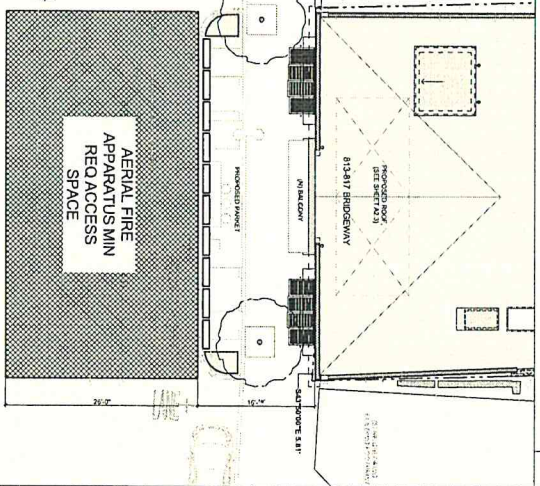


Sausalito Land & Ferry Co., Official Map Reel 1-7-11/9  
 1. W. Harrison Sub. Bl. 1-Pg. 8  
 2. 225 San Carlos Condominium, R.M. Bk. 20-Pg. 22  
 Sausalito Land & Ferry Co. Sub. Map C  
 3. Sub. of Bks. 1, 2, A, B, 199 Reel 1-7-11/3  
 4. Map of Streets, R. B. Bl. 1-Pg. 50

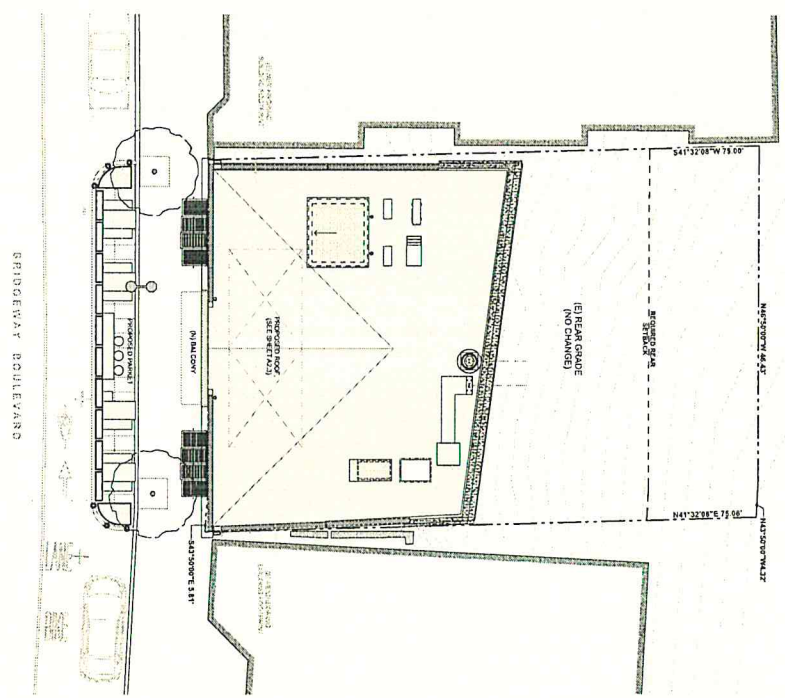
NOTE - Assessor's Field Notebook Shows in Figure  
 Assessor's Field Notebook Shows in Color.

CITY OF SAUSALITO  
 Assessor's Map Bk. 65-Pg. 06  
 County of Marin, Calif.

MARIN COUNTY ASSESSOR'S PARCEL MAP 3



AERIAL FIRE TRUCK REQ CLR DIAGRAM 2



SITE PLAN - PROPOSED 1

MICHAEL BEZ ARCHITECTS  
 1000 UNIVERSITY AVENUE  
 SAN FRANCISCO, CA 94133  
 TEL: (415) 221-1800  
 FAX: (415) 331-5485



IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25

DATE: 1/11/11

SCALE: 3/4" = 1'

PROJECT: IMPROVEMENTS TO FISH AND CHIPS SAUSALITO

OWNER: MICHAEL BEZ ARCHITECTS

DESIGNER: MICHAEL BEZ ARCHITECTS

DATE: 1/11/11

PROJECT: IMPROVEMENTS TO FISH AND CHIPS SAUSALITO

OWNER: MICHAEL BEZ ARCHITECTS

DESIGNER: MICHAEL BEZ ARCHITECTS

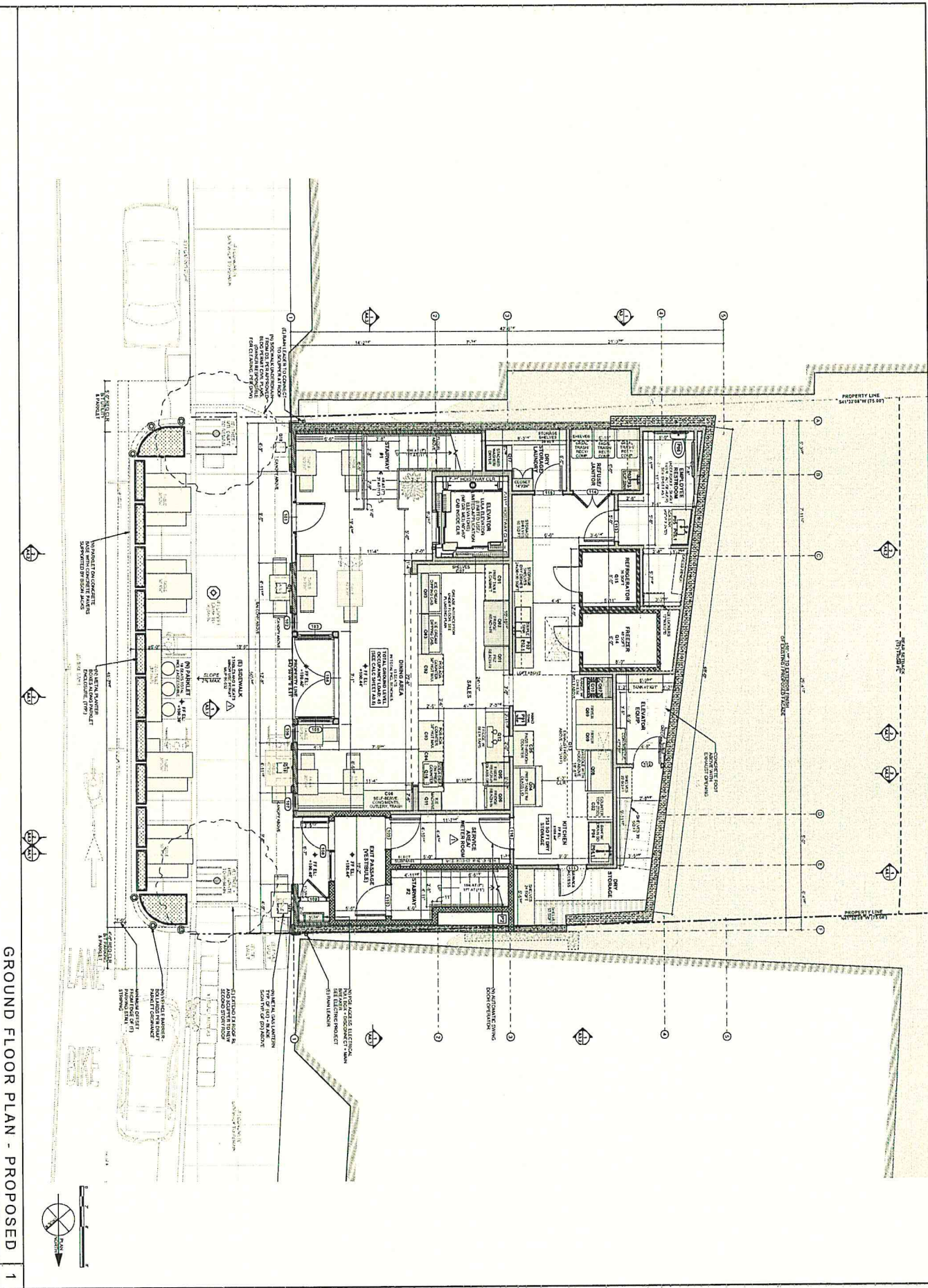
DATE: 1/11/11

A1.1









GROUND FLOOR PLAN - PROPOSED 1

A2.1

PROPOSED GROUND FLOOR PLAN

DATE: 08/15/2017	PROJECT: IMPROVEMENTS TO FISH AND CHIPS SAUSALITO
DESIGNER: MICHAEL REK ARCHITECTS	CLIENT: MICHAEL REK ARCHITECTS
SCALE: 1/8" = 1'-0"	DATE: 08/15/2017
BY: [Signature]	CHECKED BY: [Signature]

IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25



MICHAEL REK  
 ARCHITECTS  
 1705 BRIDGEWAY, SUITE 801  
 SAUSALITO, CA 94965  
 TEL: (415) 331-1466  
 FAX: (415) 331-1453























**SIGNAGE 1, 2 & 3**

**SIGN TYPE:** Wall Sign for Business Identification

**SIGN AREA:** 23 sq ft

Proposed Sign Identifies Business & Products: FISH & CHIPS, ICE CREAM & VEGAN HAMBURGERS  
 Letters to be Mounted with White Faces on Black or  
 Painted metal letters color: Semi gloss Black

**WALL SIGN LETTERS:**  
**FONT:** BASKERVILLE OLD FACE  
**FONT HT:** 3 1/2"

67" W x 5 1/2" H (+/-) THE WALL SIGN AREA



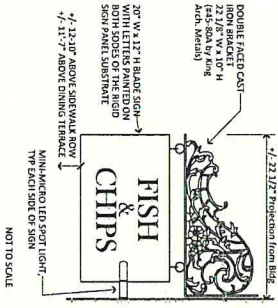
**SIGNAGE 4, 5**

**SIGN TYPE:** Projecting/Blade Sign for Business Identification

**SIGN AREA:** 1.67 sq ft

MAXIMUM PROJECTION OF SIGN ALLOWED FROM BUILDING SURFACE: 30" MAX  
 PROPOSED PROJECTION FROM BUILDING: 21 1/2" +/-

MINIMUM HT ABOVE SIDEWALK ROW: 8'-0"  
 PROPOSED SIGN ARE +/- 12'-10" ABOVE THE SIDEWALK ROW  
 BLADE SIGN LETTERS  
**FONT:** BASKERVILLE OLD FACE  
**FONT HT:** 3 1/2"



**SIGNAGE**

**SIGN TYPE:** Address Sign for Street Address Identification

**SIGN AREA:** 25 sq ft

THIS SIGN IS ALLOWED WITHOUT A PERMIT PER SWC TO 29.000.0.1.2  
 Individual 4" painted metal letters galvanized to the building facade  
 Color: Semi-gloss Black

**SAMPLE NUMBERS:**

**815** 4" HT

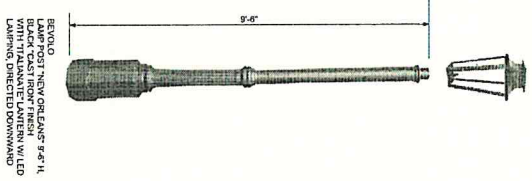
MAXIMUM COMMERCIAL SIGNAGE AREA ALLOWED PER SIGNAGE LEVEL BUSINESS - PER CIVC 16.010.020.01.0  
 49'-10'-0" (49'-0" for buildings fronting 1/2" or 24'-0" or 4'-0" of sign level) - 20.211 (unless otherwise  
 permitted by the Planning Commission)

**TOTAL PROPOSED SIGN AREA**

SIGN #1:	2.30 sq ft
SIGN #2:	2.30 sq ft
SIGN #3:	2.30 sq ft
SIGN #4:	1.67 sq ft
SIGN #5:	1.67 sq ft
<b>TOTAL:</b>	<b>10.24 sq ft</b>

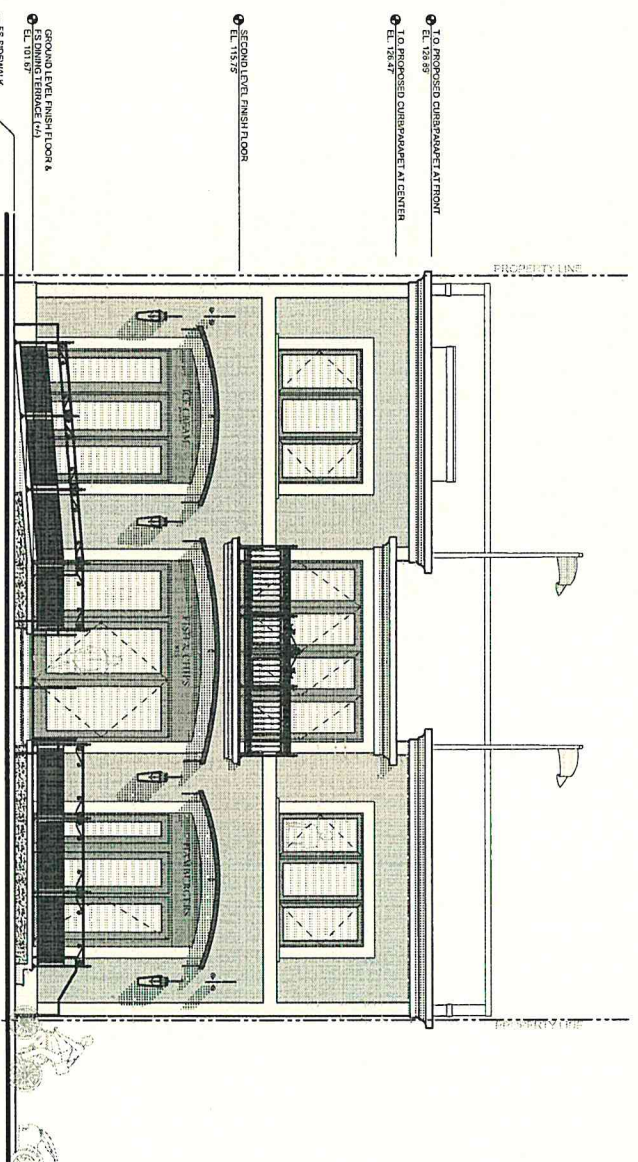
**MATERIAL & COLOR LEGEND**

	STUCCO WALL BODY COLOR
	BENJAMIN MOORE "S" (Semi-gloss black)
	STAINED WOOD TRIM COLOR
	BENJAMIN MOORE "OC-65 CHANTILLY LAKE"
	WOOD WINDOWS & DOORS, CANNOPY ABOVE
	CONCRETE LEVEL DOORS, BENJAMIN MOORE "OC-105 VAN DER BEEK GREEN"
	WROUGHT IRON & METAL BALANCING
	METAL PANELS, BLACK
	TERRACE CONCRETE BASE, CONCRETE
	WALKWAY SURFACES IN SAW CUT PATTERN & STANDARD CITY SIDEWALK



**EXTERIOR LIGHTING INFORMATION**

	BE LIGHTING LED SPOT LIGHT AT EACH SIDE OF THE SIGN
	3 1/2" x 1.4" DIA
	BE LIGHTING LED SPOT LIGHT AT WALL SIGN TYPICAL AT EACH SIGN
	FL 1.2 1/4" DIA
	BEYOND LAMP POST TAPER WALL MOUNTED GAS LANTERN 2 1/2" DIA BRASS OR BRASS FINISH



A3.2

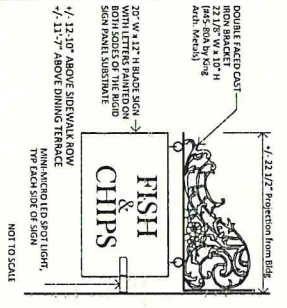
IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25

MICHAEL REX  
 ARCHITECTS  
 1700 BROADWAY, SUITE 201  
 SAUSALITO, CA 94965  
 TEL: (415) 331-1488  
 FAX: (415) 331-5858

**SECTION 1.3.1.3**  
**EXTERIOR SIGNAGE REGULATION**

**SECTION 1.3.1.3.1**  
**Sign Type:** Wall Sign for Business Identification  
**Sign Area:** 132 sq feet  
**Sign Material:** Aluminum, Powder Coat Finish, 45° CORONA LAMINATION  
**Sign Location:** Individual, Flat Wall Letters Painted on the Back of  
 the Building Facade  
**Sign Color:** White on Black  
**Sign Font:** Helvetica Condensed Bold  
**Sign Height:** 11'-7" Above Sidewalk Row  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters

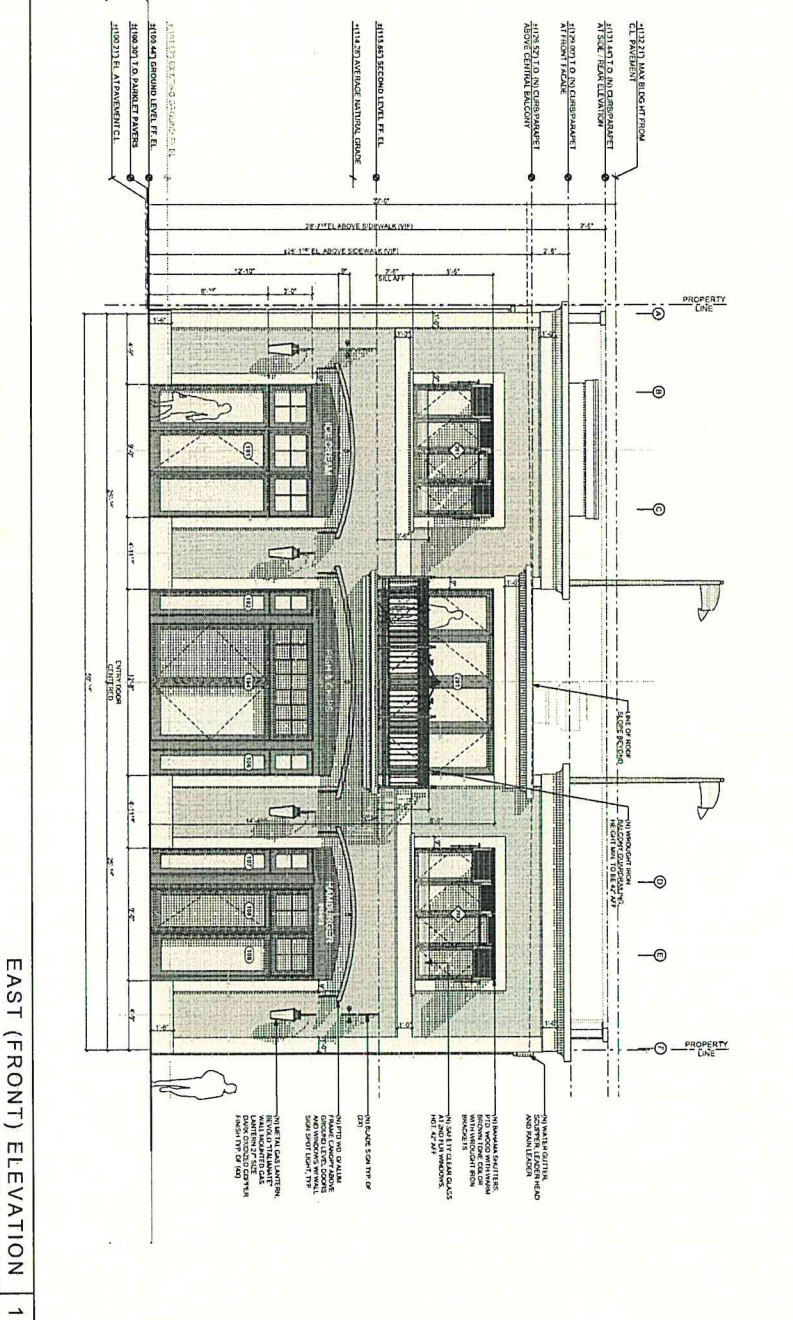
**SECTION 1.3.1.3.2**  
**Sign Type:** Freestanding/Blade Sign for Business Identification  
**Sign Area:** 132 sq feet  
**Sign Material:** Aluminum, Powder Coat Finish, 45° CORONA LAMINATION  
**Sign Location:** Individual, Flat Wall Letters Painted on the Back of  
 the Building Facade  
**Sign Color:** White on Black  
**Sign Font:** Helvetica Condensed Bold  
**Sign Height:** 11'-7" Above Sidewalk Row  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters



**SECTION 1.3.1.3.3**  
**Sign Type:** Address Sign for Street Address Identification  
**Sign Area:** 25 sq ft  
**Sign Material:** Aluminum, Powder Coat Finish, 45° CORONA LAMINATION  
**Sign Location:** Individual, Flat Wall Letters Painted on the Back of  
 the Building Facade  
**Sign Color:** White on Black  
**Sign Font:** Helvetica Condensed Bold  
**Sign Height:** 11'-7" Above Sidewalk Row  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters

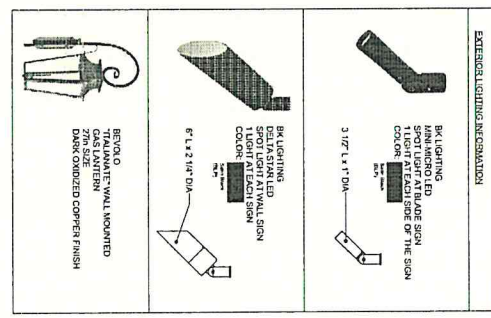
**SECTION 1.3.1.3.4**  
**Sign Type:** Address Sign for Street Address Identification  
**Sign Area:** 25 sq ft  
**Sign Material:** Aluminum, Powder Coat Finish, 45° CORONA LAMINATION  
**Sign Location:** Individual, Flat Wall Letters Painted on the Back of  
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**Sign Color:** White on Black  
**Sign Font:** Helvetica Condensed Bold  
**Sign Height:** 11'-7" Above Sidewalk Row  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters

**SECTION 1.3.1.3.5**  
**Sign Type:** Address Sign for Street Address Identification  
**Sign Area:** 25 sq ft  
**Sign Material:** Aluminum, Powder Coat Finish, 45° CORONA LAMINATION  
**Sign Location:** Individual, Flat Wall Letters Painted on the Back of  
 the Building Facade  
**Sign Color:** White on Black  
**Sign Font:** Helvetica Condensed Bold  
**Sign Height:** 11'-7" Above Sidewalk Row  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters  
**Sign Spacing:** 1/2" Between Letters



**MATERIAL COLOR LEGEND**

	STUCCO WALL BODY COLOR
	BENJAMIN MOORE
	BENJAMIN MOORE
	STUCCO WALL TRIM COLOR
	OC-45 CHANTILLY LACE
	WOOD WINDOWS & DOOR BENJAMIN MOORE
	HC-13 WATERBURY GREEN
	WROUGHT IRON & METAL BALANCES
	SHUTTERS & CANOPY
	TERRACE CONCRETE BASE, CONCRETE REINFORCING STEEL, GREY TO MATCH STANDARD CITY SIDEWALK



**IMPROVEMENTS TO FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY SAUSALITO, CA 94965  
 APN 065-063-25

**MICHAEL NEX ARCHITECTS**  
 1750 BRIDGEWAY, SUITE 201 SAUSALITO, CA 94965  
 TEL: (415) 331-1488  
 FAX: (415) 331-1488

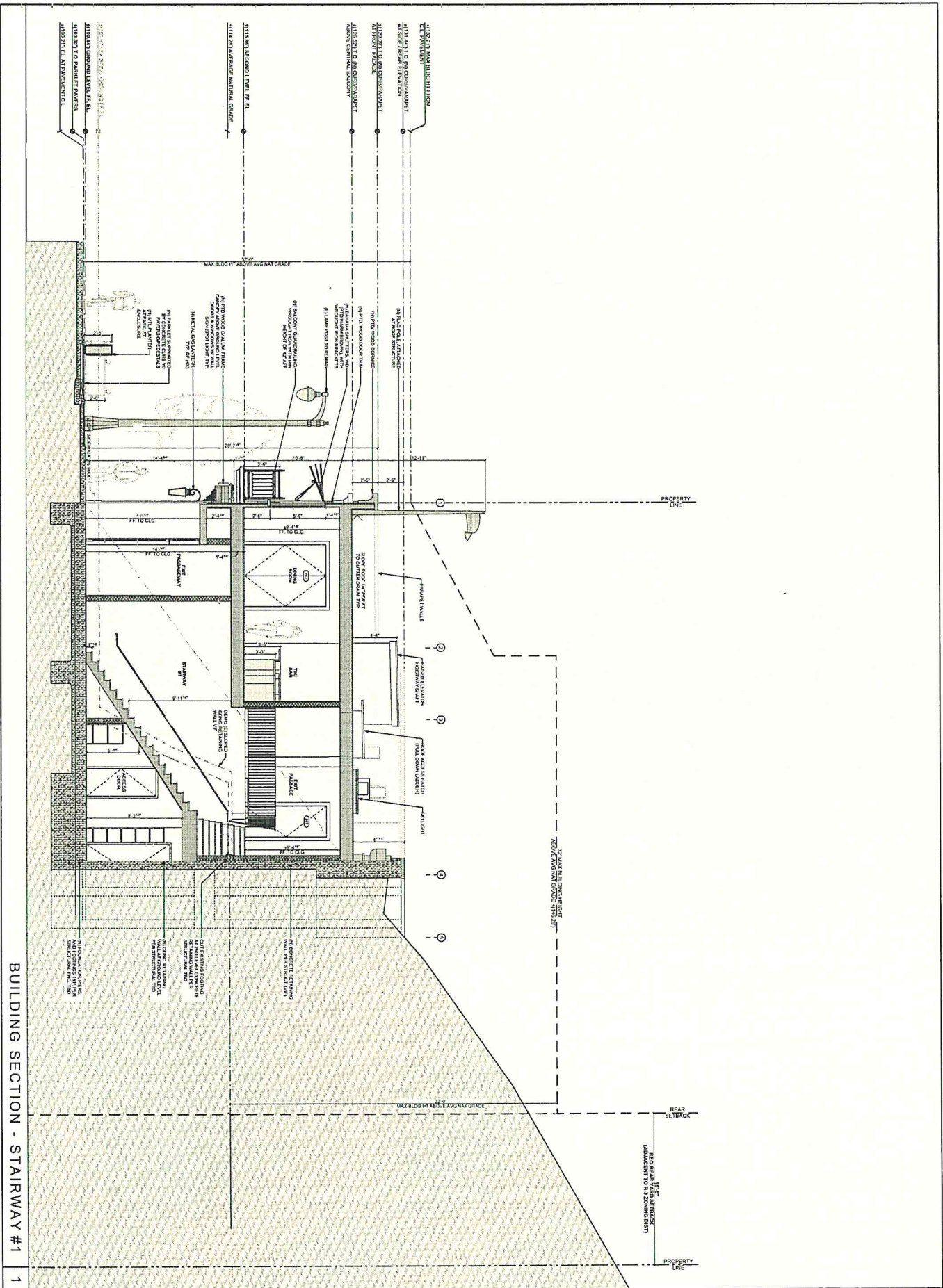
**PROPOSED EXTERIOR ELEVATIONS (FRONT)**

**A3.1**









BUILDING SECTION - STAIRWAY #1

1

A4.1

PROPOSED BUILDING SECTIONS

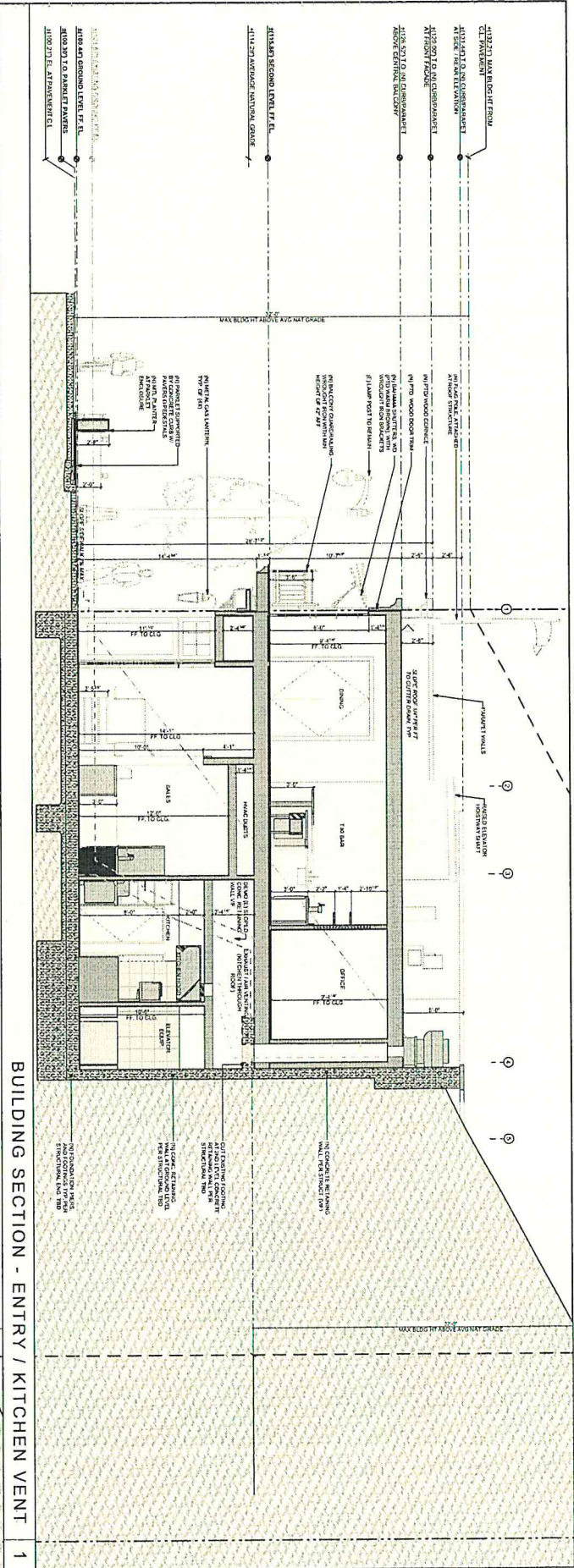
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100. 11/11/11	100

IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25

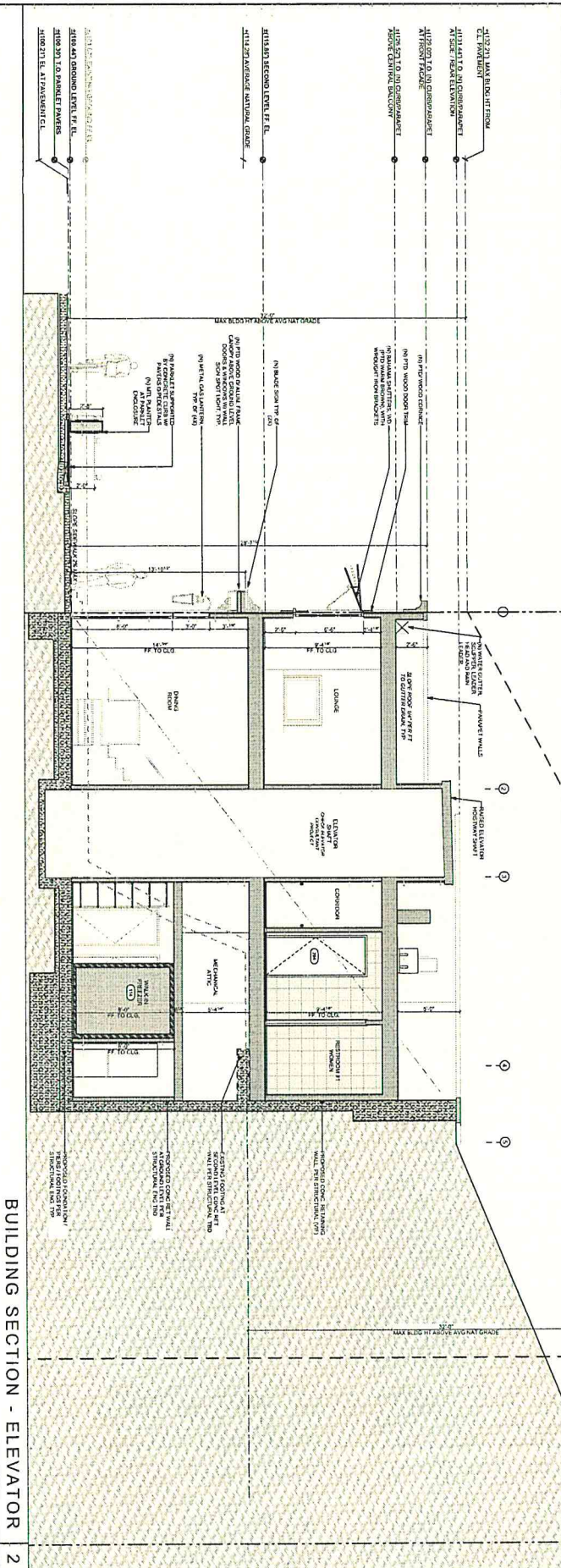


MICHAEL REX  
 ARCHITECTS  
 1788 BRIDGWAY, SUITE 201  
 SAUSALITO, CA 94965  
 TEL (415) 231-1488  
 FAX (415) 231-1488





BUILDING SECTION - ENTRY / KITCHEN VENT 1



BUILDING SECTION - ELEVATOR 2

IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
 813-817 BRIDGEWAY  
 SAUSALITO, CA 94965  
 APN 065-063-25



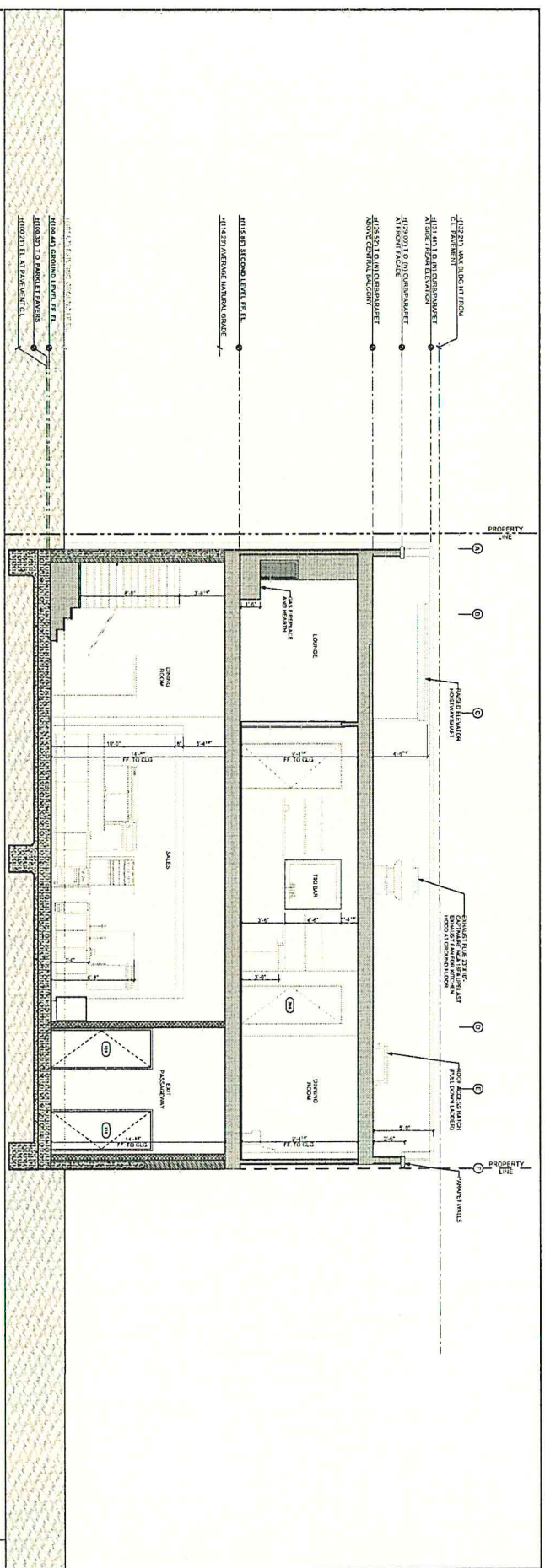
MICHAEL REX  
 ARCHITECTS  
 1150 BROADWAY, SUITE 801  
 SAN FRANCISCO, CA 94108  
 TEL: (415) 331-1448  
 FAX: (415) 331-1445

**PROPOSED BUILDING SECTIONS**

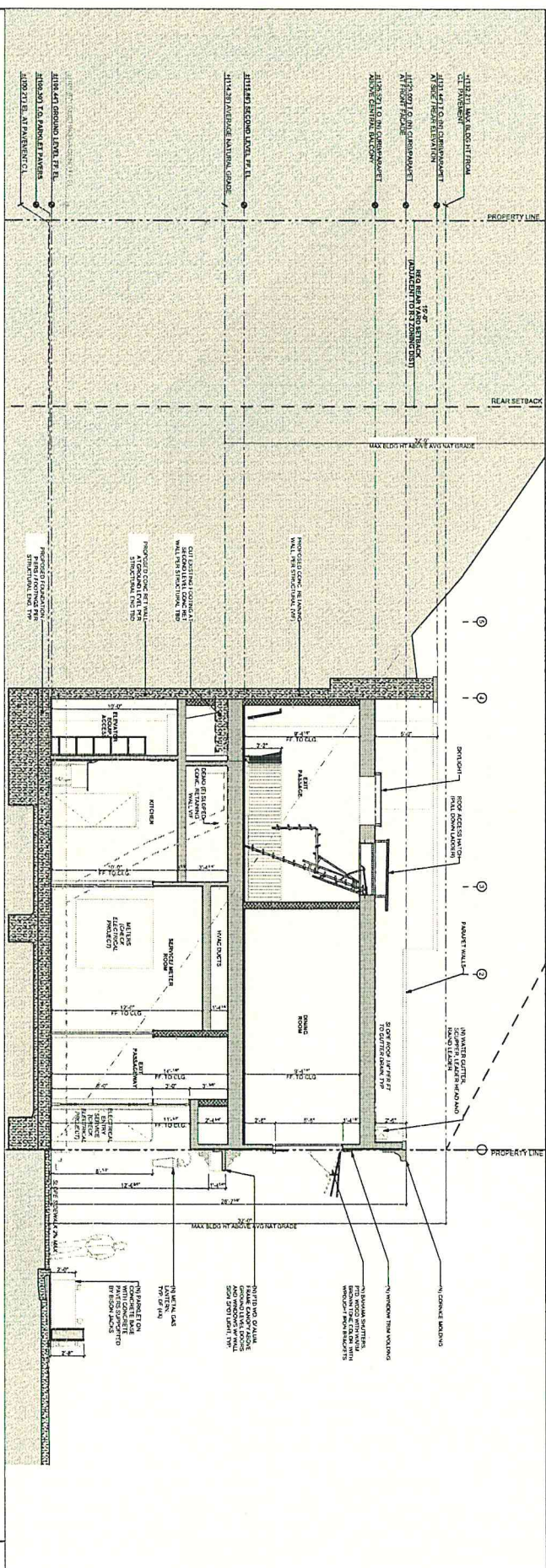
**A4.2**

DATE: 08/15/2017  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: IMPROVEMENTS TO FISH AND CHIPS SAUSALITO  
 SHEET: A4.2 OF 11





BUILDING SECTION - DINING / TIKI BAR 1



BUILDING SECTION - ROOF HATCH 2

**IMPROVEMENTS TO  
FISH AND CHIPS SAUSALITO**

813-817 BRIDGEWAY  
SAUSALITO, CA 94965  
APN 065-063-25

MICHAEL REX  
ARCHITECTS  
1700 BRIDGEWAY, SUITE 201  
SAUSALITO, CALIFORNIA  
94965  
TEL: (415) 321-1488  
FAX: (415) 321-5488

**PROPOSED BUILDING SECTIONS**

DATE: 1/11/11

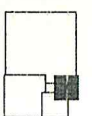
SCALE: 1/4" = 1'

**A4.3**





FRONT ELEVATION RENDERING IMAGE 1



MICHAEL REX  
ARCHITECTS  
1700 BRIDGEWAY, SUITE 201  
SAUSALITO, CA 94965  
TEL: (415) 231-1488  
FAX: (415) 231-5485



IMPROVEMENTS TO  
**FISH AND CHIPS SAUSALITO**  
813-817 BRIDGEWAY  
SAUSALITO, CA 94965  
APN 065-063-25

DATE: 06/15/2011  
DRAWN BY: JAC  
CHECKED BY: JAC  
SCALE: 1/8" = 1'-0"

DATE: 06/15/2011  
DRAWN BY: JAC  
CHECKED BY: JAC  
SCALE: 1/8" = 1'-0"

FRONT ELEVATION  
PERSPECTIVE IMAGE

A11.1