



# STAFF REPORT

## SAUSALITO CITY COUNCIL

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### AGENDA TITLE:

First Amendment to the AT&T Cell Tower Lease @ Hwy 101 & Rodeo Drive

### RECOMMENDED MOTION:

Adopt a Resolution of the City Council of the City of Sausalito Approving the First Amendment to Lease Agreement with AT&T @ Hwy 101 & Rodeo Drive and Authorizing the City Manager to execute the Amendment on behalf of the City

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### DISCUSSION

AT&T requested consent to amend their existing lease and modify their communications facility at the corner of Hwy. 101 and Rodeo Avenue in October 2008. The scope of work was as follows:

- Replace 2 antennas with like kind antennas
- Add 2 like kind antennas
- Replace equipment cabinet and add 4 remote radio units (RRU's) inside underground vault
- Add 2 Tower Mounted Amplifiers (TMA's) behind antennas
- Add 2 Remote Electrical Tilt Kits (RET's) to bottom of antennas

AT&T received approval before the planning commission on July 1, 2009 (see attached Planning Commission Resolution 2009-30) to modify the site. Subsequent to Planning Commission approval, AT&T and was advised by the City Attorney that a lease modification was required.

### TERMS AND CONDITIONS

Finance Department initiated negotiations with AT&T and exacted the following terms and conditions:

- The lease agreement was originally intended to only encompass 2 antennas. At the time of the original lease, the discussions surrounding the size of the antennas clearly demonstrated the City's concern with just two antennas. Accordingly, AT&T's request to add two additional antennas warrants additional consideration in terms of monthly compensation. City research indicated that public tower companies would typically charge up to an additional \$250 per antenna and line. The City therefore requested and AT&T agreed to an additional \$500 per month in lease revenue, for a total of \$3,100 per month. This amount is consistent with the City's comparable leases at this site for size of equipment, ground space leased and number of antennas. The lease contains an annual escalator clause of 4%

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- The lease amendment requesting any equipment required by a local, state or federal entity for emergency 911 seemed a bit vague and open-ended. The City is comfortable with considering on a case-by-case basis all requests from AT&T for additional or new equipment, with adequate supporting documentation demonstrating that the equipment is actually mandated by E-911 laws. AT&T agreed.

## **STANDARDS AND CRITERIA FOR WIRELESS COMMUNICATIONS FACILITIES**

All cell tower leases must comply with Chapter 10.45 of the City of Sausalito Zoning Ordinance. Consistent with the ordinance, the City has implemented a uniform and standard set of guidelines and criteria for the orderly development and siting of wireless communications facilities in order to avoid or minimize land use conflicts related to land use compatibility, visual resources, public safety, and environmental impacts. AT&T submitted a complete and comprehensive packet of information, and the Planning Commission approved a Conditional Use Permit and Design Review and made the following findings:

- The proposed project is consistent with the General Plan, the Zoning Ordinance, and any applicable specific plans.
- The proposed project complements the surrounding neighborhood and/or district and, when antenna is attached to, or part of, a structure, the antenna and its screening complement the architecture of the structure.
- The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.
- The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.
- The proposed project will not result in a prominent profile (silhouette) above a ridgeline.
- The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.
- Mechanical equipment is appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.
- The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.
- The proposed use, together with the applicable conditions, will not be detrimental to the public health, safety, or general welfare of the City.
- The proposed facility will not materially adversely affect nearby properties or their permitted uses.

There were no appeals to the Planning Commission's Resolution Number 2009-30.

## **FISCAL IMPACT**

The city's General Fund would realize \$6,000 in additional new revenues annually.

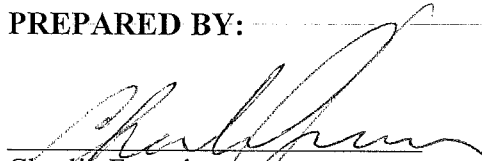
**STAFF and OMIT RECOMMENDATIONS**

Staff recommends that the City Council of the City of Sausalito Adopt a Resolution of the City Council of the City of Sausalito Approving the First Amendment to the cell tower lease with AT&T @ Hwy 101 & Rodeo Drive and Authorizing the City Manager to execute the Amendment on behalf of the City

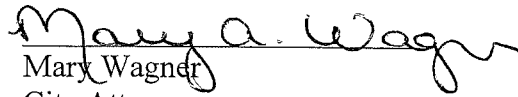
**ATTACHMENTS**

1. Sausalito Planning Commission Resolution 2009-30
2. Resolution of the City Council of the City of Sausalito Approving the First Amendment to the Lease Agreement with AT&T @ Hwy 101 & Rodeo Drive and Authorizing the City Manager to execute the Amendment on behalf of the City
3. Exhibit A to Resolution - First Amendment to Lease Agreement

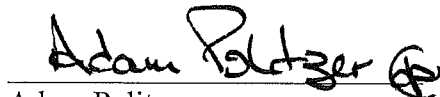
**PREPARED BY:**

  
Charlie Francis  
Administrative Services Director

**REVIEWED BY:**

  
Mary Wagner  
City Attorney

**SUBMITTED BY:**

  
Adam Politzer  
City Manager



ATTACHMENT 1

Planning Commission Resolution 2009-30

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**SAUSALITO PLANNING COMMISSION  
RESOLUTION NO. 2009-30**

**APPROVAL OF A CONDITIONAL USE PERMIT AND A DESIGN REVIEW PERMIT  
FOR REPLACEMENT OF TWO EXISTING ANTENNAS AND INSTALLATION OF  
TWO NEW ANTENNAS ON AN EXISTING MONOPOLE; INSTALLATION OF  
EQUIPMENT IN AN EXISTING UNDERGROUND EQUIPMENT VAULT EAST OF THE  
INTERSECTION OF RODEO AVENUE AND HIGHWAY 101  
(CUP/DR 09-030)**

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**WHEREAS**, on March 12, 2002 the City Council adopted Resolution 4584, approving a Conditional Use Permit and Design Review Permit (UP/DR 00-17) for the construction of a 35 foot tall monopole within the City-owned open space area southeast of the intersection of Rodeo Avenue and Highway 101 (064-181-40); and

**WHEREAS**, on March 19, 2009 an application was filed by Liz Johnson, on behalf of AT&T Mobility, requesting Planning Commission approval of a modification to a Conditional Use Permit and Design Review Permit for the replacement in-kind of two antennas and installation of two new antennas on an existing 35-foot tall monopole, and installation of equipment in an existing underground equipment vault east of the intersection of Rodeo Avenue and Highway 101; and

**WHEREAS**, the Planning Commission conducted a duly-noticed public hearing on July 1, 2009, at which time all interested persons were given an opportunity to be heard; and

**WHEREAS**, the Planning Commission has reviewed and considered the project plans titled "AT&T 2<sup>ND</sup> CARRIER MODS, 101 & RODEO, CNU4525", date stamped received March 19, 2009; and

**WHEREAS**, the Planning Commission has received and considered oral and written testimony on the subject application; and

**WHEREAS**, the Planning Commission has reviewed and considered the information contained in the staff reports dated July 1, 2009 for the proposed project; and

**WHEREAS**, the Planning Commission finds that the project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to Sections 15302 and 15303 of the CEQA Guidelines; and

**WHEREAS**, the Planning Commission finds that, as conditioned herein, the proposed project complies with the requirements of the General Plan and Zoning Ordinance as described in the staff report dated July 1, 2009.

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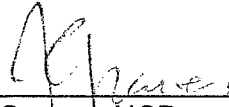
Project 6

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES:

The Conditional Use Permit and Design Review Permit for the replacement in-kind of two antennas and installation of two new antennas on an existing 35-foot tall monopole, and installation of equipment in an existing underground equipment vault east of the intersection of Rodeo Avenue and Highway 101 are approved based upon the attached (Attachment 1), subject to the conditions of approval (Attachment 2) and as shown in the project plans titled "AT&T 2<sup>ND</sup> CARRIER MODS, 101 & RODEO, CNU4525," date stamped received March 19, 2009 (Attachment 3).

**RESOLUTION PASSED AND ADOPTED**, at the regular meeting of the Sausalito Planning Commission on the 1<sup>st</sup> day of July, 2009, by the following vote:

AYES:           Commissioner:   Cox, Bair, Keller  
NOES:           Commissioner:  
ABSENT:        Commissioner:   Keegin, Stout  
ABSTAIN:       Commissioner:

  
\_\_\_\_\_  
Jeremy Graves, AICP  
Secretary to the Planning Commission

ATTACHMENTS

- 1- Findings
- 2- Conditions of Approval
- 3- Project Plans

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**PLANNING COMMISSION RESOLUTION**

**July 1, 2009**

**CUP/DR 09-030**

**Rodeo Avenue and Hwy 101**

**ATTACHMENT 1: FINDINGS**

**WIRELESS COMMUNICATIONS CONDITIONAL USE PERMIT AND DESIGN REVIEW PERMIT FINDINGS**

Pursuant to Zoning Ordinance Section 10.45.020 (Conditional Use Permit and Design Review Approval for a Wireless Communications Facility), the Conditional Use Permit and Design Review Permit are approved based on the following findings:

A. The proposed project is consistent with the General Plan, the Zoning Ordinance, and any applicable specific plans.

*The proposed project is consistent with all applicable policies, standards, and regulations of the General Plan and Zoning Ordinance.*

B. The proposed project complements the surrounding neighborhood and/or district and, when antenna is attached to, or part of, a structure, the antenna and its screening complement the architecture of the structure.

*The antennas and equipment would be installed to minimize visibility by being painted to match the existing antenna, associated equipment and monopole. Therefore, the antennas and related equipment are consistent with this standard.*

C. The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

*The project is located in an open space area on an existing monopole. No additional bulk or height is proposed and therefore this finding does not apply.*

D. The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

*The existing wireless monopole may be viewed from a distance both from Highway 101, residences beyond the freeway to the west, and within the Open Space area. The new antennas and equipment would be installed to minimize visibility by being painted to match the existing antenna, associated equipment and monopole. The existing equipment vault is located underground, and therefore does not have an impact on public and private views.*

E. The proposed project will not result in a prominent profile (silhouette) above a ridgeline.

*The subject site is located directly below a ridgeline. The existing monopole is visible from Highway 101. The new antennas are proposed below the existing antennas and therefore will not be visible from the Highway. Therefore, the proposed project will not result in a prominent profile above the ridgeline.*

F. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

*No landscaping is proposed as the proposed antennas and equipment would be located within an existing wireless communications facility and no landscape improvements are warranted.*

G. Mechanical equipment is appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.

*New equipment will be installed in the underground vault which is appropriately located to minimize visual, noise and air quality impacts to adjacent properties and the general public.*

H. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

*The project would have no affect on natural features on-site. No grading is proposed and construction will be limited to the installation of the antennas and associated equipment.*

I. The proposed use, together with the applicable conditions, will not be detrimental to the public health, safety, or general welfare of the City.

*The proposed use would comply with all applicable health regulations and would not be detrimental to the public health, safety, or general welfare of the City.*

J. The proposed facility will not materially adversely affect nearby properties or their permitted uses.

*The project would not have any significant affect on nearby properties, adverse or otherwise.*

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**PLANNING COMMISSION RESOLUTION**

**July 1, 2009**

**CUP/DR 09-030**

**Rodeo Avenue and Hwy 101**

**ATTACHMENT 2: CONDITIONS OF APPROVAL**

These conditions of approval apply to the plans prepared by Jeffrey Rome and Associates, Inc., entitled "AT&T 2<sup>ND</sup> CARRIER MODS, 101 & RODEO, CNU4525", date stamped received March 19, 2009.

1. All conditions of approval listed in City Council Resolution No. 4584 for UP/DR 00-17 remain in effect. Prior to issuance of a building permit the applicant shall demonstrate compliance with Conditions of Approval 1, 2, 9, 12 and 13 in Resolution No. 4584.
2. Construction materials, equipment, vehicles, and debris boxes shall be placed to minimize obstruction of roads and gutters, shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood.
3. No exterior security lighting may be installed on the subject site unless otherwise reviewed and approved by the Community Development Department and found to by staff to be consistent with Chapter 10.45 of the Zoning Ordinance.
4. No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or renovations shall be performed on the project site prior to commencement of construction of the proposed project. In such cases, this approval shall be rendered null and void unless approved by the Community Development Department as a modification to this approval.
5. The Applicant shall annually provide a written report to the Community Development Department evaluating the facility's compliance with all conditions of approval. The report shall be submitted no later than thirty (30) days following the anniversary of the approval of this permit. If the report is not provided in a timely manner or shows any conditions of approval are not being met, the Community Development Director shall schedule a public hearing to consider revocation of the permit. Additionally, a processing fee, as established by resolution of the City Council, shall be submitted concurrently with the report to pay for staff review and processing of the report, as well as the EMF exposure reports required by Section 10.45.110 of the Zoning Ordinance.
6. The biannual electromagnetic field (EMF) exposure reports required by Zoning Ordinance Section 10.45.110 shall be submitted within thirty (30) days of the anniversary of approval of this permit.
7. The applicant shall provide an affidavit certifying that the lease for the project does not prohibit co-location by other wireless providers, and that the applicant will do nothing to obstruct future co-location.

8. Normal testing and maintenance activities shall occur between the hours of 8am and 6pm Monday through Friday, excluding emergency repair.

**Advisory Notes**

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. This approval will expire in five (5) years from the date of adoption of this resolution if the property owner has not exercised the entitlements hereby granted.
2. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
3. Pursuant to Zoning Ordinance Section 10.45.050, the applicant shall enter into a Performance Agreement with the City of Sausalito prior to the commencement of any construction on the cellular facility.

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4. Pursuant to Zoning Ordinance Section 10.45.090, if use of a wireless communications facility ceases for one year or more the permit shall be deemed abandoned. The facility shall be dismantled and the premise restore in accordance with the procedures and standards listed in Section 10.45.090.
5. Pursuant to Zoning Ordinance Section 10.45.110, required EMF reports shall be paid for by the applicant and prepared by a third party consultant acceptable to the Community Development Director and using a testing protocol acceptable to the Community Development Director. All applicable City fees as established by City Council resolutions and ordinances shall be paid.
6. Within sixty (60) days of a wireless communications facility becoming operational, the applicant shall provide to the City a report indicating the actual EMF levels measured (pursuant to FCC protocol) at the property line or nearest point of public access, whichever is closer, in the direction of maximum radiation from each antenna. Reports shall specify signal levels with the site operating at full power and baseline levels with the site inoperative. Technical data shall be presented showing levels relative to the currently permitted Federal regulations. Raw measurements shall be provided as an appendix. In addition, the report shall include, in lay terms, a summary of the technical data as presented in the report.
7. Pursuant to Zoning Ordinance Section 10.45.110.A, wireless communications facilities operating alone and in conjunction with other telecommunications facilities shall not generate electromagnetic field (EMF) exposure or other measurable radiation in excess of the standards for permissible human exposure, as provided by applicable Federal regulations.
8. Biannually, the operator of the antenna shall have EMF exposure levels tested and shall submit to the City written report of the results of the tests. On years when testing is not required, the operator of the antenna shall submit to the City written certification by an

independent licensed engineer that no modifications have been made to the facility design or configuration that have increased or will increase EMF exposure. If modifications have been made to the facility which have increased or will increase the EMF exposure, the applicant shall provide a supplemental report measuring the modified facility as set forth in Section 10.45.110(B) of the Zoning Ordinance.

9. Construction Impact Fees shall be paid in accordance with the Construction Impact Fee Ordinance. The fee is due prior to issuance of Building Permit.
10. Encroachment permit, grading permit, third party review fees (cost plus 10%) fees shall be paid.
11. An encroachment permit shall be obtained from the Public Works Department prior to using the public right of way for non-public purposes (e.g., material storage, sidewalk construction or demolition) including any and all construction and demolition activities.
12. Grading/drainage permit(s) shall be obtained from the Public Works Department for any earthwork in excess of 50 cubic yards.
13. Grading on hillside land with of geologic formation known to slide will be limited to between April 15 and October 15 without written approval of the City Engineer.
14. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
15. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
16. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:  
Weekdays – Between 8:00 a.m. and 7:00 p.m.  
Saturdays – Between 9:00 a.m. and 5:00 p.m.  
Sundays – Prohibited  
Holidays recognized by the City – Between 9:00 a.m. and 7:00 p.m.  
  
Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays between 9:00 a.m. and 7:00 p.m.
17. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
  - a. Marin Municipal Water District – (415-945-1400), including landscaping and irrigation regulations;

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- b. Southern Marin Fire Protection District – (415-388-8182); and
- c. Bay Conservation and Development Commission – (415-352-3600).

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PLANNING COMMISSION RESOLUTION  
July 1, 2009  
CUP/DR 09-030  
Rodeo Avenue and Hwy 101

**ATTACHMENT 3: PROJECT PLANS**

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***HLB Review Criteria- 50-year review- Finding of No Significance:***

1 hour...Counter application review and acceptance

.5 hour....routing memo and route the project to HLB for assignment of Historic Significance Memo

.75 hour...study session memo for HLB packet

.5 hour...HLB review

**TOTAL: 2.75 Hours**

***HLB Review Criteria- 50-year review- Finding of Significance:***

1 hour...Counter application review and acceptance

.5 hour....routing memo and route the project to HLB for assignment of Historic Significance Memo

.75 hour...study session memo for HLB packet

2 hours...HLB review

**TOTAL: 4.25 Hours**

***HLB Review for Historic District & Noteworthy Structures***

1 hour...Study Session memo for HLB packet

2 hours...HLB review and recommendation

**TOTAL: 3 Hours**

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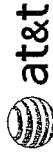






Jeffrey Remy & Associates, Inc.
Attn: J. Remy • Architects • Inc.
ARIZONA (602) 248-5577
KANSAS (913) 248-5577

PROPRIETARY INFORMATION
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1430 ROSEWOOD DRIVE
PLACENTIA, CALIFORNIA 92664
OWNER:
4100 UNIVERSITY STREET
SUITE 100
SUNLAND, CALIFORNIA 91768

Table with columns: APPROVALS, DATE, S.F., ZONING, CONSTRUCTION, SITE ACQUISITION, OWNER APPROVAL, PROJECT NAME, PROJECT ADDRESS, APN NUMBER, DRAWING DATUMS, REVISIONS, SHEET TITLE.

AT & T 2ND CARRIER MDDS

101 W. WILMODO
SUNLAND, CALIFORNIA 91768

Table with columns: PROJECT NAME, PROJECT ADDRESS, APN NUMBER, DRAWING DATUMS, REVISIONS, SHEET TITLE.

SPECIFICATIONS AND NOTES

Table with columns: REVISIONS, SHEET TITLE.

STRUCTURAL SPECIFICATIONS

- 1. FOUNDATION: ALL FOUNDATIONS SHALL BE CONSTRUCTED TO BEAT THE MOST STRINGENT OF ALL APPLICABLE CODES...
2. GENERAL: ALL STRUCTURAL STEEL SHALL BE A36 UNLESS OTHERWISE SPECIFIED...
3. CONCRETE: ALL CONCRETE SHALL BE 4000 PSI UNLESS OTHERWISE SPECIFIED...

PAINTING NOTES & SPECIFICATIONS

- 1. GENERAL: ALL PAINTS SHALL BE WATER-BASED UNLESS OTHERWISE SPECIFIED...
2. SURFACES: ALL SURFACES TO BE PAINTED SHALL BE PROPERLY PREPARED...
3. COATING SYSTEMS: REFER TO THE ARCHITECTURAL DRAWINGS FOR COATING SYSTEMS...
4. APPLICATION: ALL PAINTS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS...

GENERAL SPECIFICATIONS

- 1. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS' BOCA BUILDING CODE SHALL BE USED...
2. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND LIGHTING...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES...
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES...
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67. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
68. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES...
69. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES...
70. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE...
71. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
72. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES...
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75. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
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78. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE...
79. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
80. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES...
81. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES...
82. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE...
83. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
84. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES...
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90. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE...
91. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
92. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES...
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94. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE...
95. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
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97. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES...
98. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE...
99. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES...
100. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES...

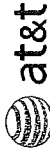
MAR 19 7
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT



482
PAGE # 18

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**APPLICANT**  
  
 4130 ROSEWOOD DRIVE  
 PLEASANTON, CALIFORNIA 94588  
 DRIVER  
 CITY OF SAUSALITO  
 SAUSALITO, CALIFORNIA 94865  
 APPROVALS

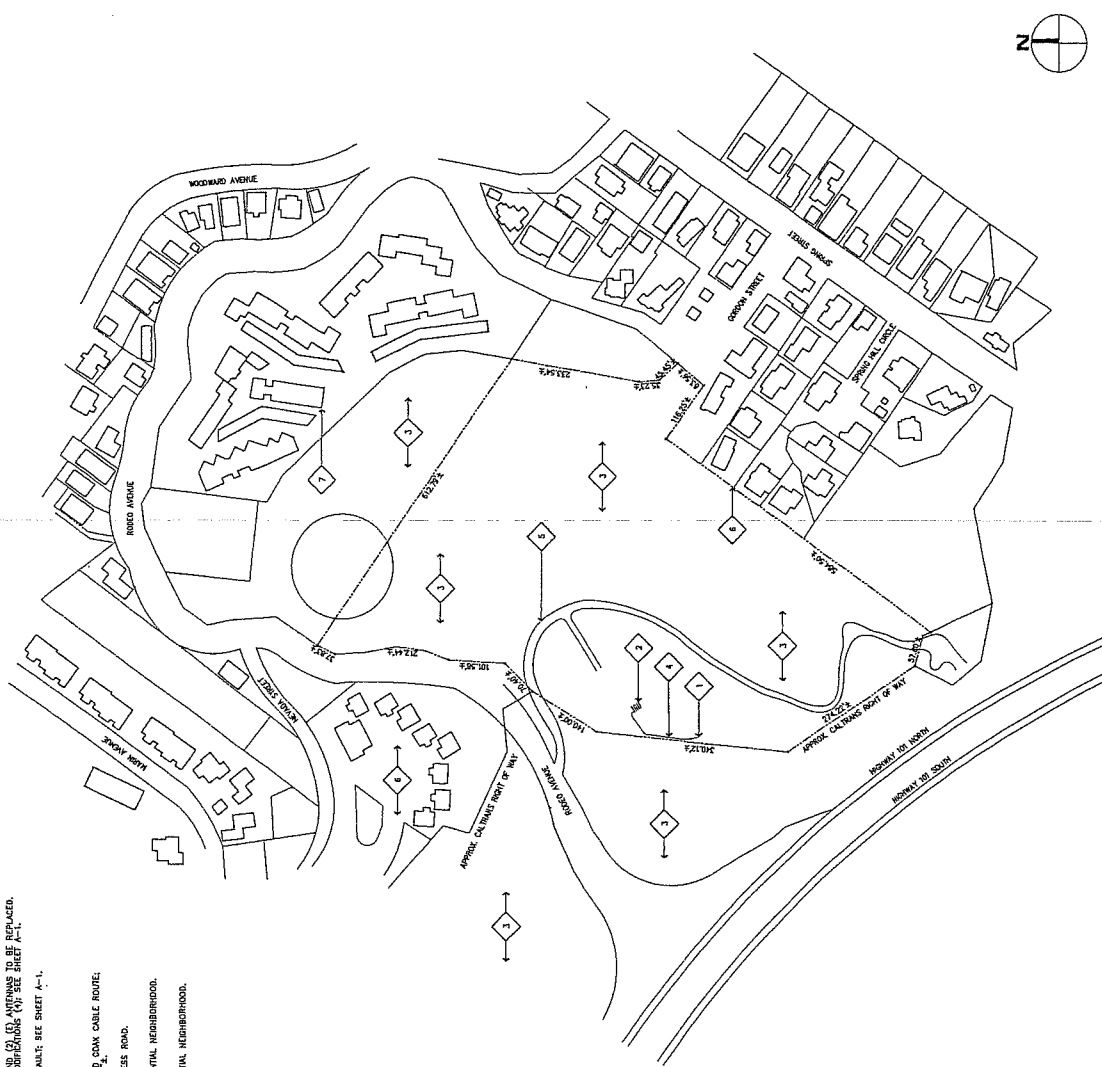
R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

**PROJECT NAME**  
 AT&T 2ND CARRIER MODS  
**SITE NO.**  
 101  
**PROJECT ADDRESS**  
 101 WOOD AVENUE  
 SAUSALITO, CALIFORNIA 94865  
**APN NUMBER**  
 84-10-12-010  
**DRAWING DATES**  
 07/10/08 PER 20 REVIEW (P1)  
 07/16/08 PER 20 REVIEW (P2)  
 07/23/08 PER 20 REVIEW (P3)  
 07/23/08 PER 20 REVIEW (P4)

**ISSUE** REVISION 4.2  
**SHEET TITLE**  
 SITE PLAN

**A-0**

- SITE PLAN KEYNOTES**
- 1 (E) EXISTING ANTENNAS AND (E) ANTENNAS TO BE REPLACED.
  - 2 (E) ANTENNAS AFTER MODIFICATIONS (N); SEE SHEET A-1.
  - 3 (E) WOODED AREA.
  - 4 (E) UNDERGROUND CABLE ROUTE.
  - 5 (E) 18" WIDE GRAVEL ACCESS ROAD.
  - 6 (E) SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD.
  - 7 (E) MULTI FAMILY RESIDENTIAL NEIGHBORHOOD.



**SCALE:**  
 1" = 100'

**NOT USED**

**2**

**SITE PLAN**

**AT&T**

**MAR 19 2008**

**CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT**

482

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**at&t**  
APPLICANT  
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PALMDALE, CALIFORNIA, 91368  
DRIVER  
470 LINDO ROAD  
420 LINDO STREET  
SUNOLTO, CALIFORNIA, 94165  
APPROVALS

R.F. \_\_\_\_\_ DATE \_\_\_\_\_  
ZONING \_\_\_\_\_ DATE \_\_\_\_\_  
CONSTRUCTION \_\_\_\_\_ DATE \_\_\_\_\_  
SITE ACQUISITION \_\_\_\_\_ DATE \_\_\_\_\_  
OWNER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

**AT&T 2ND CARRIER MODS**  
101 & RODEO  
CUNIA525  
PROJECT ADDRESS  
101 RODEO AVENUE  
SUNOLTO, CALIFORNIA 94165

PROJECT NUMBER  
84-181-040  
DRAWING DATES  
12/19/08 ROK 20 REVIEW (P1)  
01/14/09 ROK 20 REVIEW (P2)  
02/14/09 FIELD CLASSIFICATION (P3)  
03/03/09 PLANNING COMMENTS (P4)

R.F.S. \_\_\_\_\_ REVISION 4.2  
SHEET TITLE  
ENLARGED SITE PLAN

A-1

1. CONTRACTOR TO PROVIDE ALL WARE TO METAL COAX, RETN AND ANTENNAS AS SPEC'D ON SHEETS 98-1 THROUGH 98-11.
2. EROSION TO PROVIDE ALL COAX, CONNECTORS, ANGLULAR EQUIPMENT (INCLUDING WEATHER STRIPPING, GROUND NITS, ETC.).
3. CONTRACTOR TO COLOR CODE ALL COAX, COLORED BANDS OF TAPE ON COAX ALL COAX UNLESS OTHERWISE NOTED.

**SECTOR "A"**

TDMA	TK 1	TK 2	TK 3	TK 4	TK 5	TK 6
1	WHITE	ORANGE	YELLOW	GREEN	BLUE	PURPLE
2	ORANGE	YELLOW	GREEN	BLUE	PURPLE	WHITE
3	YELLOW	GREEN	BLUE	PURPLE	WHITE	ORANGE
4	GREEN	BLUE	PURPLE	WHITE	ORANGE	YELLOW
5	BLUE	PURPLE	WHITE	ORANGE	YELLOW	GREEN
6	PURPLE	WHITE	ORANGE	YELLOW	GREEN	BLUE

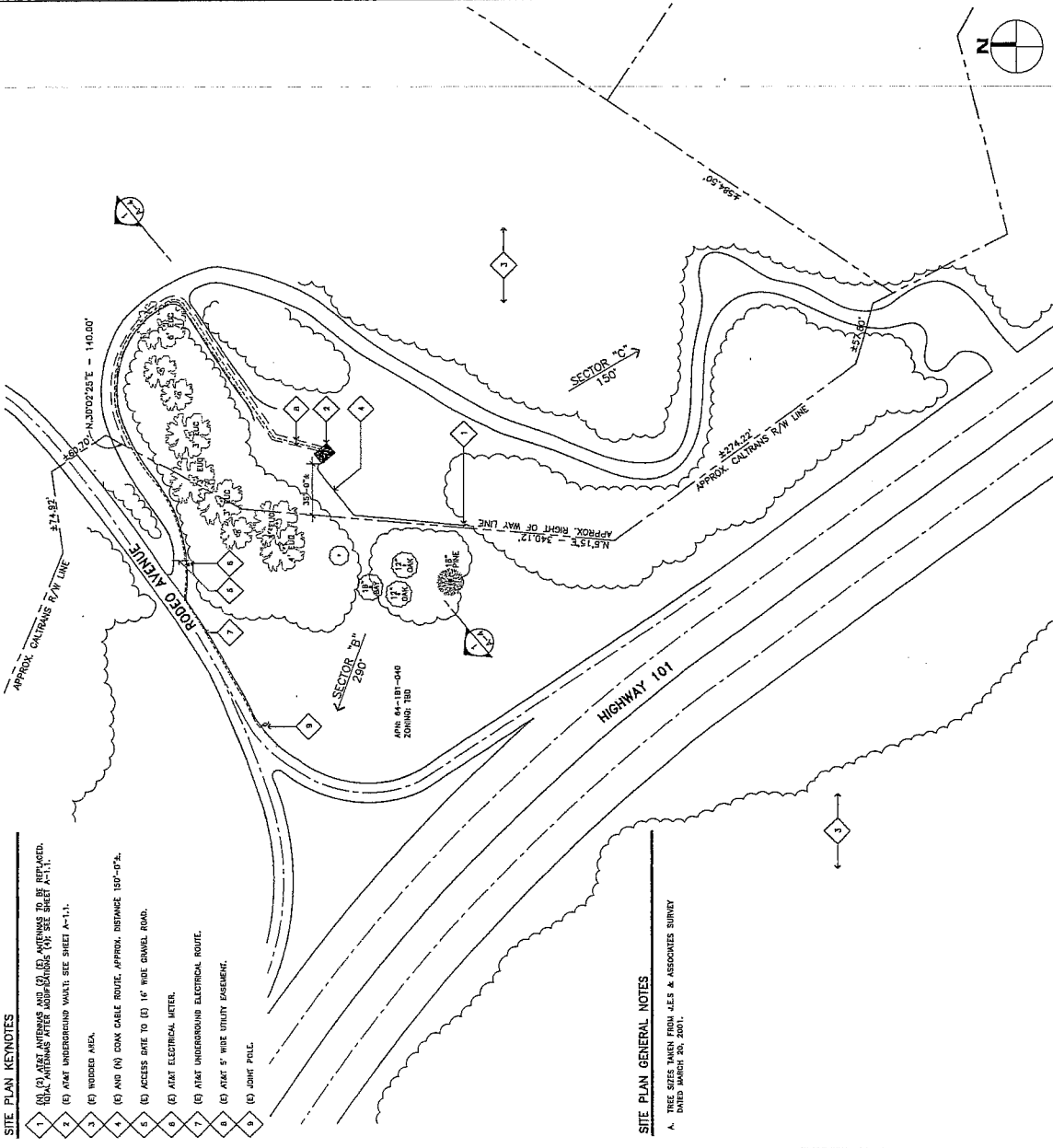
**SECTOR "B"**

TDMA	TK 1	TK 2	TK 3	TK 4	TK 5	TK 6
1	WHITE	ORANGE	YELLOW	GREEN	BLUE	PURPLE
2	ORANGE	YELLOW	GREEN	BLUE	PURPLE	WHITE
3	YELLOW	GREEN	BLUE	PURPLE	WHITE	ORANGE
4	GREEN	BLUE	PURPLE	WHITE	ORANGE	YELLOW
5	BLUE	PURPLE	WHITE	ORANGE	YELLOW	GREEN
6	PURPLE	WHITE	ORANGE	YELLOW	GREEN	BLUE

**SECTOR "C"**

TDMA	TK 1	TK 2	TK 3	TK 4	TK 5	TK 6
1	WHITE	ORANGE	YELLOW	GREEN	BLUE	PURPLE
2	ORANGE	YELLOW	GREEN	BLUE	PURPLE	WHITE
3	YELLOW	GREEN	BLUE	PURPLE	WHITE	ORANGE
4	GREEN	BLUE	PURPLE	WHITE	ORANGE	YELLOW
5	BLUE	PURPLE	WHITE	ORANGE	YELLOW	GREEN
6	PURPLE	WHITE	ORANGE	YELLOW	GREEN	BLUE

4. WHEN ANTENNA LINES ARE BLENDED, THE COLOR CODE OF THE HIGHEST FREQUENCY PREVALE (I.E. LINES BLENDED WITH TDMA SHOULD HAVE COLOR 4 BANDS).
5. ALL ANTENNA LINES SHALL BE INSTALLED BY AN ANTENNA INSTALLATION CONTRACTOR.
6. PRIOR TO PLACEMENT OF ANTENNA POLE, THE CONTRACTOR SHALL VERIFY THAT THE ANTENNA AND OVERSIGHTS SHOWN ON THE PLANS MATCH ACTUAL FIELD CONDITIONS.
7. ANTENNA INSTALLATION CONTRACTOR SHALL PROVIDE ALL CONDUIT, CABLE TRAY, GROUNDING, ETC. FOR COMPLETE INSTALLATION OF ANTENNAS AND CABLES SHOWN AND EROSION INC. SHALL PROVIDE A COMPLETE OPERATING SYSTEM IN ACCORDANCE WITH EROSION INC. STANDARD.
8. NO COAX SHALL THERE BE ANY MORE THAN TWO (2) 90° TURNS (OR EQUIVALENT) IN ANY CONTINUOUS LENGTH OF CONDUIT BETWEEN PULL BOXES OR SIMILAR FEATURES.
9. ANTENNA CONDUIT SHALL ONLY INCLUDE FACTORY-MADE LARGE RADIUS SWEEPS AT 90° AND 45° MINIMUM BELOW GROUND. RADIUS SHALL BE 15" MINIMUM ABOVE GROUND AND 30" MINIMUM BELOW GROUND.
10. CONDUIT SHALL BE 3" MINIMUM. ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 WALL THICKNESS. CONDUIT SHALL BE 1/2" MINIMUM WALL THICKNESS. CONDUIT SHALL BE 1/2" MINIMUM WALL THICKNESS. CONDUIT SHALL BE 1/2" MINIMUM WALL THICKNESS. CONDUIT SHALL BE 1/2" MINIMUM WALL THICKNESS.
11. IN HIGH TRAFFIC AREAS OR WHERE SUSCEPTIBLE TO DAMAGE CONTRACTOR SHALL PROVIDE ALL CONDUIT SHALL BE 1/2" MINIMUM WALL THICKNESS. CONDUIT SHALL BE 1/2" MINIMUM WALL THICKNESS. CONDUIT SHALL BE 1/2" MINIMUM WALL THICKNESS.
12. HENRY BOULE AND LENGTH OF CABLE FROM TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR (E) EQUIPMENT AT FACILITIES.
13. MAXIMUM LENGTH OF 7/8" COAX CABLE SHALL BE 140'-0". MAXIMUM LENGTH OF 1-1/8" COAX CABLE SHALL BE 190'-0". MAXIMUM LENGTH OF 1-3/8" COAX CABLE SHALL BE 235'-0".
14. VERIFY MODEL NUMBERS OF ANTENNAS WITH EROSION INC. SERVICES.
15. THE CONTRACTOR SHALL PROVIDE TESTING OF ANTENNAS AND SHALL PROVIDE REPORT TO THE EROSION INC. PROJECT MANAGER.
16. SPECIFICATIONS AND RECOMMENDATIONS.



- SITE PLAN KEYNOTES**
1. (A) ANTENNA SERVICE AREA BOUNDARIES ARE SHOWN BY DASHED LINES.
  2. (B) ANTENNA SERVICE AREA BOUNDARIES ARE SHOWN BY DASHED LINES.
  3. (C) ANTENNA SERVICE AREA BOUNDARIES ARE SHOWN BY DASHED LINES.
  4. (D) ANTENNA SERVICE AREA BOUNDARIES ARE SHOWN BY DASHED LINES.
  5. (E) AND (N) COAX CABLE ROUTE, APPROX. INSTANCES 150'-0".
  6. (F) ACCESS DATE TO (E) 16" WIDE DRIVE ROAD.
  7. (G) AIRY ELECTRICAL METER.
  8. (H) AIRY UNDERGROUND ELECTRICAL ROUTE.
  9. (I) AIRY 5" WIDE UTILITY BASEMENT.
  10. (J) JOHN POLE.

- SITE PLAN GENERAL NOTES**
1. THESE AREAS SURVEY FROM JES & ASSOCIATES SURVEY DATED MARCH 20, 2001.

GENERAL ANTENNA & CABLE NOTES

2

SCALE: 1"=50'

0 25' 50'

ENLARGED SITE PLAN

MAR 19  
CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

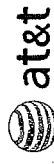
482

PAGE 4 OF 20

**JRA**

Jeffrey Rowe & Associates, Inc.  
 Address • California • Inverdo  
 ARROYO, CALIFORNIA (949) 284-8579  
 SAN MARINO, CALIFORNIA (949) 790-3229  
 NEWBURN, CALIFORNIA (708) 955-0053

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APPLICANT  
**at&t**  
 4430 ROSEWOOD DRIVE  
 PLEASANTON, CALIFORNIA, 94566  
 OWNER  
 C&T TELEVISION  
 100 LINDEN STREET  
 SAN RAFAEL, CALIFORNIA, 94905  
 APPROVALS

REG.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OFFICE APPROVAL	DATE

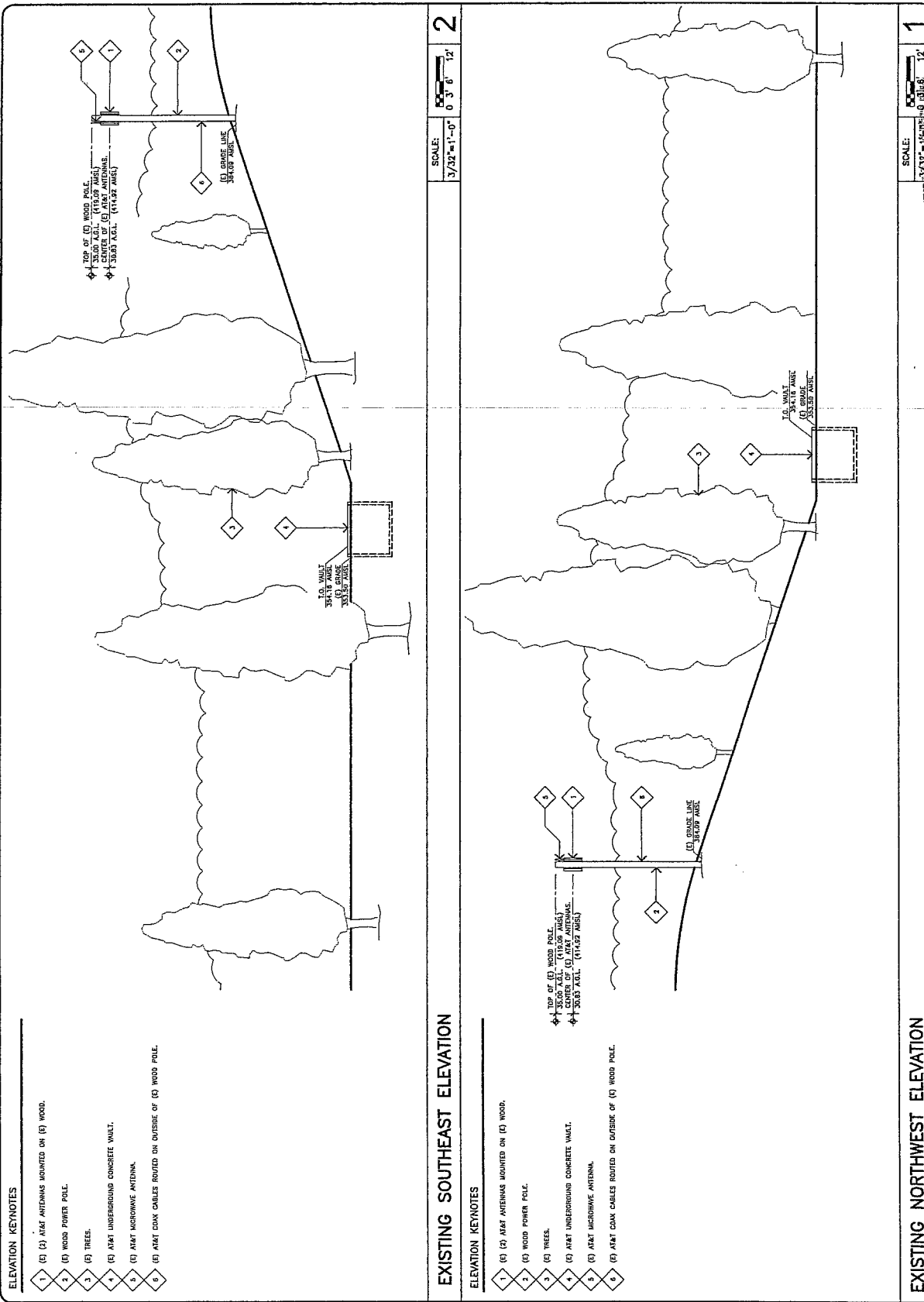
PROJECT NAME  
**AT&T 2ND CARRIER MODS**  
 SITE NO. **101**  
 SITE NAME **RODEO CHINASZS**  
 PROJECT ADDRESS  
 101 RODEO AVENUE  
 SAN RAFAEL, CALIFORNIA 94905  
 APN NUMBER  
 04-121-040

DRAWING DATES  
 07/10/08 BOX 20 REVIEW (P1)  
 07/16/08 FIELD CORRECTION (P2)  
 03/02/09 PLANNING COMMENTS (P4)

REVISION 4.2  
 SHEET TITLE

**NORTHWEST AND SOUTHEAST  
 EXISTING ELEVATIONS**

**A-2**



**ELEVATION KEYNOTES**

- 1 (E) AT&T ANTENNAS MOUNTED ON (E) WOOD.
- 2 (E) WOOD POWER POLE.
- 3 (E) TREES.
- 4 (E) AT&T UNDERGROUND CONCRETE VENT.
- 5 (E) AT&T MICRODOME ANTENNA.
- 6 (E) AT&T COAX CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE.

**EXISTING SOUTHEAST ELEVATION**

**ELEVATION KEYNOTES**

- 1 (E) AT&T ANTENNAS MOUNTED ON (E) WOOD.
- 2 (E) WOOD POWER POLE.
- 3 (E) TREES.
- 4 (E) AT&T UNDERGROUND CONCRETE VENT.
- 5 (E) AT&T MICRODOME ANTENNA.
- 6 (E) AT&T COAX CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE.

**EXISTING NORTHWEST ELEVATION**

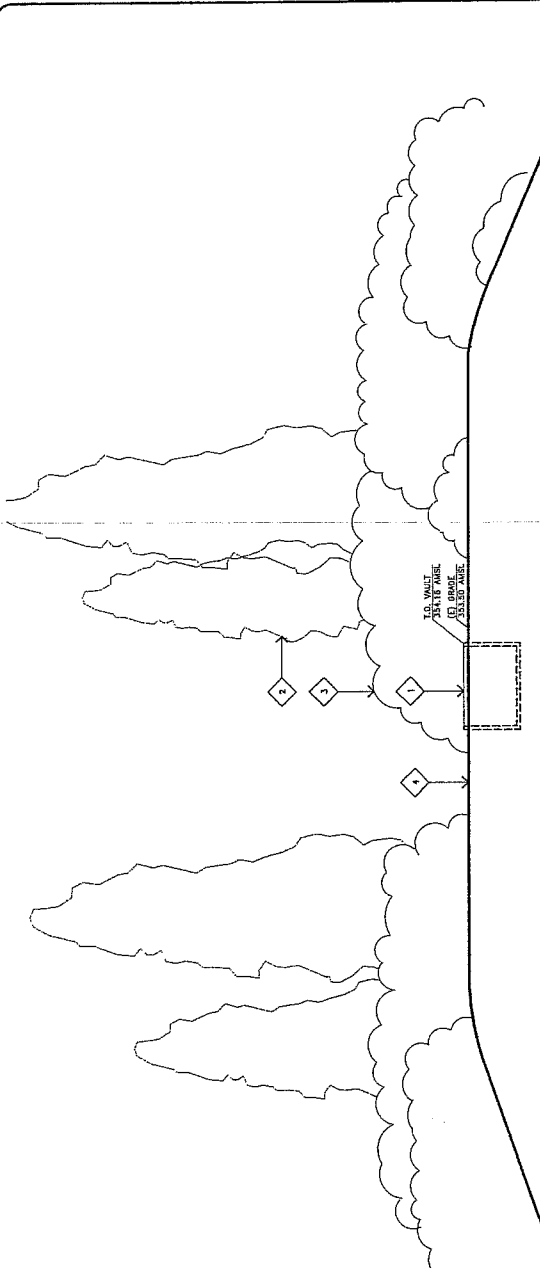
**ELEVATION KEYNOTES**

- 1 (E) AT&T ANTENNAS MOUNTED ON (E) WOOD.
- 2 (E) WOOD POWER POLE.
- 3 (E) TREES.
- 4 (E) AT&T UNDERGROUND CONCRETE VENT.
- 5 (E) AT&T MICRODOME ANTENNA.
- 6 (E) AT&T COAX CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE.

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 CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

ELEVATION KEYNOTES

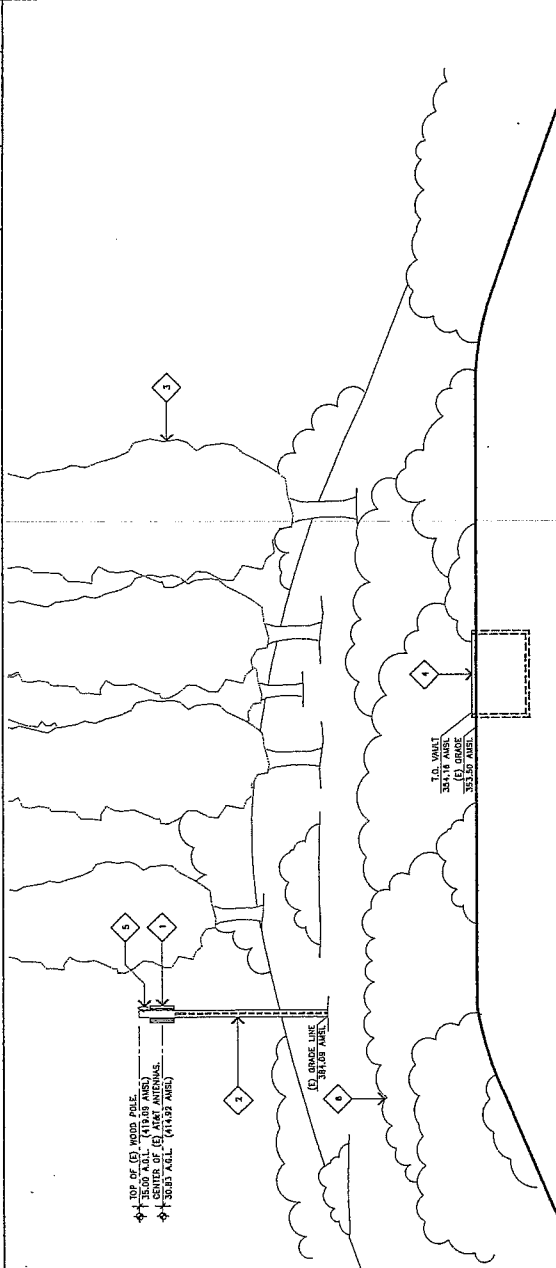
- 1 (E) AT&T UNDERGROUND VAULT.
- 2 (E) TREES.
- 3 (E) SHRUBS.
- 4 (E) ACCESS DRIVE.



EXISTING SOUTHWEST ELEVATION

ELEVATION KEYNOTES

- 1 (E) (C) AT&T ANTENNAS MOUNTED ON (E) WOOD.
- 2 (E) WOOD POWER POLE.
- 3 (E) TREES.
- 4 (E) AT&T UNDERGROUND VAULT.
- 5 (E) AT&T MICROWAVE ANTENNA.
- 6 (E) SHRUBS.



EXISTING NORTHEAST ELEVATION

**JRA**  
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 (916) 434-1111  
 (702) 744-0581

**at&t**  
 APPLICANT  
 101 & RODEO  
 SAUSALITO, CALIFORNIA 94965

CITY OF SAUSALITO  
 430 LINDO STREET  
 SAUSALITO, CALIFORNIA 94965

APPROVALS

DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

PROJECT NAME  
**AT&T 2ND CARRIER MODS**  
 101 & RODEO  
 SITE NUMBER  
 CNU4525  
 PROJECT ADDRESS  
 101 & RODEO  
 SAUSALITO, CALIFORNIA 94965

REV. NUMBER  
 64-11-010

DRAWING DATES  
 12/12/08 (P1)  
 01/27/09 (P2)  
 10/28/08 (P3)  
 02/17/09 FIELD CORRECTION (P3)  
 02/02/09 PLANNING COMMENTS (P4)

RFS  
 REVISION 4-B  
 SHEET TITLE  
**NORTHEAST AND SOUTHWEST  
 EXISTING ELEVATIONS**

**A-2.1**

SCALE: 3/32" = 1'-0"

1

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CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

PAGE #22

432

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 MESA, AZ 85201  
 (480) 246-5274  
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**APPLICANT**  
 AT&T COMMUNICATIONS INTL. PLS.  
 PULSAN, CALIFORNIA, 94588  
 CITY OF SAUSALITO  
 450 LITTO STREET  
 SAUSALITO, CALIFORNIA 94965

**APPROVALS**

DATE	DATE
DATE	DATE
DATE	DATE
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DATE	DATE
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**PROJECT NAME**  
 AT&T 2ND AND CARRIER MODS  
 101 & RODEO  
**SITE NUMBER**  
 CNU4523  
**PROJECT ADDRESS**  
 AT&T COMMUNICATIONS INTL.  
 PULSAN, CALIFORNIA 94588  
**DATE**  
 6-1-01-010  
**DRAWING DATES**  
 12/10/08  
 08/20/09 (P1)  
 10/04/09 (P2)  
 01/27/09  
 05/04/09 (P3)  
 07/04/09  
 08/04/09 (P4)

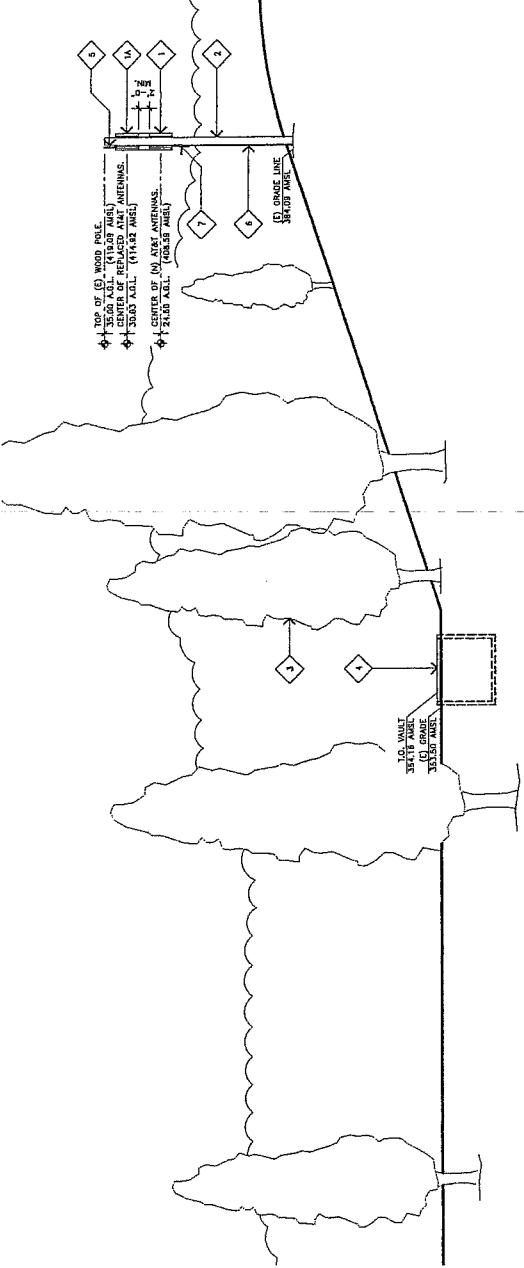
**REVISIONS**

NO.	DESCRIPTION
1	REVISION 4.2

**SHEET TITLE**  
 NORTHWEST AND SOUTHEAST  
 PROPOSED ELEVATIONS

**A-3**

PROJECT NUMBER: 081627



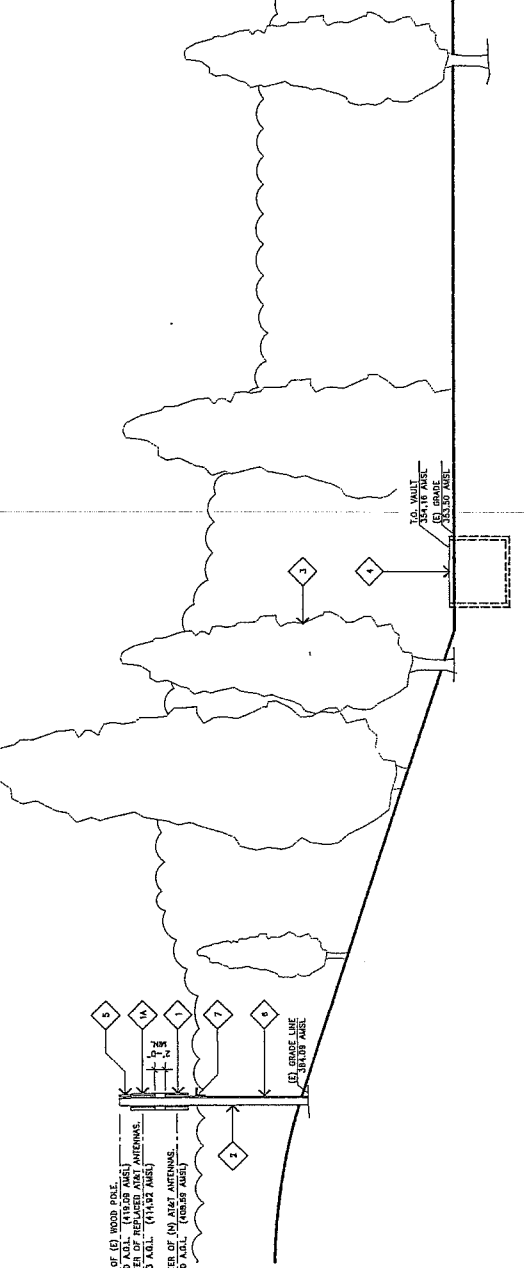
- ELEVATION KEYNOTES**
- 1 (A) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (E) ANTENNAS.
  - 2 (A) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (E) ANTENNAS.
  - 3 (E) WOOD POWER POLE.
  - 4 (E) TREES.
  - 5 (E) AT&T UNDERGROUND CONCRETE VAULT.
  - 6 (E) AT&T MICROWAVE ANTENNA.
  - 7 (E) AND (A) AT&T COMM. CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.

**SCALE:** 3/32"=1'-0"



**2**

**PROPOSED SOUTHEAST ELEVATION**



- ELEVATION KEYNOTES**
- 1 (A) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (E) ANTENNAS.
  - 2 (A) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (E) ANTENNAS.
  - 3 (E) WOOD POWER POLE.
  - 4 (E) TREES.
  - 5 (E) AT&T UNDERGROUND CONCRETE VAULT.
  - 6 (E) AT&T MICROWAVE ANTENNA.
  - 7 (E) AND (A) AT&T COMM. CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.

**SCALE:** 3/32"=1'-0"



**1**

**PROPOSED NORTHWEST ELEVATION**

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**at&t**  
 1430 ROSEWOOD DRIVE  
 FLORENCE, CALIFORNIA 94588  
 DRIVER  
 CITY OF SALDALITO  
 SALDALITO, CALIFORNIA 94845  
 APPROVALS

RF.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

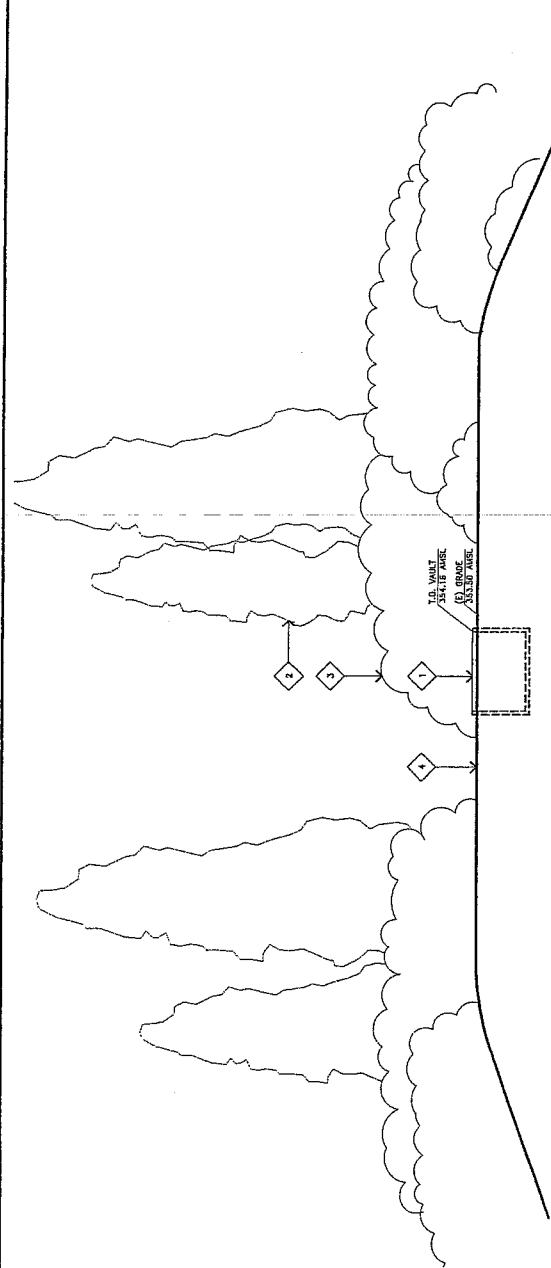
PROJECT NAME  
**AT&T 2ND CARRIER MODS**  
 SITE NAME  
**101 & RODEO**  
 SITE NUMBER  
**0114525**  
 PROJECT ADDRESS  
 181 RODEO AVENUE  
 SALDALITO, CALIFORNIA 94845

APN NUMBER  
 84-181-010  
 DRAWING DATES  
 12/10/08 BOX 20 REVIEW (P1)  
 01/14/09 FIELD CHECK (P2)  
 02/18/09 FIELD CHECK (P3)  
 03/03/09 PLANNING COMMENTS (P4)

RPS REVISION 4.2  
 SHEET TITLE

**NORTHEAST AND SOUTHWEST  
 PROPOSED ELEVATIONS**

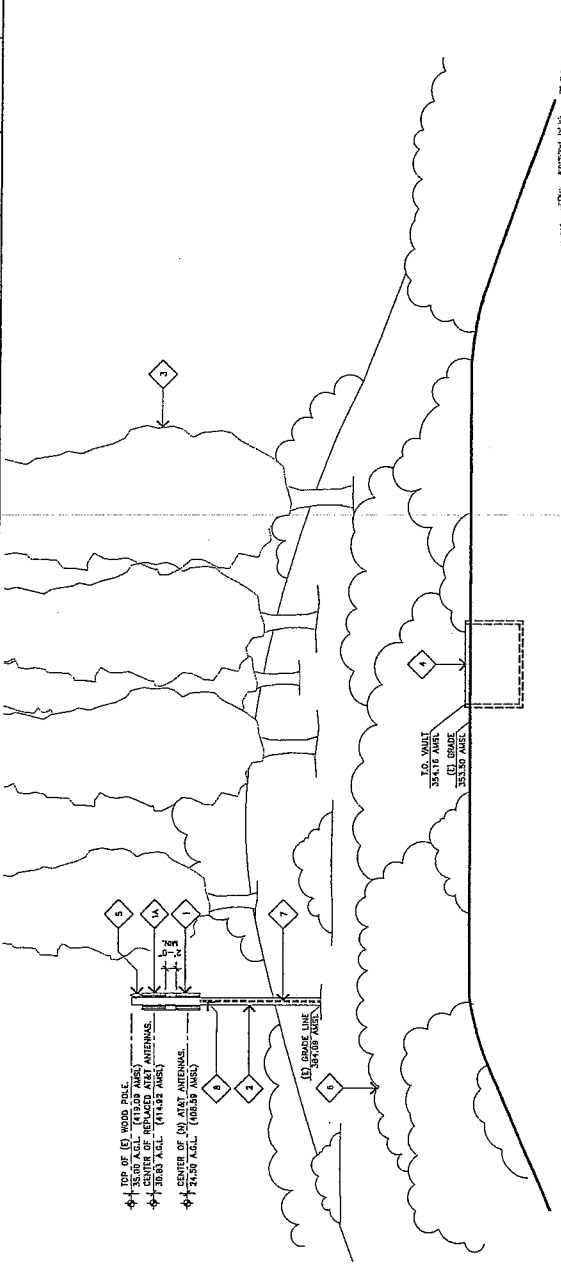
**A-3.1**



SCALE: 3/32"=1'-0"  
 0 3' 6" 12'

**PROPOSED SOUTHWEST ELEVATION**

- ELEVATION KEYNOTES**
- 1 AT&T ANTENNAS MOUNTED ON (E) WOOD POLE. PAINT TO MATCH (E)
  - 2 (E) AT&T ANTENNAS MOUNTED ON (E) WOOD TO REPLACE (E) ANTENNAS. PAINT TO MATCH (E) ANTENNAS.
  - 3 (E) WOOD POWER POLE.
  - 4 (E) TREES.
  - 5 AT&T UNDERGROUND WALK.
  - 6 AT&T MICROWAVE ANTENNA.
  - 7 (E) AND (U) AT&T COAX CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.
  - 8 (U) AT&T TRAYS MOUNTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.



SCALE: 3/32"=1'-0"  
 0 3' 6" 12'

**PROPOSED NORTHEAST ELEVATION**

MAR 19 2009  
 CITY OF SALDALITO  
 COMMUNITY DEVELOPMENT

482

PAGE #204



**JRA**

Jiffrey Roca & Associates, Inc.  
 Arizona • California • Nevada  
 1700 W. Camelback Road, Suite 200  
 Phoenix, Arizona 85015  
 (602) 998-3333  
 1700 W. Camelback Road, Suite 200  
 Las Vegas, Nevada 89102  
 (702) 798-0551

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APPLICANT  
**at&t**  
 4430 ROSENWOOD DRIVE  
 PLACEMEN, CALIFORNIA 91388  
 OWNER  
 CITY OF SALVATO  
 SALVATO, CALIFORNIA 94588  
 APPROVALS

R.F.T.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

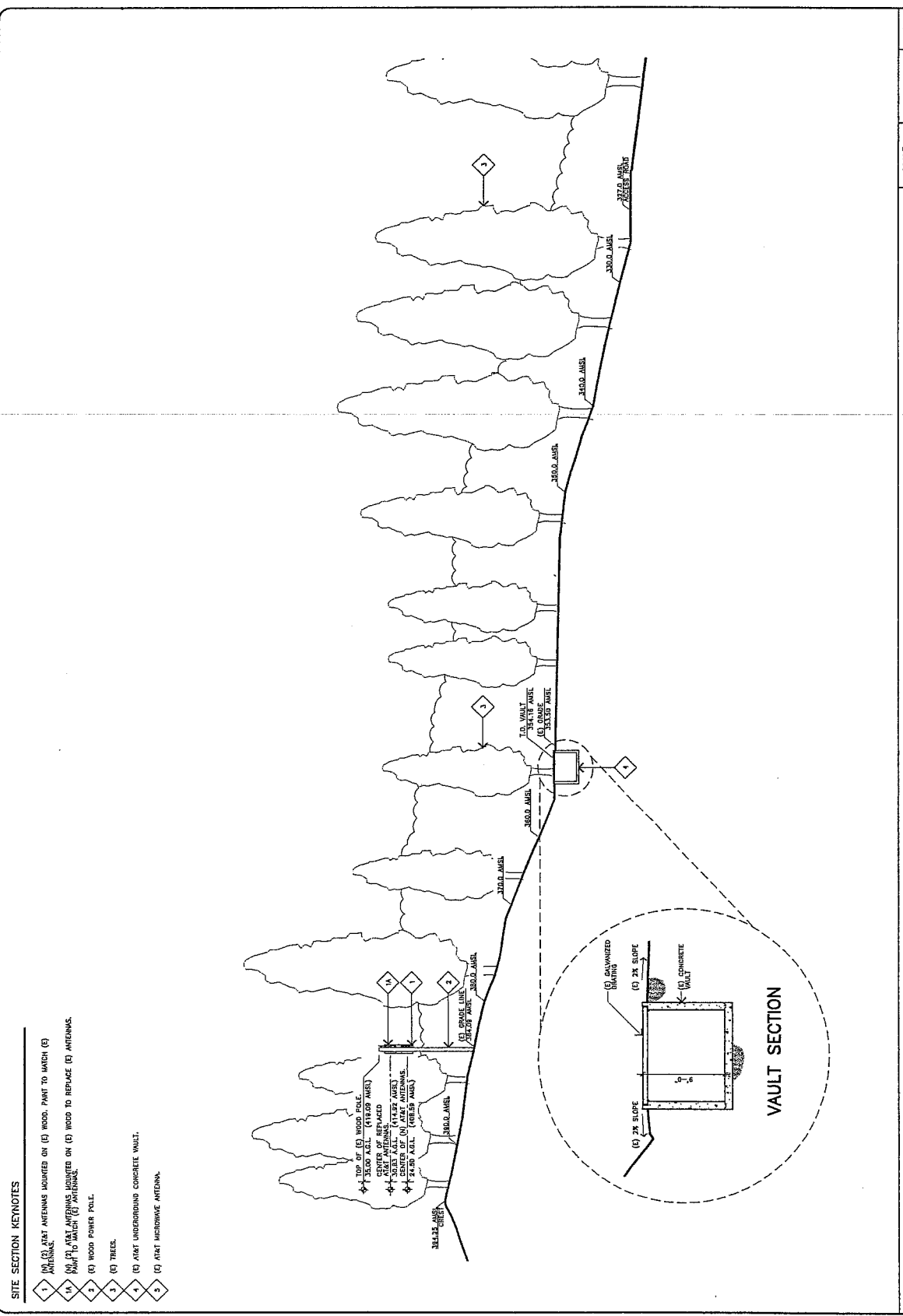
PROJECT NAME  
**AT&T 2ND CARRIER MODS**  
 SITE NAME  
**101 W. RODEO**  
 CITY  
**CA 94525**  
 PROJECT ADDRESS  
 101 RODEO AVENUE  
 SALVATO, CALIFORNIA 94588

APN NUMBER  
 64-10-1200  
 DRAWING DATES  
 12/10/08 90% CD REVIEW (P1)  
 01/17/09 100% CD REVIEW (P2)  
 02/12/09 FIELD CONFIRMATION (P3)  
 02/02/09 PLANNING COMMENT (P4)

RFS# REVISION 4.2  
 SHEET TITLE

SITE SECTION

A-4



- SITE SECTION KEYNOTES**
- 1 (E) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (E) ANTENNAS
  - 2 (E) AT&T ANTENNAS MOUNTED ON (E) WOOD TO REPLACE (E) ANTENNAS
  - 3 (E) WOOD POWER POLE
  - 4 (E) TREES
  - 5 (E) AT&T UNDERGROUND CONCRETE VAULT
  - 6 (E) AT&T MICROWAVE ANTENNA

SITE SECTION

SCALE: 1" = 100'  
 MAR 19 2009  
 CITY OF SALVATO  
 COMMUNITY DEVELOPMENT

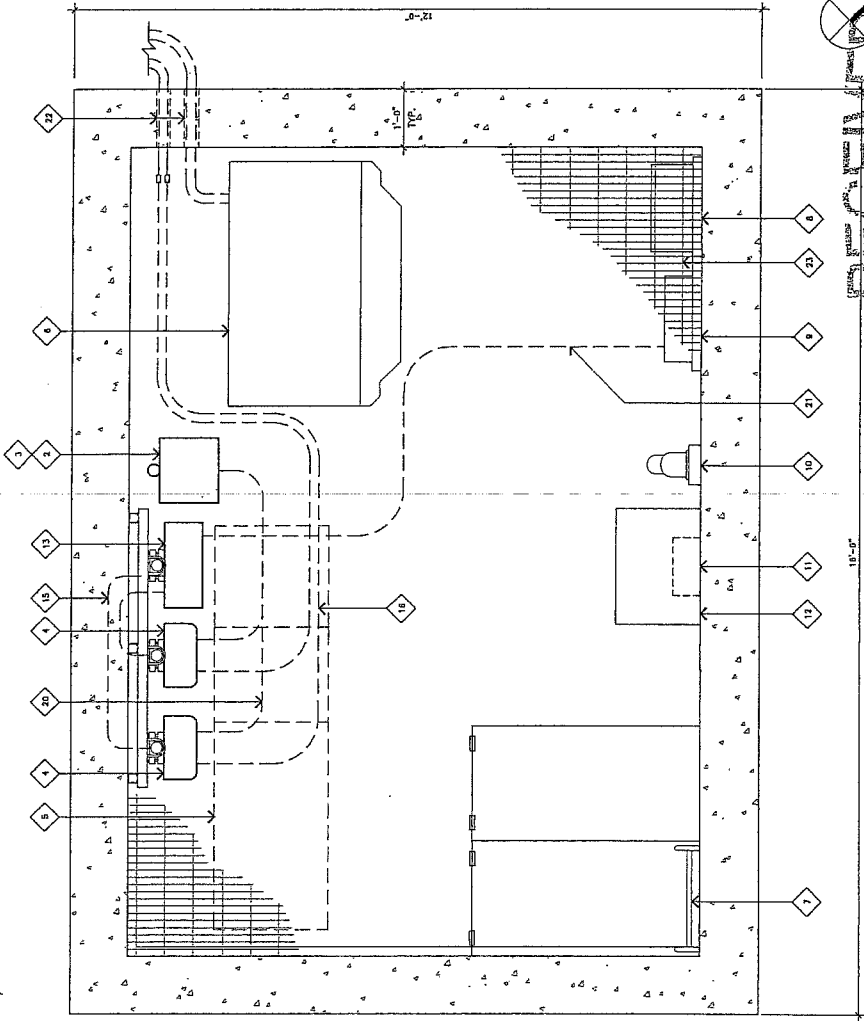
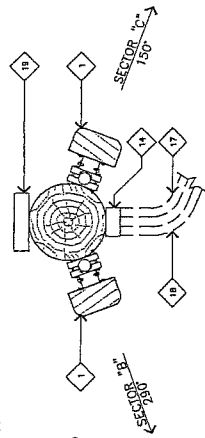
482  
 PAGE # 25

ENLARGED SITE PLAN KEYNOTES

- 1 (N) (O) AT&T ANTENNAS MOUNTED BELOW (E) (E) AT&T ANTENNAS TO BE REPLACED WITH ANTENNAS TO MATCH (E) ANTENNAS WITH INDICATIONS (O).
- 2 (E) AT&T UNITS MICROCELL EQUIPMENT CABINET, TO BE REMOVED.
- 3 (N) AT&T 2518 UNITS MICROCELL EQUIPMENT CABINET MOUNTED ON A (O) PIPE MOUNT.
- 4 (N) (O) AT&T 1800Z DMM'S AND 184'S WITH SUN SHIELDS, STACKED, MOUNTED WITHIN (O) VAULT.
- 5 (E) AT&T TMM CABINET, TO BE REMOVED.
- 6 (E) AT&T 2208 RIS EQUIPMENT CABINET.
- 7 (E) ACCESS WARD.
- 8 (E) AT&T PULLBOX.
- 9 (E) AT&T AC PANEL.
- 10 (E) AT&T GENERATOR RECEPTACLE.
- 11 (E) AT&T ELECTRICAL DISCONNECT.
- 12 (E) AT&T ELECTRICAL TRANSFORMER.
- 13 (N) AT&T FIBER-OPT BATTERY CABINET MOUNTED WITHIN (E) VAULT.
- 14 (N) (O) AT&T TMM'S MOUNTED ON (E) WOOD POLE.
- 15 (N) AT&T DC POWER FEED; APPROX. LENGTH 8'-0". SHOW DIAGNOSTICALLY.
- 16 (N) AT&T JUMPER CABLES; APPROX. LENGTH 10'-0". SHOW DIAGNOSTICALLY.
- 17 (E) AT&T COAX CABLE ROUTE.
- 18 (N) AT&T COAX CABLE ROUTE. INSTALL (N) 4" UNDERGROUND CONDUIT.
- 19 (E) AT&T MICROWAVE ANTENNA.
- 20 (N) AT&T AC POWER FEED; APPROX. LENGTH ±10'-0". SHOW DIAGNOSTICALLY.
- 21 (N) AT&T AC POWER FEED; APPROX. LENGTH ±15'-0". SHOW DIAGNOSTICALLY.
- 22 (E) AT&T WINDSHIELD EXIT PORTS.
- 23 (E) GALVANIZED STEEL DRIVING ROOF ENCLOSURE.

ENLARGED SITE PLAN GENERAL NOTES

- A. GROUND ALL (N) EQUIPMENT AND COAX.
- B. (E) AT&T ANTENNAS TO BE REPLACED ABOVE. NOT SHOWN FOR CLARITY.



**JRA**  
Jeffrey Rom & Associates, Inc.  
Arizona • California • Nevada  
(602) 246-5579  
(480) 760-3393  
MOBILE: (928) 742-9025

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APPLICANT  
**at&t**  
4430 ROSEWOOD DRIVE  
FOLSOM, CALIFORNIA, 95688

OWNER  
AT&T WORLDWIDE  
425 LIND STREET  
SUNNYVALE, CALIFORNIA, 94088

APPROVALS

DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

PROJECT NAME  
**AT&T 2ND CARRIER MODS**

SITE NAME  
**101 ST. MARINO**

SITE NUMBER  
**CNU4525**

PROJECT ADDRESS  
101. ROSEA AVENUE  
SAUSALITO, CALIFORNIA 94865

RFI NUMBER  
15-14-1914

DRAWING DATES  
15/1/04  
03/27/04  
03/27/04  
03/27/04  
03/27/04

REVISIONS  
REVISION 4.2

SHEET TITLE  
**EQUIPMENT FLOOR PLAN**

SCALE: 1" = 10'-0"

MAR 11 2004

1

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

EQUIPMENT FLOOR PLAN

482

Page 24

ATTACHMENT 2

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE CITY COUNCIL  
OF THE CITY OF SAUSALITO, CALIFORNIA  
APPROVING THE FIRST AMENDMENT TO THE LEASE AGREEMENT BY AND  
BETWEEN THE CITY OF SAUSALITO AND AT&T @ HWY 101 AND RODEO  
DRIVE**

**WHEREAS**, effective as of September 10, 2002 the City of Sausalito entered into a Lease Agreement with Bay Area Cellular Telephone Company dba AT&T Wireless Services for a portion of that certain real property owned by the City and located at Hwy 101 and Rodeo Drive (the "Lease"); and

**WHEREAS**, the City and the AT&T desire to enter into the First Amendment to the Lease which is attached hereto as Exhibit "A" and incorporated herein by reference; and

**WHEREAS**, pursuant to Resolution No. 2009-30 the Planning Commission approved a Conditional Use Permit and a Design Review Permit for Replacement of Two Existing Antennas and Installation of Two New Antennas on an Existing Monopole; Installation of Equipment in an Existing Underground Equipment Vault East of the Intersection of Rodeo Avenue and Highway 101 (CUP/DR 09-030); and

**WHEREAS**, the approval of the proposed Amendment is exempt from the application of the California Environmental Quality Act (California Public Resources Code Section 21000, et seq., "CEQA"), pursuant to Section 15301 (Class 1 Categorical Exemption) of the State CEQA Guidelines (Title 14, California Code of Regulations Section 15000, et seq.).

**Now, therefore**, the City Council of the City of Sausalito does hereby resolve as follows:

1. The City Council hereby finds that the proposed Amendment is exempt from the application of CEQA pursuant to Section 15301 (Class 1 Categorical Exemption) of the State CEQA Guidelines and the City Clerk, or her designee, is directed to cause Notices of Exemption to be posted in accordance with CEQA.
2. The First Amendment to the Lease Agreement by and between the City of Sausalito and AT&T which is attached hereto as Exhibit "A" is hereby approved and the City Manager is authorized to execute the First Amendment on behalf of the City.

Item #: 482  
Meeting Date: \_\_\_\_\_  
Page #: 27

3. Upon execution of the Amendment, the City Manager (or his designee), is authorized, on behalf of the City, to approve and/or sign all documents necessary and appropriate to carry out and implement the Amendment, and to administer the City's obligations, responsibilities and duties to be performed under the Amendment and related documents.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Sausalito on the \_\_\_\_ day of \_\_\_\_\_, 2010, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

MAYOR OF THE CITY OF SAUSALITO

---

CITY CLERK

---

Item #: 482  
Meeting Date:  
Page #: 28

**ATTACHMENT 3 - EXHIBIT A TO RESOLUTION**

**First Amendment to AT&T Lease**

---

Item #: 4B2  
Meeting Date: \_\_\_\_\_  
Page #: 29

Market: San Francisco  
Cell Site Number: CNU4525  
Cell Site Name: Hwy. 101 & Rodeo  
FA Number: 10101370  
Address: Hwy. 101 & Rodeo Avenue

## FIRST AMENDMENT TO LEASE AGREEMENT

THIS FIRST AMENDMENT TO LEASE AGREEMENT (“**Amendment**”), dated as of the latter of the signature dates below, is by and between The City of Sausalito, a municipal corporation, having a mailing address of 420 Litho Street, Sausalito, CA 94965 (hereinafter referred to as “**Landlord**”) and New Cingular Wireless PCS, LLC, a Delaware limited liability company, successor in interest to Bay Area Cellular Telephone Company, having a mailing address of 12555 Cingular Way, Suite 1300, Alpharetta, GA 30004 (hereinafter referred to as “**Tenant**”).

WHEREAS, Landlord and Tenant entered into a Lease Agreement dated September 10, 2002, whereby Landlord leased to Tenant certain Premises, therein described, that are a portion of the Property located with the CalTrans right-of-way at the northbound Rodeo Avenue off ramp and Highway 101, Sausalito, CA (“**Agreement**”); and

WHEREAS, Landlord and Tenant desire to adjust the rent in conjunction with the modifications to the Agreement contained herein; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to modify the equipment; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to modify the notice section thereof; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to permit Tenant to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services; and

WHEREAS, Landlord and Tenant, in their mutual interest, wish to amend the Agreement as set forth below accordingly.

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Landlord and Tenant agree as follows:

1. **Rent.** Commencing on the first day of the month following the date that Tenant commences construction (the “Rent Commencement Date”), Rent shall be increased by \$500 per month, subject to adjustments as provided in the Agreement. Upon Tenant’s removal of antennas, Rent

will revert to the original rate, subject to adjustments as provided in the Agreement, upon thirty (30) days' prior written notice to Landlord.

2. **Communication Facility.** Section 2 of the Agreement is revised to supplement Tenant's Equipment as more fully described on Revised Exhibit C-1, attached hereto and incorporated herein. The supplemented Equipment is in addition to the Equipment currently located at the Premises.

3. **Notices.** Section 17 of the Agreement is hereby deleted in its entirety and replaced with the following:

**NOTICES.** All notices, requests, demands and communications hereunder will be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be effective when properly sent and received, refused or returned undelivered. Notices will be addressed to the parties as follows.

As to Tenant:

New Cingular Wireless PCS, LLC  
Attn: Network Real Estate Administration  
Re: Cell Site # CNU4525, Cell Site Name Hwy. 101 & Rodeo (CA)  
FA No: 10101370  
12555 Cingular Way, Suite 1300  
Alpharetta, GA 30004

With a required copy of such notice sent to AT&T Legal at:  
If sent via certified or registered mail:

New Cingular Wireless PCS, LLC  
Attn: AT&T Legal Department  
Re: Cell Site # CNU4525, Cell Site Name Hwy. 101 & Rodeo (CA)  
FA No: 10101370  
P.O. Box 97061  
Redmond, WA 98073-9761

Or

If sent via nationally recognized overnight courier:

New Cingular Wireless PCS, LLC  
Attn: AT&T Legal Department  
Re: Cell Site # CNU4525, Cell Site Name Hwy. 101 & Rodeo (CA)  
FA No: 10101370  
16331 NE 72nd Way  
Redmond, WA 98052-7827

As to Landlord:  
City of Sausalito  
420 Litho Street

482  
11/08/07 2531

Sausalito, CA 94965  
Attn: City Manager

Either party hereto may change the place for the giving of notice to it by thirty (30) days prior written notice to the other as provided herein.

4. **Emergency 911 Service.** In the future, without the payment of additional rent and at a location mutually acceptable to Landlord and Tenant, Landlord agrees that Tenant may add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services. Landlord reserves the right to review and approve of any emergency 911 equipment prior to installation.

5. **Other Terms and Conditions Remain.** In the event of any inconsistencies between the Agreement and this Amendment, the terms of this Amendment shall control. Except as expressly set forth in this Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this Amendment.

6. **Capitalized Terms.** All capitalized terms used but not defined herein shall have the same meanings as defined in the Agreement.

4B2

PAGE # 30



IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute and seal this Amendment on the dates set forth below.

**“LANDLORD”**

City of Sausalito

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

**“TENANT”**

New Cingular Wireless PCS, LLC,  
A Delaware limited liability company

By: AT&T Mobility Corporation  
Its: Manager

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

STATE OF CALIFORNIA )  
 )  
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_ before me, \_\_\_\_\_, the undersigned, a Notary Public in and for said State, personally appeared \_\_\_\_\_

\_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

Name \_\_\_\_\_  
(typed or printed)

(Seal)

STATE OF CALIFORNIA )  
 )  
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_ before me, \_\_\_\_\_, the undersigned, a Notary Public in and for said State, personally appeared \_\_\_\_\_

\_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

Name \_\_\_\_\_  
(typed or printed)

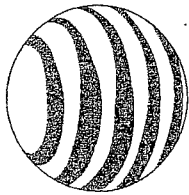
(Seal)

## REVISED EXHIBIT C-1

See attached exhibit comprised of 10 pages, last revision date March 3, 2009, prepared by Jeffrey Rome & Associates, Inc.

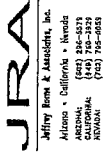
Notes:

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises once it is received by Licensee.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.
4. The type, number and mounting positions and locations of antennas and transmission lines are illustrative only. Actual types, numbers and mounting positions may vary from what is shown above.



at&t

CNU4525/101 & RODEO  
101 RODEO AVENUE  
SAUSALITO, CALIFORNIA 94965



JRA  
Jeffrey Rame & Associates, Inc.  
Alameda • California • Nevada  
4825944  
(415) 754-3629  
SAUSALITO  
(415) 754-4646

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APPLICANT  
PROJECT NAME  
PROJECT ADDRESS  
CITY  
STATE  
ZIP  
CITY OF SAUSALITO  
SAUSALITO, CALIFORNIA 94965

Table with columns: APPROVALS, DATE, COMMENTS

Table with columns: DATE, COMMENTS

Table with columns: DATE, COMMENTS

Table with columns: DATE, COMMENTS

SHEET INDEX table with columns: SHEET, TITLE, DATE

APPLICABLE CODES  
ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
2009 CALIFORNIA BUILDING CODE AND LOCAL AMENDMENTS  
2009 CALIFORNIA ELECTRICAL CODE AND LOCAL AMENDMENTS  
2009 CALIFORNIA MECHANICAL CODE AND LOCAL AMENDMENTS  
2009 CALIFORNIA PLUMBING CODE AND LOCAL AMENDMENTS  
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER  
THIS PROJECT IS AN ACCESSIBLE FACILITY UNDER THE TELECOMMUNICATIONS FACILITY ACT AND DOES NOT REQUIRE FURTHER TECHNOLOGICAL.

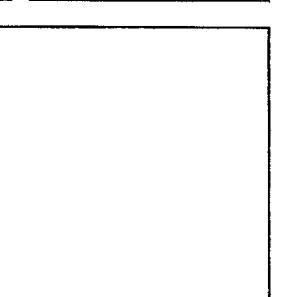
SCALE  
THE DIMENSIONS INDICATED ON THIS SHEET SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ON THIS SHEET ARE PRINTED AT A SCALE OF 1/8" = 1'-0". THIS SET IS NOT TO SCALE.

DEVELOPMENT SUMMARY  
APPLICANT: AT&T WIRELESS  
PROJECT ADDRESS: 101 RODEO AVENUE, SAUSALITO, CALIFORNIA 94965  
OWNER: CITY OF SAUSALITO  
OTHER ON-SITE TELECOM FACILITIES: YES  
PROJECT ADDRESS: 101 RODEO AVENUE, SAUSALITO, CALIFORNIA 94965  
ASSESSOR'S PARCEL NUMBER: 64-181-040  
LANDUSE: -TELSP  
CONSTRUCTION TYPE: 100-45  
PROPOSED OCCUPANCY: NO INDICATION IN S.E.  
CONSTRUCTION TYPE OF CONSTRUCTION: TYPE 4-B  
PROPOSED OCCUPANCY: U-3  
PERMISSION: U-3  
REMARKS: NO SIGNAGE REQUIRED

PROJECT DESCRIPTION  
PER CITY OF SAUSALITO, THE PROJECT IS A COMMUNICATIONS FACILITY. THE FACILITY WILL CONSIST OF THE FOLLOWING:  
• 1x 120VAC (1) (M) WIRELESS EQUIPMENT CABINET.  
• 1x 120VAC (1) (M) WIRELESS EQUIPMENT CABINET.  
• 1x 120VAC (1) (M) WIRELESS EQUIPMENT CABINET.  
• 1x 120VAC (1) (M) WIRELESS EQUIPMENT CABINET.  
• 1x 120VAC (1) (M) WIRELESS EQUIPMENT CABINET.  
• 1x 120VAC (1) (M) WIRELESS EQUIPMENT CABINET.

CONSULTANT TEAM  
CLIENTS REPRESENTATIVE:  
BLACK DOT WIRELESS  
230 COMMERCIAL STREET, SUITE 100  
SAN FRANCISCO, CALIFORNIA 94104  
PHONE: (415) 200-2000  
FAX: (415) 271-7940  
SRE: ADRIAN KIM  
PROJECT MANAGER: JAMES CHAN  
PHONE: (415) 443-3333  
CONSTRUCTION MANAGER:  
JAMES CHAN  
PHONE: (415) 443-3333  
ARCHITECT:  
JEFFREY RAME & ASSOCIATES  
3 SAN JOAQUIN PLAZA  
SUITE 105  
SAN JOAQUIN, CALIFORNIA 94402  
PHONE: (415) 754-3629  
CALLUMAR (415) 953-8626  
CONTACT: JESSIE JAMES VALENTI

SPECIAL INSPECTIONS  
1. CONCRETE  
2. REINFORCING STEEL  
3. ALL STRUCTURAL WELDING  
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99. WELDING INSPECTION TEST RESULTS  
100. WELDING INSPECTION TEST RESULTS



REC'D - MAR 19 2009

CITY OF SAUSALITO COMMUNITY DEVELOPMENT



**JRA**

Jeffrey Ross & Associates, Inc.  
Attn: Jeff Ross - Nevada  
1000 S. Grand Ave.  
Las Vegas, NV 89102  
TEL: (702) 735-3333  
FAX: (702) 735-0809

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APPLICANT  
**at&t**  
1430 ROSEWOOD DRIVE  
PLEASANTON, CALIFORNIA, 94588

OWNER  
CITY OF SAUSALITO  
SAUSALITO, CALIFORNIA, 94865

PERMIT	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

PROJECT NAME  
**AT&T 2ND CARRIER MODS**

SITE NO.  
**101**

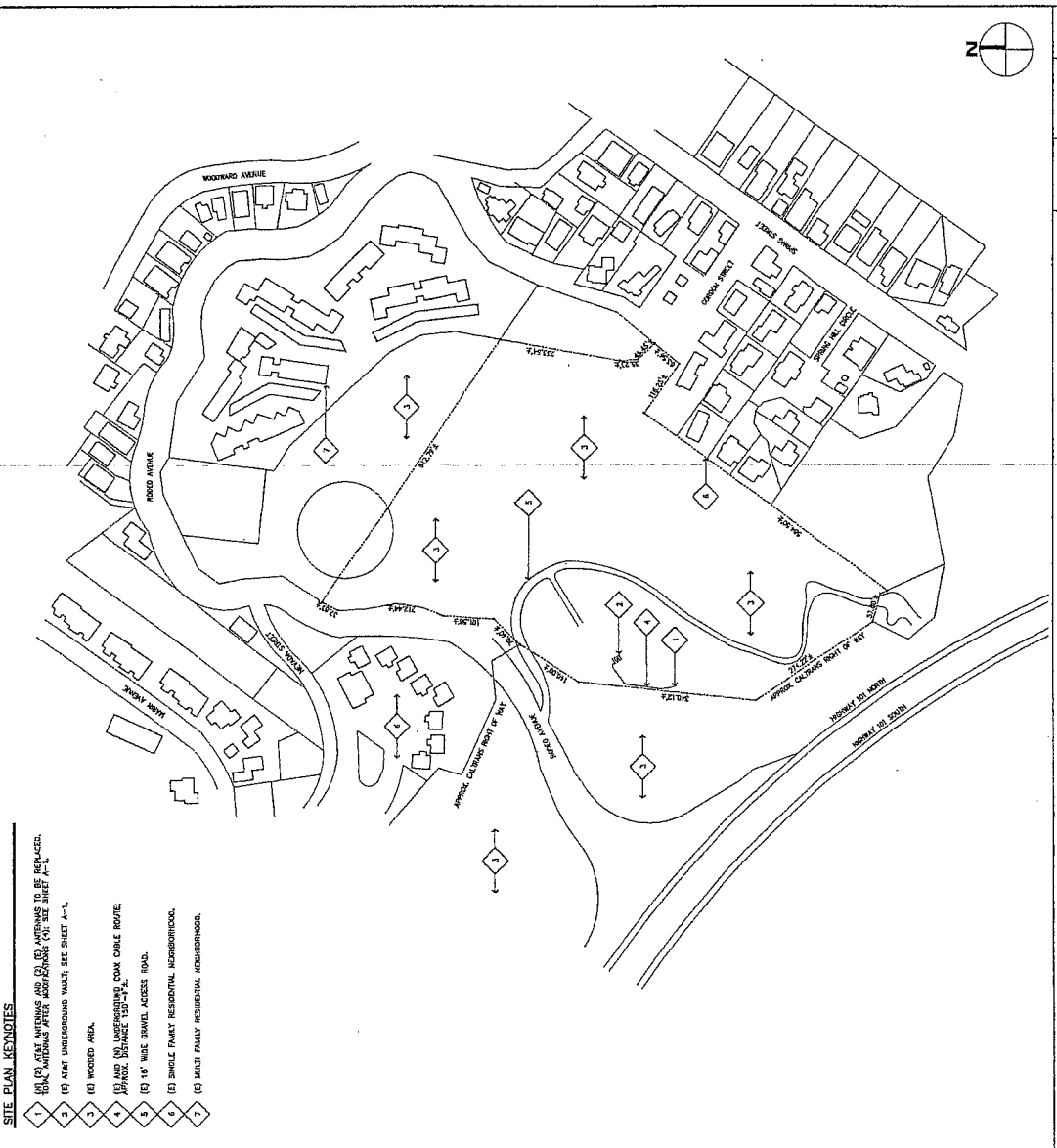
SITE NUMBER  
**CNU4525**

PROJECT ADDRESS  
101 BROAD AVENUE  
SAUSALITO, CALIFORNIA 94865  
44-181-11-110

DRAWING DATES  
12/15/08  
02/20/09 (P1)  
01/27/09 (P2)  
03/02/09 (P3)  
03/02/09 PLANNING COMMENTS (P4)

REVISION 4.2  
SHEET TITLE  
**SITE PLAN**

A-0



- SITE PLAN KEYNOTES**
- 1 (1) 10' W/45' ANTENNAS AND 10' W/45' ANTENNAS TO BE REPLACED.
  - 2 (2) 10' W/45' ANTENNAS WITH 10' W/45' ANTENNAS TO BE REPLACED. (SEE SHEET A-1).
  - 3 (3) W/45' UNDERGROUND W/45' SEE SHEET A-1.
  - 4 (4) W/45' W/45' AREA.
  - 5 (5) 10' W/45' UNDERGROUND W/45' CABLE ROUTE.
  - 6 (6) APPROX. DISTANCE 100'-10' W/45'.
  - 7 (7) 10' W/45' W/45' ACCESS ROAD.
  - 8 (8) SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD.
  - 9 (9) MULTY FAMILY RESIDENTIAL NEIGHBORHOOD.

SCALE: 1" = 100'  
**ALL CITY**

MAR 19 11:11 AM  
CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

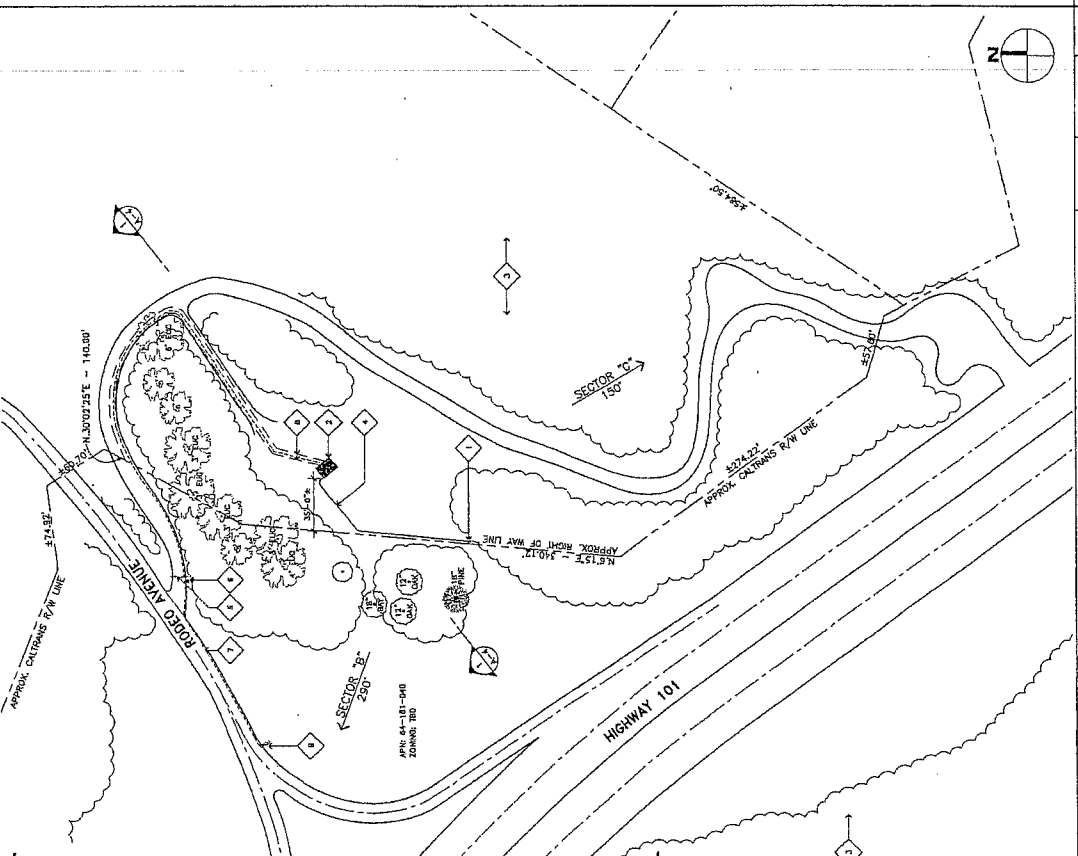
2 SITE PLAN

NOT USED

482  
PAR #38

- SITE PLAN KEYNOTES**
1. (A), (B), (C), (D), (E), (F) ANTENNAS TO BE REPLACED.
  2. (G) ANTENNAS TO BE REPLACED AFTER ADDITIONAL 100' SEE SHEET A-1.1.
  3. (H) ANT UNDERGROUND VAULT; SEE SHEET A-1.1.
  4. (I) WOODS AREA.
  5. (J) AND (K) COAX CABLE ROUTE. APPROX. BECAUSE 150'-174'.
  6. (L) ACCESS GATE TO (E) 10' WIDE GAVEL ROAD.
  7. (M) AIRY ELECTRICAL METER.
  8. (N) AIRY UNDERGROUND ELECTRICAL ROUTE.
  9. (O) 1/2" x 5" WIDE UTILITY EXHIBENT.
  10. (P) JUNE POLE.

- SITE PLAN GENERAL NOTES**
1. THE SITE TAKEN FROM LES & ASSOCIATES SURVEY DATED MARCH 20, 2001.



ENLARGED SITE PLAN

SCALE: 1"=50' 0 25' 50'

2 GENERAL ANTENNA & CABLE NOTES

MAR 19 '01

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

**JRA**  
Jeffrey Rosen & Associates, Inc.  
Atlanta • Columbia • Florida  
ALBANY, GA (404) 384-1579  
CALIFORNIA (415) 741-3133  
ARIZONA (602) 732-0589

**at&t**  
4400 RUISEWOOD DRIVE  
PULMONO, CALIFORNIA 94888  
OWNER:  
450 WILCO STREET  
SUNLAND, CALIFORNIA 94888  
APPROVALS:

**AT&T 2N01 & CARRIER MODES**  
**101 & RODEO**  
SITE NUMBER  
**CH04525**  
PROJECT NUMBER  
101 0202 0006  
SUNLAND, CALIFORNIA 94888  
APN NUMBER  
84-187-000  
DRAWING DATES  
07/15/98 602 TO RODEO (P1)  
07/14/99 FIELD CLARIFICATION (P2)  
07/02/99 PLANNING COMMENTS (P4)

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PROJECT NUMBER: 081822

ENLARGED SITE PLAN

SHEET TITLE

A-1

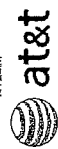
1422

482

PA6R-39

**JRA**  
 Jeffrey Ryan & Associates, Inc.  
 Irvine • California • Nevada  
 Arizona  
 (949) 264-5779  
 (702) 795-8839

APPLICANT



AT&T INDEPENDENT CELL  
 CITY OF SAUSALITO  
 101 & RODEO AVENUE  
 SAUSALITO, CALIFORNIA 94965

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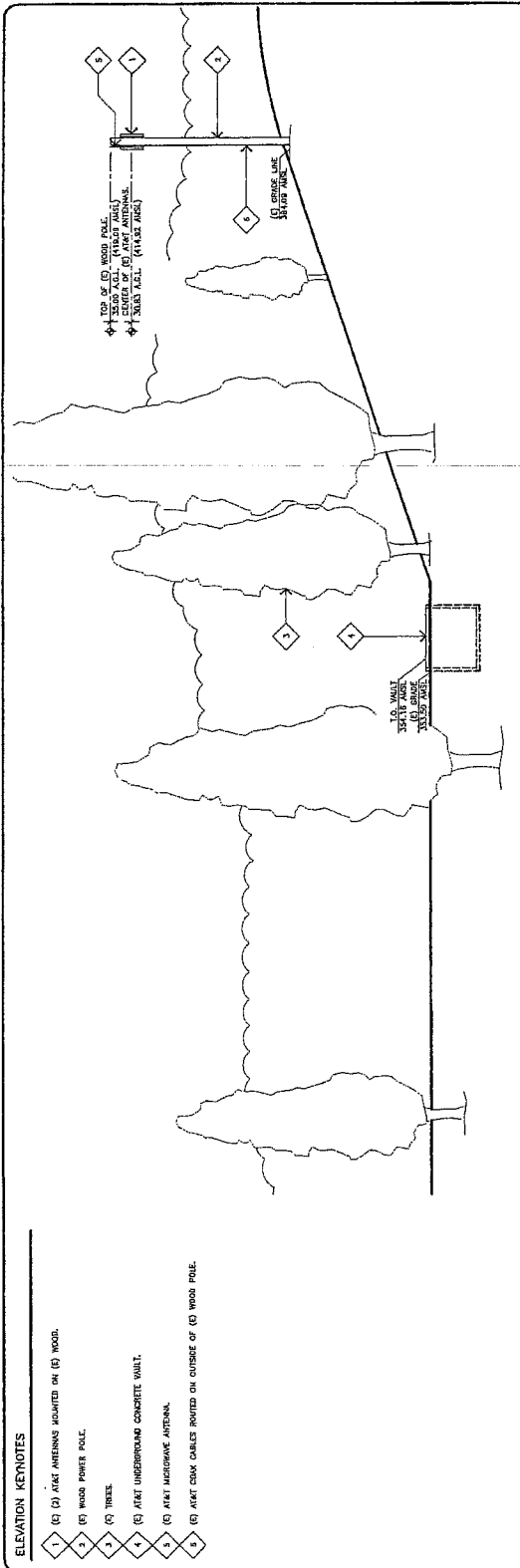
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 101 & RODEO  
 SITE NUMBER: 0111000000  
 PROJECT NUMBER: 1011000000  
 SAUSALITO, CALIFORNIA 94965  
 EPA NUMBER: 01-101100-00

**DRAWING DATES**  
 01/27/08  
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 03/16/09  
 04/02/09  
 04/02/09

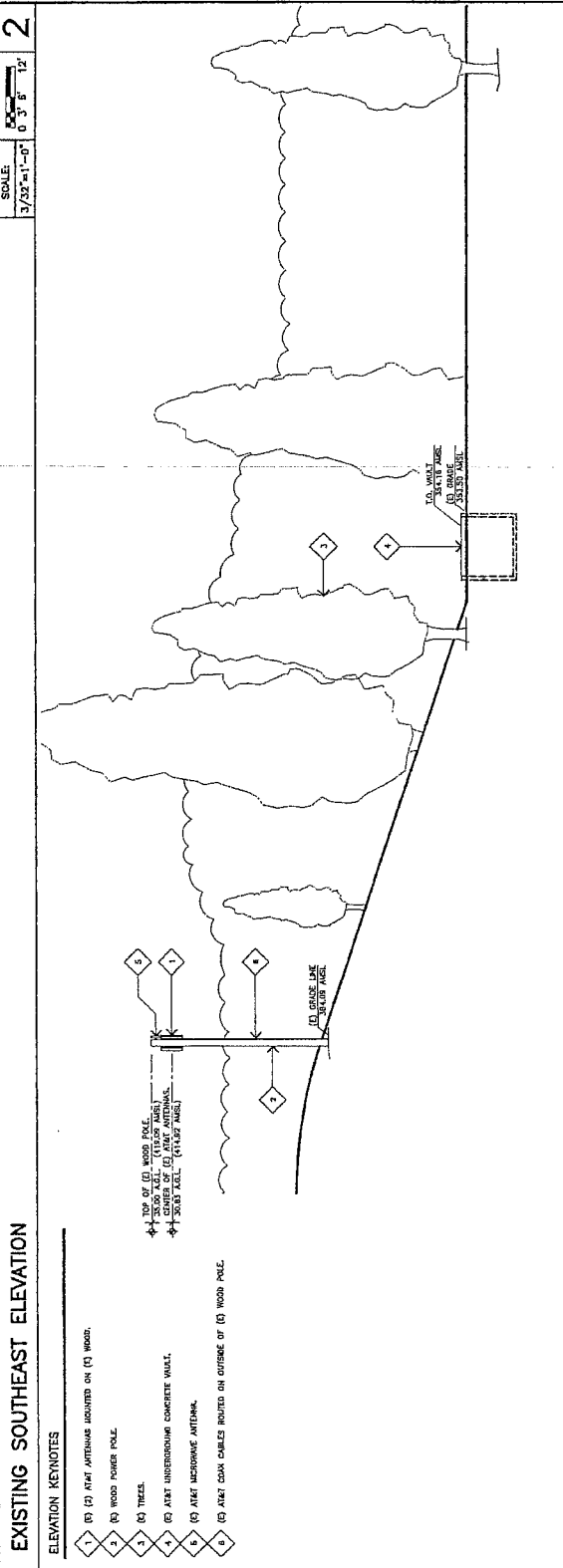
**DESIGNER**  
 BOBSON 4.2

**SHEET TITLE**  
 NORTHWEST AND SOUTHEAST  
 EXISTING ELEVATIONS

A-2



- ELEVATION KEYNOTES**
- 1 (1) AT&T ANTENNAS MOUNTED ON (1) WOOD.
  - 2 (2) WOOD POWER POLE.
  - 3 (3) TREES.
  - 4 (4) AT&T UNDERGROUND CONCRETE WALL.
  - 5 (5) AT&T MICROWAVE ANTENNA.
  - 6 (6) AT&T CABLE ROUTED ON OUTSIDE OF (1) WOOD POLE.



- EXISTING SOUTHEAST ELEVATION**
- ELEVATION KEYNOTES**
- 1 (1) AT&T ANTENNAS MOUNTED ON (1) WOOD.
  - 2 (2) WOOD POWER POLE.
  - 3 (3) TREES.
  - 4 (4) AT&T UNDERGROUND CONCRETE WALL.
  - 5 (5) AT&T MICROWAVE ANTENNA.
  - 6 (6) AT&T CABLE ROUTED ON OUTSIDE OF (1) WOOD POLE.

**EXISTING NORTHWEST ELEVATION**

SCALE: 3/32"=1'-0"    0' 3" 6" 12"

SCALE: 3/32"=1'-0"    0' 3" 6" 12"

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 CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

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PAGE # 40



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 CALIFORNIA (415) 749-3523  
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APPLICANT  
**at&t**  
 1100 RICHMOND DRIVE, SUITE 2000  
 PLAZA CENTER  
 PHOENIX, ARIZONA 85016

CITY OF SALISALITO  
 100 WIND STREET  
 SALISALITO, CALIFORNIA 91365

APPROVALS  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PROJECT NAME  
**AT&T 2ND CARRIER MODS**  
 101 & RODEO  
 PROJECT ADDRESS  
 101 RODEO AVENUE  
 SALISALITO, CALIFORNIA 91365

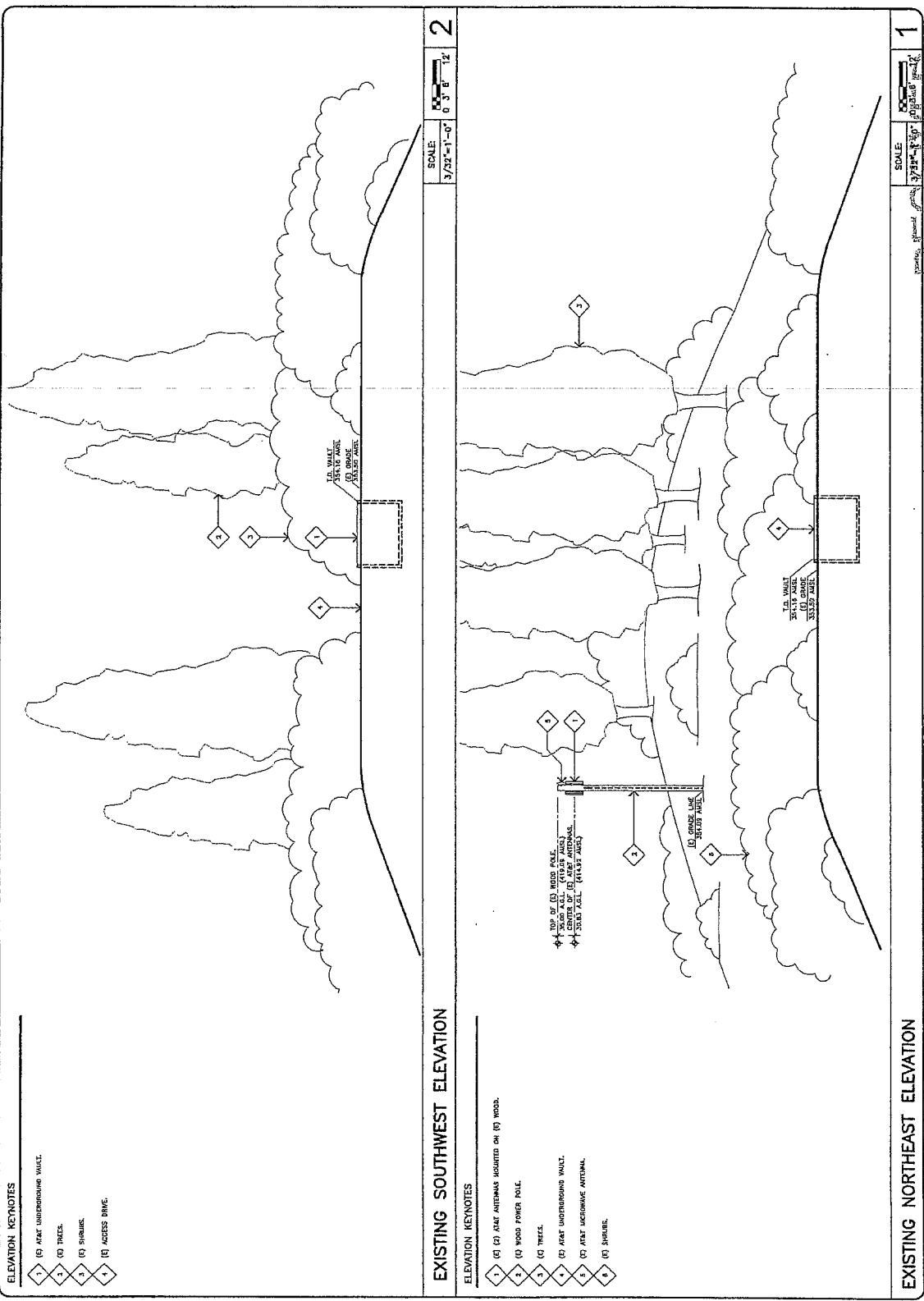
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DRAWING DATES  
 10/15/08  
 11/17/08  
 02/17/09  
 02/17/09  
 02/17/09

BY: [Signature]  
 TITLE: [Title]  
 FIELD SUPERVISOR (FS)  
 PROJECT MANAGER (PM)

REVISION 4.2  
 SHEET TITLE  
**NORTHEAST AND SOUTHWEST EXISTING ELEVATIONS**

A-2.1



- ELEVATION KEYNOTES**
- 1 (E) A&T UNDERGROUND WALK.
  - 2 (E) TRICEL.
  - 3 (E) POWER POLE.
  - 4 (E) UNDERGROUND WALK.
  - 5 (E) ACCESS DRIVE.

**EXISTING SOUTHWEST ELEVATION**

- ELEVATION KEYNOTES**
- 1 (E) (E) A&T ANTENNAS LOCATED ON (E) WOOD.
  - 2 (E) WOOD POWER POLE.
  - 3 (E) TRICEL.
  - 4 (E) A&T UNDERGROUND WALK.
  - 5 (E) A&T UNDERGROUND ANTENNA.
  - 6 (E) SIGNAGE.

**EXISTING NORTHEAST ELEVATION**

SCALE: 1/32"=1'-0"  
 0 3' 6" 12'

2

SCALE: 1/32"=1'-0"  
 0 3' 6" 12'

1

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CITY OF SALISALITO  
 COMMUNITY DEVELOPMENT

PAGE 24

482

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 Jeffrey Rame & Associates, Inc.  
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 (482) 284-5378  
 (702) 792-2020

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**APPROVAL**  
 ENGINEER  
 CITY OF SAUSALITO  
 SAUSALITO, CALIFORNIA, 94965

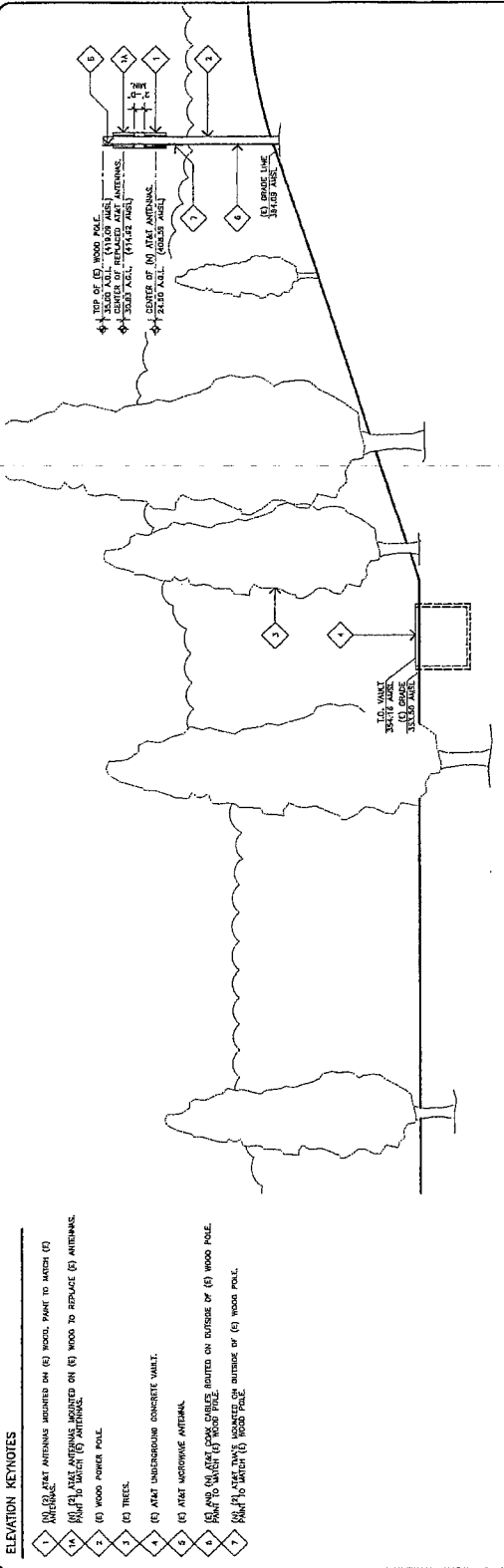
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**PROJECT NAME**  
 AT&T 2ND CARRIER MODS  
**SITE NAME**  
 101 E RODEO  
**CITY**  
 CHULA VISTA  
**PROJECT ADDRESS**  
 101 RODEO AVENUE  
 SAUSALITO, CALIFORNIA 94965

**ISSUANCE DATES**  
 12/15/08 (1)  
 01/27/09 (1)  
 02/16/09 (1)  
 04/01/09 (1)  
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**REVISION** 4.2  
 SHEET TITLE  
 NORTHWEST AND SOUTHEAST  
 PROPOSED ELEVATIONS

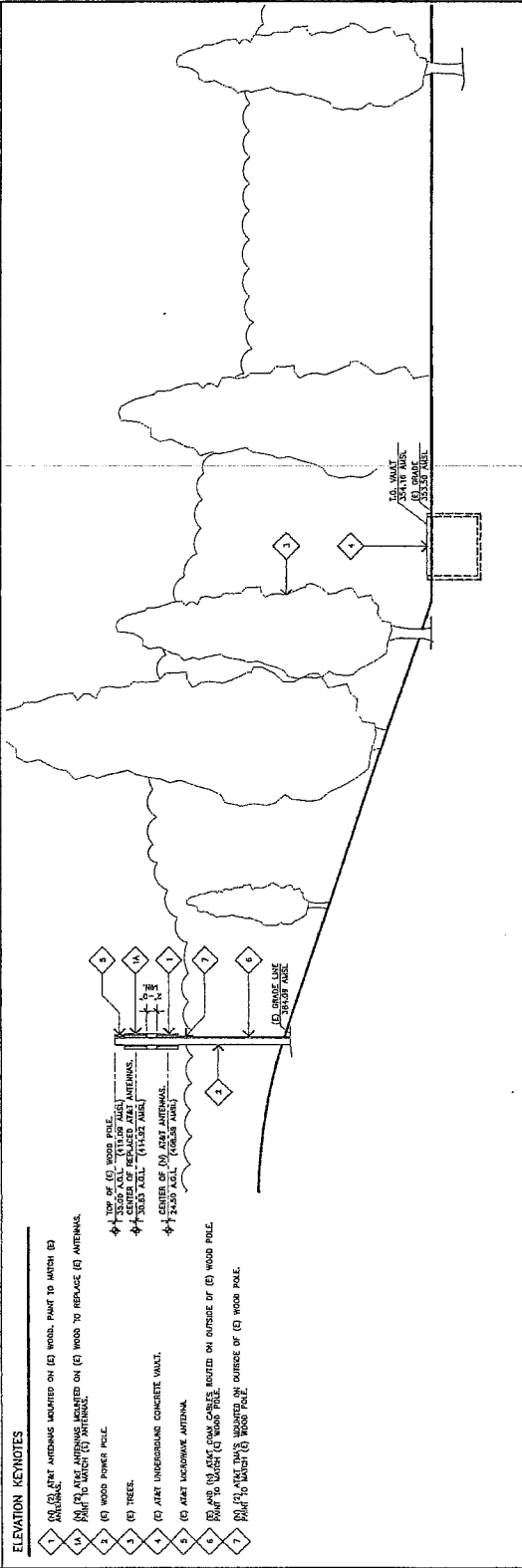
**A-3**



- ELEVATION KEYNOTES**
- 1 (1) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (1)
  - 2 (2) AT&T ANTENNAS MOUNTED ON (E) WOOD TO REPLACE (E) ANTENNAS. PAINT TO MATCH (E) WITHINNA.
  - 3 (3) WOOD POWER POLE.
  - 4 (4) TREES.
  - 5 (5) AT&T UNDERGROUND CONCRETE VAULT.
  - 6 (6) AT&T MICROWAVE ANTENNA.
  - 7 (7) (A) AND (B) AT&T COAX CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.
  - 8 (8) (A) AND (B) AT&T COAX CABLES MOUNTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.

**PROPOSED SOUTHEAST ELEVATION**

SCALE 3/32"=1'-0"  
 0 3' 6" 12'



- ELEVATION KEYNOTES**
- 1 (1) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (E) ANTENNAS. PAINT TO MATCH (E) WITHINNA.
  - 2 (2) WOOD POWER POLE.
  - 3 (3) TREES.
  - 4 (4) AT&T UNDERGROUND CONCRETE VAULT.
  - 5 (5) AT&T MICROWAVE ANTENNA.
  - 6 (6) (A) AND (B) AT&T COAX CABLES ROUTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.
  - 7 (7) (A) AND (B) AT&T COAX CABLES MOUNTED ON OUTSIDE OF (E) WOOD POLE. PAINT TO MATCH (E) WOOD POLE.

**PROPOSED NORTHWEST ELEVATION**

SCALE 3/32"=1'-0"  
 0 3' 6" 12'

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CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

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PROJ # 42

**JRA**  
 Jeffrey Lam & Associates, Inc.  
 Atlanta - California - Nevada  
 10000 Wilshire Blvd., Suite 1000  
 Los Angeles, California 90024  
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 (415) 395-0089

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**CLIENT**  
**at&t**  
 4430 ROSEWOOD DRIVE  
 PLACENTIA, CALIFORNIA, 92669

**OWNER**  
 AT&T  
 3500 AVENUE OF THE STARS  
 SUITE 1000  
 FALLS CHURCH, VIRGINIA 22044

**APPROVALS**

DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

**PROJECT NAME**  
 AT&T 2ND CARRIER MODS  
 101 & RODEO

**SITE NUMBER**  
 CHU4525

**PROJECT ADDRESS**  
 101 & RODEO  
 SUITE 1000  
 SAN ANTONIO, CALIFORNIA 78205

**APR NUMBER**  
 81-81-840

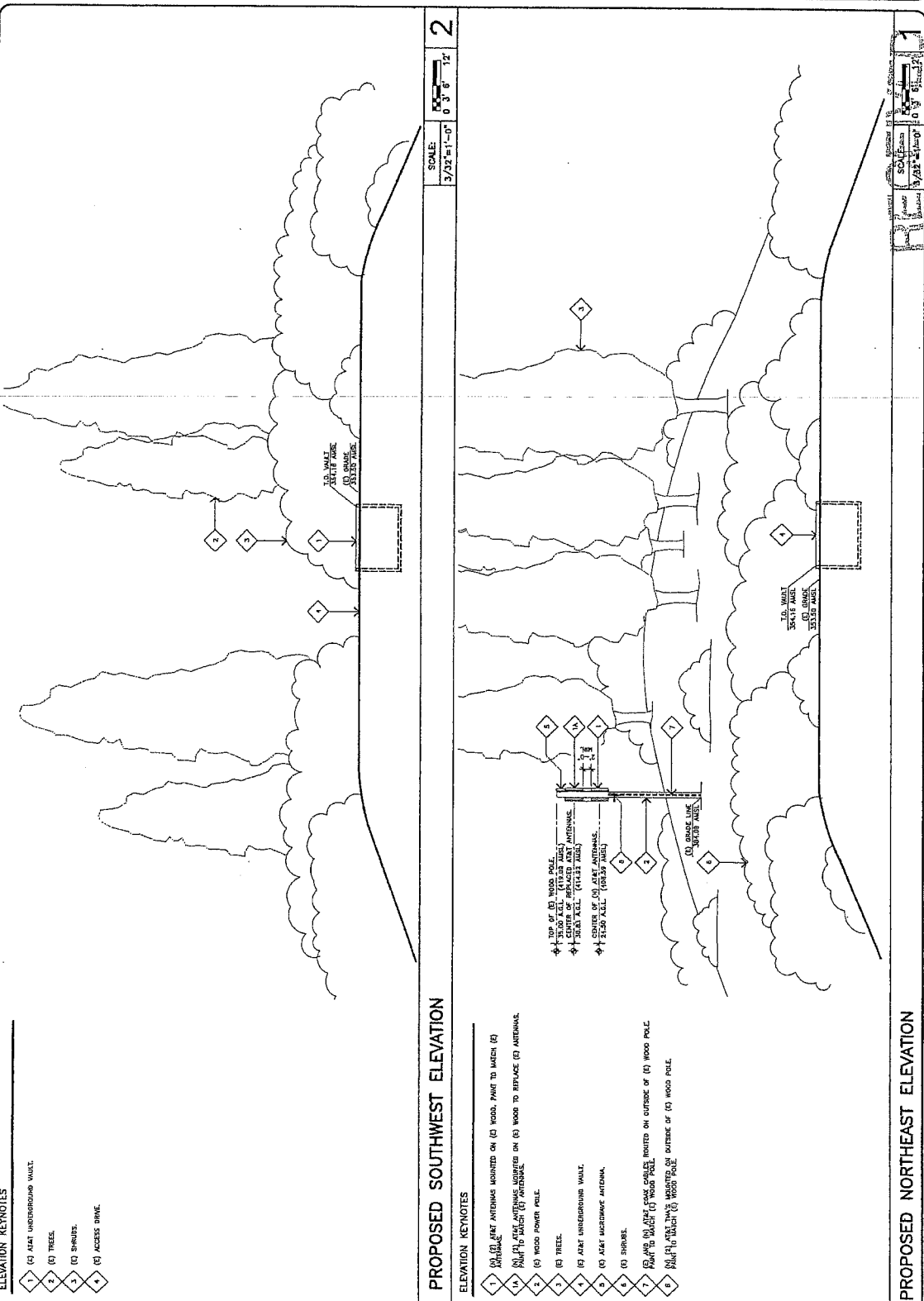
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 03/23/09  
 03/23/09

**REVISIONS**

REVISION 4.2
SHEET TITLE

**NORTHEAST AND SOUTHWEST  
 PROPOSED ELEVATIONS**

**A-3.1**



- ELEVATION KEYNOTES**
- 1 (E) AT&T UNDERGROUND WALK
  - 2 (E) TREES
  - 3 (E) SHORES
  - 4 (E) ACCESS DRIVE

- PROPOSED SOUTHWEST ELEVATION**
- ELEVATION KEYNOTES**
- 1 (E) AT&T ANTENNAS MOUNTED ON (E) WOOD POLE TO MATCH (E)
  - 2 (E) WOOD POLE TO MATCH (E) WOOD POLE
  - 3 (E) WOOD POWER POLE
  - 4 (E) TREES
  - 5 (E) AT&T UNDERGROUND WALK
  - 6 (E) AT&T MICROWAVE ANTENNA
  - 7 (E) SHORES
  - 8 (E) WOOD POLE TO MATCH (E) WOOD POLE
  - 9 (E) WOOD POLE TO MATCH (E) WOOD POLE

- PROPOSED NORTHEAST ELEVATION**

MAR 19 2009  
 CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

4182  
 PAGE 4/3

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 (925) 734-2429

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 APPLICANT  
 101 RODEO AVENUE  
 SUITE 200  
 SAN FRANCISCO, CALIFORNIA 94108

OWNER	DATE
CITY OF SAUSALITO	
APPROVALS	
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	

**PROJECT NAME**  
 AT&T 2ND CARRIER MODS  
 101 & RODEO  
 SAN FRANCISCO, CALIFORNIA 94108

**PROJECT ADDRESS**  
 101 RODEO AVENUE  
 SAN FRANCISCO, CALIFORNIA 94108

**ISSUING DATES**  
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 01/17/08  
 02/10/08  
 04/24/08

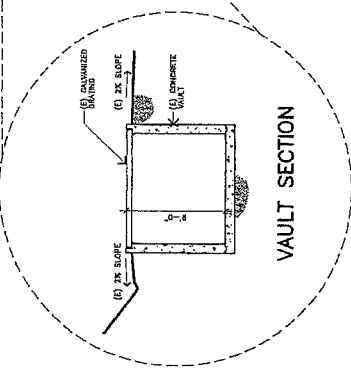
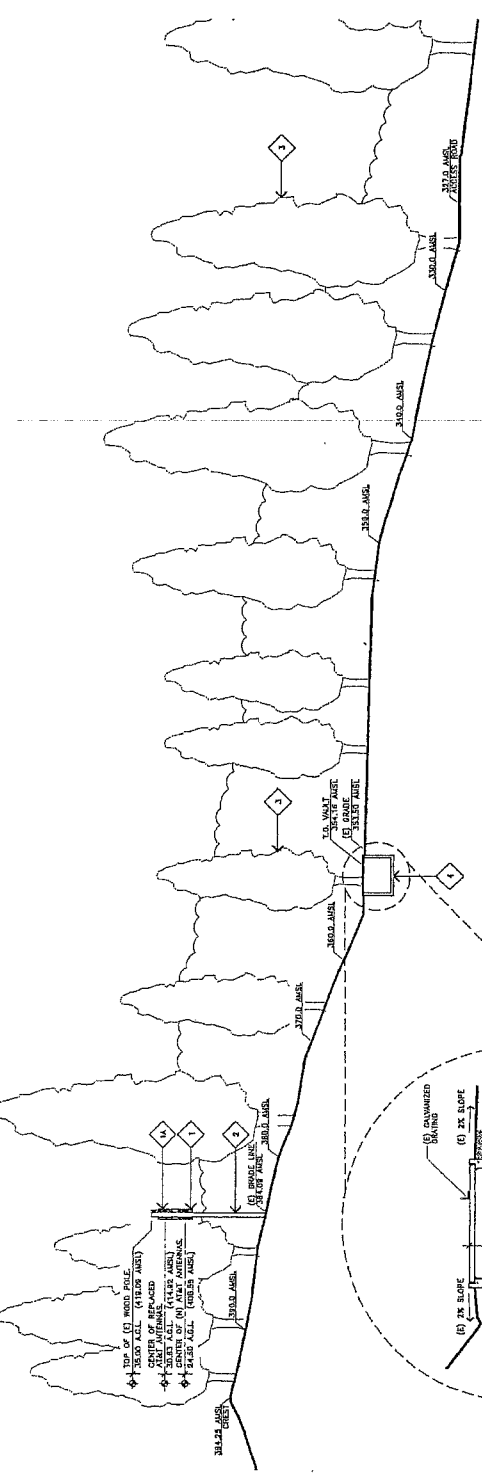
**REVISIONS**  
 REVISION 4.2

**SHEET TITLE**  
 SITE SECTION

**A-4**

**SITE SECTION KEYNOTES**

- 1 (A) AT&T ANTENNAS MOUNTED ON (E) WOOD PILE TO WOOD (E) ANTENNAS.
- 2 (A) AT&T ANTENNAS MOUNTED ON (E) WOOD TO REPLACE (E) ANTENNAS.
- 3 (E) WOOD POWER POLE.
- 4 (E) TREES.
- 5 (E) AT&T UNDERGROUND CONCRETE VAULT.
- 6 (E) AT&T UNDERGROUND ANTENNA.



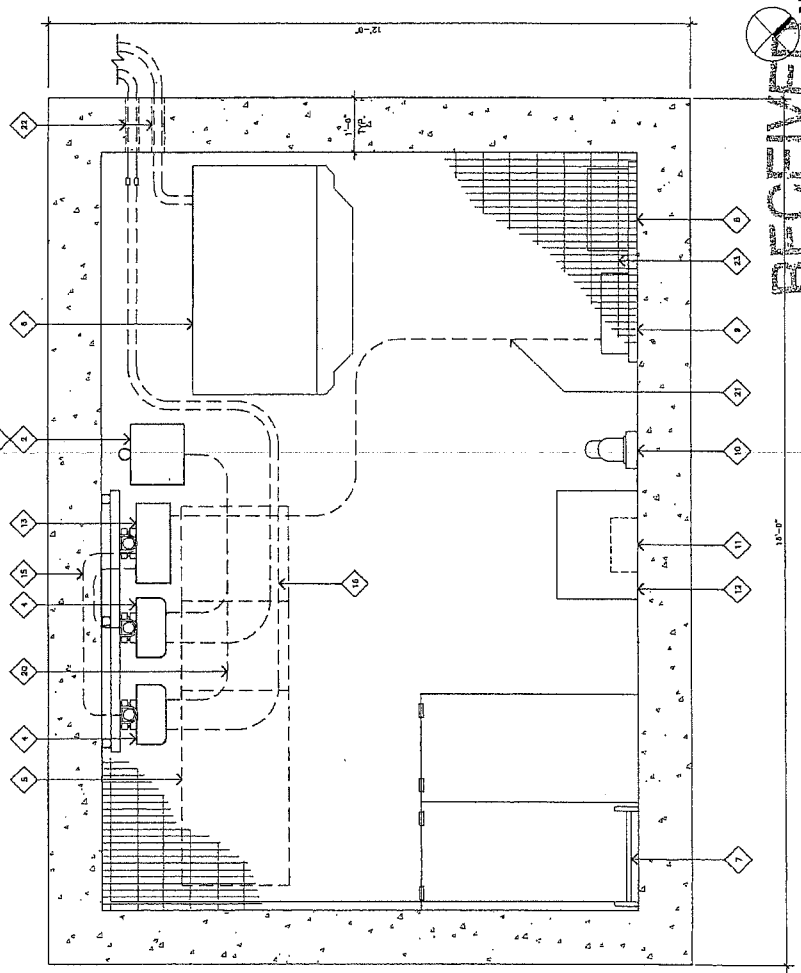
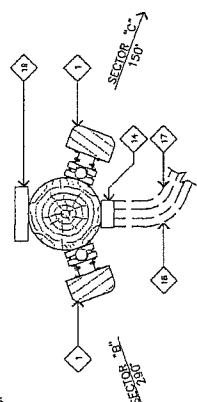
**SITE SECTION**

MAR 19 2009  
 CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

PAGE #44  
 482

**ENLARGED SITE PLAN KEYNOTES**

- 1. (1) AT&T MICROCELL EQUIPMENT CABINET TO BE REMOVED.
- 2. (2) AT&T MICROCELL EQUIPMENT CABINET TO BE REMOVED.
- 3. (3) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 4. (4) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 5. (5) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 6. (6) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 7. (7) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 8. (8) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 9. (9) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 10. (10) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 11. (11) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 12. (12) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 13. (13) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 14. (14) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 15. (15) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 16. (16) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 17. (17) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 18. (18) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 19. (19) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 20. (20) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 21. (21) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.
- 22. (22) AT&T MICROCELL EQUIPMENT CABINET MOUNTED ON X (3) PPE MOUNT.



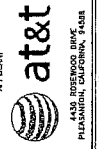
**RECEIVED**  
 MAR 14 2008  
 SCALE: 1/8" = 1'-0"  
 SHEET NO. 1

**EQUIPMENT FLOOR PLAN**

CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

**JRA**  
 Jeffrey Ross & Associates, Inc.  
 1400 California Street  
 Suite 100  
 San Francisco, CA 94109  
 (415) 774-3333  
 (415) 774-0883

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**APPLICANT**  
**at&t**  
 4430 ROSEWOOD DRIVE  
 PHARMACIAN, CALIFORNIA, 94985

DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE

**PROJECT NAME**  
**AT&T 2ND CARRIER WOODS**  
 101 & RODEO  
 CNU4525  
 PROJECT ADDRESS  
 SAUSALITO, CALIFORNIA 94965

**APN NUMBER**  
 64-181-000  
**DRAWING DATES**  
 12/10/06 DATE TO REVIEW (P1)  
 01/10/07 DATE TO REVIEW (P2)  
 03/10/07 FIELD VERIFICATION (P3)  
 03/05/08 PLANNING COMMENTS (P4)

RIPS REVISION A.2  
 SHEET TITLE

**A-1.1**

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